

Los Angeles Department of City Planning

200 North Spring Street Los Angeles, CA 90012

PUBLIC NOTICE

WESTWOOD COMMUNITY DESIGN REVIEW BOARD

Board Members: Doug Dworsky, Bob Mirdamadi, James Grant, Adam Moos, Alex Wuo, Michael Metcalfe, Julia Shuart

Date: March 15, 2017 Location: Belmont Village Senior Living Westwood Time: 6:00 p.m.

10475 Wilshire Blvd. 90024 (Free Parking)

AGENDA

Call to Order (Chair)

2. Review of Agenda

Planning Department Staff Communication 3.

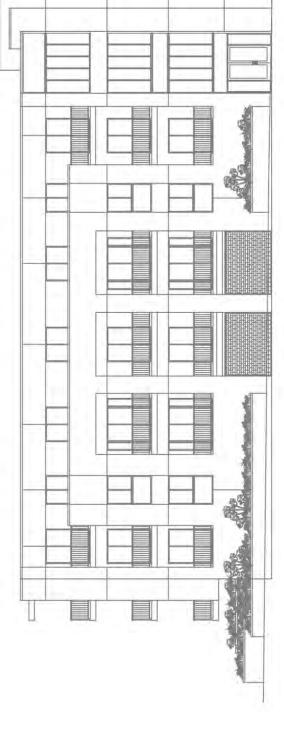
Public Hearing

- a. DIR-2016-3573-DRB-SPP (540-550 S. Landfair Ave.)- FINAL REVIEW for the demolition of two, two-story apartment buildings containing a total of 22 units and the construction of two new apartment buildings (East Building 5-stories, West Building 6-stories) containing a total of 21 units over four levels of shared subterranean parking. Continued from the meeting of February 15, 2017 (Applicant's Representatives: Jamie Myer, Myer Architects)
- b. DIR-2017-342-DRB-SPP (1751 S. Malcolm Ave.)- FINAL REVIEW for the demolition of two (one, one-story and one, twostory) multi-family buildings and the construction of two, new (one, two-story and one, three-story) apartment buildings totaling 18 units over street level parking. (Applicant: Uri Harkham, Representative: Lilia Grigoryan, Alajajian-Marcoosi **Architects Inc.)**
- 5. Public Comment Period*
- 6. Adjourn

Next meeting: April 19, 2017 (Pending submission of new casework)

*The DRB shall provide an opportunity in open meetings for the public to address on items of interest to the public that are within the subject matter and jurisdiction of the DRB. Individual testimony within the discretion to modify the time allotted on each subject, to each speaker and the number of speakers per subject. Items may be called in any order at the discretion of the DRB chairperson. EVERY PERSON WISHING TO ADDRESS THE BOARD DURING THE MEETING MUST COMPLETE A SPEAKER'S CARD AND SUBMIT IT TO THE CITY PLANNING STAFF.

Under the provisions of the Brown Act (Gov. Code Sec. 54959-54960), the Westwood Community Design Review Board is a "legislative body" and must: 1) Conduct all quorum meetings in public; and 2) Post all agenda items or issues considered for discussion seventy-two (72) hours before public meetings. Public notices are posted at the Offices of the Planning Department, the lobby of City Hall East, at the appropriate Council Office, and on the Planning Department Website: Department of City Planning City Hall Room 721, 200 N. Spring Street, Los Angeles, CA 90012 Internet: http://cityplanning.lacity.org Staff Contact: Matthew Quan Tel: 213.978.1320 Fax: 213.978.1320 E-mail: matthew.quan@lacity.org • Council District Office (CD #5) 822 S. Robertson Blvd., Suite 102 Los Angeles, CA 90035 Tel. 310.289.0353PLANS AND MATERIALS OFFICIALLY SUBMITTED FOR THE ABOVE REFERENCED CASES CAN BE MADE AVAILABLE FOR REVIEW AT THE DEPARTMENT OF CITY PLANNING OFFICE AND THE COUNCIL DISTRICT OFFICE. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized, or in written correspondence on the matters delivered to this agency at or before the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate. The meeting facility and its parking are wheelchair accessible. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three (3) working days prior to the meeting by calling the staff person referenced in this notice. Traductores u otro tipo de servicio puede ser proveído si se solicita. Para asegurar que este tipo de servicio sea disponible, favor de solicitarlos por lo menos 3 días (72 horas) antes de la audiencia llamando al teléfono mencionado. [DIR: Director of Planning Determination; DRB: Design Review Board; SPP: Specific Plan Project Permit Compliance; SPPA: Specific Plan Project Permit Adjustment; COA: Certificate of Appropriateness; DB: Density Bonus]



MILTI - FAMILY RESIDENTIAL OT / OTIES (TRA) 00061

PROPERTY TYPE REGION / CLIBITER TAX RATE AREA

S.F.

BUILDING 3: 154

1941 / 1941

YEAR BUILT/EFFECTIVE YR.

BUILDINGS

PAUL LENIS & ASSOCIATES 13351-O RIVERSIDE DR, #445, SHERMAN OAKS, CA 91423 TEL. (BIÐ)T80-4382 FAX. (BIÐ)T80-3217 E-MAIL: P. 91423-664AIL.COM

SURVEY

4325-023-018 1749 MALCOLM AVE, LOS ANGELES, CA 90024

ASSESSOR'S ID NO. SITE ADDRESS

SAMIR D. BONELIIP PE., SE. REIS BROWN ENPERII INC. 19480 VENTRA BLVD., SUITE 350 TARZANA, CA 91356 TEL. (818) 157-1501 EXT., 25 FAX. (818) 157-1504

LANDSCAPING

STRUCTURAL ENGINEER

MULTI - FAMILY RESIDENTIAL OT / OT430 (TRA) 00061

PROPERTY TYPE PEGION / CLUSTER TAX PRATE AREA

JEB ENGINERS, SIRVETORS 18670 DANIESON ST. SUITE 6 POWAT, CA 42064 TEL (868)59-174 LBSIRVET@SECOLOBAL NET

BUILDINGS

CIVIL ENGINEER

BUILDING *4" 1,050 9.F. BUILDING *5" 1,050 9.F. BUILDING *6" 1,282 9.F.

10024

4325-023-011 ITT2 GLENDON AVE. LOS ANGELES, CA 90

ASSESSOR'S ID NO. SITE ADDRESS

MLTI - FAMILY RESIDENTIAL 01 / 01430 (TRA) 00061

PROPERITY TYPE REGION / CLUSTER TAX RATE AREA

ALALIAN-MARCCOSI ARCHITECTS INC. 320 W. ARDEN AVENE, SUITE IZO GLENDALE, CA 41203 TEL (80) 244-5130 FAX (818) 351-613 E-MAIL, ARAMARAATTAET

ARCHITECT

HARKHAM FAMILY BNTERPRISES LP 857 SAN PEDRO ST., SUITE 300 LOS ANGELES, CA 90014

OWNER

BUILDING "1" 1941 / 1942 BUILDING "2" 1943 / 1944

YEAR BUILT/EFFECTIVE YR.

BUILDING "A" 2,401 S.F. BUILDING "B" 1,077 S.F.

1751 S.MALCOLM AVE., LOS ANGELES CA 90024

PROJECT SUMMARY

PROJECT DESCRIPTION

APPLICABLE CODE

PROJECT IS BASED ON THE 2013 CALIFORNIA BUILDING CODE STANDARDS

PARCEL 2: TRACT # 1803 LOT 20 BLK I5 APN 4325023016

PARCEL I.
TRACT # 1803 LOT 19 BLK IS
APN 4325023017
PARCEL 2:
TRACT # 1803 LOT II BLK IS
APN 4325023011

LEGAL DESCRIPTION

/ 1938 / 1938 / 1941

BUILDING "4" 1939 / BUILDING "5" 1938 / BUILDING "6" 1940 /

YEAR BUILT/EFFECTIVE YR.

HAYK MARTIKOSIAN TECHNA LAND CO, INC. 1545 N. VIRONGO RO, SUITE 2 6LENDALE, CA el 1208 TEL (8)0 551-074 E-MAIL, HAYK@TECHNALAND.COM

ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH THE HEALTH & SAFETY CODE (MSC) SECTION 13145, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19, TITLE 24.

PART 1 CALIFORNIA ADMINISTRATION CODE (CAC)

GEDOALE BILDING CODE (64C) (2013 BC MTH 2013 CALFORNA ARBOHENTS)
CALFORNA ELECTRICAL CODE (CAC) (2013 NAC MTH CALFORNA ARBOHENTS)
CALFORNA MECHANICAL CODE (CAC) (2013 NAC MTH CALFORNA ARBOHENTS) CALIFORNIA PLIMBING CODE (CPC) (2018 UPC MITH CALIFORNIA AMERITMENTS) PART 2 PART 3

2013 BERGY BEFCIENCY STANDARDS CALIFORNIA BLEVATOR CODE (CELVC)

COMMINITY PLAN AREA WESTWOOD GENERAL PLAN LIAND USE LON MEDIUM II RESIDENTIAL GENERAL PLAN LIAND USE LON MEDIUM II RESIDENTIAL MEDICAL LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION MESTINGOD COMMINITY DESIGN PEVIEW BOARD MESTINGOD COMMINITY DESIGN PEVIEW BOARD DEVILLOPMENT STANDARDS.

