



**Los Angeles Department of City Planning**  
200 North Spring Street  
Los Angeles, CA 90012

**PUBLIC NOTICE**

**WESTWOOD COMMUNITY DESIGN REVIEW BOARD**

*Board Members: Doug Dworsky, Bob Mirdamadi, James Grant, Adam Moos, Alex Wu, Michael Metcalfe, Julia Stuart*

**Date:** March 15, 2017  
**Time:** 6:00 p.m.

**Location:** Belmont Village Senior Living Westwood  
10475 Wilshire Blvd. 90024 (Free Parking)

**AGENDA**

1. Call to Order (Chair)
2. Review of Agenda
3. Planning Department Staff Communication
4. Public Hearing

- a. **DIR-2016-3573-DRB-SPP (540-550 S. Landfair Ave.)- FINAL REVIEW** for the demolition of two, two-story apartment buildings containing a total of 22 units and the construction of two new apartment buildings (East Building 5-stories, West Building 6-stories) containing a total of 21 units over four levels of shared subterranean parking. Continued from the meeting of February 15, 2017 (**Applicant's Representatives: Jamie Myer, Myer Architects**)
- b. **DIR-2017-342-DRB-SPP (1751 S. Malcolm Ave.)- FINAL REVIEW** for the demolition of two (one, one-story and one, two-story) multi-family buildings and the construction of two, new (one, two-story and one, three-story) apartment buildings totaling 18 units over street level parking. (**Applicant: Uri Harkham, Representative: Lilia Grigoryan, Alajajian-Marcoosi Architects Inc.**)

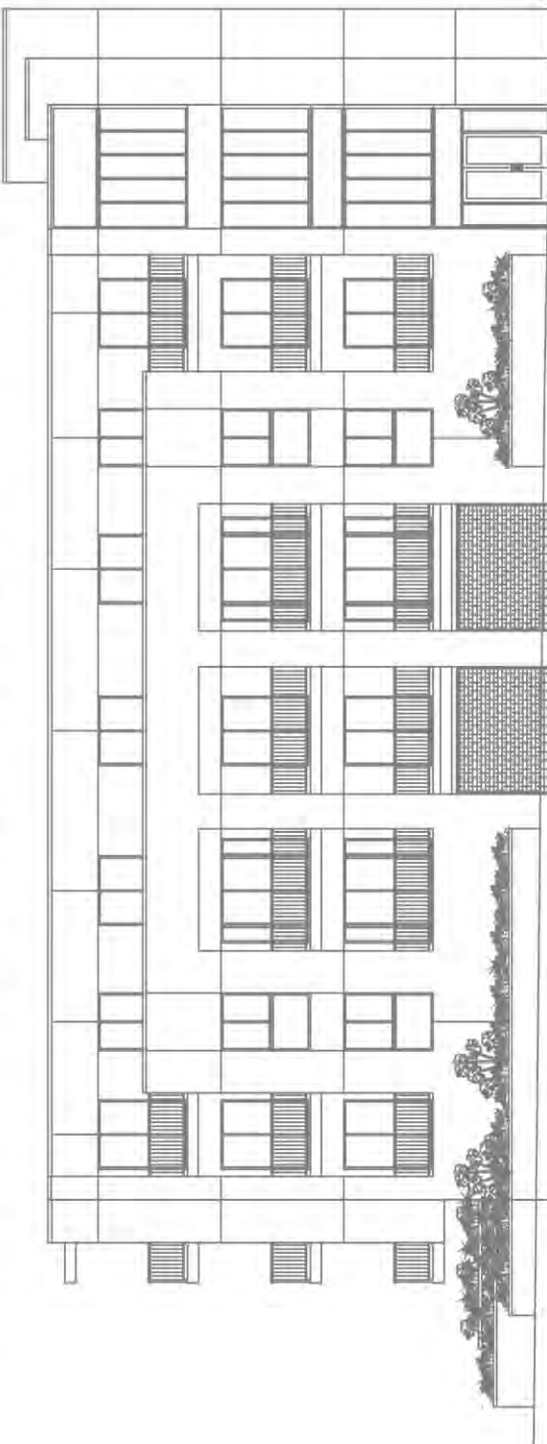
5. Public Comment Period\*
6. Adjourn

Next meeting: **April 19, 2017** (Pending submission of new casework)

\*The DRB shall provide an opportunity in open meetings for the public to address on items of interest to the public that are within the subject matter and jurisdiction of the DRB. Individual testimony within the discretion to modify the time allotted on each subject, to each speaker and the number of speakers per subject. **Items may be called in any order at the discretion of the DRB chairperson. EVERY PERSON WISHING TO ADDRESS THE BOARD DURING THE MEETING MUST COMPLETE A SPEAKER'S CARD AND SUBMIT IT TO THE CITY PLANNING STAFF.**

Under the provisions of the Brown Act (Gov. Code Sec. 54959-54960), the Westwood Community Design Review Board is a "legislative body" and must: 1) Conduct all quorum meetings in public; and 2) Post all agenda items or issues considered for discussion seventy-two (72) hours before public meetings. Public notices are posted at the Offices of the Planning Department, the lobby of City Hall East, at the appropriate Council Office, and on the Planning Department Website: • **Department of City Planning** City Hall Room 721, 200 N. Spring Street, Los Angeles, CA 90012 Internet: <http://cityplanning.lacity.org> Staff Contact: Matthew Quan Tel: 213.978.1320 Fax: 213.978.1320 E-mail: [matthew.quan@lacity.org](mailto:matthew.quan@lacity.org) • **Council District Office (CD #5)** 822 S. Robertson Blvd., Suite 102 Los Angeles, CA 90035 Tel. 310.289.0353 **PLANS AND MATERIALS OFFICIALLY SUBMITTED FOR THE ABOVE REFERENCED CASES CAN BE MADE AVAILABLE FOR REVIEW AT THE DEPARTMENT OF CITY PLANNING OFFICE AND THE COUNCIL DISTRICT OFFICE.** If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized, or in written correspondence on the matters delivered to this agency at or before the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate. The meeting facility and its parking are wheelchair accessible. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three (3) working days prior to the meeting by calling the staff person referenced in this notice. *Traductores u otro tipo de servicio puede ser proveído si se solicita. Para asegurar que este tipo de servicio sea disponible, favor de solicitarlos por lo menos 3 días (72 horas) antes de la audiencia llamando al teléfono mencionado.* [**DIR:** Director of Planning Determination; **DRB:** Design Review Board; **SPP:** Specific Plan Project Permit Compliance; **SPPA:** Specific Plan Project Permit Adjustment; **COA:** Certificate of Appropriateness; **DB:** Density Bonus]



OWNER		ASSESSORS INFORMATION ON EXISTING PROPERTY		<div></div>		<div>MALCOLM APARTMENTS</div>					
ARCHITECT		ASSESSOR'S ID NO. SITE ADDRESS									
STRUCTURAL ENGINEER		PROPERTY TYPE REGION / CLUSTER TAX RATE AREA BUILDINGS									
LANDSCAPING		YEAR BUILT/EFFECTIVE YR.									
SURVEY		ASSESSOR'S ID NO. SITE ADDRESS									
CIVIL ENGINEER		PROPERTY TYPE REGION / CLUSTER TAX RATE AREA BUILDINGS		APPLICABLE CODE		PROJECT SUMMARY		PROJECT DESCRIPTION			
HARKHAM FAMILY ENTERPRISES LP 851 SAN PEDRO ST., SUITE 300 LOS ANGELES, CA 90014		4325-023-011 1751 MALCOLM AVE, LOS ANGELES, CA 90024		PROJECT IS BASED ON THE 2013 CALIFORNIA BUILDING CODE STANDARDS		CONSTRUCTION: OCCUPANCY: USE: LOT AREA: ZONE: PER PLANNING HEIGHT: BUILDING HEIGHT: F.A.R. LOT COVERAGE		THE PROPOSED PROJECT IS A NEW RESIDENTIAL BUILDING, TWO STORIES ON GLENDON AVENUE, THREE STORIES ON MALCOLM AVENUE LOCATED WITHIN WESTWOOD NEIGHBORHOOD. THE SITE IS ADJACENT TO THE MULTIFAMILY RESIDENTIAL HOMES ON MALCOLM AVENUE, GLENDON AVENUE AND TO THE NORTH AND TO COMMERCIAL ZONE TO THE SOUTH WITH AN ALLEY BETWEEN THEM. THERE ARE 11 UNITS WITHIN 6 EXISTING MULTIFAMILY BUILDINGS, 1 AND 2 STORIES ON THE SITE. ALL EXISTING BUILDINGS WILL BE DEMOLISHED.			
AL-AJIAN-HARGOBI ARCHITECTS INC. 320 N. ARDEN AVENUE, SUITE 120 GLENDALE, CA 91203 TEL: (818) 244-5130 FAX: (818) 551-1613 E-MAIL: ARANVAR@ATT.NET		MULTI - FAMILY-RESIDENTIAL OT / OT430 (TRA) 00061 BUILDING 'A' 2401 SF. BUILDING 'B' 1071 SF.		ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH THE HEALTH & SAFETY CODE (HSC) SECTION 1845, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19, TITLE 24.		TYPE VA / I-A SPRINKLER THROUGHOUT NFPA-15R R2/ 5-2 RESIDENTIAL 24,214.8 SQ. FT. [G] RD15-1 45'-0" 36'-0" 24,637 / 24,214.8 = 1.01 15,620 / 24,214.8 = 64.5%		THE PROPOSED PROJECT CONSISTS OF 18 UNITS, 2 BEDROOM APARTMENTS WITH STREET LEVEL PARKING GARAGES OFFERING 44 PARKING SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES. EACH UNIT HAS PRIVATE OPEN SPACE IN THE FORM OF AN EXTERIOR BALCONY. THE PRIVATE POOL DECK AND GARDEN ARE LOCATED ON THE FIRST FLOOR FOR ACCESSIBILITY TO ALL UNITS. THERE ARE TWO PRIVATE GYMS, ONE IS LOCATED ON THE GROUND FLOOR, AND SECOND ONE IS ON THE THIRD FLOOR. A COMMUNITY ROOM IS ALSO PROVIDED ON THE THIRD FLOOR IN WHICH RESIDENTS MAY GATHER FOR SOCIAL, RECREATIONAL ACTIVITIES.			
PAUL LEWIS & ASSOCIATES 1335-D RIVERSIDE DR. #445, SHERMAN OAKS, CA 91423 TEL: (818)189-4382 FAX: (818)189-3211 E-MAIL: PL@L236MALCOLM.COM		MULTI - FAMILY-RESIDENTIAL OT / OT183 (TRA) 00061 BUILDING '3' 1541 SF.		PART 1 CALIFORNIA ADMINISTRATION CODE (CAC) PART 2 GLENDALE BUILDING CODE (BBC) 2008 IBC WITH 2008 CALIFORNIA AMENDMENTS ) PART 3 CALIFORNIA ELECTRICAL CODE (CEC) 2008 NEC WITH CALIFORNIA AMENDMENTS ) PART 4 CALIFORNIA MECHANICAL CODE (CMC) 2008 IMC WITH CALIFORNIA AMENDMENTS ) PART 5 CALIFORNIA PLUMBING CODE (CPC) 2008 UPC WITH CALIFORNIA AMENDMENTS ) PART 6 2008 ENERGY EFFICIENCY STANDARDS PART 7 CALIFORNIA ELEVATOR CODE (CELC) PART 9 CALIFORNIA FIRE CODE (CFC) 2008 IFC WITH CALIFORNIA AMENDMENTS ) PART 11 CALIFORNIA GREEN BUILDING STANDARD CODE2008 EDITION WITH AMENDMENTS ) NFPA NATIONAL FIRE PROTECTION ASSOCIATION CHAPTERS 19, 35, AND 72, 2002 EDITION		PARKING REQUIRED: BUILDING "A" & "B" TWO BEDROOM UNITS. = 18 ---- 2 1/4 CARS PER UNIT = 40.5 GUEST PARKING. = 18 ---- 1/4 CARS FOR GUEST = 4.5 TOTAL REQUIRED PARKING SPACES: PROVIDED: STANDARD - 20 STALLS COMPACT - 11 STALLS ADA - 3 STALLS TOTAL - 44 STALLS		ONE HALF OF THE WIDTH OF AN ALLEY OR ALLEYS MAY BE ASSIGNED TO BE A PORTION OF A LOT FOR COMPUTING THE NUMBER OF DWELLING UNITS WHEN THE LOT ABUTS UPON ONE OR MORE ALLEYS. 24,214.8 + 2,857.3 = 27,072.1 ALLOWABLE UNITS, 27,072.1 / 1500 = 18.04 = 18 UNIT PROVIDED		THE PROPOSED PROJECT REPRESENTS CONTEMPORARY STYLE OF ARCHITECTURE CHARACTERIZED BY SIMPLIFICATION OF FORMS AND ARTICULATION CREATING AN INTERESTING SCULPTURED DESIGN FAÇADE. THE USE OF VARIOUS MATERIALS SUCH AS DIFFERENT COLOR OF CEMENT PLASTER, GLASS, METAL RAILINGS, AND GRILLS WILL ENHANCE THE CONCEPT OF MODERNISM. THE PROJECT RESPECTFULLY REFLECTS THE NEIGHBORHOOD ARCHITECTURAL STYLES, COLOR SCHEMES, BUILDING HEIGHT WHICH IS LOWER ON GLENDON AVENUE AND HIGHER ON MALCOLM AVENUE. THE BUILDING WILL INCORPORATE MANY SUSTAINABLE STRATEGIES, HIGHLY EFFICIENT BUILDING SYSTEMS, ETC. THE LANDSCAPE COMPLEMENTS THE BUILDING DESIGN CREATING ORGANIC DESIGN ELEMENTS CAREFULLY SELECTED TO COMPLETE THE OVERALL EXPRESSION OF CONTEMPORARY ARCHITECTURE. THE DROUGHT TOLERANT LANDSCAPING DESIGN WILL BE INTEGRATED IN TO THE SCHEME AT THE GROUND LEVEL AND AT PLANTERS, GARDEN.	
HAYTE MARTIROSIAN TECHNA LAND CO. INC. 1545 N. VERDUGO RD., SUITE 2 GLENDALE, CA 91208 TEL: (818) 541-0543 FAX: (818) 541-1074 E-MAIL: HAYTE@TECHNALAND.COM		YEAR BUILT/EFFECTIVE YR.		COMMON OPEN SPACE		BUILDING "A" & "B": 1ST FLOOR LIVABLE AREA: 11,042 S.F. 2ND FLOOR LIVABLE AREA: 11,042 S.F. 3RD FLOOR COMMON AREA: 2,453 S.F. TOTAL LIVABLE AREA: 24,637 S.F. GARAGE AREA: 15,650 S.F.		YARD REQUIREMENTS RD15: REAR SETBACK: 15 FT. SIDE SETBACK: 5 FT. + 1 FT.= 6 FT. (FOR 3RD FLOOR) FRONT SETBACK: 15 FT.			
VICINITY MAP		VICINITY MAP		REQUIRED COMMON OPEN SPACE 350 SQ.FT. PER UNIT 18x350= 6,300 SQ.FT.		REQUIRED COMMON OPEN SPACE 350 SQ.FT. PER UNIT 18x350= 6,300 SQ.FT.					
SHEET INDEX		SHEET INDEX		PROVIDED: FRONT YARD BACK YARD STREET LEVEL GYM POOL, COURT YARD, ETC. 3RD FLOOR COMMUNITY RM. & GYM ADDITIONAL AREA TOTAL OPEN SPACE 1/4 OF COMMUNITY ROOM AND GYM MODIFICATION TO USE COMMUNITY ROOM IN LIEU OF OPEN AREA REQUIRED LANDSCAPING (50% OF OPEN SPACE) PROVIDED LANDSCAPING		PROVIDED: FRONT YARD BACK YARD STREET LEVEL GYM POOL, COURT YARD, ETC. 3RD FLOOR COMMUNITY RM. & GYM ADDITIONAL AREA TOTAL OPEN SPACE 1/4 OF COMMUNITY ROOM AND GYM MODIFICATION TO USE COMMUNITY ROOM IN LIEU OF OPEN AREA REQUIRED LANDSCAPING (50% OF OPEN SPACE) PROVIDED LANDSCAPING					
COVER SHEET		COVER SHEET		1. COVER SHEET 2. MAPS AND PHOTO 3. COLOR PHOTOS 4. COLOR PHOTOS 5. AERIAL VIEW OF AREA AND RENDERING 6. VIEW AT MALCOLM AVENUE 7. VIEW AT GLENDON AVENUE 8. SITE PLAN / ROOF PLAN 9. OPEN SPACE CALCULATION 10. FIRST FLOOR PLAN 11. SECOND FLOOR PLAN 12. THIRD FLOOR PLAN 13. BUILDING ELEVATIONS 14. BUILDING ELEVATIONS 15. BUILDING SECTIONS 16. MATERIAL BOARD AND LIGHTING 17. PLANTING PHOTOS 18. IRRIGATION DETAILS 19. LANDSCAPE NOTES 20. LANDSCAPE DETAILS 21. SHADE AND SHADOW STUDY 22. SURVEY		1. COVER SHEET 2. MAPS AND PHOTO 3. COLOR PHOTOS 4. COLOR PHOTOS 5. AERIAL VIEW OF AREA AND RENDERING 6. VIEW AT MALCOLM AVENUE 7. VIEW AT GLENDON AVENUE 8. SITE PLAN / ROOF PLAN 9. OPEN SPACE CALCULATION 10. FIRST FLOOR PLAN 11. SECOND FLOOR PLAN 12. THIRD FLOOR PLAN 13. BUILDING ELEVATIONS 14. BUILDING ELEVATIONS 15. BUILDING SECTIONS 16. MATERIAL BOARD AND LIGHTING 17. PLANTING PHOTOS 18. IRRIGATION DETAILS 19. LANDSCAPE NOTES 20. LANDSCAPE DETAILS 21. SHADE AND SHADOW STUDY 22. SURVEY					





