

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2015-3306-MAEX

HEARING DATE: September 17, 2015
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 N. Spring Street
Los Angeles, CA 90012

Location: 1830 N. Taft Avenue
Council District: 13
Community Plan Area: Hollywood
Area Planning Commission: Central
Neighborhood Council: Hollywood United
Legal Description: Lot 92 of MORGAN'S
HOLLYWOOD TRACT

PROJECT: 1830 N. Taft Avenue
Historic-Cultural Monument (HCM) No. 1070

APPLICANT & OWNER: Polynesian Homeowner's Association
1830 N. Taft Avenue
Los Angeles, CA 90068

APPLICANT'S REPRESENTATIVE: Charles J. Fisher
140 s. Avenue 57
Los Angeles, CA 90042

REQUEST: APPROVAL OF EXEMPTION FROM LIMITATION OF ELIGIBILITY FOR HISTORICAL PROPERTY CONTRACT (MILLS ACT) APPLICATION

RECOMMENDATION: That the Cultural Heritage Commission:

1. **FIND** the above-listed property meets the stated conditions for valuation exemption.
2. **APPROVE** the above-listed property for exemption from the valuation limit.

MICHAEL J. LOGRANDE
Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Manager
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Architect
Historical Property Contracts Manager
Office of Historic Resources
(213) 978-1183

ATTACHED EXHIBITS:

- Attachment 1 – ZIMAS Report
- Attachment 2 – Mills Act Historical Property Contract Application
- Attachment 3 – Historic Structure Report (HSR)

BACKGROUND

Economic incentives foster preservation of residential neighborhoods and revitalization of downtown commercial districts. The Mills Act is the single most important economic incentive program in California for preservation of qualified historic buildings by private property owners.

Enacted in 1972, Mills Act legislation grants participating local governments (cities and counties) authority to enter into contracts with owners of qualified historic properties who actively participate in rehabilitation, restoration, and maintenance work to receive property tax relief. The City of Los Angeles (City) adopted Mills Act legislation in 1996. Since then, 769 properties have benefited from the program.

A formal agreement, known as a Mills Act or Historical Property Contract (Mills Act Contract), is executed between the City and property owner for a revolving minimum ten-year term. Contracts are automatically renewed each year. Property owners agree to rehabilitate, restore, maintain, and protect the property in accordance with the *Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards)* and conditions identified in the Contract. Periodic inspections by City and County officials ensure proper maintenance. The City may impose penalties for breach of Contract or failure to protect the historic property. The Contract is binding to all successive owners during the term of the contract.

The Mills Act is codified in Los Angeles Administrative Code Chapter 14. Section 19.142 identifies limitations on eligibility for the Mills Act. The current pre-contract assessed value limits are \$1,500,000 for single-family residential properties and \$3,000,000 for multi-family residential, commercial, or industrial properties. Properties located in the Greater Downtown Los Angeles Area, including the Figueroa Economic Strategy Area, and National Register of Historic Places listed Hollywood Boulevard Commercial and Entertainment District are exempt from valuation limits. The Cultural Heritage Commission may grant an exemption from the limitations imposed by Administrative Code Section 19.142 under the following conditions:

- (a) *granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually; and*
- (b) *the site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone; and*
- (c) *granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.*

The above-listed criteria are further delineated in Contract application materials to include excessive and/or unusual maintenance requirements for a property.

In order to better substantiate justification for exemption properties to meet the ordinance criteria, the application process requires preparation of a Historic Structure Report (HSR) consistent with format requirements published by the National Park Service in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports*. An HSR provides documentary, graphic, and physical information about a property's history and existing condition. Broadly recognized as an effective part of preservation planning, an HSR also addresses management or owner goals for continued use or re-use of the property. It provides a thoughtfully considered argument for selecting the most appropriate approach to treatment, prior to commencement of work, and outlines a scope of recommended tasks. The HSR serves as an important guide for all changes made to a historic property during a project—repair, rehabilitation, or restoration—and can also provide information for maintenance procedures. This requirement sets a higher bar for exemption requests and allows property owners and staff to better understand the unique challenges such properties entail and the owner's commitment to preservation under a Mills Act Contract.

SUBJECT PROPERTY

The subject property is located on the east side of N. Taft Avenue between Hollywood Boulevard and Franklin Avenue and was designated as City of Los Angeles Historic-Cultural Monument (HCM) #1070 in 2014. The parcel is rectangular and includes a three-story multi-family development with an underground garage and central courtyard. The property was constructed in 1962 and designed by Emery Kanarik in the Tiki/Polynesian Revival style. The property was also one of the first condominium or "own-your-own" developments in Los Angeles. It is significant for its well-executed design in the Tiki/Polynesian Revival style and as an early example of a condominium development in the region.



Primary, west elevation, view east

Description

The three-story residence is rectangular in plan, with the length of the building parallel to N. Taft Avenue. The construction consists of reinforced concrete and includes an underground garage. Painted stucco and wood trim cover the entire exterior envelope. The residence features four entrances: two at the rear of the property that open onto a public concrete patio, an elevator with exits on each floor including the garage, and the primary entrance off of N. Taft Avenue. A flat roof was made of built-up asphalt and white gravel.

The primary elevation features landscaped planters constructed of lava rocks, three floors with running bands of condominium balconies, sliding doors and hung windows at each condominium balcony, a pediment made to look like multiple gables with wood brackets, a large screen above the primary entrance that is adorned with wave-like and floral designs, two building-height panels at each end of the building tiled with a terrazzo-like material, an original building sign on the southern panel, and the entrance to the garage. The primary entrance at this elevation is accessed by a ramp running through the lava-rock planters. At the top of the ramp, the public area is separated from the private by a double height glass wall with a locked glass doorway. The southern side of the entrance features an alcove with lava rock walls, while the southern side features a tiled mosaic of a Polynesian island that spans both the public and private areas of the entrance.

The central courtyard is open air and each floor has a cantilevered walkway wrapping around the courtyard, which allows access to each unit. The walkway features an iron railing painted light green with a repeating design of a rectangle bisected with a curved bar. Scattered throughout the courtyard are oblong planters made of lava rocks planted with exotic foliage. The floor is made of a decking material with intermittent gravel patterns, which has been painted multiple times. The elevator is accessed from the courtyard and it is surrounded by an undulating, cream-colored, tile mosaic that mimics columns of bamboo. The elevator doors are painted green. Light fixtures at this level and upper floors consist of original brown-glass lanterns.

Each unit features an entry door that opens onto the walkway that surrounds the courtyard. The door surrounds are painted green, while the doors are clear-finished wood. The door hardware features Polynesian-themed brass escutcheons surrounding the door knobs, over-size brass numbers oriented vertically and brass peepholes. The interiors of the units have undergone alterations through time and do not contain many original materials. However, the basic layout consists of a hallway off of the entry that leads or opens onto the living room, dining room and kitchen. These rooms have an open circulation pattern. From this hallway, the bathroom and bedrooms are accessed. The units that have balconies feature aluminum sliding doors with ribbon windows in the bedrooms and dining room, while

the units without balconies have an additional ribbon window where the sliding door would be. The bathrooms on the third floor feature a small skylight.

The garage is accessed through four openings: two stairways at the rear that lead to a concrete patio area, the elevator or the car ramp that leads to N. Taft Avenue. Each entrance, save the elevator, is secured by a locked gate. The ramp gate is operated using remote control. Each tenant is provided a parking space with their unit and there is guest parking available. The garage also contains a laundry, storage area and a maintenance shop.

The subject property retains integrity, although it has undergone insensitive alterations within most of the units. The exterior has remained largely intact; however, metal and canvas awnings were added, materials have suffered from deferred maintenance, a balcony at the rear has been enclosed and two units have inappropriate replacement windows installed that face the primary facade and interior courtyard.

Rehabilitation/Restoration/Maintenance Plan

The scope of rehabilitation, restoration, and maintenance work is substantial. Recurring maintenance has kept the property operating; however, large rehabilitation projects have been deferred.

Proposed future work prioritizes the repair of concrete hardscape surrounding the building, repairing storage cabinets, repair of damaged stucco on the building envelope, restoration of the original building sign and rehabilitation of the planters that have been damaged by root growth. Other rehabilitation work includes restoring the decorative gabled parapets, repainting the public areas in the stairways and common area, restoring the mosaic tile murals at the building entrance and elevator doors, restoring of mural lighting, resurfacing the courtyard flooring, replacing inappropriate fenestration, updating plumbing, and repairing the roof.

Review

Chattel, Inc. (Chattel) reviewed Mills Act contract application materials and conducted an on-site, pre-approval inspection on behalf of the Office of Historic Resources (OHR) on August 13, 2015. The inspection was attended by representatives of the property's homeowners association, Shelly Leopold and Paul Graham, Jr., and their consultants, Charles Fisher and Louisa Van Leer. During the inspection, Chattel noted the following additional items that should be addressed in the Rehabilitation/Restoration/Maintenance Plan, which are consequently being added as Conditions for Approval:

- Upgrade the insulation at the roof and within the walls
- Repair and reactivate the garage exhaust system
- Master landscape plan: create a master landscape plan that identifies aspects of the landscape which are historically significant, study evidence of what historic elements have been removed, identify historic plants that may be damaging the structure, and propose a landscape plan for the entire property that focuses restoration and rehabilitation.
- Increase the priority of inappropriate window removal and compatible window installation.

With added Conditions for Approval, the scope of recently completed and proposed work substantiates necessity for a Mills Act Contract and conforms with the *Secretary's Standards*.

Given uniqueness of the property, substantial private investment beyond routine maintenance, and appropriateness of completed and proposed rehabilitation, restoration, and maintenance tasks with

Conditions for Approval, staff recommends approval of exemption from limitation of eligibility for a Mills Act Contract.

FINDINGS

A) *Granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.*

The estimated fiscal impact to the City of Los Angeles on the existing and proposed Mills Act Contracts for 2015 is as follows:

Fiscal Impact of (769) existing Mills Act Contracts:	\$1,005,425
Fiscal Impact of (60) 2015 Applications (excluding exemptions):	\$76,362
Fiscal Impact of Pending Exemption Application:	\$1,936
Fiscal Impact of (8) other Exemption Application:	\$21,576
Fiscal Impact of All Proposed and Executed Contracts (1997 to 2015):	\$1,105,299
Fiscal Impact for All Agencies (estimated)*:	\$10,518,376
Percentage of Annual Cap Committed:	55%
Percentage of Annual Cap Available:	45%

*The City's share of the general levy property tax collected by the County Assessor for FY 2014-15 (1% of property value) is .105082662, or 10.5%. The 2015-16 Apportionment Factor has not been posted as of the writing of this report, so the "Total Tax Revenue Loss for All Agencies (estimated)" will change slightly after the new factor is programmed into the calculation.

B) *The site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone.*

The property was designed and built in 1962 by Emery Kanarik in the Tiki/Polynesian Revival style. The property was also one of the first condominium or "own-your-own" developments in Los Angeles. It is significant for its well-executed design in the Tiki/Polynesian Revival style and as an early example of a condominium development in the region. .

C) *Granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.*

The HOA has shown it is a good steward of a historic property through preservation of the many character defining features of the property. However, the property is in need of repair and restoration that would be incentivized through a Mills Act contract. Work such as replacement of inappropriate windows and restoring the lava-rock planters would be difficult for the HOA to complete without the financial benefit of and the rehabilitation plan within the Mills Act contract. The owners within the condominium complex have agreed to abide by the obligations of the contract and are enthused by the opportunity to pursue the rehabilitation projects outlined in their application. Without this contract, the owners will be unable to implement necessary repairs to ensure the integrity of the building. Granting the exemption will provide an incentive to complete these complex, expensive tasks, which will enhance the historic character of the subject property.