JURISDICTIONAL

THIS IS NOT A PUBLIC FACILITIES OUNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL. THE PROJECT IS 100% PRIVETLY HANDED.

NATIONAL FIRE PROTECTION ASSOCIATION, CHAPTERS 13, 35, AND 12, 2002 EDITION CALIFORNIA ORDEN BUILDING STANDARD CODE(2013 EDITION WITH AND VEHICLE) CALIFORNIA FIRE CODE (CFC) (2013 IFC WITH CALIFORNIA AMENDMENTS) PART 5
PART 5
PART 6
PART 7
PART 7
PART 11

COMMON OPEN SPACE

VICINITY MAP

SHEET INDEX

TYPE VA / I-A SPRINLER THROUGHOUT NFPA-13R R2/ 5-2 REDIDENTIAL. 24.214 & 50. FT. [0] RDI 5-1 36-0" 36-0" 15620 / 24,214.8 = 1,01 15620 / 24,214.8 = 64,5% PER PLANING HEIGHT: BUILDING HEIGHT: F.A.R. LOT COVERAGE CONSTRUCTION: OCCUPANCY: AREA:

24214.8 + 2857.3 = 27,072.1 ALLOWABLE UNITS: 27,072.1 / 1500 = 18.04 = 18 UNIT PROVIDED PARKING REQUIRED:

BUILDING "A" & "B" = 18 ---- 2 1/4
TWO BEDROOM WITS: = 18 ---- 2 1/4
GUEST PARKING : = 18 ---- 1/4
TOTAL REGUIRED PARKING SPACES. PROVIDED:

ONE AUTOMOBILE STALL WAS REPLACED WITH 6 LONG TERM BICYCLE PARKING. BUILDINGS MAY NOT REPLACE MORE THAN 10% OF THE REQUIRED AUTOMOBILE PARKING WITH BICYCLE PARKING STANDARD - 20 STALLS
COMPACT - 17 STALLS
ADA - 3 STALLS
TOTAL - 44 STALLS

BICYCLE PARKING REQUIRED LONG TERM (ONE PER UNIT) = 18 SHORT TERM(ONE PER 10 UNITS) = 2

PROVIDED: LONG TERM 24 PARKING SHORT TERM 2 PARKING BUILDING "A" & "B"; BUILDING AREAS:

1,025 SQ.FT. > 6,300 SQ.FT.

1502 50. FT. 352 50. FT. 283 50. FT. 1,748 50. FT. 2,453 50. FT. 687 50. FT.

IST FLOOR LIVABLE AREA, 2ND FLOOR LIVABLE AREA 3RD FLOOR COMMON ARE, OTAL LIVABLE AREA.

1,124 SQ, FT, (17.8%) 1,575 SQ. FT.

3,179 SQ. FT.

3,489 SQ. FT. > 3,179 SQ. FT.

REAR SETBACK: 15 FT. SIDE SETBACK: 5 FT. + 1 FT.= 6 FT. (FOR 3RD FLOOR) FRONT SETBACK: 15 FT. YARD REQUIREMENTS RDIS:

LOS ANGELES, CA 90024

1751 S. MALCOLM AVE.,

GATHER FOR SOCIAL, RECREATIONAL ACTIVITIES.

THE PROJECT IS BY RIGHT AND MEETS ALL ZONING
REGULATIONS, ALL SETBACK REQUIREMENTS, 45' BUILDING
HEIGHT WITH AN ADDITIONAL 4" FOR ROOF ACCESS,
ELEVATOR STRUCTURE ARE PROVIDED. THE PROJECT IS IN
ACCORDANCE WITH THE PROVISIONS OF THE WESTWOOD
COMMUNITY PLAN.

THE PROPOSED PROJECT REPRESENTS CONTEMPORARY
STYLE OF ARCHITECTURE CHARACTERIZED BY SIMPLIFICATION
OF FORMS AND ARTICULATION GREATING AN INTERESTING
SCULPTURED DESIGN FAÇADE. THE USE OF VARIOUS
MATERIALS SUCH AS DIFFERENT COLOR OF CEMENT PLASTER,
GLASS, METAL RALLINGS, AND GRILLS WILL ENHANCE THE
CONCERT OF MODERNISM. THE PROJECT RESPECTIVILITY
REFLECTS THE NEIGHBORHOOD ARCHITECTURAL STYLES,
COLOR SCHEMES, BUILDING HEIGHT WHICH IS LOWER ON THE PROPOSED PROJECT IS A NEW RESIDENTIAL BUILDING, TWO STORIES ON GLENDON AVENUE, THREE STORIES ON MALCOLM AVENUE, THREE STORIES ON MALCOLM AVENUE DOCATED WITHIN WESTWOOD NEIGHBORNHOOD. THE SITE IS ADJACENT TO THE MULTIFAMILY RESIDENTIAL HOWES ON MALCOLM AVENUE, GLENDON AVENUE AND TO THE NORTH AND TO COMMERCIAL ZONE TO THE SOUTH WITH AN ALLEY BETWEEN THEM.

THERE ARE II WITS WITHIN 6 EXISTING MULTIFAMILY BUILDINGS, I AND 2 STORIES ON THE SITE. ALL EXISTING BUILDINGS MILL BE DEMOLISHED.

THE PROPOSED PROJECT CONSISTS OF 18 UNITS, 2 BEDROOM APAREMENTS MITH STREET LEVEL PARKING GARAGES OFFERING 44 PARKING SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM AND 2 SHORT TERM BICYCLE SPACES, 24 LONG TERM SPACED OF AND SPACED THE SPACES THOORY FOR A PARKING SPACED OF THE SPACES THOORY TO AN EXTERIOR BALCONY. THE PRIVATE POOL AND SPACED THE SPACES THOORY FOR A PARKING SPACES THOORY TO AN EXTERIOR BALCONY. THE PRIVATE POOL AND SPACED THE SPACES THOORY FOR A PARKING SPACES THOORY TO AN EXTERIOR BALCONY. THE PRIVATE POOL AND SPACES THOORY TO AN EXTERIOR BALCONY. THE PRIVATE OF AND SPACES THOORY FOR A PARKING SPACES. ACCESSIBILITY TO ALL UNITS. THERE ARE TWO PRIVATE GYMS, ONE IS LOCATED ON THE GROUND FLOOR, AND SECOND ONE IS ON THE THIRD FLOOR. A COMMUNITY ROOM IS ALSO PROVIDED ON THE THIRD FLOOR IN WHICH RESIDENTS MAY GLENDON VICINIES, CALCULM AVENUE. THE BUILDING WILL INCORPORATE MANY SUSTAINABLE STRATEGIES, HIGHLY EFFICIENT BUILDING SYSTEMS, ETC.

THE LANDSCAPE COMPLIMENTS THE BUILDING DESIGN ORDERING ORSERVILLY SELECTED COMPLIETE THE DESIGN ELEMENTS CAREFULLY SELECTED ARCHITECTURE. THE DREQUENT TOLERANT LANDSCAPING DESIGN WILL BE INTEGRATED IN TO THE SCHEME AT THE GROUND LEVEL AND AT PLANTERS, GARDEN. ONE HALF OF THE WIDTH OF AN ALLEY OR ALLEYS MAY BE ASSUMED TO BE A PORTION OF A LOT FOR COMPUTING THE NAMBER OF DWELLING UNITS WHEN THE LOT ABUTS UPON ONE OR MORE ALLEYS.

CAPE NOTES AND DETAILS AND SHADOM STUDY

REQUIRED COMMON OPEN SPACE 350 SQ.FT. PER UNIT 18x350= 6,300 SQ.FT.