ZONING MAP



PARCEL / PHOTO MAP

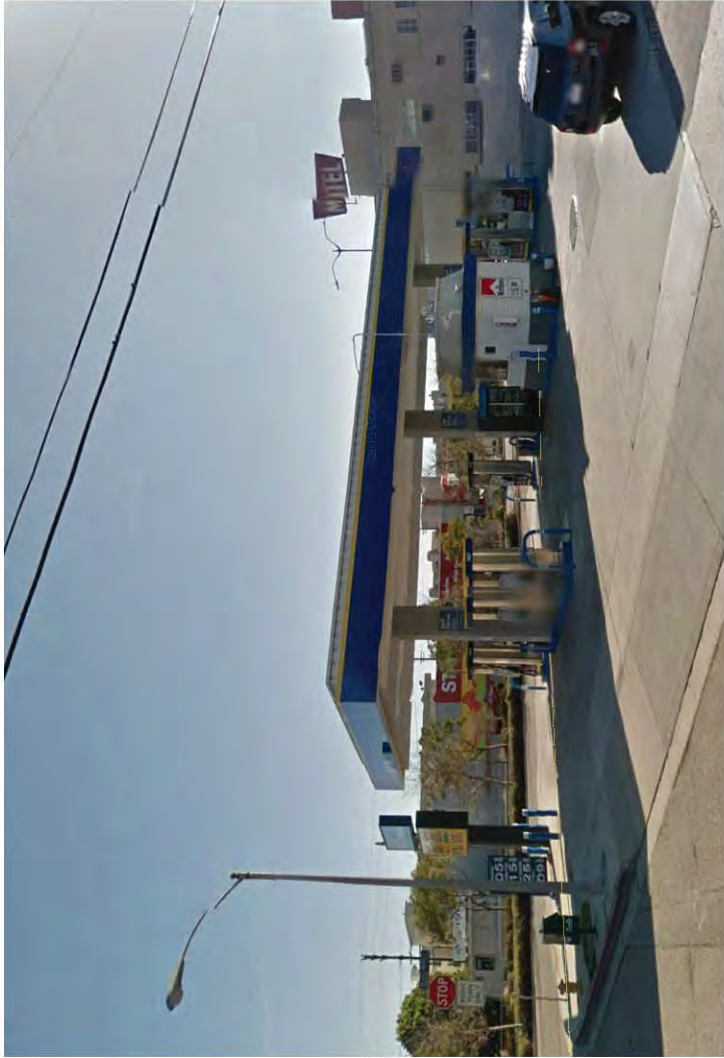


PHOTO 1 / GAS STATION



PHOTO 2 /  
EXISTING BUILDING TO BE DEMOLISHED



PHOTO 3 /  
EXISTING BUILDING TO BE DEMOLISHED





PHOTO 4 /  
ADJACENT NEIGHBOR AT MALCOLM



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9

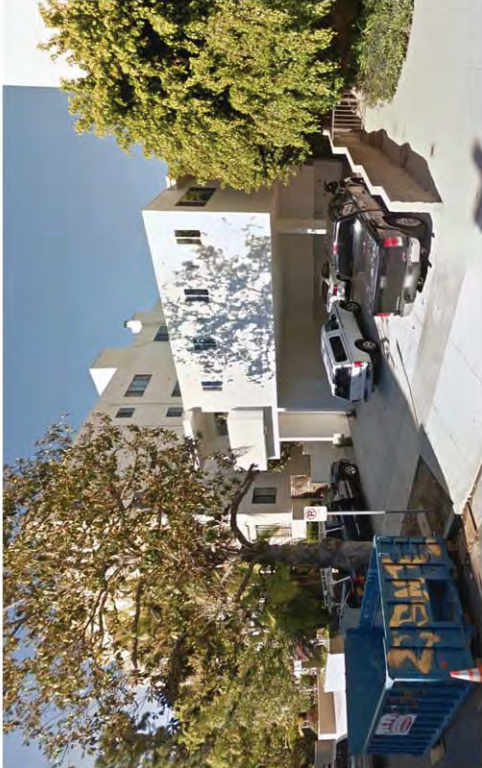


PHOTO 10



PHOTO 11

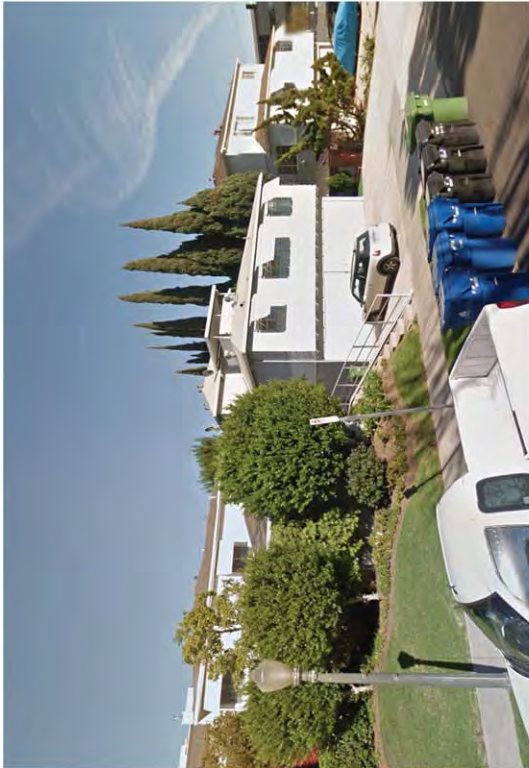


PHOTO 12



PHOTO 13 /  
EXISTING BUILDING TO BE DEMOLISHED



PHOTO 14 /  
EXISTING BUILDING TO BE DEMOLISHED



PHOTO 15 /  
EXISTING BUILDING TO BE DEMOLISHED





PHOTO 16 /  
ADJACENT NEIGHBOR AT GLENDON



PHOTO 17

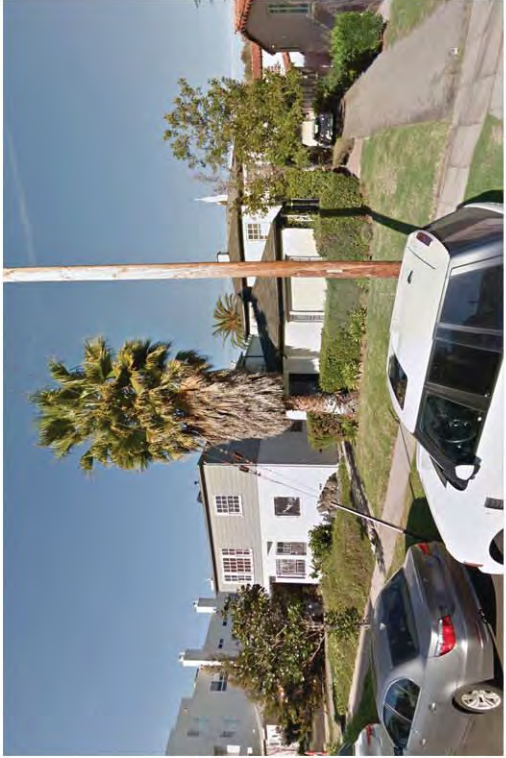


PHOTO 18



PHOTO 19



PHOTO 20

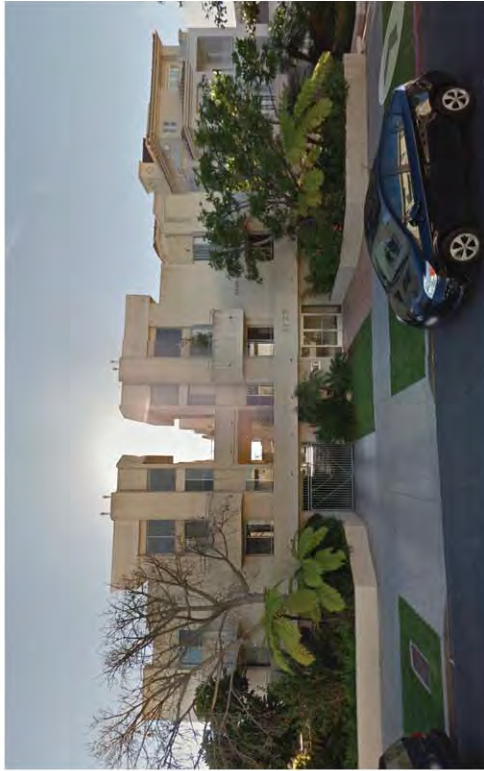


PHOTO 21



PHOTO 22



PHOTO 23

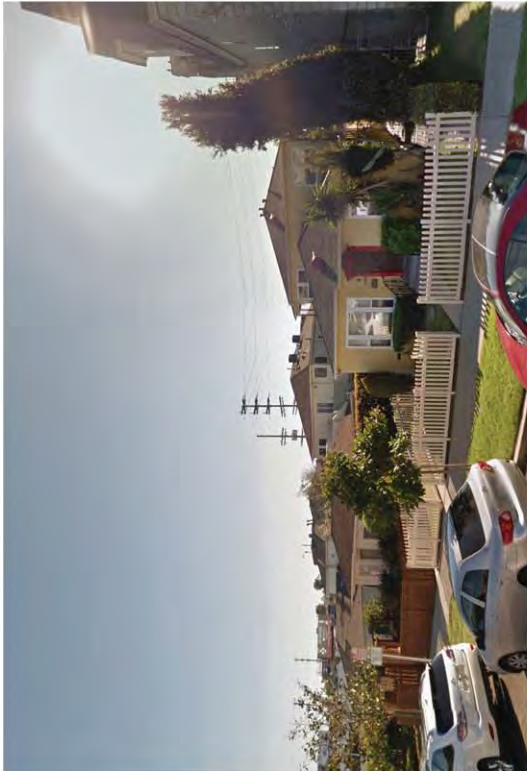


PHOTO 24



PHOTO 25



PHOTO 26



PHOTO 27

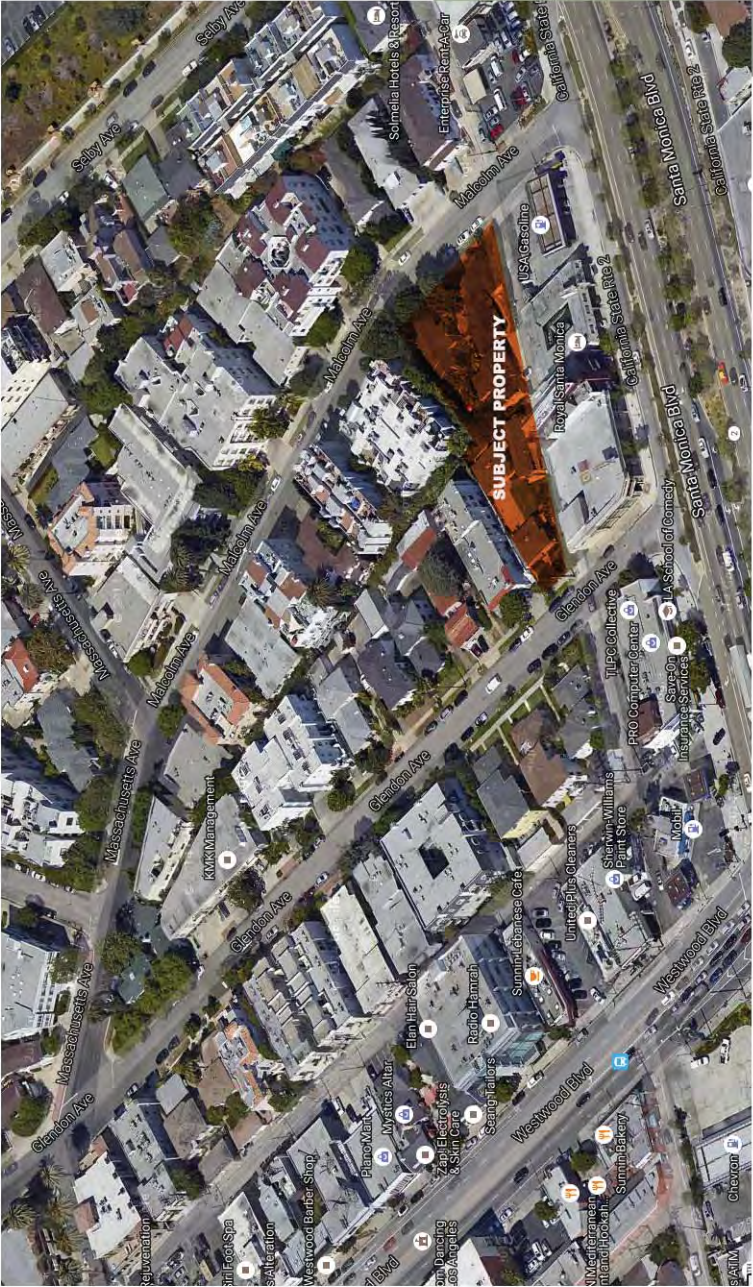


ALAJAJIAN MARCOOSI ARCHITECTS, INC.  
320 W. ARDEN AVE., STE 120  
GLENDALE, CA 91203  
TEL. 818.244.5130



1751 S. MALCOLM AVE.,  
LOS ANGELES, CA 90024





AERIAL VIEW OF AREA







VIEW AT MALOCOLM AVE.



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VIEW AT GLENDON AVE.

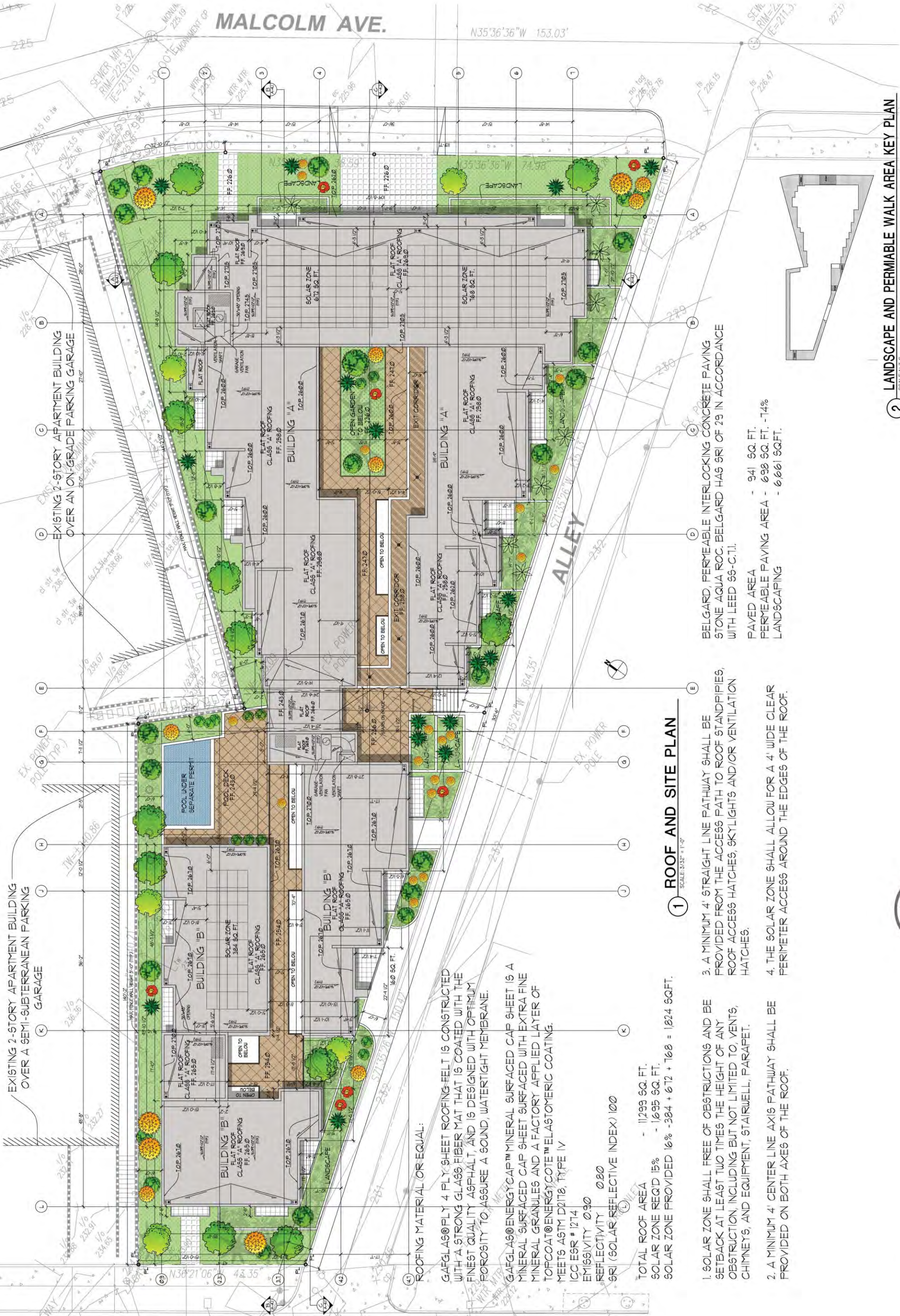