City of Los Angeles Department of City Planning

9/14/2015 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

1830 N TAFT AVE

ZIP CODES

90028

RECENT ACTIVITY

CHC-2015-3305-MA

CHC-2015-3306-MAEX

CASE NUMBERS

CPC-2000-1976-SP

CPC-1986-831-GPC

CPC-1984-1-HD

ORD-51756

ORD-173799

ORD-173749

ORD-164705

ORD-161116-SA14

ORD-107053

CHC-2014-502-HCM

ENV-2014-503-CE

ENV-2000-1978-ND

Address/Legal Information

PIN Number	150A191 279
Lot/Parcel Area (Calculated)	5,399.9 (sq ft)
Thomas Brothers Grid	PAGE 593 - GRID G4
Assessor Parcel No. (APN)	5586033BRK
Tract	MORGAN'S HOLLYWOOD TRACT
Map Reference	M B 16-49 (SHT 2)
Block	None
Lot	92
Arb (Lot Cut Reference)	2
Map Sheet	150A191

Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Hollywood United
Council District	CD 13 - Mitch O'Farrell
Census Tract #	1903.01
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	HISTORIC MONUMENT UNDER CONSIDERATION
Zoning	RD1.5-1XL
Zoning Information (ZI)	ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE ZI-2441 Alquist-Priolo Earthquake Fault Zone ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses
General Plan Land Use	Low Medium II Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	Vermont / Western Station Neighborhood Area Plan
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	None
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	15

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

500 Ft School Zone No
 500 Ft Park Zone No

Assessor Information

Assessor Parcel No. (APN) 5586033025
 Ownership (Assessor)
 Owner1 LEW,JOYCELYNE M TR JOYCELYNE M LEW TRUST
 Address 1830 TAFT AVE
 LOS ANGELES CA 90028
 Ownership (City Clerk)
 Owner CLOUSE, JOHN (ET AL)
 Address 1830 TAFT AVENUE 102
 LOS ANGELES CA 90028
 APN Area (Co. Public Works)* 0.019 (ac)
 Use Code 010C - Single Residence (Condominium)
 Assessed Land Val. \$28,687
 Assessed Improvement Val. \$114,783
 Last Owner Change 11/15/05
 Last Sale Amount \$0
 Tax Rate Area 13
 Deed Ref No. (City Clerk) 5-243

413444
 408210-2
 2746200
 2038408
 2-98
 1343775
 1039971
 0651981
 0621174
 0575719
 0414937
 03048917

Building 1
 Year Built 1962
 Building Class D7A
 Number of Units 1
 Number of Bedrooms 2
 Number of Bathrooms 2
 Building Square Footage 1,218.0 (sq ft)
 Building 2 No data for building 2
 Building 3 No data for building 3
 Building 4 No data for building 4
 Building 5 No data for building 5

Assessor Information

Assessor Parcel No. (APN) 5586033026
 Ownership (Assessor)
 Owner1 CLOUSE,JOHN CO TR CLOUSE AND SAIGET FAMILY TRUST
 Address 1830 TAFT AVE NO 102
 LOS ANGELES CA 90028
 Ownership (City Clerk)
 Owner AHIN, CHARLES K. (TR) THE FMY TR OF CHARLES K AHIN DTD
 JAN.95
 Address 1830 N TAFT AVE #102
 LOS ANGELES CA 90028
 APN Area (Co. Public Works)* 0.019 (ac)
 Use Code 010C - Single Residence (Condominium)

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Assessed Land Val.	\$285,200
Assessed Improvement Val.	\$121,700
Last Owner Change	05/04/09
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-572
	7-203
	413444
	408210-2
	273592
	2012352
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,064.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033027
Ownership (Assessor)	
Owner1	MEYER,MARTIN
Address	1728 1/2 N HUDSON AVE LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	MEYER, MARTIN
Address	1728 1/2 N HUDSON AVE LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$204,639
Assessed Improvement Val.	\$157,969
Last Owner Change	01/29/10
Last Sale Amount	\$331,003
Tax Rate Area	13
Deed Ref No. (City Clerk)	67952
	627807
	548754
	413444
	408210-2
	1403247
	1390468
	133781
	1024542
	1003783
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2

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Building Square Footage	1,253.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033028
Ownership (Assessor)	
Owner1	CARRANZA,JORGE AND MARIA
Address	1830 TAFT AVE 104 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	CARRANZA, JORGE & MARIA
Address	1830 N TAFT AVE #104 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$23,903
Assessed Improvement Val.	\$95,782
Last Owner Change	12/28/06
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-693 7-941 413444 3-324 1936559-60 108210-2
Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,182.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033029
Ownership (Assessor)	
Owner1	SOTOODEHFAR,RAHIM AND
Owner2	SOTOODEHFAR,SASAN
Address	1830 TAFT AVE UNIT 105 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	BOIADJIAN, KARABED
Address	1830 TAFT AVE #105 LOS ANGELES CA 90068
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$253,750
Assessed Improvement Val.	\$164,289
Last Owner Change	01/28/15
Last Sale Amount	\$9

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Tax Rate Area	13
Deed Ref No. (City Clerk)	899662
	5-835
	413444
	1752202
	144068
	1213052
	1168245
	108210-2
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,302.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033030
Ownership (Assessor)	
Owner1	COX,BARBARA E TR BARBARA E COX TRUST
Address	1830 TAFT AVE # 106 HOLLYWOOD CA 90028
Ownership (City Clerk)	
Owner	COX, BARNARA
Address	1830 N TAFT AVE #106 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$31,503
Assessed Improvement Val.	\$135,062
Last Owner Change	07/28/05
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	7-225
	6-957
	413444
	408210-2
	1516761
	1321340
	1036723
	1026757-9
Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,260.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4

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Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033031
Ownership (Assessor)	
Owner1	BUDD, GRAHAME K
Address	1830 TAFT AVE UNIT 107 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	BUDD, GRAHAME K.
Address	1830 TAFT AVE #107 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$29,795
Assessed Improvement Val.	\$119,204
Last Owner Change	08/19/14
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	8-42 753862 437047 413444 408210-2 1772611 1355508-10 1125227
Building 1	
Year Built	1962
Building Class	D7C
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,149.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033032
Ownership (Assessor)	
Owner1	GELLER, SUZANNE AND
Owner2	PROCTOR, M B DAX
Address	1830 TAFT AVE # 108 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	GELLER, SUZANNE
Address	1830 TAFT AVE 108 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$94,500
Assessed Improvement Val.	\$135,677
Last Owner Change	03/18/04
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	990754-5

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	955588
	9-268
	7-554
	413444
	408210-2
	1770614
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,226.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033033
Ownership (Assessor)	
Owner1	CARRANZA,JORGE AND MARIA
Address	1830 TAFT AVE NO 104 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	CARRANZA, JORGE & MARIA
Address	1830 N TAFT AVE #201 LOS ANGELES CA 90068
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$28,841
Assessed Improvement Val.	\$115,389
Last Owner Change	05/27/99
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	967377
	9-580
	413444
	408210-2
	2274488
	1417801-2

Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,218.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033034
Ownership (Assessor)	
Owner1	KHAZAENI,SAM

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Address	1830 TAFT AVE 202 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	PAPAZIAN, MIHRAN M.
Address	1830 TAFT AVE UNIT #202 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$226,166
Assessed Improvement Val.	\$147,497
Last Owner Change	04/26/07
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-580 583155 413444 408210-2 2088012-13 1748986
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,064.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033035
Ownership (Assessor)	
Owner1	CALDWELL,BARRY
Address	1830 TAFT AVE 203 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	CALDWELL, BARRY
Address	1830 N. TAFT AVE. #203 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$28,841
Assessed Improvement Val.	\$129,815
Last Owner Change	03/21/95
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	8-58 413444 408210-2 2311232 1427051 1232674-5
Building 1	
Year Built	1962
Building Class	D7B

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Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,253.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033036
Ownership (Assessor)	
Owner1	BISHOP,COURTNEY AND VANESSA
Address	1830 TAFT AVE UNIT 204 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	BISHOP, DAVID & CAROL
Address	1830 TAFT AVE 204 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$168,534
Assessed Improvement Val.	\$152,224
Last Owner Change	06/23/11
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	855503
	5-41
	413444
	408210-2
	1881780-81
	1-671

Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,182.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033037
Ownership (Assessor)	
Owner1	KLYUSNER, ALEXANDER
Address	1830 TAFT AVE # 205 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	KLYUSNER, ALEXANDER
Address	1830 N TAFT AVE #205 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$111,704
Assessed Improvement Val.	\$139,036

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Last Owner Change	03/01/02
Last Sale Amount	\$200,002
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-946
	7-878
	5-151
	493166
	413444
	408210-2
	1300181LE

Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,302.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033038
Ownership (Assessor)	
Owner1	LEOPOLD,SHELLEY
Address	1830 TAFT AVE UNIT 206 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	LEOPOLD, SHELLEY
Address	1830 TAFT AVENUE 206 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$201,132
Assessed Improvement Val.	\$157,203
Last Owner Change	04/28/10
Last Sale Amount	\$327,503
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-538
	6-774
	571644
	413444
	408210-2
	1938104
	1779345-46

Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,260.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4

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Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033039
Ownership (Assessor)	
Owner1	GLAZ,TOMASZ AND
Owner2	GLAZ,GREGORY
Address	1830 TAFT AVE UNIT 207 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	GLAZ, TOMASZ ET AL
Address	1830 TAFT AVE #207 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$147,062
Assessed Improvement Val.	\$135,026
Last Owner Change	06/14/02
Last Sale Amount	\$225,002
Tax Rate Area	13
Deed Ref No. (City Clerk)	8-66 558335 413444 408210-2 1354053 0-289
Building 1	
Year Built	1962
Building Class	D7C
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,149.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033040
Ownership (Assessor)	
Owner1	NAGGAR,ALAN
Address	1830 TAFT AVE NO 208 HOLLYWOOD CA 90028
Ownership (City Clerk)	
Owner	NAGGAR, ALAN
Address	1830 TAFT AVE #208 HOLLYWOOD CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$136,716
Assessed Improvement Val.	\$164,543
Last Owner Change	05/24/10
Last Sale Amount	\$275,002
Tax Rate Area	13
Deed Ref No. (City Clerk)	704902 69175 413444

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	408210-2
	2-341
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,226.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033041
Ownership (Assessor)	
Owner1	SEYLER,ANTHONY AND SARAH
Address	2220 COLORADO AVE SANTA MONICA CA 90404
Ownership (City Clerk)	
Owner	BORMANN, RENATE M.
Address	1830 TAFT AVE #301 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$271,373
Assessed Improvement Val.	\$132,848
Last Owner Change	11/19/03
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	939802
	9-937
	9-522
	827699
	543341
	516971
	413444
	408210-2
	3-395
	1203101
Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,218.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033042
Ownership (Assessor)	
Owner1	NIEMOLLER,KARL

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Address	3170 BENTWOOD CIRCLE SOUTH DR APT 2C INDIANAPOLIS IN 46268
Ownership (City Clerk)	
Owner	GORDON, ALLAN D. & ZULEMA K.
Address	1830 TAFT AV #302 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$211,048
Assessed Improvement Val.	\$151,028
Last Owner Change	07/28/10
Last Sale Amount	\$333,003
Tax Rate Area	13
Deed Ref No. (City Clerk)	906671
	9-530
	9-389
	820327
	811734
	413444
	408210-2
	1314862
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,064.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033043
Ownership (Assessor)	
Owner1	O ROURKE,DANIEL M
Address	1830 TAFT AVE # 303 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	LANGE, HARRY G. & RUTH M.
Address	1830 N TAFT AV #303 LOS ANGELES CA 90068
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$341,055
Assessed Improvement Val.	\$143,966
Last Owner Change	04/29/05
Last Sale Amount	\$410,004
Tax Rate Area	13
Deed Ref No. (City Clerk)	7-205
	413444
	408210-2
	3-786
Building 1	
Year Built	1962
Building Class	D7B

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Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,253.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033044
Ownership (Assessor)	
Owner1	HADZICK,PATRICIA AND
Owner2	HADZICK,DANYA J
Address	1830 TAFT AVE NO 304 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	HADZICK, PATRICK ET AL
Address	1830 N. TAFT AVE #304 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$27,095
Assessed Improvement Val.	\$101,627
Last Owner Change	04/06/98
Last Sale Amount	\$95,000
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-502
	551029
	413444
	408210-2
	296394
	2-268

Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,182.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information

Assessor Parcel No. (APN)	5586033045
Ownership (Assessor)	
Owner1	GRAHAM,PAUL A JR CO-TR P AND R GRAHAM-STROTHER TRUST
Address	1830 TAFT AVE 305 HOLLYWOOD CA 90028
Ownership (City Clerk)	
Owner	GRAHAM, PAUL ET AL
Address	1830 TAFT AV #305 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$56,841