FROWINGS BACK YARD STREET LEVEL 6YM POOL, COURT YARD, ETC. 3RD FLOOR COMMUNITY RM, & 6YM ADDITIONAL AREA REGUIRED LANDSCAPING (50% OF OPEN SPACE) PROVIDED LANDSCAPING 1/4 OF COMMUNITY ROOM AND GYM MODIFICATION TO USE COMMUNITY ROOM IN LIEU OF OPEN AREA TOTAL OPEN SPACE PROVIDED:

ALAJAJIAN MARCOOSI ARCHITECT









SUBJECT

POICZ-1VIL-O

LOJCZ-1VL-O

0"

ZONING MAP

LACounty Street Map •

5







PHOTO 1 / GAS STATION



EXISTING BUILDING TO BE DEMOLISHED

PHOTO 3 /



PHOTO 4 / ADJACENT NEIGHBOR AT MALCOLM



PHOTO 5



PHOTO 6

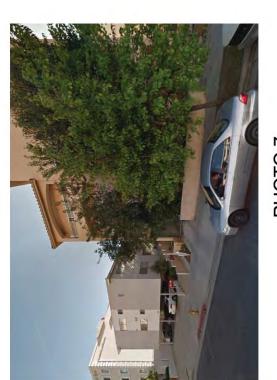


PHOTO 7



PHOTO 8



PHOTO 9

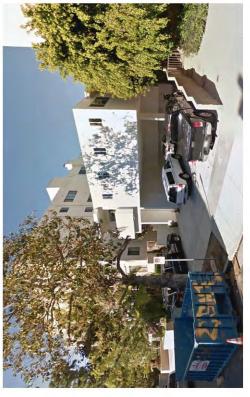


PHOTO 10



PHOTO 11



PHOTO 12



PHOTO 13 / EXISTING BUILDING TO BE DEMOLISHED

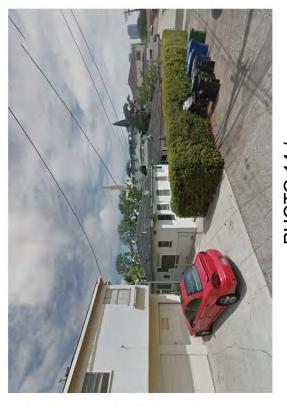


PHOTO 14 / EXISTING BUILDING TO BE DEMOLISHED



PHOTO 15 / EXISTING BUILDING TO BE DEMOLISHED



ADJACENT NEIGHBOR AT GLENDON **PHOTO 16** /



PHOTO 17



PHOTO 18

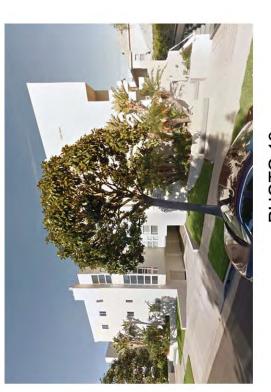


PHOTO 19



PHOTO 20



PHOTO 21



PHOTO 22

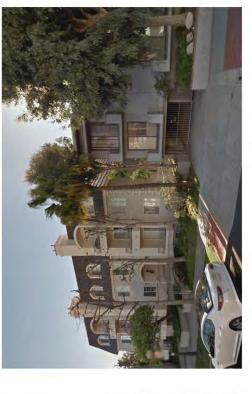


PHOTO 23



PHOTO 24

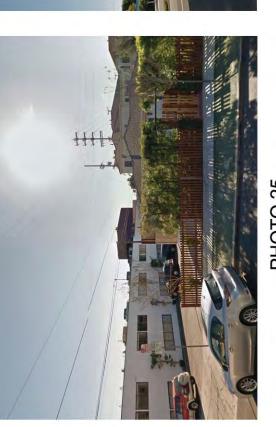


PHOTO 25



PHOTO 26



PHOTO 27







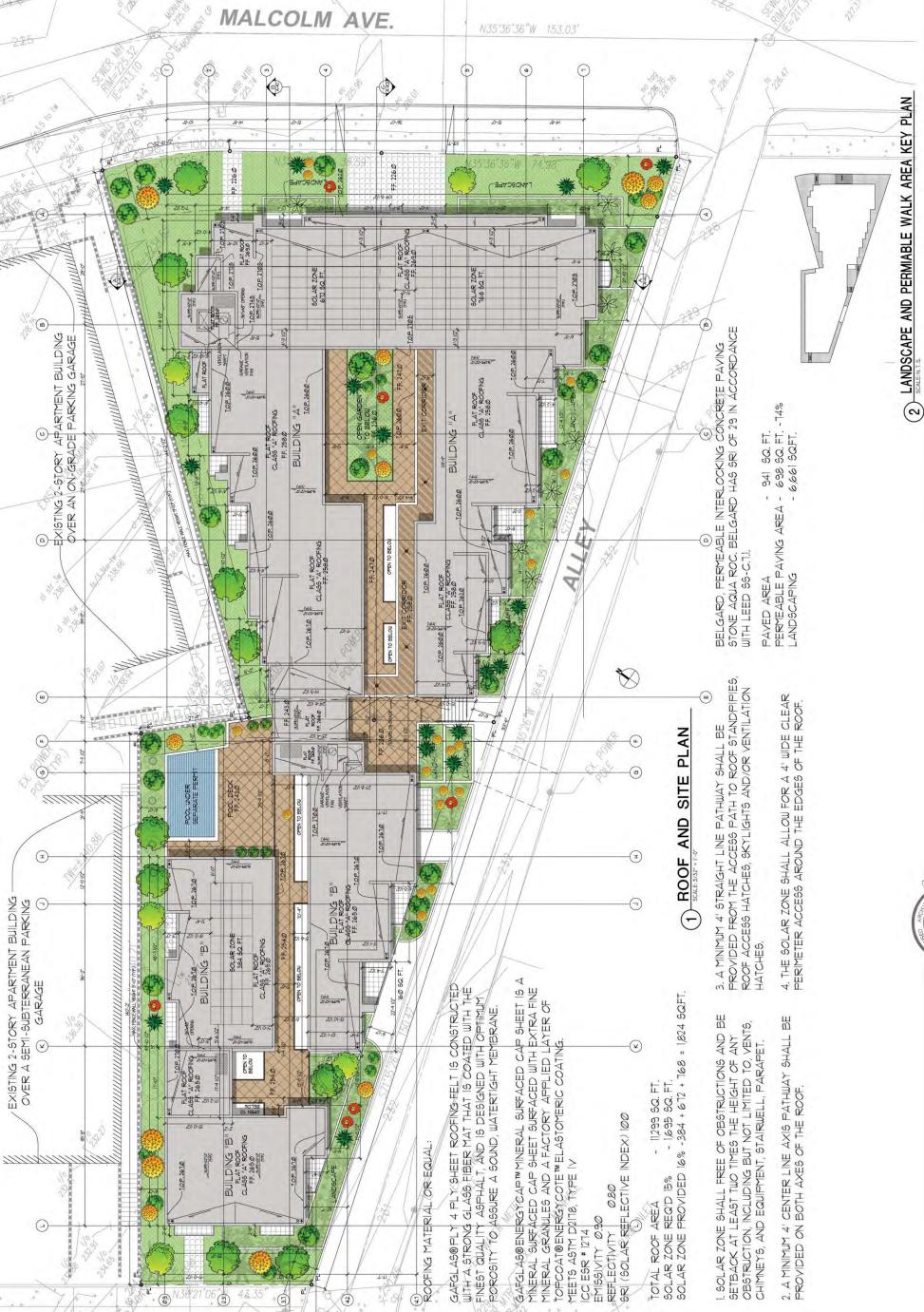












60

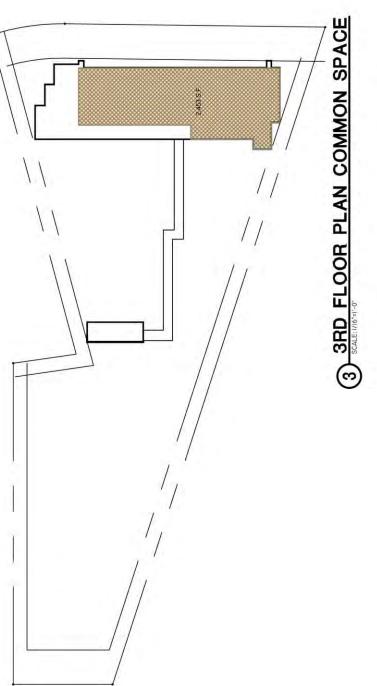
(3)

(FE)

(4)

0





MALCOLM AVE.

GLENDON AVE.

OPEN SPACE 455 S.F ALLEY 1,575 SQ. FT. 7,025 SQ.FT. > 6,300 SQ.FT. 408 S.F. |,502 50. FT. 352 50. FT. 283 50. FT. |,748 50. FT. 2,453 50. FT. 687 50. FT. REQUIRED COMMON OPEN SPACE 350 SQ,FT. PER UNIT 18x350= 6,300 SQ,FT. PROVIDED:
FRONT YARD
BACK YARD
STREET LEVEL 6YM
POOL, COURT YARD, ETC.
3RD FLOOR COMMUNITY RM. & GYM
ADDITIONAL AREA TOTAL OPEN SPACE OPEN SPACE: GLENDON AVE. MALCOLM AVE.

OPEN SPACE 455 S.F.

86 S.F.

325 S E

GLENDON AVE.

1.9.1

ALLEY

ACE

(1) GARAGE FLOOR PLAN COMMON SP

LLEY

MALCOLM AVE.

1/4 OF COMMUNITY ROOM AND 6YM MODIFICATION TO USE COMMUNITY ROOM IN LIEU OF OPEN AREA

LANDSCAPING (50% OF OPEN SPACE)
PROVIDED
LANDSCAPING REQUIRED

3,179 SQ. FT.