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ROOFING MATERIAL OR EQUAL:

GAFGLASOLPLY 4 PLY SHEET ROOFING-FELT IS CONSTRUCTED WITH A STRONG GLASS FIBER MAT THAT IS COATED WITH THE FINEST QUALITY ASPHALT, AND IS DESIGNED WITH OPTIMUM POROSITY TO ASSURE A SOUND, WATERTIGHT MEMBRANE.

GAFGLASOLENERGYCAP™ MINERAL SURFACED CAP SHEET IS A MINERAL SURFACED CAP SHEET SURFACED WITH EXTRA FINE MINERAL GRANULES AND A FACTORY APPLIED LAYER OF TOPCOAT@ENERGYCOTE™ ELASTOMERIC COATING.

MEETS ASTM D2178, TYPE IV  
ICC ESR # 1274  
EMISSIONITY 0.90  
REFLECTIVITY 0.80  
SRI (SOLAR REFLECTIVE INDEX) 100

TOTAL ROOF AREA - 11299 SQ. FT.  
SOLAR ZONE REQ'D 15% - 1695 SQ. FT.  
SOLAR ZONE PROVIDED 16% - 384 + 672 + 168 = 1824 SQFT.

## 1 ROOF AND SITE PLAN

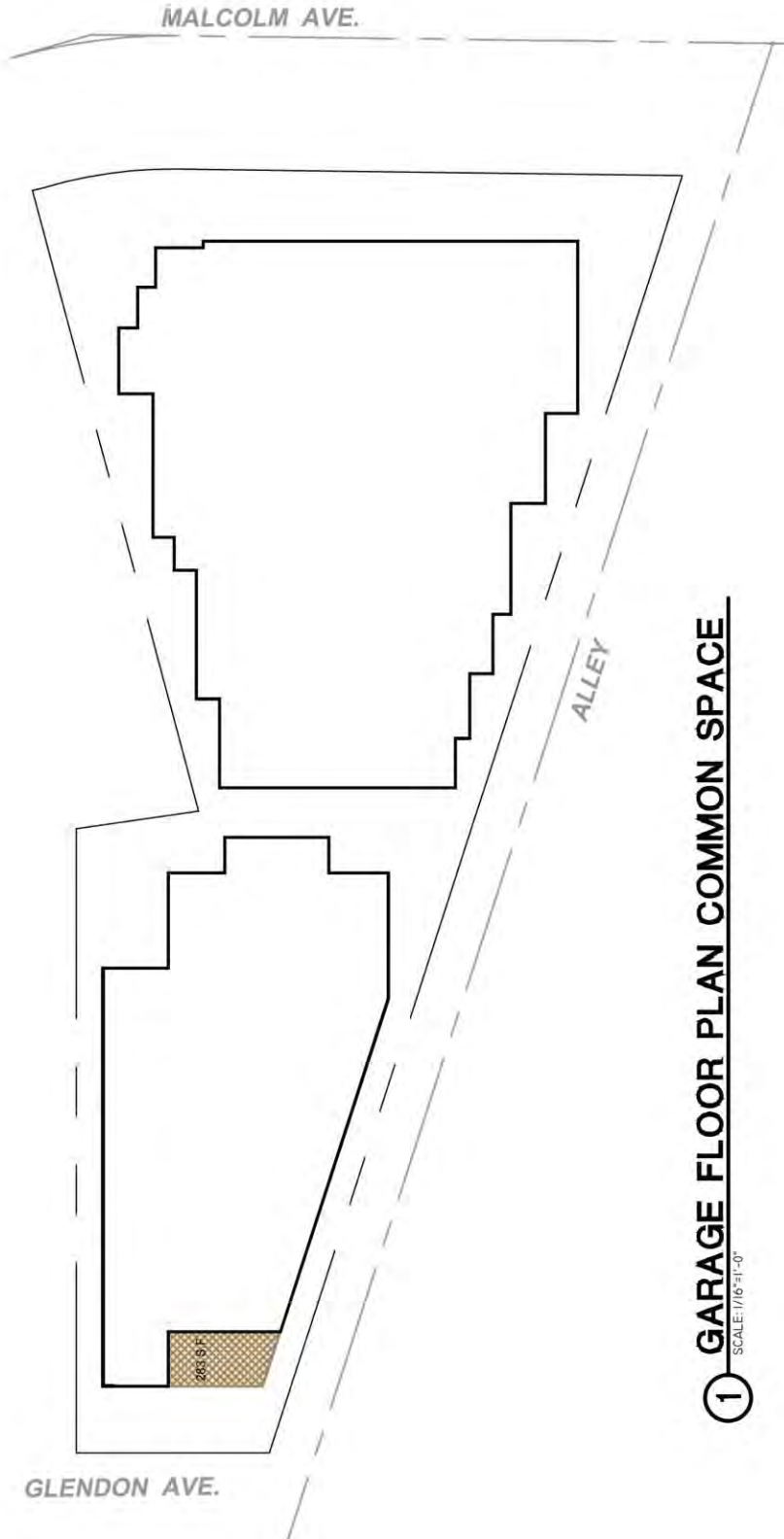
1. SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT, STAIRWELL, PARAPET.
2. A MINIMUM 4' CENTER LINE AXIS PATHWAY SHALL BE PROVIDED ON BOTH AXES OF THE ROOF.
3. A MINIMUM 4' STRAIGHT LINE PATHWAY SHALL BE PROVIDED FROM THE ACCESS PATH TO ROOF STANDPIPIES, ROOF ACCESS HATCHES, SKYLIGHTS AND/OR VENTILATION HATCHES.
4. THE SOLAR ZONE SHALL ALLOW FOR A 4' WIDE CLEAR PERIMETER ACCESS AROUND THE EDGES OF THE ROOF.