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Assessed Improvement Val.	\$131,569
Last Owner Change	03/23/00
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	949665
	413444
	408210-2
	1298864
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,302.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033046
Ownership (Assessor)	
Owner1	SIMMONS,PHILIP R
Address	1830 TAFT AVE 306 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	SIMMONS,PHILIP R
Address	1830 TAFT AVE 306 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$81,199
Assessed Improvement Val.	\$129,797
Last Owner Change	03/01/01
Last Sale Amount	\$165,001
Tax Rate Area	13
Deed Ref No. (City Clerk)	786076
	7-838
	6-883
	544497-99
	413444
	408210-2
	1868147-8
	1416568
	1333672L
	123817-18L
Building 1	
Year Built	1962
Building Class	D7A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,260.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3

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Building 4	No data for building 4
Building 5	No data for building 5
Assessor Information	
Assessor Parcel No. (APN)	5586033047
Ownership (Assessor)	
Owner1	HOURWITZ,ROSE TR ROSE HOURWITZ TRUST
Address	1830 TAFT AVE UNIT 307 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	ROSE HOURWITZ LIVING REVOCABLE TRUST C/O ROSE HOURWITZ (TR)
Address	1830 N TAFT AV #307 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$10,536
Assessed Improvement Val.	\$106,684
Last Owner Change	08/05/13
Last Sale Amount	\$9
Tax Rate Area	13
Deed Ref No. (City Clerk)	868959 413444 408210-2 3-777 178985 1210612
Building 1	
Year Built	1962
Building Class	D7C
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,149.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Assessor Information	
Assessor Parcel No. (APN)	5586033048
Ownership (Assessor)	
Owner1	SHAFFER,GARY L TR GARY L SHAFFER TRUST
Address	1830 TAFT AVE 308 LOS ANGELES CA 90028
Ownership (City Clerk)	
Owner	SHAFFER, GARY L. (TR) OF THE GARY L. SHAFFER TRUST AGMT. DTD. 08-20-*3.
Address	1830 TAFT AVE NO 308 LOS ANGELES CA 90028
APN Area (Co. Public Works)*	0.019 (ac)
Use Code	010C - Single Residence (Condominium)
Assessed Land Val.	\$209,696
Assessed Improvement Val.	\$134,467
Last Owner Change	04/27/04
Last Sale Amount	\$0
Tax Rate Area	13
Deed Ref No. (City Clerk)	9-476 413444

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	408210-2
	3156160
	2745847
	2196637
	1884299
	1445420
	1026594
Building 1	
Year Built	1962
Building Class	D7B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,226.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	Yes
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	0.69863208
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	Yes
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Promise Zone	No
Renewal Community	No

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Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None

Public Safety

Police Information

Bureau	West
Division / Station	Hollywood
Reporting District	638

Fire Information

Division	3
Batallion	5
District / Fire Station	82
Red Flag Restricted Parking	No

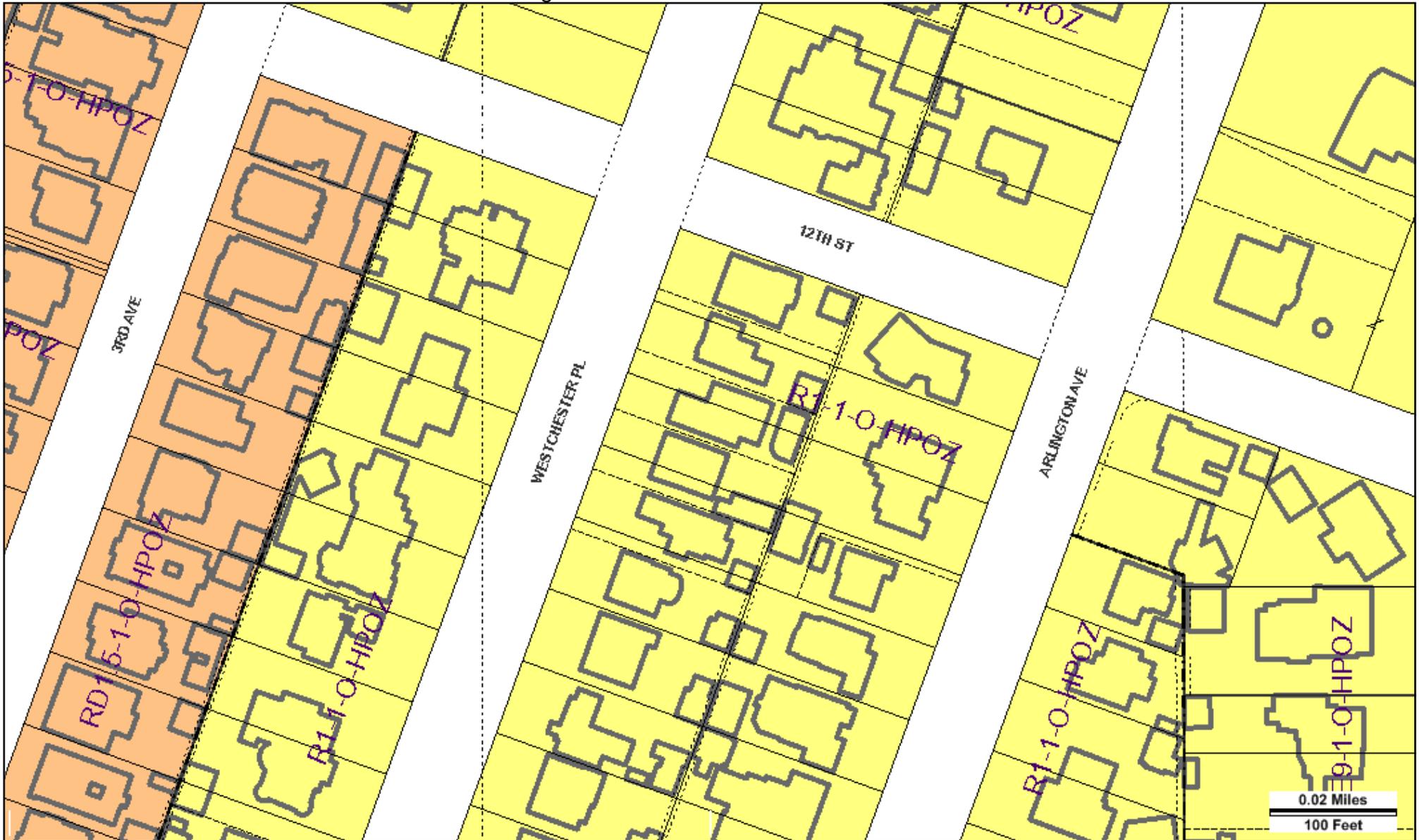
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2000-1976-SP
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	A PUBLIC HEARING REGARDING THE PROPOSED VERMONT/WESTERN TRANSIT ORIENTED DISTRICT NEIGHBORHOOD AND SPECIFIC PLAN ORDINANCE.
Case Number:	CPC-1986-831-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	HOLLYWOOD COMMUNITY PLAN REVISION/GENERAL PLAN CONSISTENCY PLAN AMENDMENT, ZONE CHANGES AND HEIGHT DISTRICT CHANGES
Case Number:	CPC-1984-1-HD
Required Action(s):	HD-HEIGHT DISTRICT
Project Descriptions(s):	CHANGE OF HEIGHT DISTRICT WITHIN THE "CORE AREA OF L.A."- GENERAL PLAN ZONE CONSISTENCY PROGRAM.
Case Number:	CHC-2014-502-HCM
Required Action(s):	HCM-HISTORIC CULTURAL MONUMENT
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT DESIGNATION
Case Number:	ENV-2014-503-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT DESIGNATION
Case Number:	ENV-2000-1978-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

ORD-51756
ORD-173799
ORD-173749
ORD-164705
ORD-161116-SA14
ORD-107053



Address: 1830 N TAFT AVE

Tract: MORGAN'S HOLLYWOOD
TRACT

Zoning: RD1.5-1XL

APN: 5586033BRK

Block: None

General Plan: Low Medium II Residential

PIN #: 150A191 279

Lot: 92

Arb: 2



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5
-  CR, C1, C1.5, C2, C4, C5, CW, ADP, LASED, CEC, USC, PVSP
-  CM, MR, WC, CCS, UV, UI, UC, M1, M2, LAX, M3, SL
-  P, PB
-  PF
-  HILLSIDE

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low III Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL

-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial

INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside
-  Airport Airside
-  Airport Northside

OPEN SPACE / PUBLIC FACILITIES

-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

INDUSTRIAL

-  Limited Industrial
-  Light Industrial

CIRCULATION

STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway

MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

500 FT. SCHOOL/PARK ZONE

-  Existing School/Park Site
-  Planned School/Park Site
-  Inside 500 Ft. Buffer

- | | |
|---|--|
|  Aquatic Facilities |  Opportunity School |
|  Beaches |  Other Facilities |
|  Charter School |  Park / Recreation Centers |
|  Child Care Centers |  Parks |
|  Elementary School |  Performing / Visual Arts Centers |
|  Golf Course |  Recreation Centers |
|  High School |  Span School |
|  Historic Sites |  Special Education School |
|  Horticulture/Gardens |  Senior Citizen Centers |
|  Middle School |  Skate Parks |

COASTAL ZONES

-  Dual Jurisdictional Coastal Zone
-  Calvo Exclusion Area
-  Coastal Zone Commission Authority

OTHER SYMBOLS

- | | | |
|---|---|--|
|  Lot Line |  Airport Hazard Zone |  Flood Zone |
|  Tract Line |  Census Tract |  Hazardous Waste |
|  Lot Cut |  Coastal Zone |  High Wind Zone |
|  Easement |  Council District |  Hillside Grading |
|  Zone Boundary |  LADBS District Office |  Historic Preservation Overlay Zone |
|  Building Line |  Downtown Parking |  Specific Plan Area |
|  Lot Split |  Fault Zone |  Very High Fire Hazard Severity Zone |
|  Community Driveway |  Fire District No. 1 |  Oil Wells |
|  Tract Map | | |
|  Parcel Map | | |
|  Lot Ties | | |
|  Building Outlines | | |

RECORDING REQUESTED BY
AND WHEN RECORDED RETURN TO:

Los Angeles Department of City Planning
Historical Property Contracts Program
200 North Spring Street, Room 559
Los Angeles, California 90012

SPACE ABOVE THIS LINE IS RESERVED FOR RECORDER'S USE

TITLE(S)

HISTORICAL PROPERTY CONTRACT

BY AND BETWEEN THE CITY OF LOS ANGELES,
A MUNICIPAL CORPORATION, AND

The Polynesian Homeowner's Association

Grahame K. Budd, President & Michelle Rose Naggar, Secretary,

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

FOR THE PRESERVATION AND BENEFIT OF THE
HISTORIC-CULTURAL MONUMENT OR
CONTRIBUTING STRUCTURE PROPERTY LOCATED AT

1830 N. Taft Avenue

(L.A.M.C. SECTIONS 19.140, et seq.)

THIS AGREEMENT is made and entered into this _____ day of _____ 2015, by and
(LEAVE DATE BLANK UNTIL RECORDED)

between the CITY OF LOS ANGELES, a municipal corporation (hereinafter referred to as the "City") and
The Polynesian Homeowner's Association (hereinafter referred to as the "Owner").

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

WITNESSETH:

- (i) California Government Code Sections 50280, et seq. authorize cities to enter into contracts with the owners of qualified historical properties to provide for the use, maintenance and restoration of such historical properties so as to retain their characteristics as properties of historical significance.
- (ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, commonly known as the The Polynesian and located at the street address 1830 N. Taft Avenue, Los Angeles, California 90028-5762, (hereinafter such property shall be referred to as the "Property"). A legal description of the Property and Rehabilitation/Restoration/Maintenance Plan (hereinafter referred to as the "Plan") for the Property is attached hereto, marked as **Exhibit "A"**, and is incorporated herein by this reference.