(4) 1ST FLOOR LANDSCAPING

1,124 SQ. FT. (17.8%)

3,489 SQ. FT. > 3,179 SQ. FT.

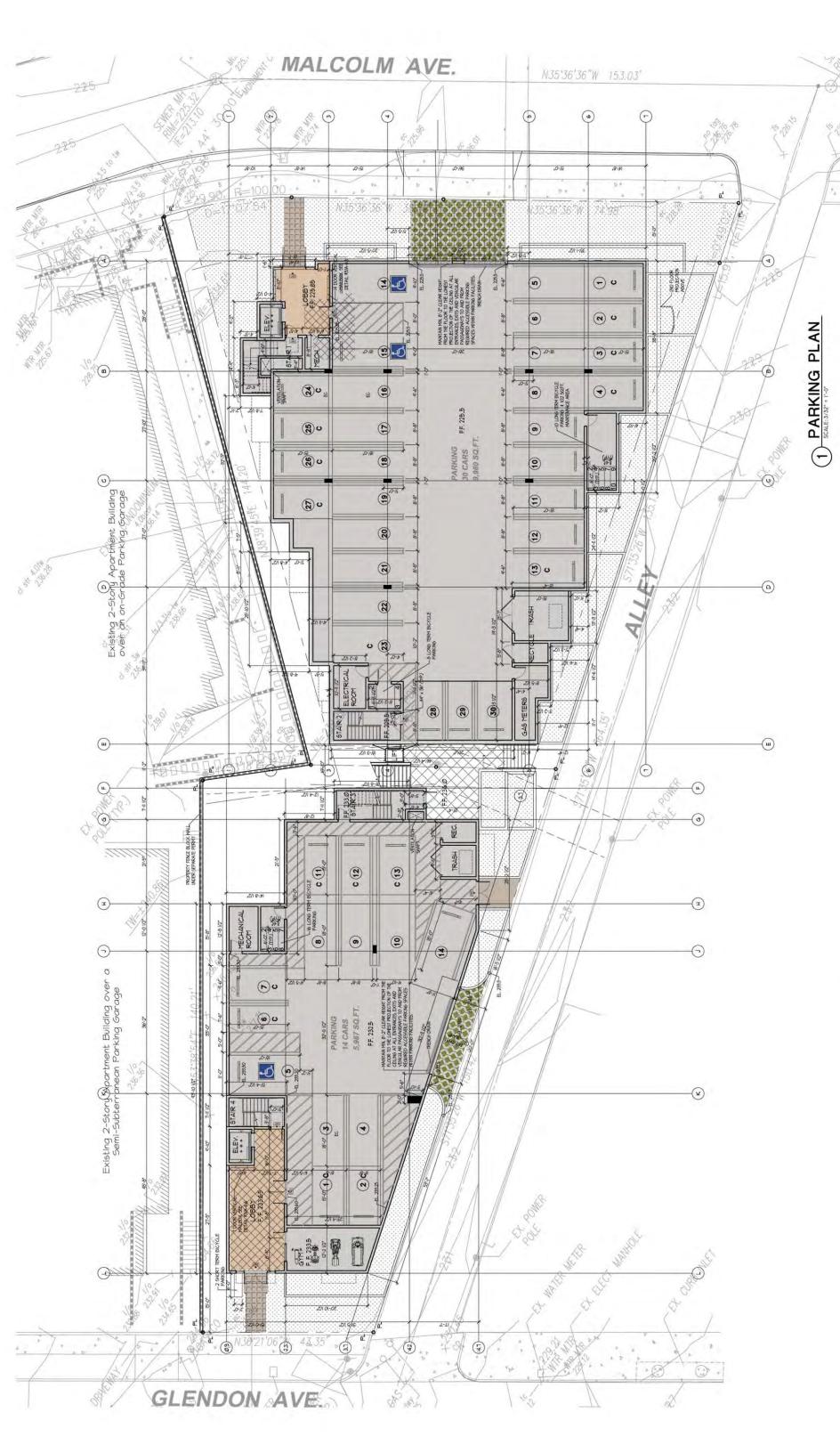






1ST FLOOR OPEN SPACE PLAN



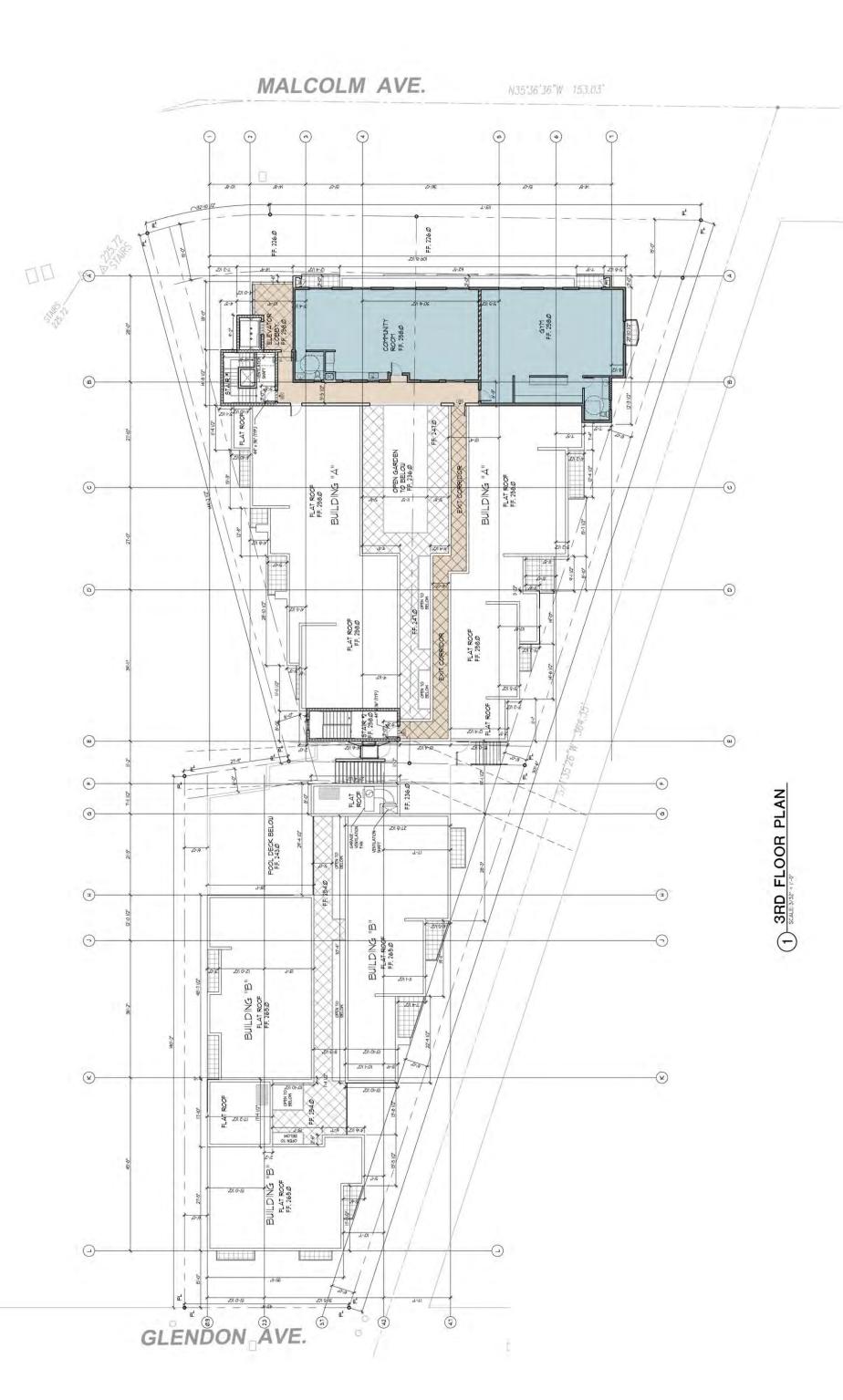


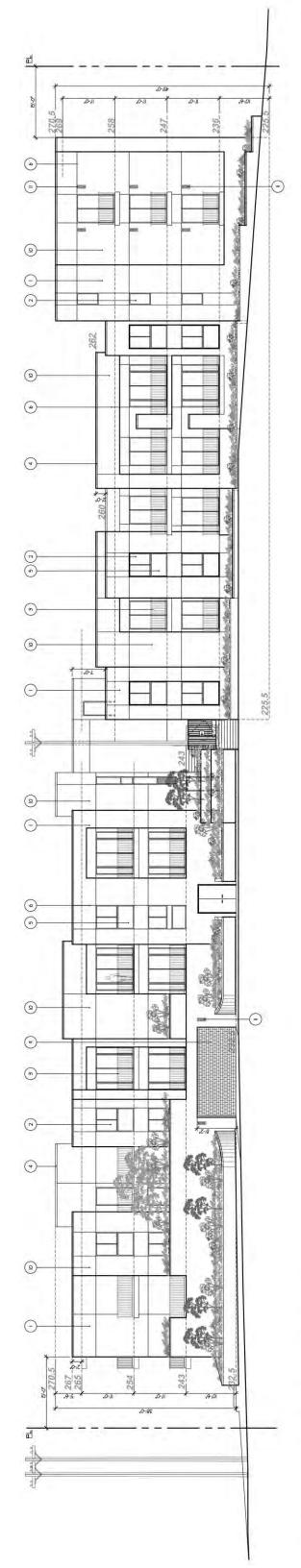












SOUTH-EAST ELEVATION SCALE:5/32" = 1-0"