BELGARD, PERMEABLE INTERLOCKING CONCRETE PAVING.  
STONE AQUA ROC. BELGARD HAS SRI OF 29 IN ACCORDANCE WITH LEED SS-C.1.1.

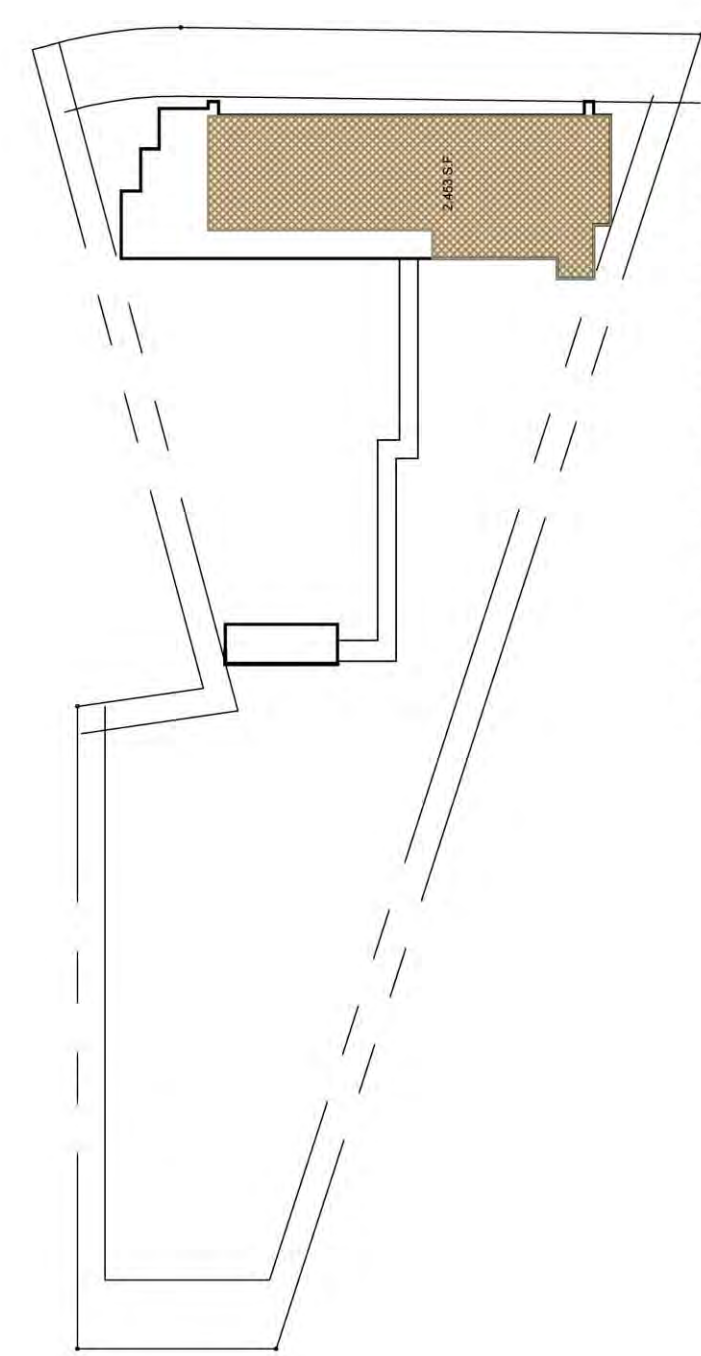
PAVED AREA - 941 SQ. FT.  
PERMEABLE PAVING AREA - 698 SQ. FT. - 74%  
LANDSCAPING - 6,661 SQFT.

## 2 LANDSCAPE AND PERMIABLE WALK AREA KEY PLAN

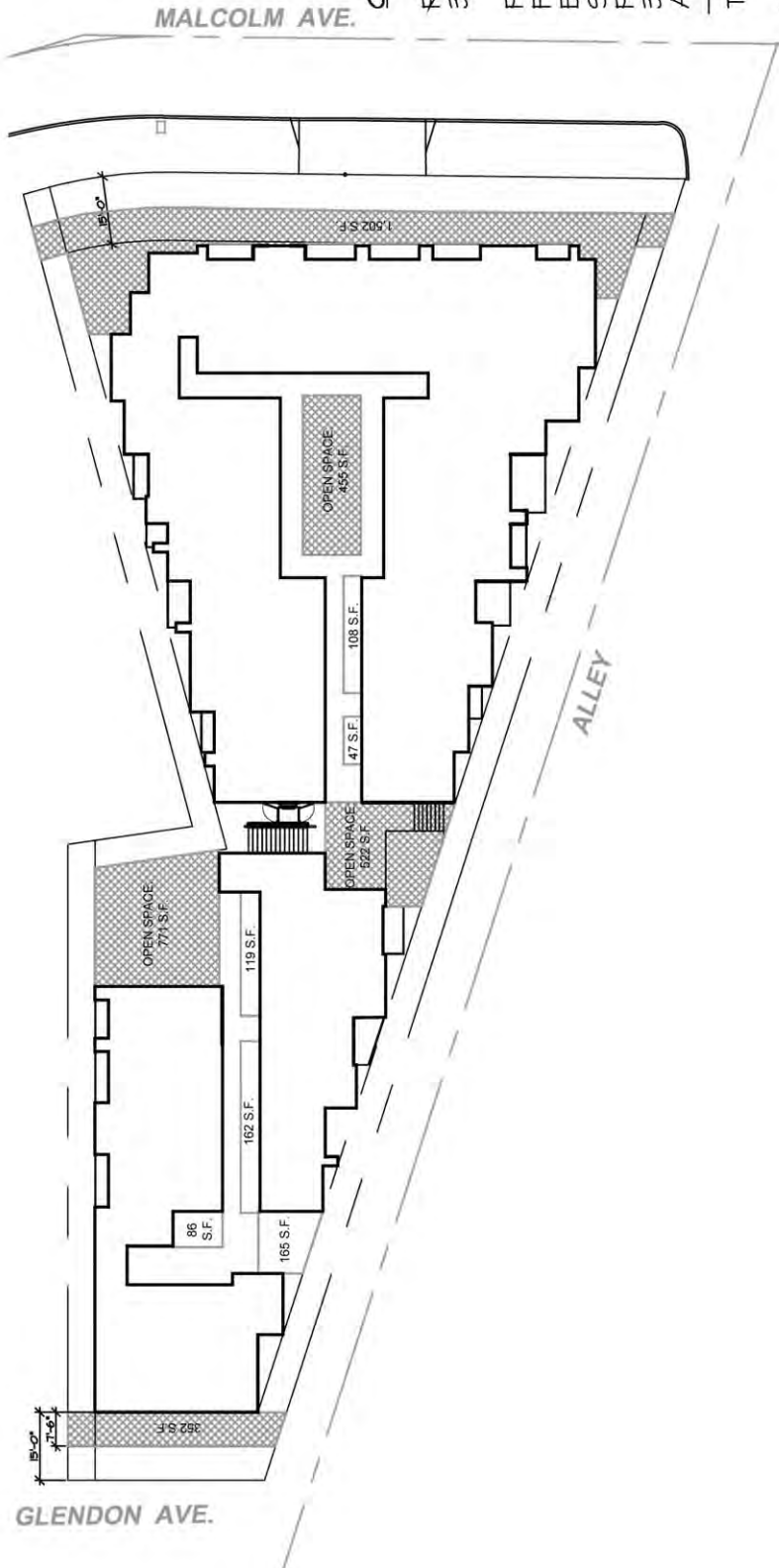




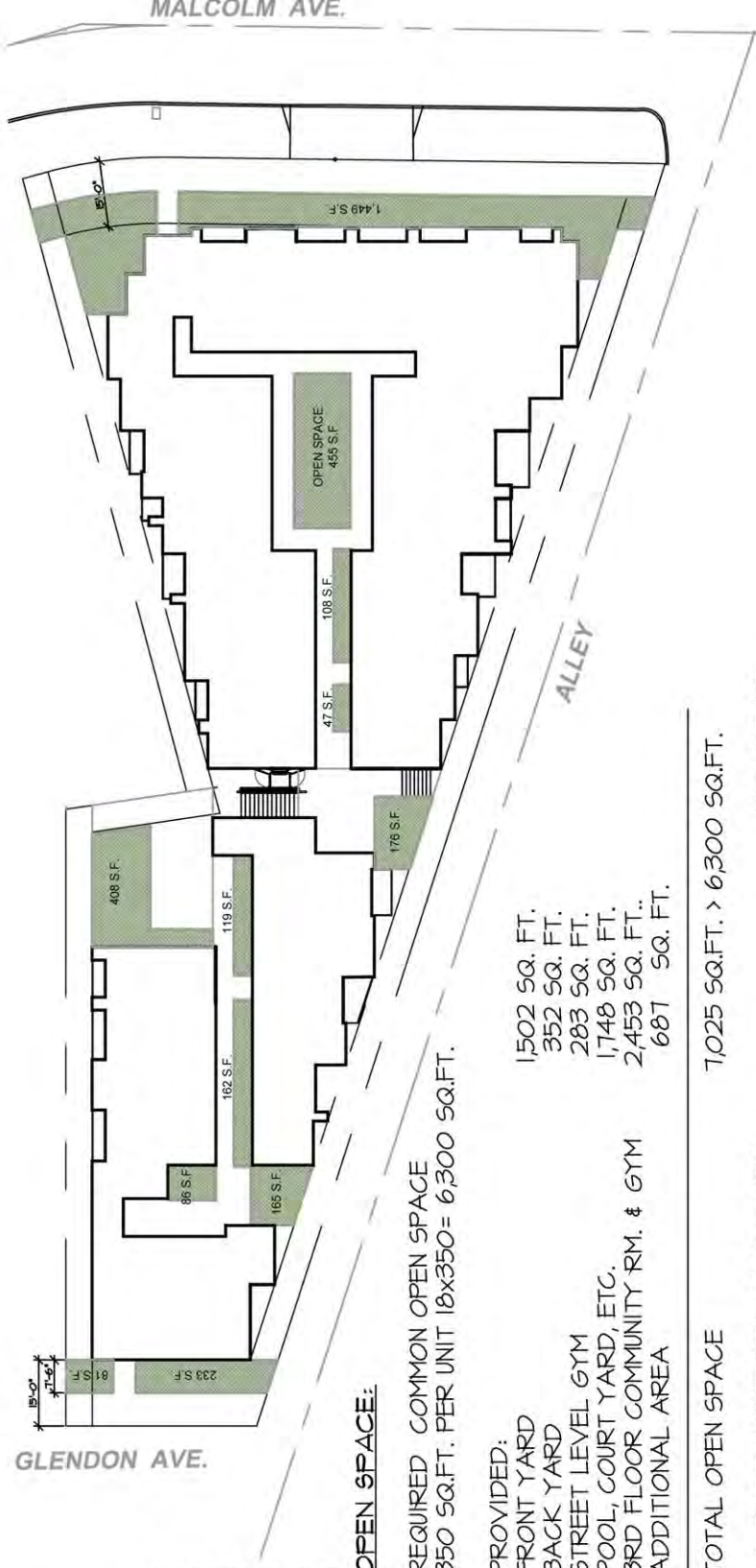
① **GARAGE FLOOR PLAN COMMON SPACE**  
SCALE: 1/16"=1'-0"



③ **3RD FLOOR PLAN COMMON SPACE**  
SCALE: 1/16"=1'-0"



② **1ST FLOOR OPEN SPACE PLAN**  
SCALE: 1/16"=1'-0"



④ **1ST FLOOR LANDSCAPING**  
SCALE: 1/16"=1'-0"