- (iii) On _____ July 30, 2014 : (a) the City Council of the City of Los Angeles declared the Property Historic-Cultural Monument No. 1070 pursuant to Section 22.171.10 of the Los Angeles Administrative Code (Council File No. _____ 14-0776); or, (b) The Property was determined to be a Contributing Structure to the _____ Historic Preservation Overlay Zone pursuant to Section 12.20.3 of the Los Angeles Municipal Code.
- (iv) City and Owner, for their mutual benefits, now desire to enter into this agreement both to protect and preserve the characteristics of historical significance of the Property and to qualify the Property for an assessment of valuation pursuant to the provisions of Section 439, et seq., of the California Revenue and Taxation Code.

NOW THEREFORE, City and Owner, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

1. Effective Date and Term of Agreement.

This Historical Property Contract (hereinafter referred to as the "Agreement") shall be effective and commence on the date it is recorded (hereinafter referred to as the "effective date") and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such initial term will automatically be extended, subject to provisions of paragraph 2, below.

2. Renewal.

Each year on the anniversary of the effective date of this Agreement (hereinafter referred to as the "renewal date"), a year shall automatically be added to the initial term of this Agreement unless notice of nonrenewal is mailed as provided herein. If either Owner or City desires in any year not to renew the Agreement, Owner or City shall serve written notice of nonrenewal of the Agreement on the other party in advance of the annual renewal date of the Agreement. Unless such notice is served by Owner to City at least ninety (90) days prior to the annual renewal date, or served by City to Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein. Upon receipt by Owner of a notice of nonrenewal from City, Owner may make a written protest of the notice. City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to Owner of nonrenewal. If either City or Owner serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards for Historical Property.

During the term of this Agreement, the Property shall be subject to the following conditions, requirements and restrictions:

- a. Owner shall preserve and maintain the characteristics of historical significance of the Property in accordance with the Plan. Attached hereto, marked as **Exhibit "B"**, and incorporated herein by this reference, is a list of those minimum standards and conditions for maintenance, use and preservation of the Property, which shall apply to such property throughout the term of this Agreement.
- b. Owner shall restore and rehabilitate the property according to the Plan, the rules and

regulations of the Secretary of the Interior's Standards for Rehabilitation (Exhibit "B"), and the California Historical Building Code.

- c. Owner shall allow reasonable periodic examinations, by prior appointment, of the interior and exterior of the Property by representatives of the City, County or City and County prior to any new agreement and every 5 years thereafter, and as may be necessary to determine owner's compliance with the terms and provisions of this Agreement.

4. Provision of Information of Compliance.

Owner hereby agrees to furnish City with any and all information requested by the City which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

City, following a duly noticed public hearing as set forth in California Government Code Sections 50280, et seq., may cancel this Agreement if it determines that Owner breached any of the conditions of this Agreement or has allowed the property to deteriorate to the point that it no longer meets the standards for a Historic-Cultural Monument or Contributing Structure. City may also cancel this Agreement if it determines that the Owner has failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of the Agreement, including but not limited to Owner's failure to comply with the Plan and/or Owner's failure to complete the rehabilitation and restoration identified in the Plan as provided for in the Plan. Except as otherwise provided in Section 19.143 of the Los Angeles Municipal Code, in the event of cancellation of this Agreement by the City, Owner shall pay the State of California a cancellation fee of Twelve and One-Half percent (12 1/2%) of the current fair market value of the Property at the time of cancellation, as determined by County Assessor without regard to any restrictions on the Property imposed pursuant to this Agreement. Payment of the fee shall be made in accordance with the provisions of subsection (b) of Section 50286 of the Government Code.

6. Enforcement of Agreement.

In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of this Agreement. In the event of a default under the provisions of this Agreement by Owner, City shall give written notice to Owner by registered or certified mail addressed to the address stated in this Agreement, and if such a violation is not corrected to the reasonable satisfaction of the City within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default if said breach or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default must be commenced within thirty (30) days and must thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner pursuant to the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner, or apply for such other relief as may be appropriate. City does not waive any claim of default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties

are available to the City to pursue in the event that there is a breach of this Agreement. No waiver of any breach or default under this Agreement shall be deemed to a waiver of any other subsequent breach thereof or default hereunder.

7. Binding Effect of Agreement.

The Owner hereby voluntarily subjects the Property described in Exhibit "A" hereto to the covenants, reservations and restrictions as set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the Owner's successors and assigns in title or interest to the Property. Each and every contract, deed or other instrument hereinafter executed, covering or conveying the Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restrictions expressed in this Agreement whether or not such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that Owner's legal interest in the Property is rendered less valuable thereby. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Property for the benefit of the public and Owner.

8. Notice.

Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

To City: Los Angeles Department of City Planning
200 North Spring Street, Room 559
Los Angeles, California 90012
Attn: Historical Property Contracts Manager

To Owner:	Name	<u>The Polynesian Homeowners Association</u>
	Address	<u>1830 N. Taft Avenue</u>
		<u>Hollywood, CA 90028-5762</u>

9. General Provisions.

- a. None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor

shall such terms, provisions or conditions cause them to be considered joint venturers or members of any joint enterprise.

- b. Owner agrees to and shall hold City and its elected officials, officers, employees and agents harmless from any and all liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of Owner or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to the use, operation and maintenance of the Property. Owner hereby agrees to and shall defend the City and its elected officials, officers, employees and agents with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of Owner's activities in connection with the Property. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, by reason of the operations referred to in this Agreement whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Property.
- c. All of the agreements, rights, covenants, reservations and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Property, whether by operation of law or in any manner whatsoever.
- d. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.
- e. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.
- f. This Agreement shall be construed and governed in accordance with the laws of the State of California.

10. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, City shall cause this Agreement to be recorded in the Office of the County Recorder of the County of Los Angeles.

11. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

12. Fees.

Owner agrees to pay any such fees associated with the administration of the Agreement, so long as the fee does not exceed the City's and County's reasonable cost of providing the service pursuant to this article for which the fee is charged.

IN WITNESS WHEREOF, the parties have caused this contract to be duly executed.

THE CITY OF LOS ANGELES, a municipal corporation:

ATTEST: HOLLY WOLCOTT, City Clerk/Executive Officer

By: _____
Deputy Date

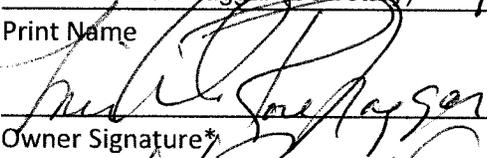
By: _____
MICHAEL J. LOGRANDE, Director of Planning Date

By: 
Owner Signature*

Grahame K. Budd (President) 5/9/15
Print Name Date

By: GRAHAM K. BUDD
Owner Signature*

Michelle Rose Naggar (Secretary) 5/9/15
Print Name Date

By: 
Owner Signature*

Michelle Rose Naggar
Print Name Date

APPROVED AS TO FORM
MICHAEL N. FEUER, City Attorney

By: _____
Deputy City Attorney, Office of the City Attorney Date

* Approved Recording Signature Method: The contract signature(s) and printed names(s) above MUST BE IDENTICAL to the printed names(s) on the first page of the contract and the Notary Acknowledgement Form. If not, the contract will be rejected by the County Recorder.

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1850 N. Taft Avenue, Hollywood, CA 90028

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: ElevatorCost \$ 11,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2014Description of work: Repairs and upgrades to elevator.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Concrete podium at rear of building.Cost \$ 500.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2015Description of work: Seal hole in concrete that pours drainage into garage and waterproof it.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Storage cabinet in garage.Cost \$ 350.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2015Description of work: Repair storage cabinet damage by leakage from hole in podium.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Damaged stucco wall currently covered with plywood.Cost \$ 750.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2015Description of work: Repair with lath and stucco to match surrounding.

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1850 N. Taft Avenue, Hollywood, CA 90028

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Water softenerCost \$6,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2016Description of work: Replace water softener that services all units.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: "Polynesian" sign on facade.Cost \$2,500.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2016Description of work: Restore and repair "Polynesian" sign.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Landscape gardens and interior planters.Cost \$16,800.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2016Description of work: Replant landscaping with original plant material and restore planters.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Paint on front facade.Cost \$20,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Paint and restore original facade (mica paint "waterfalls", decorative lattice, etc.)

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1850 N. Taft Avenue, Hollywood, CA 90028

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Roof gablesCost \$ 1,500.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Restore and paint decorative roof gables.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: CorbelsCost \$ 3,600.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Restore/replace in kind high roof corbels as needed.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: StairwellsCost \$ 1,500.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Repaint both stairwells.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: GarageCost \$ 3,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Paint garage and entry to same.

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1850 N. Taft Avenue, Hollywood, CA 90028

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: RailingsCost \$ 1,500.00 (round to nearest dollar)Contract Year of Proposed Work Completion: 2017Description of work: Paint railings.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Stairwell lightingCost \$ 1,200.00 (round to nearest dollar)Contract Year of Proposed Work Completion: 2018Description of work: Repair/replace stairwell lighting as needed.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Mosaic tile murals at entry and elevator doors.Cost \$ 30,000.00 (round to nearest dollar)Contract Year of Proposed Work Completion: 2020Description of work: Restore and seal murals.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Mural lightingCost \$ 4,000.00 (round to nearest dollar)Contract Year of Proposed Work Completion: 2020Description of work: Restore mural lighting back to original design at base of mural.

EXHIBIT "A"

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Rear patio/podiumCost \$ 5,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2021Description of work: Waterproof entire back patio.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Courtyard flooringCost \$ 20,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2023Description of work: Resurfacing/waterproofing courtyard flooring to original cobblestone pattern.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: PlumbingCost \$ 50,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2024Description of work: Update piping in each unit-on going unit by unit from 2015.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: WindowsCost \$ 130,872.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2024Description of work: Restore or replace all windows to original aluminum design. On-going unit by unit at \$\$5,453.00 each from 2015.

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1850 N. Taft Avenue, Hollywood, CA 90028

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: RoofCost \$ 20,000.00 (round to nearest dollar) Contract Year of Proposed Work Completion: 2025Description of work: Replace roofing in kind.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: InsuranceCost \$ 12,230.00 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Annual HOA insurance premium on structure.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: DWPCost \$ 200.00 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Average monthly DWP billing per unit.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: GasCost \$ 40.66 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Average monthly gas billing per unit.

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

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Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Security intercom systemCost \$ 100.00 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Annual sost of intercom service per unit.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Management CompanyCost \$ 5,760.00 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Annual management company fee.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work: _____

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work: _____

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 1830 N. Taft Avenue

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Windows

Cost \$ 2500 (round to nearest dollar) Contract Year of Proposed Work Completion: 2016

Description of work: Replace incompatible windows on west and courtyard facing elevations with compatible windows

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Master landscape plan

Cost \$ 2500 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017

Description of work: Create a master landscape plan that would identify historic landscape features to be restored and reconstructed, and propose overall plan for rehabilitation

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Garage Exhaust System

Cost \$ 1500 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Repair and reactivate the garage exhaust system

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Upgrade insulation

Cost \$ 5000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2020

Description of work: Study methods of upgrading insulation in the walls and roof, choose most feasible options through consultations with OHR, and then implement

MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS**Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Property Maintenance

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Historical Property Contracts Manager.

Conditions

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

The Polynesian
1830 N. Taft Avenue - Hollywood
Historic Structure Report



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Section I

Executive Summary

The purpose of this Historic Structures Report (HSR) is to provide a planning tool for the owners and other stewards of the building described in the report that directs preservation efforts through a recommended treatment approach. The report also will provide a record of the building's history and a documentation the existing conditions at the present time.

The primary author is a professional historian with extensive experience in property research and historic preservation, dating from the mid 1980s. This background includes the research, preparation and/or advocacy of over 150 Historic Cultural Monument Nominations for the City of Los Angeles and Ventura County, as well as research and documentation of numerous other historic structures. Additional data will be supplied by Louisa Van Leer, an architect practicing in the State of California, with experience in the preservation of historic structures and Miriam Tu, a licensed structural engineer.

Preservation Brief 43, and other technical documents that guide the preparation of historic structure reports, dictate that the report be organized into three parts.