EXTERIOR FINISH MATERIALS SPECIFICATION:

ď

(10)

(b)

- 1/8 THICK STEEL TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DIAN EDWARDS DE6211 LIGHT BEIGE.
- (2) ARCHITECTIRAL SPRIES FLETIVOOD ALIMINIM DOORS AND WINDOMS PACIFIC. 3500" DOORS, CLASS I POWDER COAT PAINT. EVEREST 850 MINDOMS CLASS I POWDER COAT PAINT.
- (3) MIN 42" HIGH STEEL TUBE RAILING PRIMED AND PAINTED "DUNN EDWARDS" DECT56 WEATHERED BROWN.
 - (4) 20 64 6.1 COPING , W 4" FACE SHOWING, PRIMED AND PAINTED "DUNN EDWARDS" DECISG WEATHERED BROWN.
- (5) SPANDREL GLASS BACK PAINTED COLOR TO MATCH COLOR OF VISION GLASS IN SHADE.
 - (6) "TRY REGLET", \$'X \$'X \$' CLEAR ANODIZED ALUMINIM REVEAL.
 - (1) 4" HIGH, 34" STROKE, STAINLESS STEEL ADDRESS NIMBERS
 - (8) ALUMINUM FRAMED CURTAIN WALL (SPANDREL GLASS)

1735 MALCOLM

- (4) ROLL-UP DOOR, MAINTAIN MIN, 8-2° RROM THE FLOOR TO THE LOWEST PROJECTION OF THE CELLING AT ALL BITRANCES, EXITS AND YEHICULAR PASSAGEMAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES MITHIN PARKING FACILITIES.
 - (D) 1/6 THCK STEL TRANLED SWOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DINN EDWARDS DE6339 LEGENDARY GRAY,

(=)

(II) WALL MOUNTED LIGHT FIXTURE

(2) NORTH-EAST ELEVATION

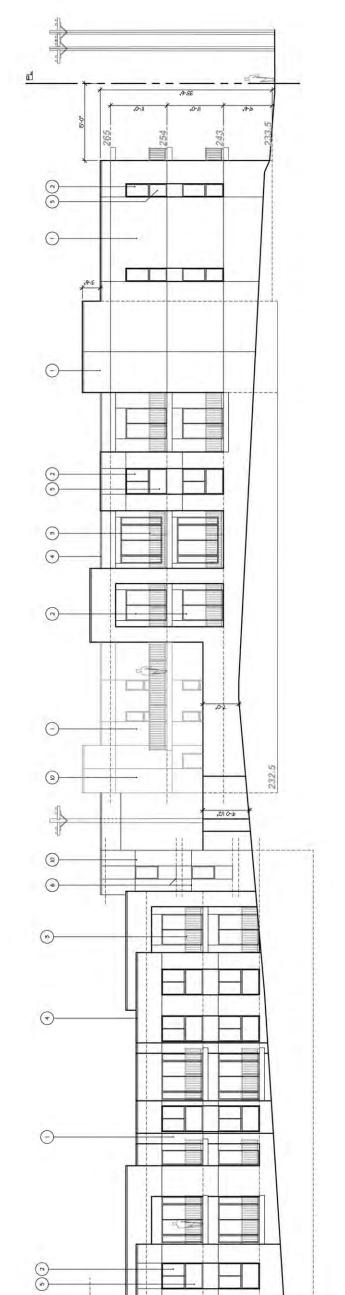


ALAJAJIAN MARCOOSI ARCHITECT









(a)

(a)

0

1) NORTH-WEST ELEVATION

247

EXTERIOR FINISH MATERIALS SPECIFICATION:

(E)

0000

=

- (1) 7/8 THICK STEEL TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STICCO, COLOR TO MATCH DINN EDWARDS DE6211 LIGHT BEIGE.
- ARCHITECTIRAL SERIES FLEETWOOD ALIMINIM DOORS AND MINDONS PACIFIC 3500" DOORS, CLASS I POWDER COAT PAINT.
 EVEREST 850 MINDONS CLASS I POWDER COAT PAINT.
- MIN. 42" HIGH STEEL TUBE RAILING PRIMED AND PAINTED "DUAN EDWARDS" DECT56 WEATHERED BROWN.

 - (4) 20 6A 6.1 COPINS, IVI 4" FACE SHOWINS, FRINED AND PAINTED "DUNN EDMARDS" DECTS6 WEATHERED BROWN.
- (5) SPANDREL 61.ASS BACK PAINTED COLOR TO MATCH COLOR OF VISION 61.ASS IN SHADE.
 - (6) "FRY REGLET", 4"X 4"X 2" CLEAR ANODIZED ALIMINIM REVEAL.
- (1) 4" HIGH, 34" STROKE, STAINLESS STEEL ADDRESS NAMBERS
- (B) ALUMINIM FRAMED CURTAIN WALL (SPANDREL GLASS)

,0-,01

1768 GLENDON

- (4) ROLL-UP DOOR, MAINTAIN MIN. 8-2" FROM THE FLOOR TO THE LOWEST PROJECTION OF THE CELLING AT ALL BITRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN PARKING FACILITIES.
 - (D) 1/8 THICK STEEL TRAW ED SWOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STICCO, COLOR TO MATCH DINN EDWANDS DE6339 LEGENDARY GRAY.
 - (II) WALL MOUNTED LIGHT FIXTURE.

SOUTH-WEST ELEVATION
SCALE:3/32" = 1'-0'

PARKING

NATIRAL BRADE --

F. F. 2255

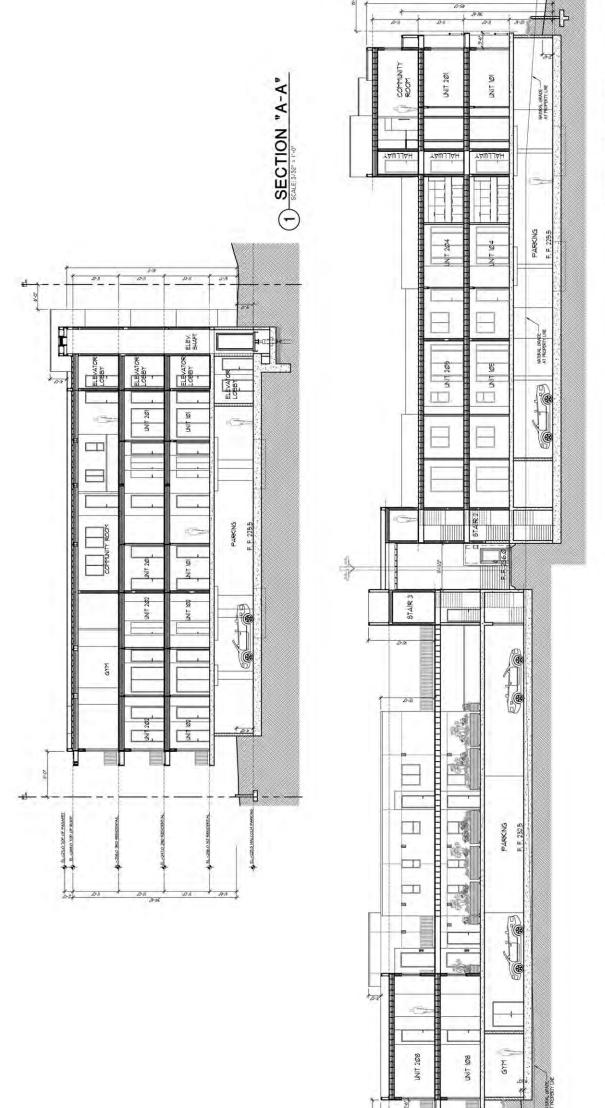
WALKWAY

COMPLNITY

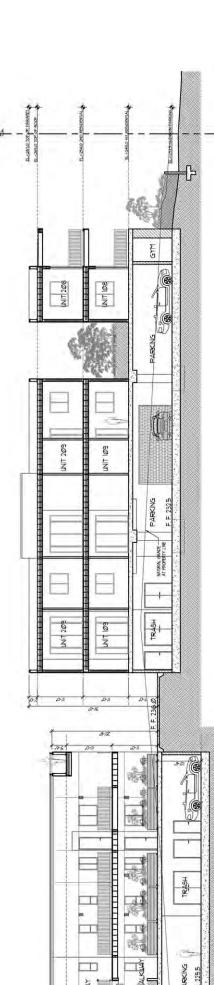
UNIT 201

UNIT 101





SECTION "B-B"