**OPEN SPACE:**  
REQUIRED COMMON OPEN SPACE  
350 SQ.FT. PER UNIT 18x350= 6,300 SQ.FT.

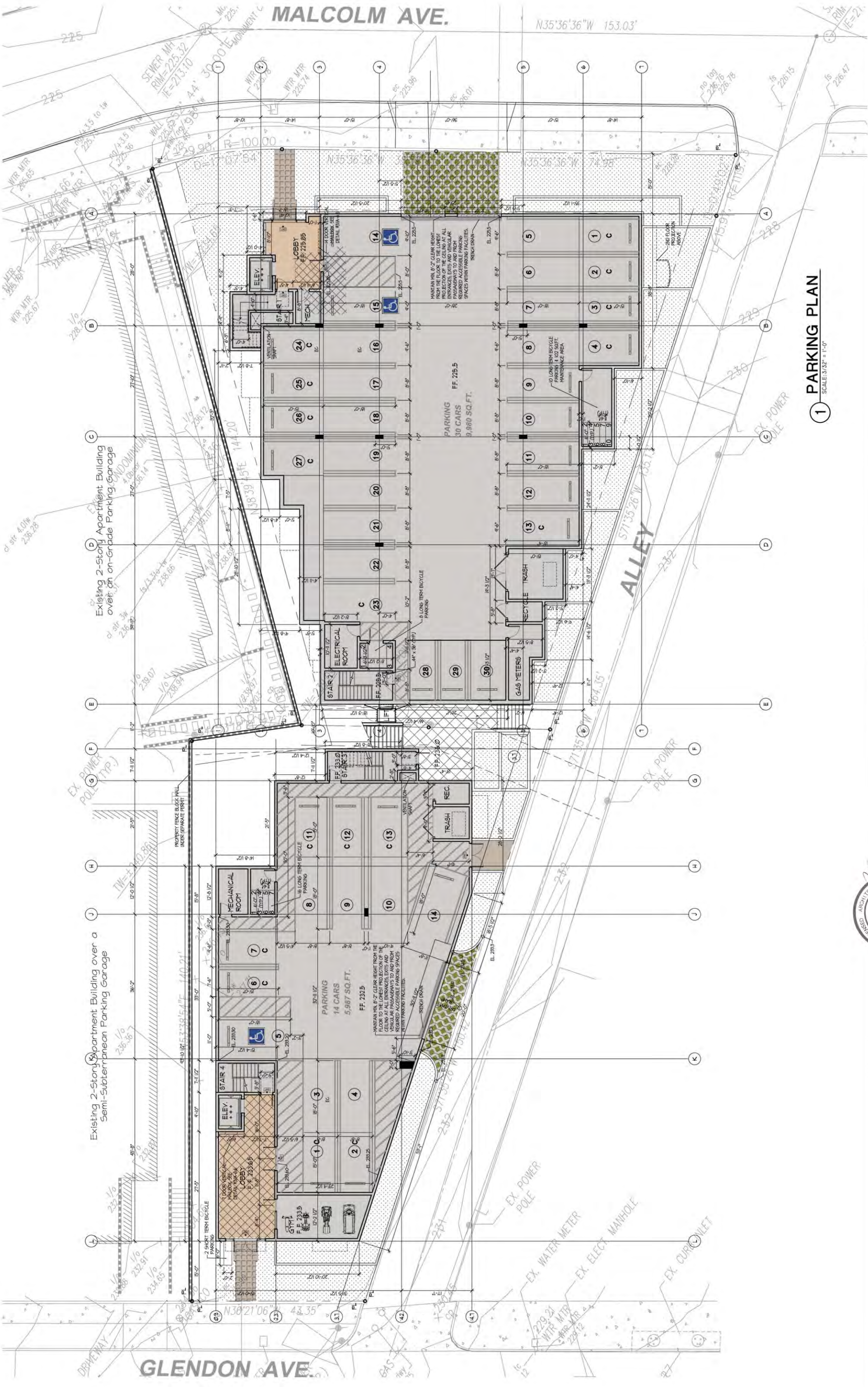
PROVIDED:  
FRONT YARD  
BACK YARD  
STREET LEVEL GYM  
POOL, COURT YARD, ETC.  
3RD FLOOR COMMUNITY RM. & GYM  
ADDITIONAL AREA

1,502 SQ. FT.  
352 SQ. FT.  
283 SQ. FT.  
1,748 SQ. FT.  
2,453 SQ. FT..  
687 SQ. FT.

TOTAL OPEN SPACE	7,025 SQ.FT. > 6,300 SQ.FT.	1,575 SQ. FT.	1,124 SQ. FT. (17.8%)
1/4 OF COMMUNITY ROOM AND GYM MODIFICATION TO USE COMMUNITY ROOM IN LIEU OF OPEN AREA			
REQUIRED LANDSCAPING (50% OF OPEN SPACE)	3,179 SQ. FT.		
PROVIDED LANDSCAPING	3,489 SQ. FT. > 3,179 SQ. FT.		







1 PARKING PLAN  
SCALE 3/32" = 1'-0"

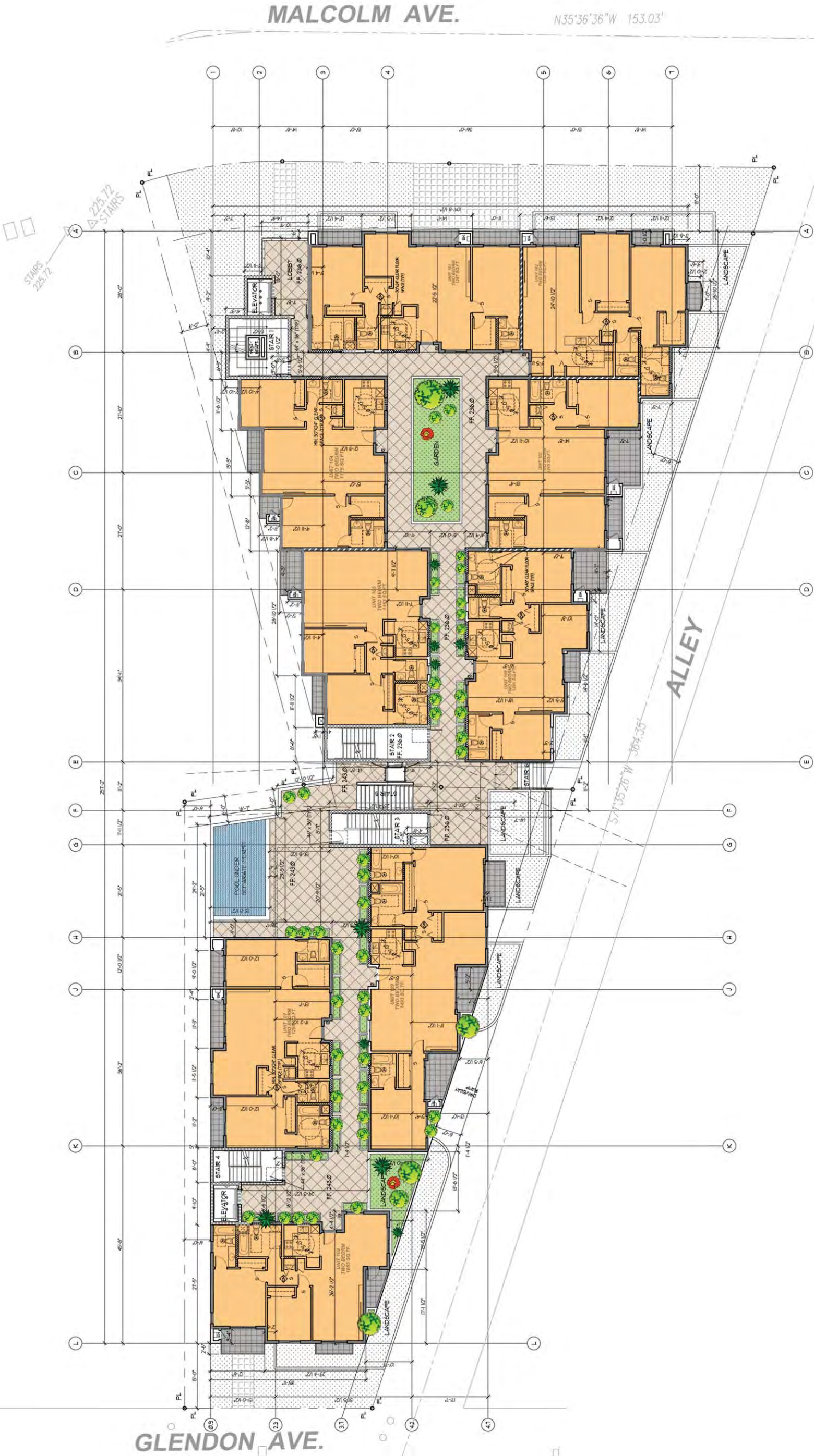


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1751 S. MALCOLM AVE.,  
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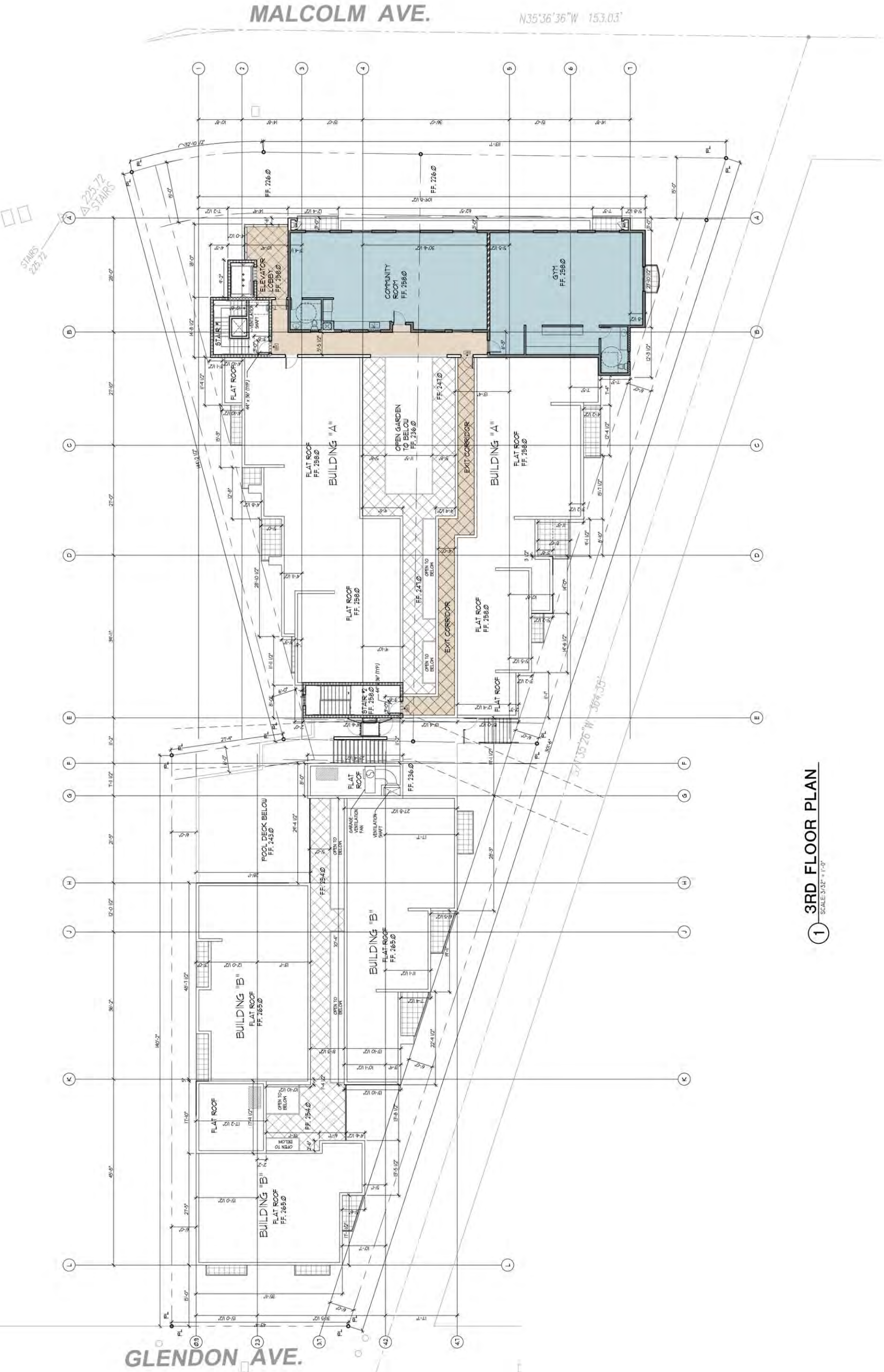


1 1ST FLOOR PLANS  
SCALE 3/32" = 1'-0"





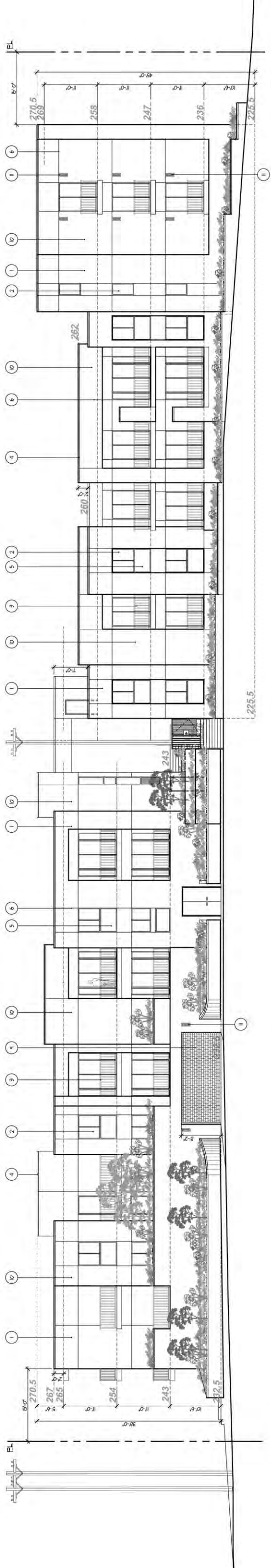




1 3RD FLOOR PLAN  
SCALE 3/32" = 1'-0"