Part 1 documents a property's developmental history. This history is typically described in the following sections:

- Historical Background and Context -a brief history of the building set in context, its creators and builders, and other persons associated with its history and development.
- Chronology of Development and use -a description of the building's original construction phase, alterations, and uses, based on historical evidence and documentation.
- Physical Description -a description of elements, materials, and spaces of the building, including both significant and non-significant features of the building.
- Evaluation of Significance -a discussion of significant features, original and non-original materials and elements, and identification of the period(s) of significance (if appropriate).
- Condition Assessment -a description of the condition of the building materials, elements, and systems and causes of deterioration, and discussion of materials testing and analysis.

Part 2 deals with Treatment and Work Recommendations. This portion of the report defines the selected preservation treatment and makes recommendations for work that are consistent with the chosen treatment. Part 2 is typically divided into the following sections:

- Historic Preservation Objectives -a description and rationale for the chosen preservation treatment and how it meets the goals for the historic resource.
- Requirements for Work -a brief outline of applicable laws, regulations, and guidelines that should be followed when performing work (e.g. life safety, hazardous materials abatement, etc.) This section is tailored to be appropriate for the use of building. Single-family residences will not have the same requirements for work as a building that is open to the public.
- Work Recommendations and Alternatives -a detailed report of tasks that are recommended in order to comply with the proposed treatment approach. Specific recommendations are described to address the building's issues that were identified in the conditions assessment. Different alternatives will be outlined if appropriate.
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Part 3 is the living and changing portion of the report where details of work performed are described. Part 3 is an important element because it provides accountability and organization moving into the work phase of the project. In cases where some work has been performed prior to preparation of the HSR, any available details from those projects can be included here to be part of the official record. In order to encourage the addition of future documentation for projects moving forward Part 3 has been included with the appendices in a loose-leaf binder for ease of use.

Summary of Findings and Recommendations

The Polynesian is a 3-story 24 unit condominium building constructed in a square layout, surrounding a central courtyard. The building is built over a single level subterranean parking garage with reinforced concrete foundation walls on all four sides. The building was erected in 1962 and was originally referred to as an "Own Your Own" (OYO) building, which is not located in a separate subdivision as new condominiums are today.

Various projects will be needed over the next decade as the building is now over 50 years old. These project include, but are not limited to repair of cracks in the concrete walls and floor of the garage, replacement of the original roof and repair and restoration of wood trim, especially the roof parapet and various architectural details that have deteriorated over the years. Other work will include the replacement of some individual unit windows that have been changed over the years to non-historic materials.

There are no plans for any structural changes or additions to the property and all work is to be performed in accordance with the Secretary of the Interiors Standards in accordance with the Secretary of the Interior's Guidelines for Historic Preservation.

Key Issues and Use

The Polynesian has maintained consistent use as a multi-family owner-occupied condominium residence. The key issues investigated for the purposes of this study involved identifying areas of structural vulnerability and developing a plan to evaluate and address the areas. Secondary issues involved areas of deterioration on the exterior. Additional study of existing structural compromises is anticipated as a follow-up to this report.

Section II

Project Data

This Historic Structures Report has been prepared for the property located at 1830 N. Taft Avenue in the Hollywood neighborhood of Los Angeles. The historic name for the complex, assigned at the time of its original construction and carried on with the Historic Cultural Monument application, is "The Polynesian". The original owner were brothers, Roy H. and H. F. Johnson, who were to hold the actual title until the 1970s with the original unit owners holding title through first them and then the homeowner's association, until a change in state law allowed the individual owners to hold separate title for their units. The original and current name of "The Polynesian" will be used for the purposes of this report. The site accommodates one building that occupies most of the parcel.

Administrative Data:

Location Data

Historic Name: The Polynesian
 Other Name(s):
 Building Address: 1830 N. Taft Avenue
 Los Angeles, CA 90028

Legal Description of the Property:	Assessor's I. D. No.	5586-033-025 through 5586-033-048
	Tract	Morgan's Hollywood Tract
	Map Reference	MB 16 Page 49
	Block	N/A
	Lot	92, 93 and the North 20 Ft of Lot 91 & the South 25 Ft of Lot 94
	Arb	NONE

Ownership:

The property is located at 1830 N. Taft Avenue and is owned by property owners per attached listing in the addendum and governed by the Polynesian Homeowner's Association.

Cultural Resource Data:

The Polynesian was declared Historic Cultural Monument No. 1070 by the Los Angeles City Council on July 30, 2014.

Project Team:

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Methodology:

This Historic Structures Report (HSR) follows the conventions outlined by Preservation Brief 43 - "The Preparation and Use of Historic Structures Reports" published by the National Park Service. The Scope of the study, as well as content and organization of the report, was informed by the brief as well as the specific needs of the property.

A preliminary walk through of the property was conducted on October 4, 2014 by all parties to gather an initial understanding of the building and to access its historic features, its overall condition and areas of deterioration. Observations were made of various historic features as well as the foundation, garage and driveway concrete, as well as other issues.

The initial walkthrough also provided a brief introduction to the building's problem areas. These areas were noted and received specific attention in the survey of existing conditions that was conducted on the property. Photographic documentation of the property was also done at that time.

An important consideration when beginning the preparation of a HSR is to determine a buildings potential key issues. These issues help form the main research questions, which should be answered during the course of the project. An outline of the site visit and walk through observation questions are as follows:

Exterior:

1. The existing tar and gravel roof appears to be serviceable, but there is no record of it being redone. After a half century, the roof appears to be reaching the end of its useful life and will need to be replaced.
2. Exterior walls are stucco, with some signs of water damage at several locations. Wood trim will need to be repaired and repainted.
3. Garage floor is cracked in numerous places and will need to be repaired for safety reasons. Any new concrete will need to match the original in color and texture'. The same with any exterior concrete that is to be replaced
4. Windows and doors. The complex has original aluminum windows which will need to be repaired and restored or replaced in kind.

Interior.

1. The interior of the various units are in various conditions and also vary in how much original fabric has been retained over the years. At least one has been completely remodeled. However many do maintain much of the original design, including original built-in kitchen stove in several units

Section III

Historical Background and Context

Built in 1962, this unique South Sea Islands themed 24 unit residential buildings was marketed as and remains an "own-your-own" apartment building, in which each apartment is the property of the individual occupant. While this was not as formal as a condominium project when it was first instituted, the own-your-own concept was eventually replaced by the condo. Most of these buildings, such as this one, are now treated as condominiums for ownership and tax purposes, although they do not have a separate tract of parcel map filed to formalize that arrangement. The Polynesian is important as a representative of the Polynesian or Tiki phase of Modernism that took root in the late 1950s through the mid 1960s. This architecture was found in everything to themed restaurants to homes, motels and apartment buildings. The building uses elements of the South Pacific Islands, such as lava rocks, bamboo stalk motif, lush tropical type landscaping, hut type roof gables and mosaics of tropical scenes to convey a feeling of the islands of the Polynesian cultures and climate.

Polynesian themed Architecture began in Southern California after the Second World War, when there was a period of wanderlust for all things exotic and different in the United States. The lore of the Polynesian lifestyle and design was manifested in the beach culture that evolved in the 1950s. Fascination with everything from Tiki statuary to exotic plants led to an architectural offshoot of Modernism that celebrated this love of everything tropical and South Pacific. The granting of statehood to the Hawaiian Islands in 1960 helped to bring home this celebration as it was now a part of our own heritage.

The architecture that was most prevalent was found in restaurants, which dotted the landscape of Southern California with their thatched roofs and bamboo covered walls. This design element also found its way into housing, especially in the apartment buildings, where Polynesian and Tiki elements began to appear as detailing in some of the Dingbat apartments that were springing up throughout the area. The influence also appeared in larger complexes such as some of the West Hollywood designs by Edward Hale Fickett. The Polynesian was a product of this rage. The building is a three-story 24 unit building with the outer walls surrounding a central courtyard. The building has underground parking, which is what separates it from the common Dingbat of the day, which utilized one or two stories over at grade parking. The parking location also precluded the building from having a swimming pool in its central courtyard. The architect therefore designed two large planter made of volcanic rock to make the courtyard area more inviting to potential buyers of the units in the project. The design also utilizes this volcanic lava rock on the facade, covering a portion of the entry lanai with it, as well as the large planters at the front of the building.

The architect of The Polynesian was Emery Kanarick, who had designed a number of apartment buildings since he first began his architectural practice in 1949. He opened

his own office in 1952 under the name of Emery Kanarick and Associates. One of the firm's first commission was to design 23 houses for BRS Development Company for Tract No. 17018, known as Woodman Park, in Van Nuys. These 23 designs were used with variations in orientation and interior schemes to produce 139 homes for the tract. The homes sold out quickly and a second phase of 62 homes were built as well as 80 homes in a different tract known as "Roscoe Park" near Roscoe Boulevard and Haskell Avenue. Kanarick went on to design a number of commercial and multi-family residential projects, mostly in the San Fernando Valley, as that area went through its Post World War II growth boom. The commission for The Polynesian gave him a chance to use creative design, while working with structural engineer, Tiber Gyimesi who took care of the nuts and bolts of the complicated design. Kanarick located a supply of volcanic rock and incorporated the material into the exterior walls and planters. He also incorporated mosaic tile in both the large mural at the lanai and the simulated bamboo at the external elevator lobbies. The unique balcony railings as well as the playful manner in which the balconies cross over the free space over the entry lanai is another unique character defining feature of the building.

The Polynesian was marketed as a delightful place to live, conveniently located in Hollywood, just North of Hollywood Boulevard. It was always intended as a "Own Your Own" apartment building, a concept that is a forerunner of the modern condominium, which was evolving at the time The Polynesian was built. The one major difference was in the way the ownership was shown. A condominium requires a new subdivision or parcel map to be filed and then the units are split off and assessed individually. In an OYO, such as The Polynesian, there was no new subdivision and the units were held in common through the Homeowners Association. The property taxes were paid on a single bill. As long as all units were valued about the same, this system worked fine. However, with the passage of proposition 13, in 1976, this system soon became problematic, with units being valued differently, based on the sale price. The Polynesian, which up until then, had been held in a single parcel under the name of H. F. Johansen, Et Al, until 1966 and then put under the Polynesian Owner's Association, was finally split up into the individual owners on September 29, 1980. Today, one of the original owners still remains in the building after a half a Century.

The Polynesian exemplifies the impact of the love for all things South Pacific that became a rage during the 1950s and 1960s. The theme is emblematic of earlier architecture that took on the nostalgia or wanderlust of its time, such as the 1922 discovery of the intact tomb of Tutankhamen spurring on a period of Egyptian revival architecture, or the novel "Ramona" ushering in the Mission Revival phase in design or the race to the Moon spurring on the Googie or "Space Age" style that was a contemporary with the Polynesian craze. The building meets the requirements for listing as an architectural type specimen as a Mid 20th Century multi-family building specifically in the Polynesian themed style. It also demonstrates the result of a specific cultural impact in Mid 20th Century society in that it exemplifies the influence of events and societal trends in the design of the building, particularly in illustrating the

influence of the Polynesian Culture in its design and particularly in its detailing and the choice of materials in its design elements. It is also important as an early representative of the evolution of the condominium as a new form of home ownership through the use of the "Own Your Own" apartment format that soon evolved into the condominium projects that are common-place today

Section IV

Architectural Description and context

The Polynesian was built at a time of rapid residential development in Los Angeles and the Hollywood Area. It was the period of the Post World War II boom in housing that introduced large apartment complexes into existing formerly single-family neighborhoods.

This sort of development became common-place in the various Hollywood streets that jutted both North and South of the main East-West arteries, such as Hollywood and Sunset Boulevards.

The Polynesian is an rectangular shaped three-story condominium building designed in the Modernist courtyard apartment plan with Polynesian-Tiki detailing using an asymmetrical front facade and stucco cladding.



The Polynesian is a 3-story, Polynesian Style, rectangular plan 24-Unit multi-Family Residence with a stucco and lava rock finish along with mosaic tile and wood trim. its flat and low-gabled parapet roof is rolled composition .