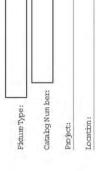
SECTION "C-C"

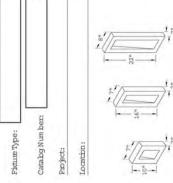
URBAN - model: W S-W 11

LED OutdoorSconce Lum in hiere









PRODUCT DESCRIPTION
Like uithen meew at the Urbs
Clean styling and mobust LEI

oostons. P65 fit.	PRATURES	SPECIFICATIONS
ighte and a second a second and	 ETLA CETL listed forwet boatons, P65 	Constanction: Alim frum .
controper.	Interior light and down light Low pur ledesign	Power:No driverortransform erusquined.
- Paralled at	• Replaceable LED in odule	Light Source: High output LED.
	• 277V option available re-	Dim ming:Dim sto 10% with an electronic bow volage F
	ColorTem p.3000K	Mounting: Mounts disectly to junction box.
	• CRISS	Firsh: Block BK), Bronze BZ), Graphite GH), White W T

fodel	Heip	leight	Watt	112	TED ILIM ENS	Photom etric Lum ens	Phish
SW 23	10 16 22	996	333		12.8 44	P 8 6	BK Bhok BZ Seress GH Garphin WT Witto

m odemform scom	Headquarters/Eastern Distribution Center	CentralDistributi
Phone 800) 526 2588	44 Harbor Park Drive	1600 Distribution
Rax 800) 526.2585	Portwashigun, NY 11050	Lithin Springs, GA

6" New Construction and Remodel LED Downlight Fixtures

MaxLite's LED downlights are great energy efficient solutions for recessed lighting applications. The new construction and remodel fixtures have been engineered to make installation in grid ceilings and dry wall ceilings a snap. Each recessed fixture is supplied with a performance-leading LED module and white trim ring that installs flush to the ceiling.

A high performance LED array emits industry leading lumen output, high CRI (85), and still delivers extended lifetime in excess of a 50,000 L70 measurement.

High lumen transmission and diffusing for even illumination

Fully dimmable down to 10 percent

FEATURES:

Airtight rated – meets airtight requirements for 2.0 CFM

CRI: >85
 Suitable for dry and wet locations

Supplied with internal thermal protection

Available in 3000K and 5000K

CONSTRUCTION:

· Beam angle: 90 degree

Power factor: >.9

 Rated for direct insulation contact Universal voltage 120-277 volt

or less air leakage

PROJECT NAME	ATALOG NUMBER		ша
PROJE	CATAL	NOTES	TXI









NSTRUCTIONS PERTAINING TO A RISK OF FIRE, OR INJURY TO

IMPORTANT SAFETY INSTRUCTIONS
Lighted lamp is HOT!
URNEd—To reduce the risk of FRE OR NUMEY TO PERSON
Impliga and dishor to cool before registrong lamp.
HOT quickel Contact erw server years.

RF614ICAT30W



RFR614ICAT30W

Remodel housing includes three push out mounting clips for easy installation

Recessed housing is aluminum; new construction frame is steel

Housing and frim are gasketed to maximize building energy efficiency

New construction housing includes 13" hanger bars, supplied with pre-installed nails: just hammer and go

Impact-resistant plastic lens

Standards:Ell.& cEll. kred.ADA com plant.Dark Sky P65.W et boaton.

REPLACEM ENTGLASS

Hanger bars feature notches for easy installation to grid ceilings,

which can be secured using wire or screws

ROHS (ROHS

CCT

CRI

gauge fixture wire across the area marked 18 GA on the Oulo Disc.". After the wires are in place, connect the top of the Oulo Disc?" and the screw is tightened all aft supplied screw, making sure that the wires remain first in the bottom portion of the Oulo Disc?", and the screw is tightened all

LANDSCAPE LIGHTING



7.6 × 7.5 × 10.4

35,000

1000

RF614ICAT50W

71783

MAXLITE

MaxLite*: 1-800-555-5629 | Fax: 973-244-7333 | Web: www.maxlite.com | E-mail: info@maxlite.com

Lighting layouts and spacing criteria available upon request

DOWNLIGHT FIXTURE FOR BALCONIES AND TERRACES

WALL MOUNT OUTDOOR LIGHT FIXTURE

PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DUNN SMOOTH FINISH CEMENT EDWARDS DE6211 LIGHT STEEL TRAWLED

BEIGE.

WOOD ALUMINUM DOORS AND WINDOWS "PACIFIC 3500" DOORS,

ARCHITECTURAL SERIES FLEET-

STEEL TRAWLED SMOOTH FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH, LA HABRA STUCCO, COLOR TO MATCH DUNN EDWARDS DE6339 LEGENDARY

CLASS I POWDER COAT PAINT. EVEREST 850 WINDOWS CLASS I POWDER COAT PAINT.

9" HIGH, 3/4" STROKE, STAINLESS STEEL ADDRESS NUMBERS



1/4"X 1/4"X 3/4" CLEAR ANODIZED "FRY REGLET", ALUMINUM

ROLL-UP GRILL

MIN. 42" HIGH STEEL TUBE RAILING PRIMED AND PAINTED "DUNN EDWARDS" DEC756 WEATHERED BROWN.



ALAJAJIAN MARCOOSI ARCHITECT

LOS ANGELES, CA 90024 1751 S. MALCOLM AVE.,

18



D DS

· .

be D





Aloe dichotoma / Quiver tree





Aloe bainesii / Tree aloe

SHRUBS

Archontophoenix cunninghamiana / King Palm



Hymenosporum flavidum / Sweet shade



PAUL LEWIS & ASSOCIATES LANDSCAPE ARCHITECTURE

13351-D Riverside Drive #445, Sherman Oaks, CA 91423 T; 818-788-9382 F: 818-788-3217



Tristania conferta / Brisbane Box



Podocarpus gracilior / Fern podocarpus

Loropetalum c. 'Razzleberri' / Chinese Fringe Flower

Juncus patens / California grey rush

Clivia miniata / Clivia

Chondropetalum tectorum / Cape rush

Asparagus densiflorus 'Myers' / Myers asparagus

Agave attenuata / Agave

Aeonium arboreum 'Atropurpureum' / Aeonium

GROUNDCOVERS









Carex praegracilis / California field sedge

SUCCULENT MIX





















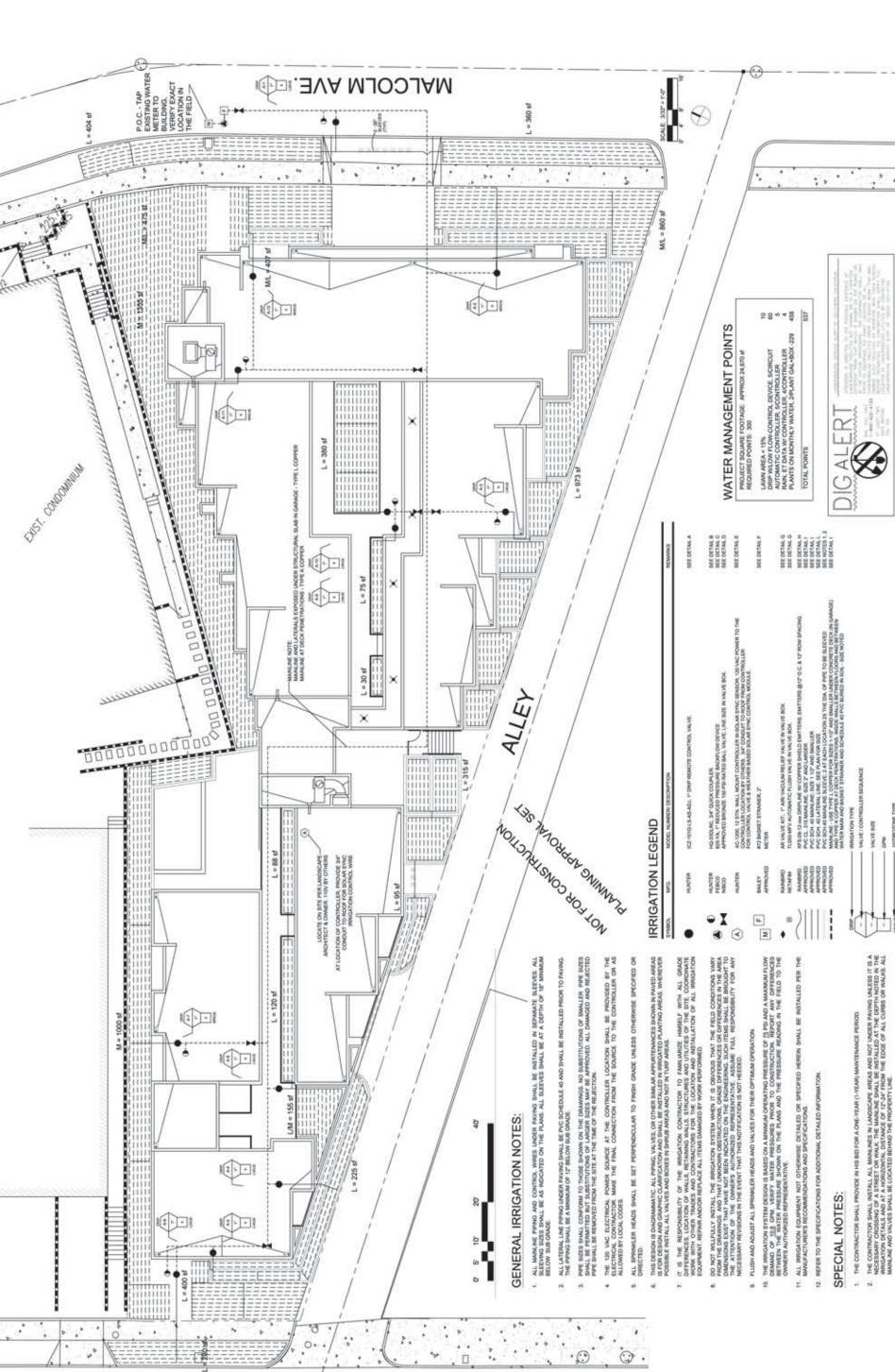
1751 S. MALCOLM AVE., Senecio serpens 'Blue Chalksticks'