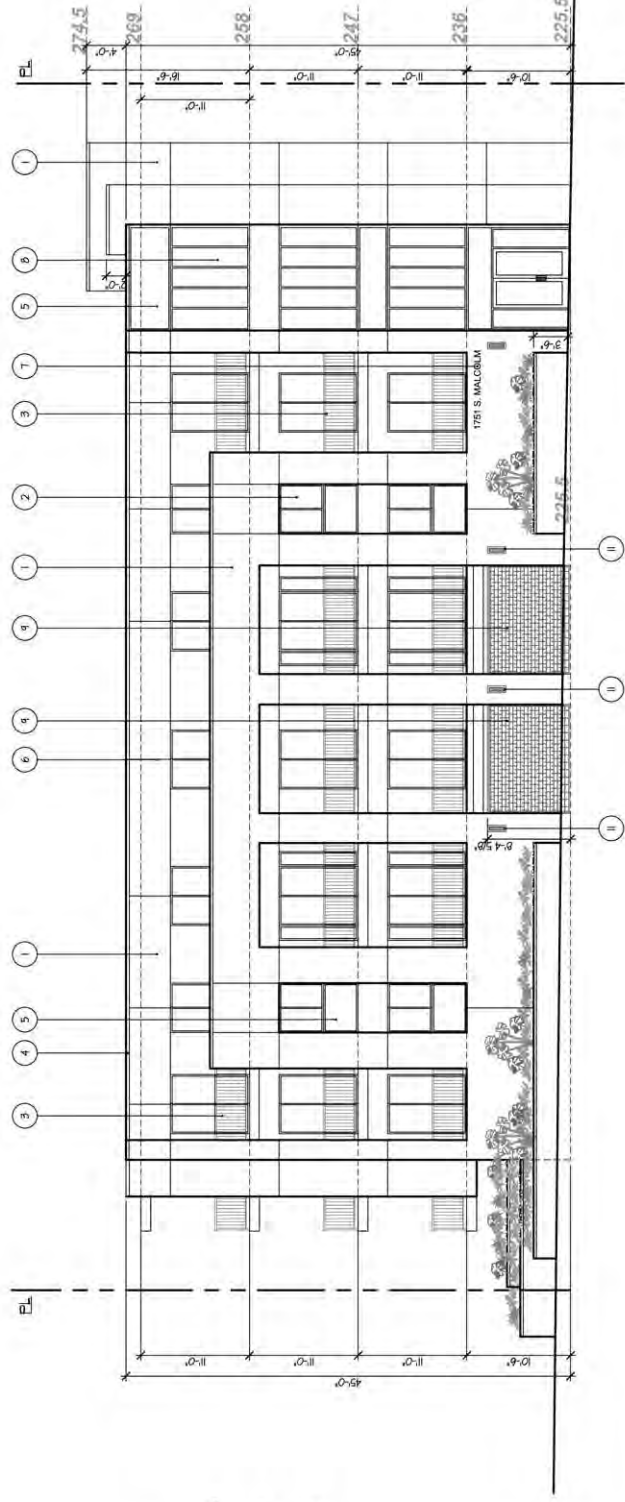




1 SOUTH-EAST ELEVATION  
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIALS SPECIFICATION:

- 1) 7/8" THICK STEEL. TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DANN EDWARDS DE6211 LIGHT BEIGE.
- 2) ARCHITECTURAL SERIES FLEETWOOD ALUMINUM DOORS AND WINDOWS "PACIFIC 3500" DOORS, GLASS 1 POWDER COAT PAINT. EVEREST 650 WINDOWS GLASS 1 POWDER COAT PAINT.
- 3) MIN. 42" HIGH STEEL TUBE RAILING PRIMED AND PAINTED "DANN EDWARDS" DEC156 WEATHERED BROWN.
- 4) 20 GA. 61 CORING .1W 4" FACE SHOWING, PRIMED AND PAINTED "DANN EDWARDS" DEC156 WEATHERED BROWN.
- 5) SPANDREL GLASS BACK PAINTED COLOR TO MATCH COLOR OF VISION GLASS IN SHADE.
- 6) "FRY REGLET", 1/2" X 1/2" X 3/4" CLEAR ANODIZED ALUMINUM REVEAL.
- 7) 1" HIGH 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBERS
- 8) ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS)
- 9) ROLL-UP DOOR. MAINTAIN MIN. 8'-2" FROM THE FLOOR TO THE LOWEST PROJECTION OF THE CEILING AT ALL ENTRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN PARKING FACILITIES.
- 10) 7/8" THICK STEEL. TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DANN EDWARDS DE6394 LEGENDARY GRAY.
- 11) WALL MOUNTED LIGHT FIXTURE.



2 NORTH-EAST ELEVATION  
SCALE: 3/32" = 1'-0"



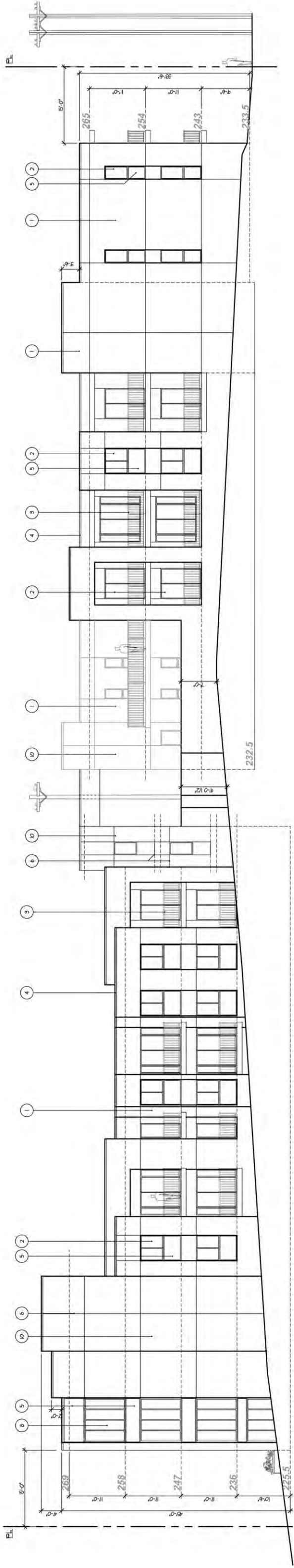
ALAJAJIAN MARCOOSI ARCHITECTS, INC.

400 W. AVENUE AVE. STE. 120  
GLENDALE, CA 91203  
TEL. 818.244.5131



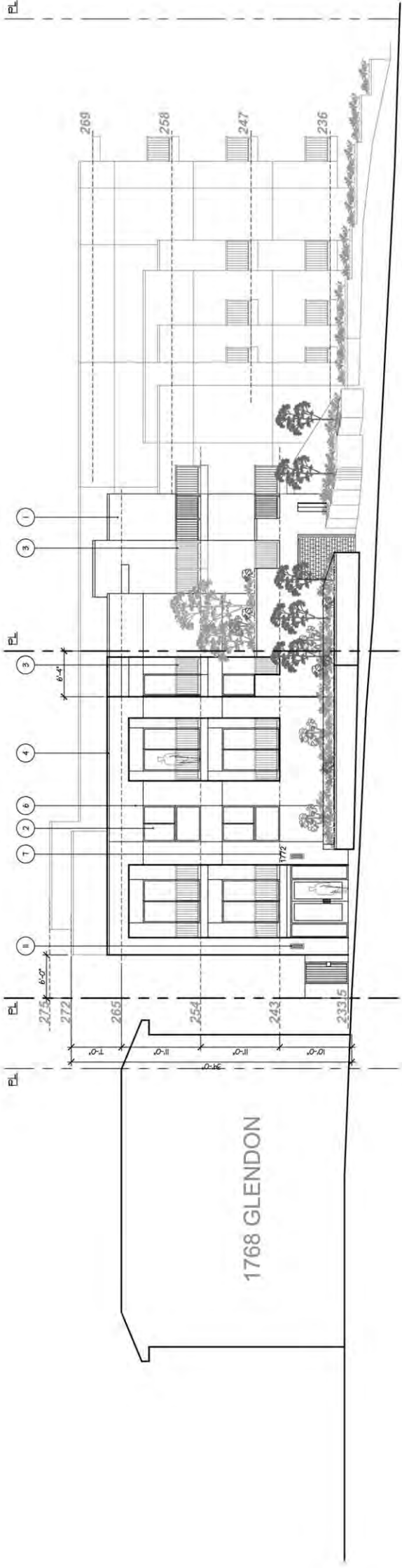
1751 S. MALCOLM AVE.,  
LOS ANGELES, CA 90024





1 NORTH-WEST ELEVATION

SCALE: 3/32" = 1'-0"



2 SOUTH-WEST ELEVATION

SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIALS SPECIFICATION:

- 1/8" THICK STEEL. TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DUNN EDWARDS DEB211 LIGHT BEIGE.
- ARCHITECTURAL SERIES FLEETWOOD ALUMINUM DOORS AND WINDOWS "PACIFIC 3500" DOORS, CLASS 1 POWDER COAT PAINT. EVEREST 850 WINDOWS CLASS 1 POWDER COAT PAINT.
- MIN. 42" HIGH STEEL TUBE RAILING PRINED AND PAINTED "DUNN EDWARDS" DEC756 WEATHERED BROWN.
- 20 GA. GI COPING. 1/4" 4" FACE SHOWING, PRINED AND PAINTED "DUNN EDWARDS" DEC756 WEATHERED BROWN.
- SPANDREL GLASS BACK PAINTED COLOR TO MATCH COLOR OF VISION GLASS IN SHADE.
- "FRY REGLET", 1/2" X 1/2" X 3/4" CLEAR ANODIZED ALUMINUM REVEAL.
- 4" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBERS
- ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS)
- ROLL-UP DOOR. MAINTAIN MIN. 8'-2" FROM THE FLOOR TO THE LOWEST PROJECTION OF THE CEILING AT ALL ENTRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN PARKING FACILITIES.
- 1/8" THICK STEEL. TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DUNN EDWARDS DEB634 LEGENDARY GRAY.
- WALL MOUNTED LIGHT FIXTURE.



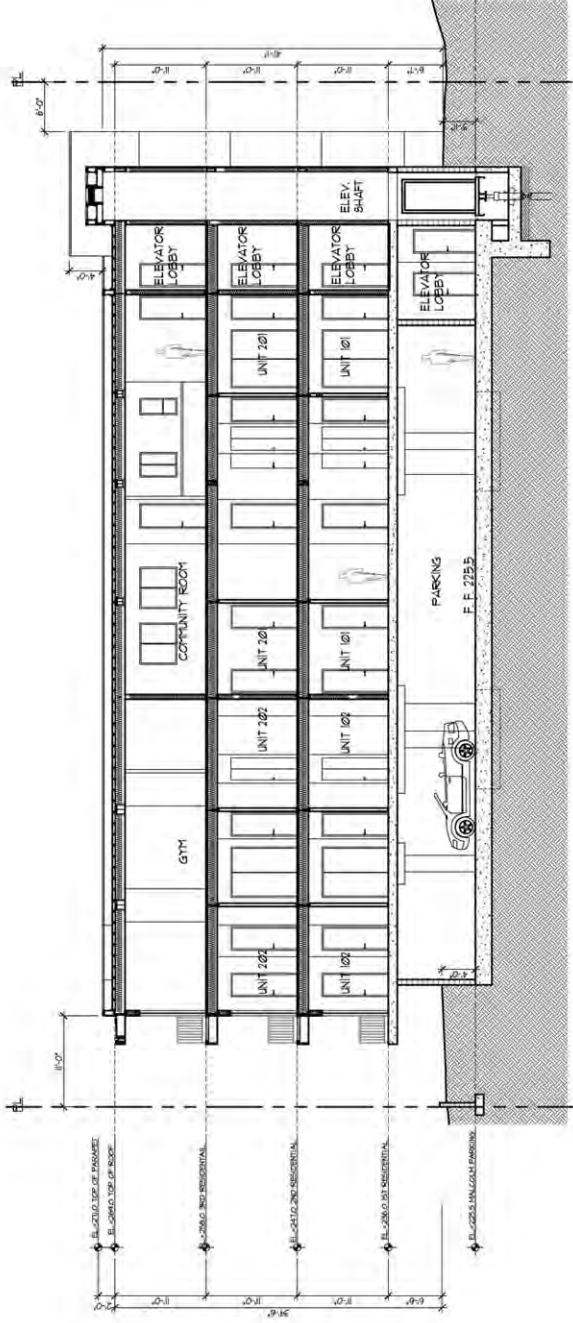
ALAJAJAN MARCOOSI ARCHITECTS, INC.