Aluminum sliding windows and sliding doors opening to balconies. The entry features a set of stairs to a large open lanai with a glass wall surrounding the doorway, which features double glass doorway with metal surrounds. Additional character defining elements of the structure are a large central courtyard with two lava rock planters filled with various tropical like palms and other plants. These plantings are also found at the front of the building within like lava rock planters that stretch along the front facade of the building. There is a pathway through the planter area to accommodate ADA access which may have been cut at a later date, but is lined with same lava rock walls. a wide set of stairs-leads up to the front entry lanai. Both the stairs and the pathway are in a tan colored concrete.

The front facade is flanked with wide concrete tile covered panels, with the building name and address ("The Polynesian 1830") emblazoned on the South end panel, which is situated above the entry to the below grade parking garage. The three stories have open stucco covered balconies facing the front and rear of the building, for each unit. The entry is topped with a low gabled covering topped with a decorative open concrete block wall that carries the front facade across the open entry area and covers the courtyard facing balcony walkways that cross behind it. These balcony hallways have distinctive geometrical railings that encompass a rectangle within a

rectangle motif. The roof has a progression of low gabled parapets with roof awnings over the upper balconies. The entry lanai has a lava rock wall to the right and a large tile tropical mural to the left of the entry. .A Modernist light fixture of three balls above the entry and bamboo motif by elevator.

Summary of Historic Character

The Polynesian retains a strong association for historians and the neighborhood and the historic Hollywood community as a Polynesian-Tiki Style building

Section V
Construction History and Permits

Only has been found for the property. Built in 1962, it was designed by architect Emery Kanarik and engineered by Tiber Gyimesi . The exterior is pretty much in original condition, but a number of the individual units have had work done over the years without permits. All future remodeling work will require permits to be issued.

Most of the units still retain their historic areas, including original built-in appliances.

A list of this permit is found beginning on the next page and a copy of the permit is found in the appendix.

Building Permit History
1830 N. Taft Avenue
Hollywood

May 28, 1962: Building Permit No. LA11782 to construct a 3-story, 104' 4" X 133' frame and stucco 24 unit apartment building at 1830 N. Taft Avenue on Lots 92, 93, the N. 20 Ft of Lot 91 and the S 25 Ft of Lot 94 of Morgan's Hollywood Tract.
Owner: Roy H. and H. F. Johnson
Architect: Emery Kanarik
Engineer: Tiber Gyimesi
Contractor: No General Contractor
Cost: \$440,000.00

Part 2

Treatment and Work Recommendations

Historic Preservation Objectives

The historic preservation objective for the Polynesian is to provide treatment recommendations for a variety of items, from coatings and finishes to waterproofing to signage. The specific items include: restoring the decorative wood outriggers surrounding the street entry at the roof level, the three story tile finish on street façade, the building signage on street frontage, the courtyard paving finish, the lava rock planters in the courtyard, Recommendations for replacing newer elements with more period sensitive systems including: replacing new aluminum windows with period sensitive aluminum slider and jalousie windows, replacing newer security grills with period sensitive security grills or alternative measures. Recommend options for an epoxy or other waterproofing finish to treat the degraded surface of the exposed concrete parking podium/terrace located at the rear of the property. Recommend maintenance measures to address water problems observed during site visit (such as re-configuring irrigation nozzles away from the building surfaces, cleaning roof drains, keeping landscape soils away from accumulating up in front of crawl space vents) Recommend roofing systems to replace the existing flat roof and pebble ballast. As outlined by the Secretary of the Interior, which forms the backbone of all Historic Structures Reports in addition to the Mills Act itself, there are four approaches that can be chosen with respect to treatment of historic buildings; sometimes a combination of these different treatment approaches is required.

The four approaches are:

1. Preservation: places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.
2. Rehabilitation: emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes, spaces, and spatial relationships that, together, give a property its historic character.)
3. Restoration: focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.
4. Reconstruction: establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

The overall treatment approach of Rehabilitation was chosen for the Polynesian, given that the character – defining features of the building remain significantly intact and that the structure has been maintained as an apartment building over the course of its lifetime. All character defining features will be retained and on the exterior, with limited areas of restoration to replace newer fenestration, while the residents will reserve the ability to make reasonable alterations to improve the interiors of the individual condominium units for everyday livability. The Secretary of the Interior's Standards are the guiding force in applying the principals of Rehabilitation and are included in the Appendix in addition to the specific maintenance requirements for the building.

Requirements for Work

Any work performed on the property (interior, exterior and grounds) must conform to The Secretary of the Interior's Standards for Rehabilitation and to the California Historical Building Code, in addition to other related local laws and regulations.

If the Polynesian is granted a Mills Act Contract – The Mills Act Contract Program is under the authority of the Office of Historic Resources and Cultural Heritage Commission. As such, Cultural Heritage Commission staff and the Historical Property Contracts Manager review and approve alterations to the property. This review supersedes the Historic Preservation Overlay Zone (HPOZ) Board review and includes interior, exterior, landscaping and other site work. Most HPOZ's only review exterior work, visible from the public right-of-way. However, it is the policy of the Office of Historic Resources to consult the HPOZ Planner from the district to allow the HPOZ Board to comment on proposed exterior work on the property.

In addition to following the Secretary of the Interior's Standards for Rehabilitation, work performed on the Polynesian should also follow all local laws and regulations, especially with regard to building codes and safety. The owners can take precautions to insure adherence to these laws and guidelines by hiring licensed architects and contractors who are well versed in working with historic buildings in Los Angeles.

Work Recommendations and Alternatives

The work recommendations and alternatives developed for the Polynesian serve to support the historic preservation objects and treatment approach that have been chosen for the building. The secretary of the Interior's Standards and Guidelines for Rehabilitation and the Los Angeles Office of Historic resources should be consulted before any intervention is undertaken involving The Polynesian.

The following is a detailed list of recommendations for treatment, organized by space and/or called out as a whole building element when appropriate. This should assist in focusing rehabilitation efforts in the Areas that are most in need. The recommendations for the building are primarily for exterior work. The freestanding garage structure will require interior and exterior rehabilitation as outlined in the report below.

A Structural report follows that analyses the overall structural soundness of the Polynesian and addresses the areas most in need of rehabilitation.

Seismic Upgrades

The long term importance to seismic strength to historic structures in Southern California cannot be overstated. Unlike many apartment buildings of this period, such as the so called “Dingbats,” the Polynesian does not have a soft story, grade level parking at its base. In the Polynesian, the parking is below grade and does not constitute a problematic soft story. The seismic issues found, as outlined in the structural report attached are more in the order of properly strapping equipment. See structural report.

Historic Street Façade Materials and Recommended Treatment

There are a range of character defining materials that compose the street and courtyard facades, many of which are still intact and in reasonably good condition and that help define the essential “Tiki” themed character of the Polynesian (Fig. 2-1) .

The street façade is bookended by two large, three story high x 18 feet wide vertical expanses of a composite pebble tile material mounted to an unknown sub-straight. (Fig. 2-2) Each tile measures approximately 8” x 8”. The tiles have been painted over with what appears to be a latex paint. (Fig. 2-3) Aside from the inappropriate paint, these tiled “bookends” appear to be in good condition. Interviews with the building manager, Shelley Leopold, indicate that the tiled area may have a gold flecked finish prior to being painted over. It is recommended that a portion of the paint surface be removed from an unobtrusive area to expose the original tile finish, however extreme care must be taken that only the most gentle measures for removal are used and only a qualified conservator of exterior finishes should be contracted with. Once it has been determined the nature of the finish and the effectiveness of the cleaning methods, the owner should record the findings and document the exposed finish and keep the documentation on file. From there, the owner can decide whether to restore the entirety of the façade bookends. The Department of the Interior has written

extensively about the dangers of abrasive cleaning in Preservation Brief No. 6 as well as the dangers of strong chemical stripping agents. Often without proper expertise and care, the paint removal methods can cause more damage than allowing the surfaces to simply remain covered.

Building Signage

Directly over the entrance to the garage is the iconic, original and largely intact painted plywood building sign with “The Polynesian 1830” up-lite with a giant clam shell sconce. (Fig. 2-4) The overall sign is quite large (approx. 8ft x 16ft) and is surface mounted to the now painted 8x8 tile finished “bookend” described earlier in this passage. It appears that the original “Tiki” font, letter sizes and spacing is substantially intact, such that a careful and thorough reconstruction of the historic signage is possible by a qualified signage fabricator. The signage material itself is individual plywood letters, cut with a scroll saw and individually mounted to the wall. The plywood letters are rotting and delaminating and may have been replaced at different times, judging by the different colors of faded paint. It is recommended that the plywood sign and letters be carefully documented and reconstructed out of the same materials and the same paint color and reinstalled in their original location.

Architectural Screen

High above the courtyard entry is a backlit architectural screen that helps define the courtyard entry. The screen has an organic scroll motif and is made up of individual, repeating 18x18inch coated high density foam panels sandwiched between 1/8” thick plastic boards. The individual panels are screw fastened to a painted 2x wood structure. (Fig. 2-5 thru 2-7) The repeating panels appear to be in satisfactory condition however one panel recently blew down in a windstorm, indicating that all fasteners and wood framing members should be checked for rot. The 2x wood framing system is exhibiting signs of wear, and possible rot. It is recommended that a conservator of exterior finishes inspects the screen – the top side of the foam screen panels is showing signs of degrading from the elements and should be recoated to prevent further degradation.

Mosaic Artwork

Gracing the courtyard entry of the Polynesian is a quite remarkable, original 12 foot high x 40 foot long mosaic tile artwork, featuring Polynesian themes of palm trees, ocean scenes, beaches and indigenous sailing vessels. (Fig. 2-8) The pastel colored 3/4” square mosaic tile and grout is intact and is in excellent condition with the exception of a small crack in the upper left corner next to entry doors (Fig. 2-9). Existing up lights are intact and are mounted to knee high mosaic tile covered pedestals, running the length of a slightly raised floor area in front of the wall mosaic. It is unclear whether the lights are original, however they are certainly older. It is recommended that the owner hires a professional conservator to suggest a maintenance program and to inspect the mosaic and suggest methods of treating the crack, cleaning the mosaic and possible sealing to protect it.

Lava Rock Niche

Opposite the mosaic is a lava rock wall niche with a 10x10 concrete slab at its base. (Fig. 2-10) It appears that there may have been something in this niche based on its prominent location but it's unclear. The building manager and historian have not yet unearthed archival documentation of what may have been in that location. The Secretary of the Interior guides against reconstruction of historic details without archival basis and does not condone reconstruction based on conjecture. Acknowledging that the lava rock niche is a bit odd, the preservation recommendation is, however, to leave the niche as is until archival information can be produced.

Street Frontage Plantings

Street frontage plantings and lava stone planters line the entrance walks from the street to the courtyard entrance and are planted with many tropical plant species, evoking the Polynesian theme. The planters are generally in good condition, however some cracks could be observed. (Fig. 2-12) Note that the street frontage appears to be over planted, with dense cycad plantings obscuring the architecture, not enhancing it as should be the case. (Fig. 2-13). In addition, spoil and mulch has been mounded up over time and is resting against the building, causing potential moisture and rot to the structure. Several irrigation heads were positioned too close to the building resulting in overspray hitting the structure. It is recommended that a two foot minimum clear zone be kept around the building base, that irrigation heads be relocated and that excess soil and mulch be removed. It is also recommended thinning out the denser plantings and leaving the mature palms in place. Of concern, as well, is the ongoing drought in California. It is recommended that the owner hire a landscape architect who can propose drought tolerant, yet tropical looking plants, like succulents and some agaves while leaving the existing mature palms intact.

Street Frontage Balconies and Outriggers

The security bars present on lower level apartment balconies facing the street are more recent additions and distract from the architectural qualities of the building are not appropriately designed. (Fig. 2-14) There is also some concern about meeting life safety code with the security bars preventing adequate egress from bedrooms. It is recommended that other security measures be explored that will meet life safety regulations and do not detract from the architecture. On the top balconies facing the street there is a more recent metal canopy with supports mounted to the original stucco guardrail. Similar canopies have been mounted on the rear property line balconies. The metal canopies do detract from the architecture of the wood outriggers but are not too objectionable and clearly they help with sun and rain control, which in turn prolongs the life of the building. The awnings can also be easily removed at a future date, should someone want to return to the original partially roofed balconies to their original state.