Agave cameronii

Agave 'Blue Glow'

Aeonium arboreum 'Atropurpureum' / Aeonium

LOS ANGELES, CA 90024

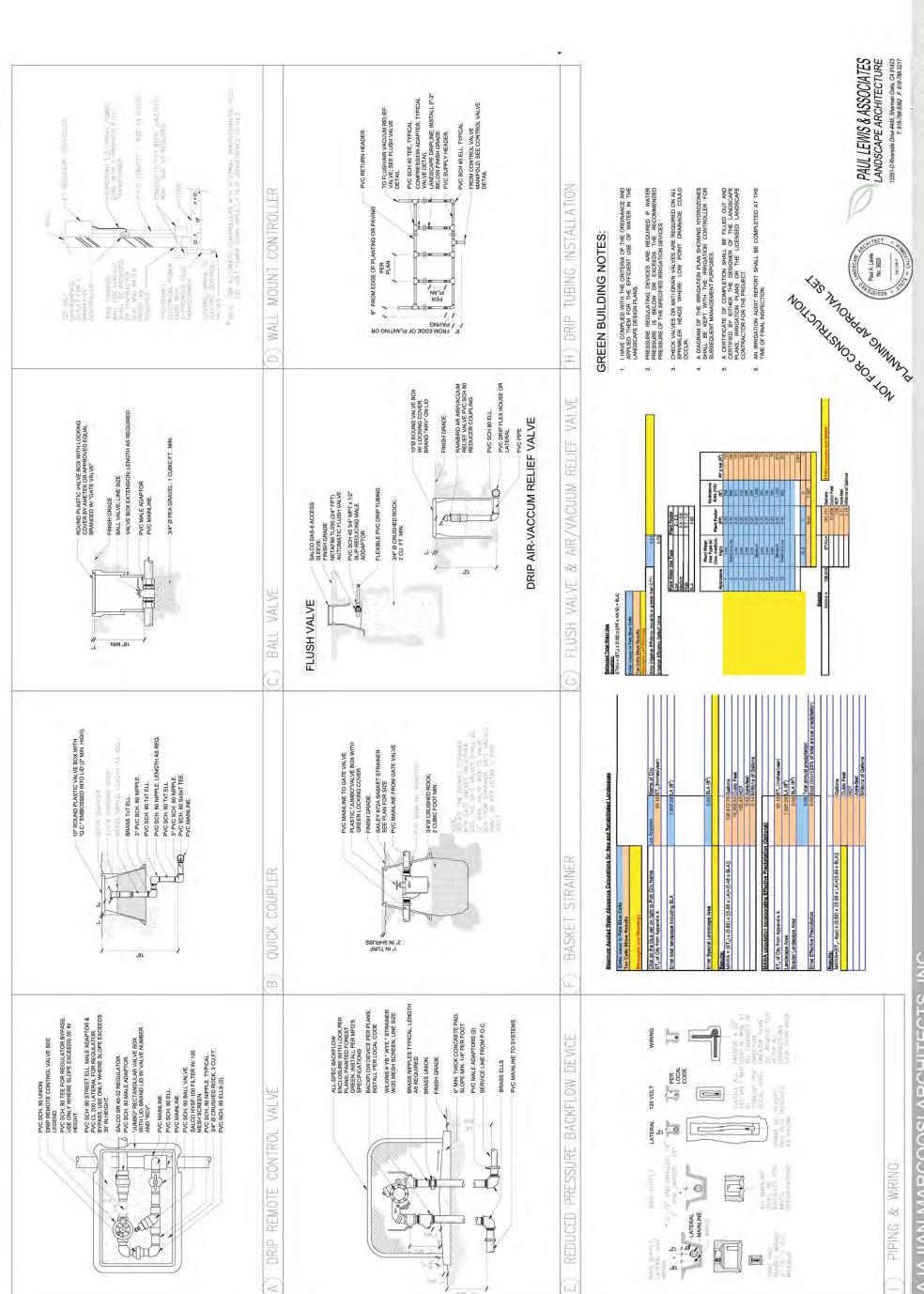


. 0.

.

·.....

0



22

GENERAL PLANTING NOTES

MAINTAIN TURF FREE AREA 12" FROM TRUNK 6" BASIN IN G. COVER 3" BASIN IN LAWN

Min. Min.

CINCH TIE, SECURED TO STAKE WITH GALVANIZED NAILS BACKFILL MIX (SEE SPECS.) 3" DRAIN CAP

X1 TOOR

LODGEPOLE PINE STAKES, 2 PER TREE 10 FT FOR 36" BOX 12 FT FOR 48" BOX

TREE TIE

GRADE

PLANTING BACKFILL PUDDLE AND SETTLE TO SET PLANT AT FINISH GRADE

9. PERFORATED 2. ROOTBALL FINISH SWILL PROPERTY SOLD BEPTHIN BOX PRIOR TO EXCAVATION SOLD PEPTHIN BOX PRIOR TO EXCAVATION

PLANTING TABLETS (SEE SPECS.)

NOTE: ALL PLANT BASINS SHALL RECEIVE A 4" LAYER OF APPROVED MULCH.

LODGEPOLE PINE STAKE TREE TRUNK TREE TIE, NAIL TO STAKE

2. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL CUCANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL CUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUAN DESIGNATIED.

3. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTANIER GROWN TREES, SHRUGES AND UNES. HOLDING SEEDED AND SOODED UNF, HYDROLLCHES AND FOLLENTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FORE-PARKING OF ALL LAYIN MATERIALS. THE SPECHED GLARANTIER OF ALL PLANT AMTERIALS. THE SPECHED GLARANTIER OF ALL PLANT AMTERIALS. THE STAND AMTERIALS SHAD THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS. THE STAND AND THEIR ARRIVAL AT THE SITE. FICIENT LANDSCAPE ION PACKAGE.

4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITEC AND OWNER PRIOR TO INSTALLATION.

5. ALL BOXED TREES IN PAVING SHALL BE SELECTED AND SPOTTED BY THE LANDSOA AND SPOTTED BY THE LANDSOA AND SEQUENCE OR PRINKERS REPRESENTATIVE IN COMJUNCTION WITH PAVING CONTRACT AND SENERAL, CONTRACTOR, GENERAL CONTRACTOR TO ASSUME ALL LABILITY FOIL ACCURATE PLACEMENT OF TREES.

ALL VINE RUNNERS SHALL BE INSTALLED WITH THE NURSERY STAKES REMOVED AND VINE RUNNERS SHALL BE ESPALIERED TO THE ADJACENT WALL OR FENCE.

8. THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL BROVIDE FOR SOILS AMENDMENT REPORT FROM WALLAGE SOILS ALROBATORY 3310 815-6116 ANDORA ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTRALATION OF PLANT MATERIALS. 7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY RE BE PROVIDED AND PAID FOR BY THE SUBCONTRACTOR. THE REPORT SHALL BE BE PROVIDED AND PAID FOR BY THE LANDSCAPE ARCHITECT UPON COMPLETION.

9, FOR BIDDING AREA TO BE LANDSCAPED, THE FOLLOWING AMENDMENTS SHALL BE USED UITL. CONTRACTOR IS PROVIDED WITH SOLLS AGRONOMY REPORT. AMENDMENTS AREALL BE LIMIFORMLY BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER OR EQUAL.