320 W. ARDEN AVE. STE. 120  
GLENDALE, CA 91208  
TEL. 818.244.5130

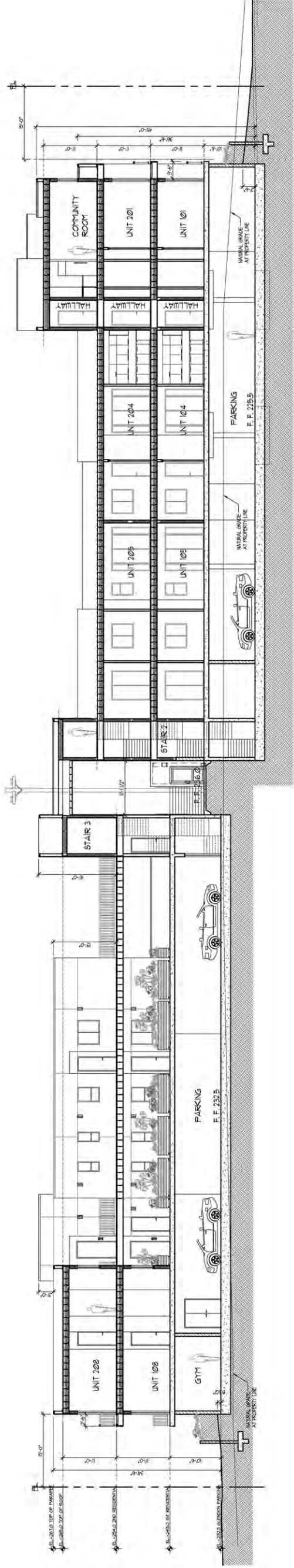


1751 S. MALCOLM AVE.,  
LOS ANGELES, CA 90024 15

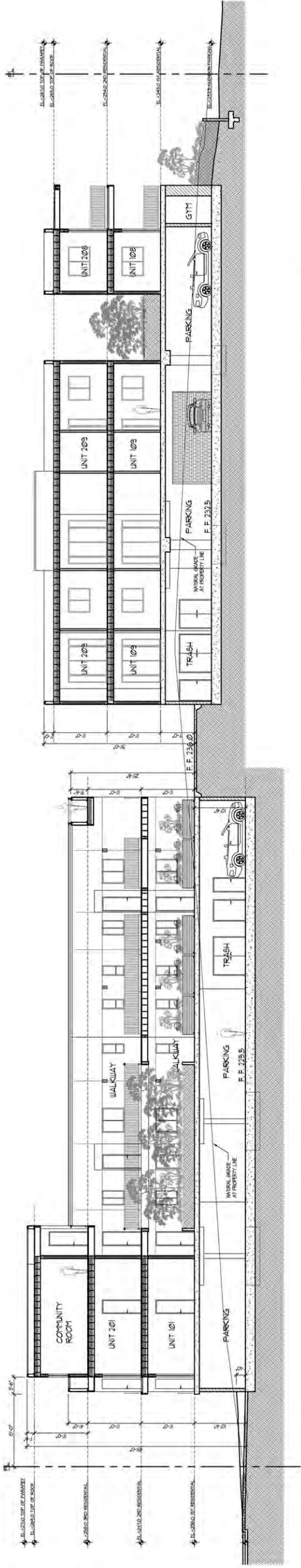




1 SECTION "A-A"  
SCALE: 3/32" = 1'-0"



2 SECTION "B-B"  
SCALE: 3/32" = 1'-0"



3 SECTION "C-C"  
SCALE: 3/32" = 1'-0"











TREES



Aloe dichotoma / Quilver tree



Aloe bainesii / Tree aloe



Archontophoenix  
cunninghamiana / King Palm



Hymenosporum flavidum /  
Sweet shade



Lagerstroemia indica /  
Crape Myrtle



Tristania conferta /  
Brisbane Box

SHRUBS



Aeonium arboreum  
'Atropurpureum' / Aeonium



Agave attenuata / Agave



Asparagus densiflorus  
'Myers' / Myers asparagus



Chondropetalum tectorum /  
Cape rush



Clivia miniata / Clivia



Juncus patens / California  
grey rush



Loropetalum c. 'Razzleberry' /  
Chinese Fringe Flower



Podocarpus gracilior /  
Fern podocarpus

GROUNDCOVERS



Aeonium mix



Carex praegracilis /  
California field sedge



Dymondia margaretae /  
Dymondia

SUCCULENT MIX



Aeonium arboreum  
'Atropurpureum' / Aeonium



Agave attenuata / Agave



Agave 'Blue Glow'



Agave cameronii



Aloe ferox



Aloe ortholopha



Aloe striatula



Cotyledon orbiculata



Crassula corymbosa  
'Campfire'



Senecio serpens  
'Blue Chalksticks'



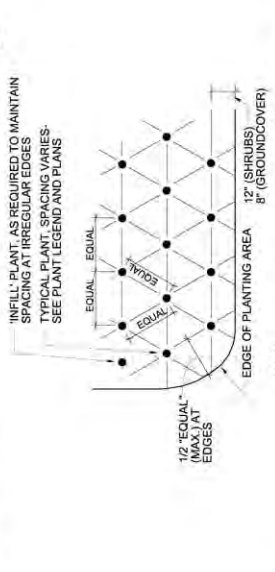
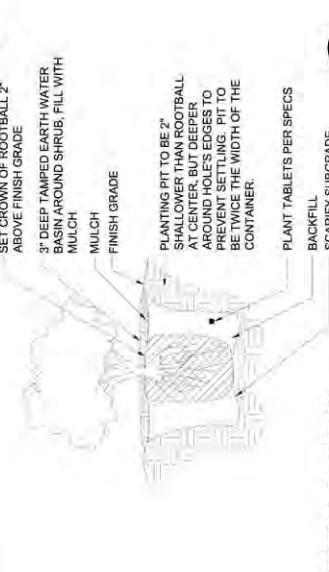
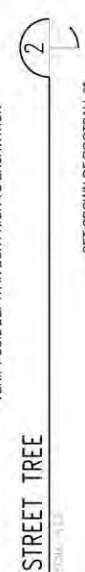
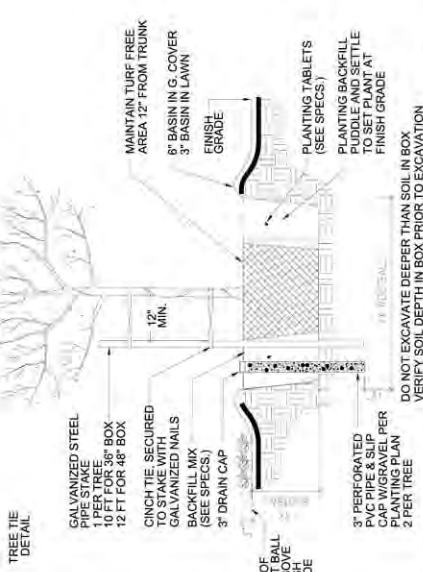












## GENERAL PLANTING NOTES

- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONFORMANCE OF THIS SPECIFICATION SHALL BE THE BASIS FOR THE CONTRACT. ANY DISCREPANCY BETWEEN THE CONTRACT AND THE ACTUAL NUMBER OF SPECIMENS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
- THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER-GROWN TREES, SHRUBS, PERENNIALS, ANNUALS, AND BEDDING PLANTS, INCLUDING ALL PLANTER ATTACHED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS, THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND ALL OWNER PRIOR TO INSTALLATION.

## GREEN BUILDING COMPLIANCE

AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

DATE \_\_\_\_\_

PAUL LEWIS, LANDSCAPE ARCHITECT



<p><b>OWNER'S MANUAL</b></p> <p><input type="checkbox"/> I hereby certify that an owner's manual, composed of: (a) web-based reference complying with the Los Angeles Green Building Code has been provided to the owner and will be placed and stored within the building; <b>OR</b></p> <p><input type="checkbox"/> No new equipment or fixture was installed in the construction of this project.</p> <p>Name: _____ Relationship to project: _____</p> <p>Company Name (if applicable): _____ State License No. (if applicable): _____</p> <p>Signature: _____ Date: _____</p>	<p style="text-align: center;"><b>LANDSCAPING</b></p> <p><b>Section A: Landscape Designer</b></p> <p><input type="checkbox"/> I certify that I am qualified by the State of California to perform landscape design services; the landscape design and water use calculations for this project were prepared by me or under my supervision; the landscape design and water use calculations comply with the requirements of the City of Los Angeles Irrigation Guidelines, and the Landscape Irrigation T-1 no landscape work performed (do not need to complete sections B or C below) <b>OR</b></p> <p><input type="checkbox"/> This project is not subject to the City of Los Angeles Irrigation Guidelines.</p> <p>Name: <b>PAUL LEWIS</b> Relationship to Project: <b>CONSULTANT</b></p> <p>Company Name (if applicable): <b>LEWIS &amp; ASSOCIATES LAND, ARCH.</b> State License # (if applicable): <b>3920</b></p> <p>Signature: _____ Date: _____</p>	<p><b>Section B: Landscape Installer</b></p> <p><input type="checkbox"/> I certify that I am qualified by the State of California to provide landscape design services; the landscape project for this project was installed by me or under my supervision; the landscaping for this identified property has been installed in accordance with the requirements of the City of Los Angeles Irrigation Guidelines, and complied with the requirements of the City of Los Angeles Irrigation Guidelines; the Certificate of Completion has been obtained in compliance with the requirements of the City of Los Angeles Irrigation Guidelines and shall be implemented.</p> <p>Name: _____ Relation to Project: _____</p> <p>Company Name (if applicable): _____ State License # (if applicable): _____</p> <p>Signature: _____ Date: _____</p>
<p><b>Section C: Owner/Representative</b></p> <p><input type="checkbox"/> I certify that I am the property owner or an authorized representative and have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is my responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.</p> <p>Signature: _____ Date: _____</p>	<p>Revised 06-30-2011 <span style="float: right;">Page 2 of 2</span></p> <p style="text-align: right;">www.ladbs.org</p>	


**LADBS**  
 DEPARTMENT OF BUILDINGS AND SAFETY  
**OWNER MANUAL/LANDSCAPE CERTIFICATION**  
**FORM GRN 12**  
 2011 Los Angeles Green Building Code  
 (This form is required at final inspection)

**LANDSCAPE IRRIGATORS**

☐ I hereby certify that the automatic irrigators are installed in such a way that they do not spray on the building.

Name: \_\_\_\_\_ Relation to Project: \_\_\_\_\_  
Company Name (if applicable): \_\_\_\_\_ State License # (if applicable): \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

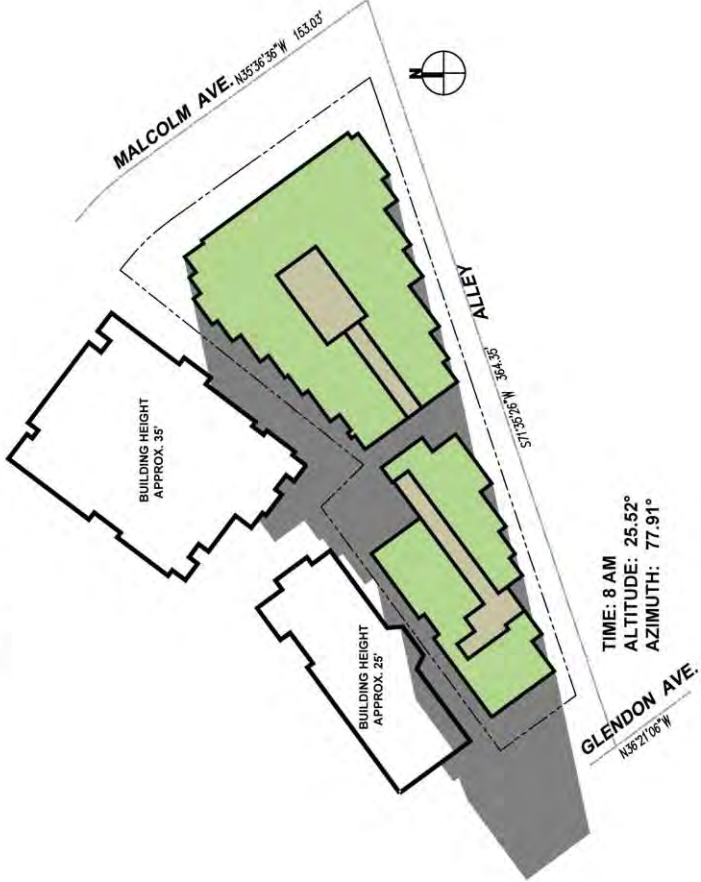
**Qualified irrigation service provider:** *The following individuals are authorized to provide services regulated by the Irrigation Guidelines in the State of California: Landscape Architects, Landscape Contractors, Landscape Designers and Irrigation Consultants. Personal property owners may design and sign plans for work on any property they own. Sections 5300.1, 5615.5, 5641.1, 5641.2, 5641.3, 5641.4, 5641.5, 5641.6, 8701, 1027.5 of the Business and Professions Code, Section 832.17 of Title 16 of the California Code of Regulations, and Section 6721 of the Food and Agricultural Code.*