The character defining wood outriggers that support a series of gable roof elements found along the street frontage above the balconies are exhibiting rot (Fig. 2-29). It is the preservation recommendation to treat the outriggers in place as much as possible and not remove them. The preservation treatment for repairing the rot in the outriggers is as follows:

For light rot, Epoxy fillers can be used to replace lost wood and sculpted at the surface to blend with the tone and texture of adjacent wood. The epoxy filler is an inauthentic material, but it is easily identifiable at close range, and provides a visually compatible presentation. It requires a skilled worker to mix and apply correctly. Consider cellulose based fillers if the worker does not have epoxy expertise.

The exposed outrigger ends that project out beyond the drip line often experience the heaviest rot since they are exposed to the elements. Consider installing a discreet flashing cap to cover the top of the bracket or rafter tail and paint to match. This will add years of life to the wood element.

For heavier rot, consider patching utilizing the “Dutchman Repair” technique which is a method of splicing new wood onto the old wood, which may be required for the highly degraded master bedroom balcony rafter tails. For the new wood splice, carefully replicate the unique silhouette of the existing rafter tail ends and follow the recommendation in Preservation Brief 45.

Historic Night Lighting

The Polynesian has several character defining exterior lighting features that utilize up lighting and back lighting techniques to rather dramatic effect. It is recommended to examine the lighting design together to understand the outdoor lighting systems and overall architectural effect. The building signage is up lite with the signature giant clam shell sconce (Fig. 2-4), the main entry beckons to the street with the large backlit screen above the courtyard entry doors over which are hung four graduated sizes of original pendant globes (Fig. 2-5 & 2-6) mounted opposite and off center from the 40 foot long up lit mosaic ribbon than guides the building visitors from the street entry into the inner courtyard (Fig. 2-8). The courtyard interior appears to be lit in a rather subdued way with ceiling mounted amber colored glass globe fixtures with bronze details (Fig. 2-15) possibly to mitigate excess light into the apartment windows facing into the courtyard. The balconies over-looking the street share the same ceiling mounted amber colored glass globes. The preservation treatment recommendation is to preserve all lighting fixtures and accessories, carefully inspecting and upgrading wiring, if worn, by a licensed electrician and to consider details such as style of replacement bulbs, wattage/ brightness and color temperature and treat the lighting consistently and with consideration of overall period sensitive effect.



Fig. 2-1 Street façade (courtesy of Google)



Fig. 2-2 Street façade



Fig. 2-3 Detail of Painted Tile

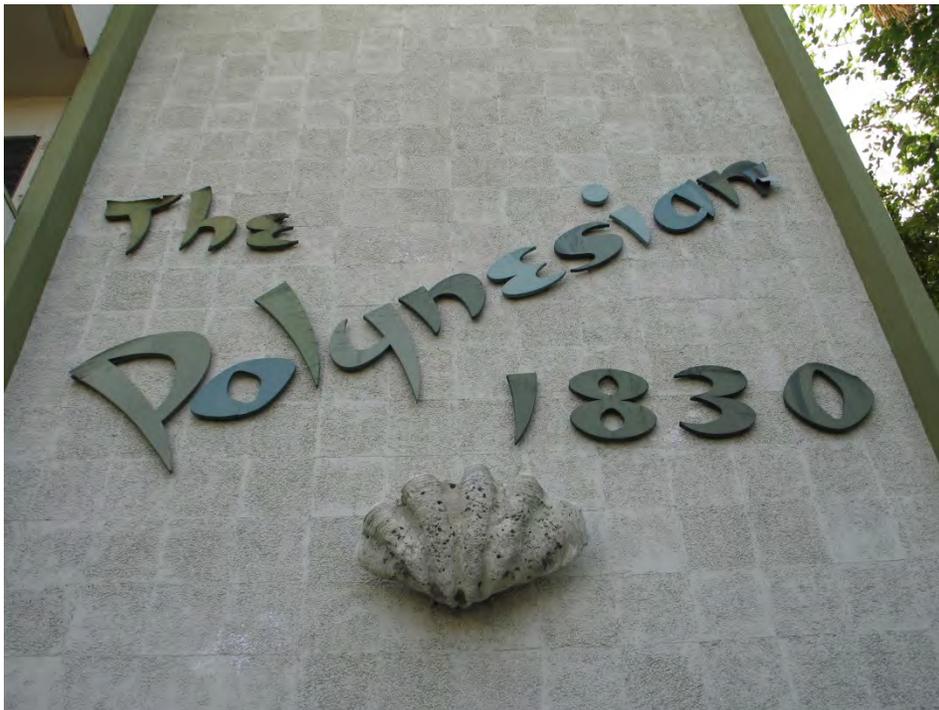


Fig. 2-4 Iconic Street signage and giant clam shell lighting sconce



Fig. 2-5 Architectural screen - street view



Fig. 2-6 Architectural screen - courtyard view



Fig. 2-7 Architectural screen panel blown down in a recent windstorm



Fig. 2-8 Mosaic tile mural at courtyard entry.
Note pedestal uplight.



Fig. 2-9 Mosaic tile mural with crack



Fig. 2-9A Aluminum storefront style entry door

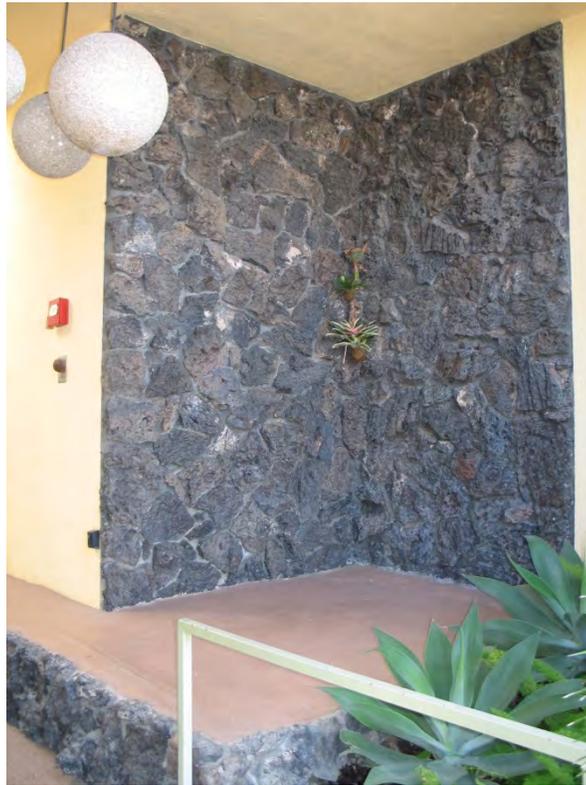


Fig. 2-10 Lava rock niche at courtyard entry



Fig. 2-11 Railing at courtyard entry with rust at base



Fig. 2-12 Street entry Lava stone planter with crack



Fig. 2-13 Street view with over planting

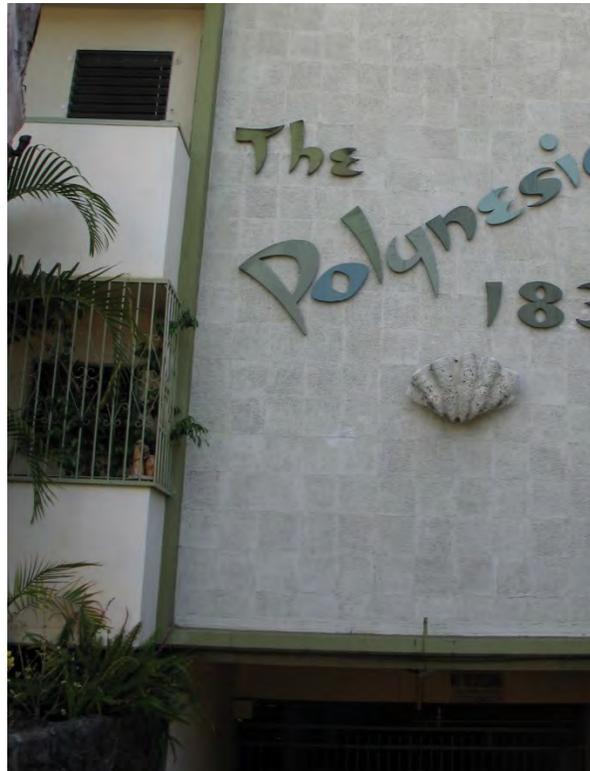


Fig. 2-14 Security grills on balconies (on left)

“Standards for Reconstruction”

Secretary of the Interior’s Standards for the Treatment of Historic Properties

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

Historic Courtyard and Concrete Podium / Deck

Once one leaves the street and passes through the glass entry doors, the visitor is greeted by a three story interior courtyard (Fig. 2-15). Access and circulation to all the apartments in the building occurs from the courtyard via an elevator and an enclosed

fire stair and the cantilevered open air walkways on the upper floors that ring the courtyard. The first floor units open directly off the courtyard. The courtyard floor deck is actually the roof of the parking garage below and is representative of a typical style of apartment construction in California, where a wood framed apartment structure rests on top of the concrete podium parking structure. The podium forms the “floor” of the courtyard. There are two large, amoeba shaped lava stone planters that rest on the podium and range from waist high to chest high. The north planter has an original lava rock fountain that is currently operating. Mature palm trees in the planters stretch upward through the courtyard towards the sky (Fig. 2-16).

The surface of the courtyard is a waterproof sheet membrane adhered to the concrete podium with lapped edges at the seams. The concrete deck slopes to several area drains. There are two textures – a rough, pebbly surface and smooth membrane (Fig. 2-19). The entire courtyard floor deck is covered with a patchwork of the two textures and the entire surface has been painted over in the past five years or so with some kind of deck paint. It is not clear if the patchwork is the remnant of an original flooring pattern or if repairs have been made over time leading to a patchwork look. The pebbly pattern seems to match the washed aggregate of the entry area floor (Fig. 2-17). The membrane appears to be stable and holding up to the foot traffic and doing its job. Without archival documentation of the original floor treatment it is wise to leave the deck as is (see reference to Standards for Reconstruction in previous passages).

The lava rock planters have several large vertical cracks and tree roots can be observed forcing their way out of the planter and clogging weep holes (Fig. 2-18). A qualified arborist should be retained to see if the existing mature palms can be root pruned and left in place (preferred option) or if the plantings have outlived their planter environment and new specimens need to be introduced. In either case, the planters need to be cleaned or partially cleaned in order that the cracks in the planter walls can be fixed and weep holes unclogged. It is recommended that all repair work occurs INSIDE the planter and the only repair work on the exterior is the mortar repair. All mortar shall match the existing mortar in color and composition. Note that leaks were observed from the underside of the concrete deck and may correlate to the planter locations above. Waterproofing inside the planters may need a full upgrade. In addition, care should be taken to preserve the lava rock fountain.

Upper Walkways

The upper walkways ringing the courtyard have been well maintained and are in good condition.

(Fig. 2-15) The guard railings, however, are non-compliant with current code for rail height and rail opening sizes, a 4 inch diameter sphere can currently pass through the rail openings. The guardrail would most likely be granted an exemption via the California Historical Building Code from the current code. That said, it is possible that the owner may someday want to modify the existing railing to make it safer while retaining the period railing. If the owner so chooses, it may be possible to attach a

lightweight yet strong, transparent material, such as Lexan or a metal mesh, to the interior face of the existing guardrail. Or a second, freestanding tempered glass rail could be installed inboard of the existing metal guardrail. The railing could be supported from the existing deck, however more analysis of the deck construction is needed to determine the best anchorage method. In both cases, the glass or mesh would mitigate the falling and climbing hazard, while remaining a separate and discreet element and allow the character defining rail feature to remain intact.

Fenestration and Storefront Style Entry Doors

The original fenestration in the courtyard is substantially intact, except for one apartment unit on the upper floor. Here, the original sliding aluminum windows plus one jalousie window have been replaced with new vinyl fenestration, infilling the former wall openings (Fig. 2-15). The newer fenestration in the courtyard does not match the old frame profiles or finish materials and clearly stands out. The building elevations outside the courtyard, located on the north, east and south facades, not visible from the street, have a much higher degree of window replacement. It is estimated that only 25% of the original aluminum and jalousie windows are still intact on these three elevations (Fig. 2-24 thru 27) The street façade fenestration appears to have retained many of the original aluminum sliders but further verification is needed. The owner wishes to replace the windows and has received complaints about the window performance from the condo owners.