AMOUNT PER 1,000 SQUARE FEET

4 CU. YDS MITROGEN STABILIZED ORGANIC AMENDMENT DESKNED PROMODO SAMDUST, FIR SAMDUST OR CEDAR SAMDUST. 15 LBS. 2012 SULPUR 15 LBS. 1274 2 FERTILIZER

11. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED TWICE THE DIAMETER. OF THE ROOTBALL WITH A MAXIMUM OF THE HEIGHT OF THE ROOTBALL TO THE BOTTOM OF THE LALVITING PIT.

THE BACKFILL MIX FOR USE AROUND THE ROOTBALL OF ALL TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING FORMULA: DO NOT OVER EXCAVATE!!!

6 PARTS ON-SITE SOIL 4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE SOIL

PREPARATION 1 18,00 U O F MIX 12-12 COMMERCIAL FERTILIZER 2 185,0U, YO, OF MIX RON SULFATE 10 LBS,CU, YO, OF MIX RORICULTURAL GYPSUM

12. THIRTY (30) DAYS AFTER INSTALLATION ALL LANDSCAPE SHALL BE FERTILIZED WITH BEST FERFILIZED CONDANN 14-6-8 OF APPROVED COUNLA, PAPLED AT THE RATE OF SIX POUNDS (6.185,) PER 1,00 SOLARE FET OR PER SOL AGRONOW, REPORT, FERTILIZER APPLICATION SHALL BE CONTINUED THEREAFTER AT MONTHLY INTERVALS.

3" DEEP TAMPED EARTH WATER BASIN AROUND SHRUB, FILL WITH MULCH

FINISH GRADE

MULCH

SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE

DO NOT EXCAVATE DEEPER THAN SOIL IN BOX VERIFY SOIL DEPTH IN BOX PRIOR TO EXCAVATION

3" PERFORATED PVC PIPE & SLIP CAP W/GRAVEL PER PLANTING PLAN 2 PER TREE

STREET TREE

13. FOR ALL STAKED TREES, SEE DETAIL 1, THIS SHEET

15. FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS: 14. FOR ALL SHRUBS, SEE DETAIL 2, THIS SHEET.

5 1 PER 4" OF BOX SIZE 1 GALLON SHRUBS 5 GALLON SHRUBS 15 GALLON SHRUBS BOXED TREES

PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.

16. ALL EXISTING LANDSCAPE AREAS DISTURBED DURING THE CONSTRUCTION PROCESS WILL BE RECONDITIONED TO THEIR ORIGINAL STATE AT NO ADDITIONAL COST TO THE OWNER.

18 FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" (SIX INCHES) OF SOIL. COMPOST NT RATE OF A MINIMUM OF FOR COURC OWS ORGENET (OR SOLARE FER NICHES INTO THE SOIL PERMINELE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL 17. INSTALL 24" DEEP ROOT BARRIER ON ALL TREES WITHIN 4 FEET OF PAVING

POOL SAFETY ENCLOSURE NOTES:

THE POOL ENCLOSURE SHALL COMPLY WITH THE FOLLOWING REQUIREMNETS; (NBMC 19.08 001 1544.198 & GEO'S 1986.44.2. A MINIMUM HEGHT OF ST'T ABOVE GRADE, MEASURED FROM OUTSIDE OF THE POOL

A MINIMUM HEIDER TO ST. I ROUVE USDAYE, IMPROFESS

B, MINIMUM AS INCHES BETWEEN HORIZONTAL MEMBERS.

B, MINIMUM AS INCHES BETWEEN HORIZONTAL MEMBERS.

C, MINIMUM AS INCHES BETWEEN HORIZONTAL MEMBERS.

C, MINIMUM AS INCHES TO STATICAL CLEARWORKE BETWEEN THE BOTTOM OF FENCE AND STATICAL CLEARWORKE BETWEEN THE BOTTOM OF FENCE AND STATICAL CLEARWORKE BETWEEN THE BOTTOM OF FENCE AND STATICAL STATICAL CLEARWORKE BETWEEN THE BOTTOM THAT REDUCE THE OFFICIAL STATICAL STATICA

Qualified trigation service provider: The following inhibiduals are antiented to provide services required by the provident Cultulines in the Manage of the Constitution of the Constitution of the Constitution of the Providence of the Constitution of the C irrigators are installed in such a way that they do not spray on the building 2011 Los Angeles Green Building Code (This form is required at final inspection) Relation to Project LANDSCAPE IRRIGATORS a I hereby certify that the au

LANDSCAPE POINTS LANDSCAPE POINTS PROJECT SOUARE FOOTAGE. APPROX 24,670 sf RECHIEF TREES. AT 30 no. 6. Inses@Spicioline 24 " 50X STREET TREES. AT 30 no. 6. Inses@Spicioline 25 STREET TREES. AT 30 no. 6. Inses@Spicioline 26 STREET TREES. AT 30 no. 6. Inses@Spicioline 26 STREET TREES. AT 30 no. 6. Inses@Spicioline 27 STREET TREES. AT 30 no. 6. Inses@Spicioline 28 STREET TREES. AT 30 no. 6. Inses@Sp	ELA (19) D BS OWNER MANUAL/LANDSCAPE CERTIFICATION FORM 2011 Los Angeles Green Building Code GRN 12 (This form is required at final inspection)	OWNER'S MANUAL I kerzeby carclay that an owner's meaning, compared date, or web-hased reference complying with the Los Angeles Green Building Code has been provided to the owner and will be pisced and sered within the building. OR No new equipment or fixuse was installed in the communication of his project. Namer. Relationship to project:	Company Name (if applicable): Signature: Signature: Date:	Section A: Landscape Designer B	Name: Relationship to Project: CONSULTANT
--	---	---	---	----------------------------------	---

NOTE: ALL PLANT BASINS SHALL RECEIVE A 4" LAYER OF APPROVED MULCH.

GALVANIZED STEEL PIPE STAKE TREE TRUNK TREE TIE, NAIL TO STAKE

DOUBLE STAKED TREE

MAINTAIN TURF FREE AREA 12" FROM TRUNK

6" BASIN IN G. COVER 3" BASIN IN LAWN

MZ2

CINCH TIE, SECURED TO STAKE WITH GALVANIZED NAILS

BACKFILL MIX (SEE SPECS.) 3" DRAIN CAP

GALVANIZED STEEL PIPE STAKE 1 PER TREE 10 FT FOR 36" BOX 12 FT FOR 48" BOX

TREE TIE DETAIL

GRADE

(SEE SPECS.)

Territoria.

Section C; Owner/Representative

o Learly that I am the property owest or an authorized representative and have received copies of all the documents within the
Leakscape Documentation Pachage and the Certificate of Completion and that it is no responsibility to see that the project is
maintained in accordance with the Landscape and irrigation Maintenance Schodule. Of confity that I am qualified by the State of Cultimat to provide insiderape design services, the landscape project for this project way shalled by the or notiting my power/when the insiderape per landscape project for this substantial comparison or notiting the proper better insiderable by the busing with the requirement of the Child and the properties with the requirements of the Child and Child and Child and the properties in compliance with the requirements of the Child and Child and the Child and the Child and the Lind and the properties in compliance with the requirements of Chy of the August Ingales in Tignific Child and shall be improvement. State License # (if applicable) Relation to Project Company Name (if applicable)

Page 1 of 2

Revised 06-30-2011

PLANT TABLETS PER SPECS

BACKFILL SCARIFY SUBGRADE

SHRUB PLANTING

PLANTING PIT TO BE 2"
SINALLOWER THAN ROOTBALL
AT CENTER, BUT DEEPER
AROUND HOLE'S EDGES TO
PREVENT SETTLING, PIT TO
BE TWICE THE WIDTH OF THE
CONTAINER.

FORM GRN 12

SELA (FINE DES OWNER MANUAL/LANDSCAPE CERTIFICATION 2011 Los Angeles Green Building Code

'INFILL' PLANT, AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES

TYPICAL PLANT, SPACING VARIES SEE PLANT LEGEND AND PLANS

4 1

NOTE: ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL SPACING SEE SPECIFICATIONS FOR FURTHER INFORMATION

SHRUB AND GROUNDCOVER SPACING

12" (SHRUBS) 8" (GROUNDCOVER)

EDGE OF PLANTING AREA

1/2 "EQUAL" (MAX.) AT EDGES

-

-

STISSION BOLDS ALLEY

-

BUILDING HEIGHT APPROX. 25'

STI 30206"W 384.35 ALLEY

STISSION SALIS ALLEY

TIME: 3 PM ALTITUDE: 17.31° AZIMUTH: 144.58°

GLEWON AVE

TIME: 12 PM ALTITUDE: 32.48° AZIMUTH: 181.84°

CLENDON AVE

W 118°26'7.79" SHADOW DIAGRAMS FOR LATITUDE:N 34°3'2.88" LONGITUDE:

WESTWOOD, LOS ANGELES, CA





TIME: 8AM ALTITUDE: 10.18° AZIMUTH: 127.54°