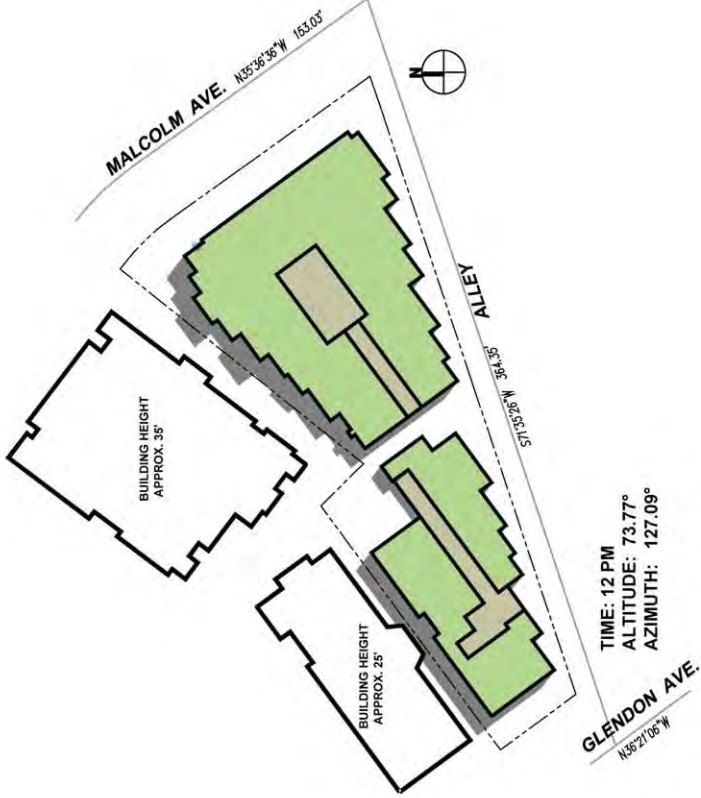
SHADOW DIAGRAMS FOR  
LATITUDE: N 34°3'2.88"      LONGITUDE:      W 118°26'7.79"  
WESTWOOD, LOS ANGELES, CA

SUMMER SOLSTICE (JUNE 21)

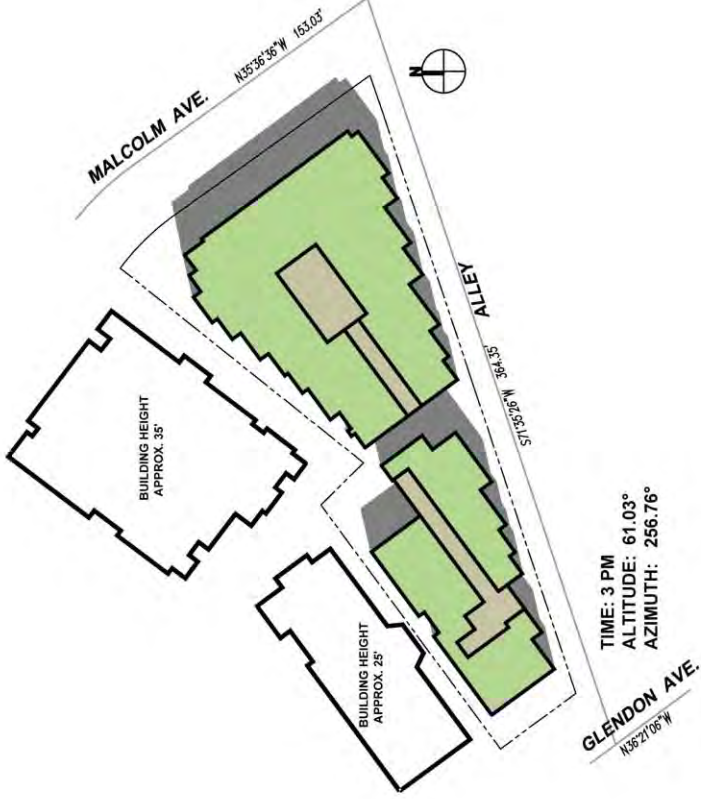
SUNRISE      - 5:44 AM  
SUN PEAK LEVEL - 12:56 PM  
SUNSET      - 8:09 PM



TIME: 8 AM  
ALTITUDE: 25.52°  
AZIMUTH: 77.91°



TIME: 12 PM  
ALTITUDE: 73.77°  
AZIMUTH: 127.09°



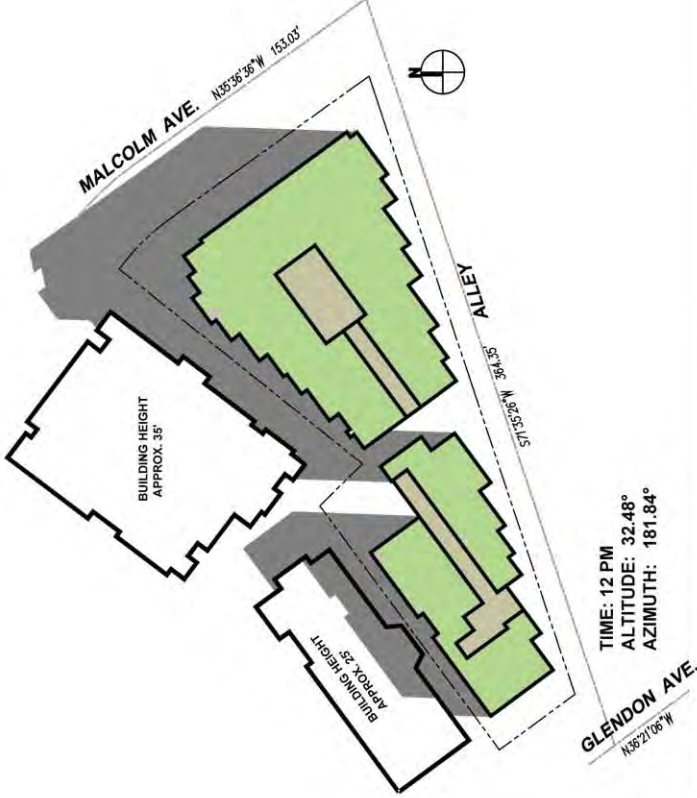
TIME: 3 PM  
ALTITUDE: 61.03°  
AZIMUTH: 256.76°

WINTER SOLSTICE (DECEMBER 21)

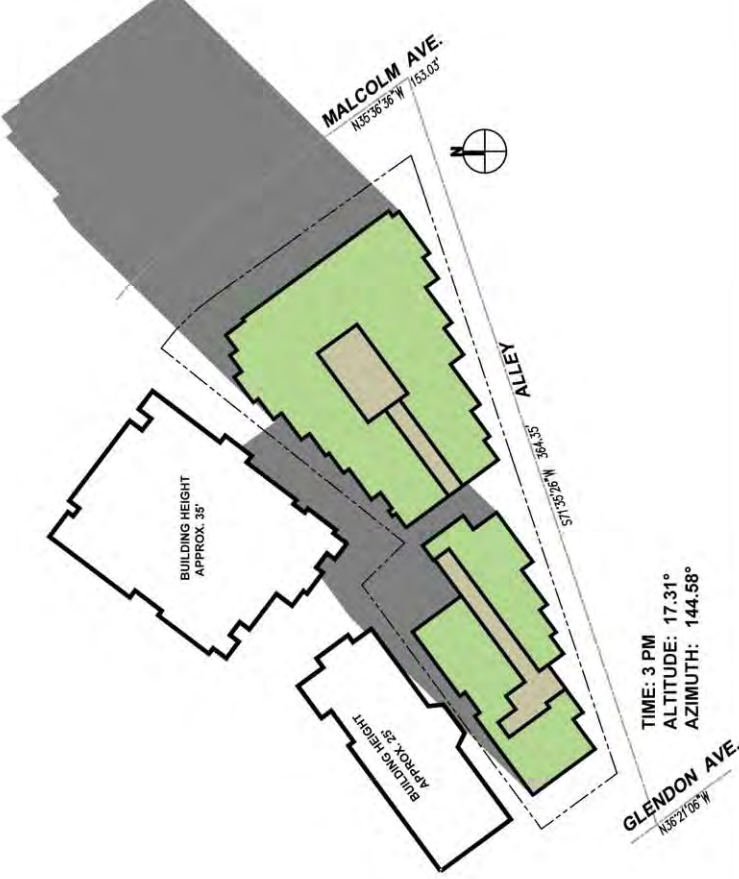
SUNRISE      - 6:57 AM  
SUN PEAK LEVEL - 11:53 AM  
SUNSET      - 4:49 PM



TIME: 8 AM  
ALTITUDE: 10.18°  
AZIMUTH: 127.54°

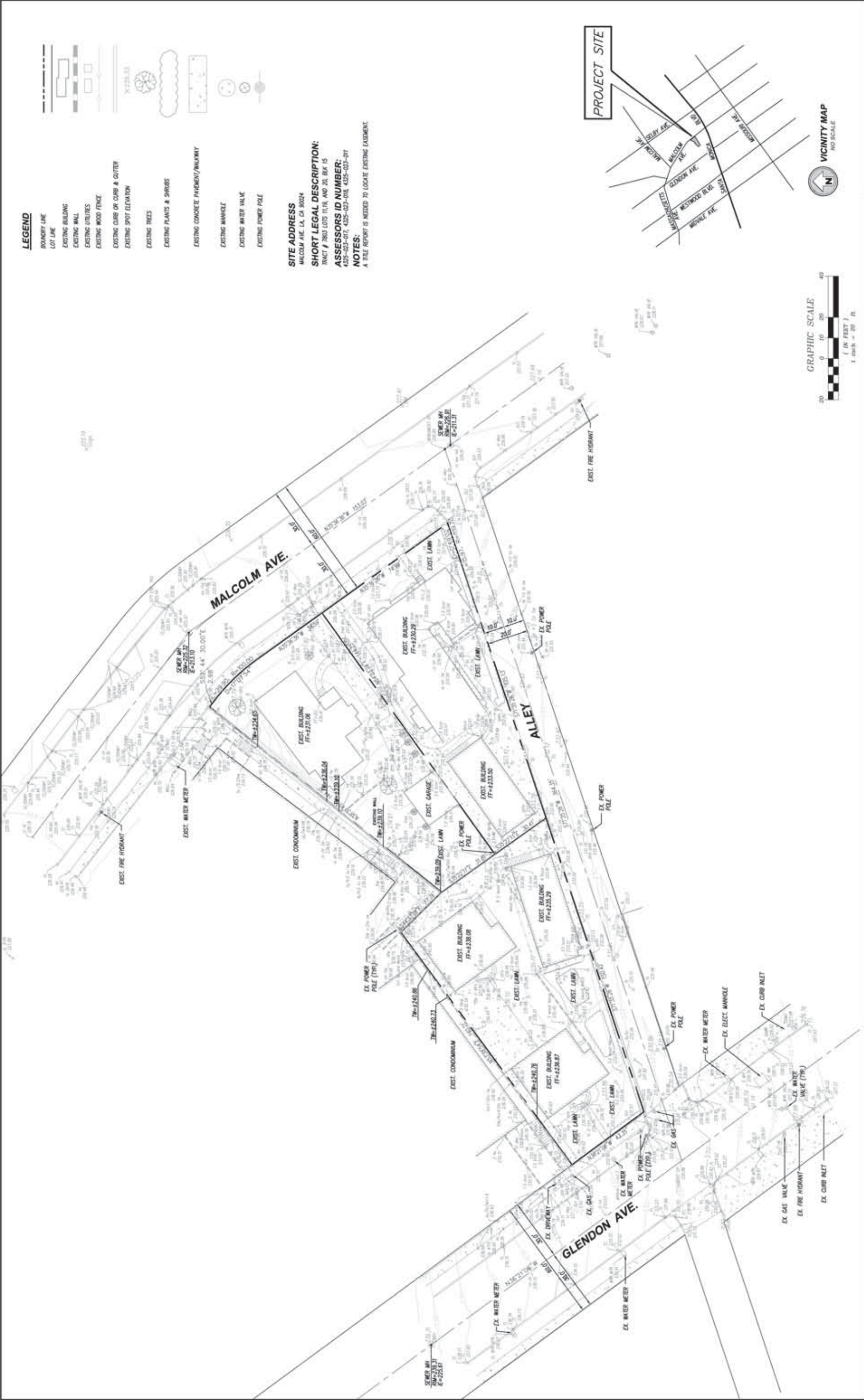


TIME: 12 PM  
ALTITUDE: 32.48°  
AZIMUTH: 181.84°



TIME: 3 PM  
ALTITUDE: 17.31°  
AZIMUTH: 144.58°





LEGEND

- BOUNDARY LINE
- LOT LINE
- EXISTING BUILDING
- EXISTING WALL
- EXISTING UTILITIES
- EXISTING WOOD FENCE
- EXISTING CURB OR CURB & GUTTER
- EXISTING SPOT ELEVATION
- EXISTING TREES
- EXISTING PLANTS & SHRUBS
- EXISTING CONCRETE PAVEMENT/PAVEMENT
- EXISTING MANHOLE
- EXISTING WATER VALVE
- EXISTING POWER POLE

**SITE ADDRESS**  
MALCOLM AVE. LA. CA 90024

**SHORT LEGAL DESCRIPTION:**  
TRACT # 7803 LOTS 11, 18, AND 20, Bk 15

**ASSESSORS ID NUMBER:**  
425-403-011, 425-403-012, 425-403-011

**NOTES:**  
A TITLE REPORT IS NEEDED TO LOCATE EXISTING EASEMENT.

**J&B**  
ENGINEERS & SURVEYORS

TOPOGRAPHIC SURVEY OF:  
**1751 MALCOLM AVENUE, LOS ANGELES CA 90024**

DATE	BENCHMARK:
10/8/2013	DESCRIPTION: WIRE SPR. S. CURB HOLMAN AVE. ABOUT 100 FT. W. OF SELBY AVE. 0.6 FT. E. OF BC CURB RET. E. OF MALCOLM AVE. ELEVATION: 258.031 DATUM: NGVD 1929