The preservation recommendation is to leave the original aluminum sliders and jalousie windows in place wherever they exist and explore alternative methods of improving the energy performance as outlined in the National Park Service's "Preservation Brief 3: Improving Energy Efficiency in Historic Buildings" (see appendix). Preserving original windows is a central tenet to the preservation of historic architecture. In the courtyard, it is recommended to investigate to see whether the one set of vinyl windows can be replaced with a set of original aluminum slider and jalousie windows salvaged from the North, East or South elevations. The window sizes appear to be consistent and a qualified contractor can help determine whether this is possible. With this approach the courtyard, which is the most important public space in the building and is nearly pristine, can be returned to a fully pristine state, for the benefit of the greatest number of people. It is recommended that the numerous newer vinyl windows located on the North, East and South elevations, again, not visible from the street, be replaced with new, aluminum windows to match as closely as possible the original aluminum profiles as well as on the street façade. This will be a challenge as the exact aluminum profiles are no longer manufactured. All other original aluminum sliders and jalousies should be left in place so that that the changes that have occurred over time to the North, East and South as well as the West street elevations can be understood by future historians.

The aluminum entry doors from the street into the courtyard (Fig 2-9A) appear to be original or near original. The owner believes they were added for security in the 1960's

and that the entrance was formerly wide open. It is not entirely clear from looking at the details and there is no documentation of the original entrance. The lava rock sill and window frame into the Mosaic artwork in odd and not entirely resolved way and the window frame itself is probably fastened straight through the mosaic artwork tile (Fig 2-8). The owner has no desire to eliminate the secured entry function, however, is interested in a possibly replacing the storefront. It's possible that more damage would be done in removing the storefront system, especially to the mosaic artwork, so the preservation recommendation is inclined to suggest preserving the entire aluminum storefront system and repairing in place.



Fig. 2-15 Cantilevered walkways with guardrails. Note upper apartment with newer vinyl slider windows



Fig. 2-16 Courtyard with lava rock planters



Fig. 2-17 Paving (street side of entry doors)



Fig. 2-18 Crack in lava stone planter



Fig. 2-19 Paving on courtyard podium deck (parking garage below)

Other Projects: Exterior Envelope including Rear Podium Deck and Roofing

Concrete podium

The concrete podium deck adjacent to the rear property line exhibits cracking and several generations of crack repair (Fig. 2-20). The deck area is used for general site access as well as small outdoor patios for the rear ground floor apartments. The owner has consulted with a leak specialist who has performed a water test on the slab - report is attached. A qualified waterproofing contractor should be brought in to review the report, investigate the leaks and recommend remedial measures to repair and /or resurface (Fig. 2-23). The same deck slab is showing some movement where it meets the rear stairway (Fig. 2-21). Railings in the rear areas are exhibiting corrosion at the base of the railing posts. Recommend replacing the railing at the same time that waterproofing upgrades are made to the deck (Fig. 2-22).

Roofing

The flat roof with gravel ballast appears to have been replaced within the last 15 years and the owner informs us that no roof leaks have been reported. It appears that no immediate action is required to replace the roofing, however ongoing maintenance should still be addressed. In particular gutters, drains and downspouts should be cleaned periodically as they have debris blocking the inlets, tv cables should be cleared from the downspouts and a installed in a separate, independent location and all

mechanical equipment should be appropriately fastened to prevent toppling in an earthquake. (Fig. 2-30 thru32).

The fascia boards on the street elevation should be inspected, repaired and repainted (Fig. 2-28 & 29).



Fig. 2-20 Rear podium deck cracking

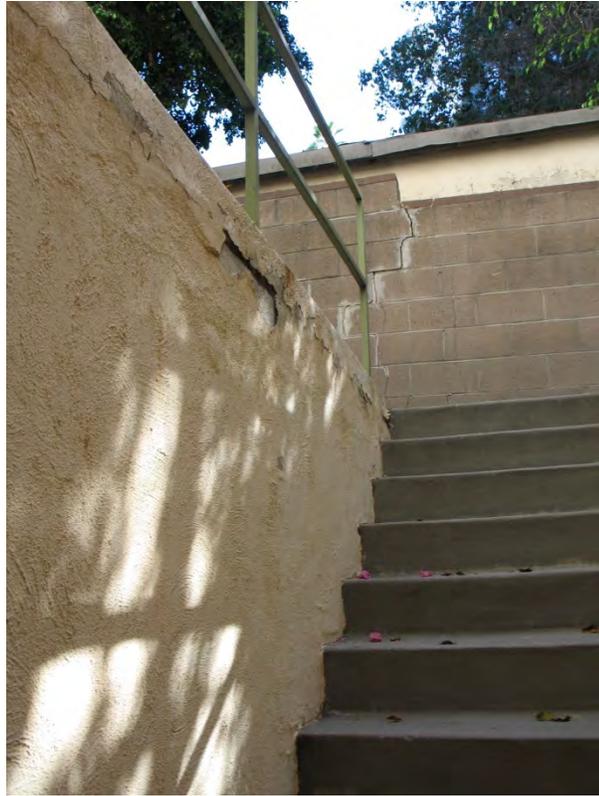


Fig. 2-21 Rear podium deck – cracking

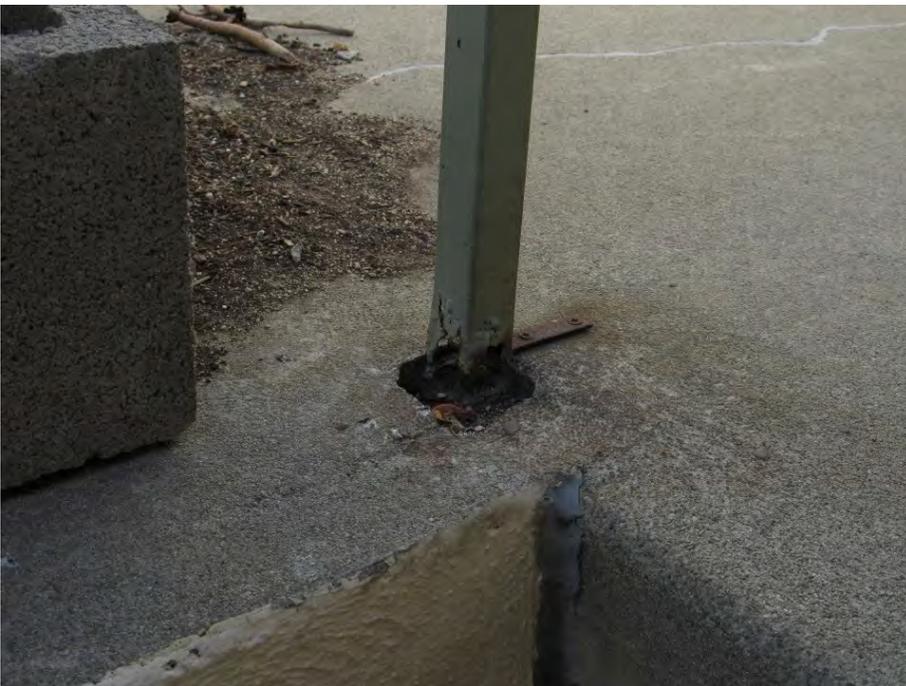


Fig. 2-22 Railing with extensive corrosion



Fig. 2-23 Rear wall of garage showing water damage from rear podium cracks



Fig. 2-24 Original jalousie window on North facade



Fig. 2-25 Original alum. slider window on North façade



Fig. 2-26 Newer vinyl slider window on North facade



Fig. 2-27 Newer vinyl windows on East façade



Fig. 2-28 Painted fascia board – rotting



Fig. 2-29 Painted fascia and outrigger - rotting



Fig. 2-30 Ballasted flat roofing

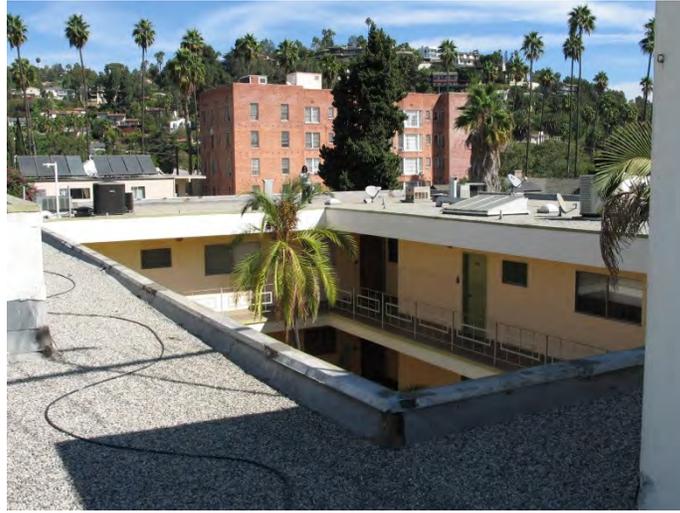


Fig. 2-31 Ballasted flat roofing



Fig. 2-32 Ballasted flat roofing and parapet (facing street)

Passenger Elevator, Mechanical, Electrical, Plumbing, Heating and Cooling:

Older buildings often will see the end of the natural lifespan of pipes and other infrastructure. In addition, over the life of the building an amalgamation of numerous small, often inexpert repairs to electrical wiring and the like can build up over time. Both of these factors can eventually pose a hazard to the safety and wellbeing of the occupants and the structure itself. The building owner has identified the following systems that have hit the end of their natural lifespan: The hydraulic elevator mechanical systems (not the cab), the boiler located on the garage level, the water softener system, and several pipes (owner will clarify which pipes). Note that the elevator upgrades were already been completed in 2014. The rehabilitation recommendation is to execute the upgrades and repairs to infrastructure to mitigate the long term impact to the building. Repairs should be conducted by experienced

contractors and in a manner that is unobtrusive and consistent with preservation standards.

Project Summary:

- Project No. 1: repair waterproofing on all concrete decks
- Project No. 2: repair / replace all rotting wood
- Project No. 3: repair building sign and conserve mosaic
- Project No. 4: Rework landscaping
- Project No. 5: Replace Fenestration with period sensitive fenestration
- Project No. 6: investigate paint coatings on street façade “bookends”
- Project No. 7: Painting of whole building

Consultants and Contractors needed for work:

Landscape Architect – select all new drought tolerant yet tropical plantings

Conservator of exterior finishes

Signage Fabricator

Waterproofing specialists to consult on concrete decks

Arborist to consult on palm trees in the planters

Qualified Contractor to implement fenestration work

APPENDIX

Preservation Briefs:

Preservation Briefs provide guidance on **preserving, rehabilitating, and restoring** historic buildings. These NPS Publications help historic building owners recognize and resolve common problems prior to work. The briefs are especially useful to [Historic Preservation Tax Incentives Program](#) applicants because they recommend methods and approaches for rehabilitating historic buildings that are consistent with their historic character. Please refer to the following web links to National Park Service Preservation Briefs

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

A list of Preservation Briefs referenced in the Polynesian Historic Structures Report:

Brief 3: Improving Energy Efficiency in Historic Buildings

<http://www.nps.gov/tps/how-to-preserve/briefs/3-improve-energy-efficiency.htm>

Brief 6: Dangers of Abrasive Cleaning

<http://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

Brief 45: Preserving Historic Wooden Porches (similar recommendations, applicable to outriggers)

<http://www.nps.gov/tps/how-to-preserve/briefs/45-wooden-porches.htm>

/

Section VIII
Bibliography

Gebhard, David & Winter, Robert W. *Architecture in Los Angeles-A Compleat Guide*
Layton, UT, Gibbs-Smith, 1985

Other Sources:

City of Los Angeles, Building and Safety Department

Los Angeles County Assessor

Los Angeles Public Library

Los Angeles Times articles included in appendix



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April 20, 2015

PLUM Architects
Louisa Van Leer
6113 Piedmont Avenue
Los Angeles, CA 90042

Re: The Polynesian
Ms. Shelley Leopold
Property Manager, Board Member
The Polynesian HOA
1830 Taft Avenue
Los Angeles, CA 90028

Dear Ms. Van Leer,

As requested, a job site visit was performed at the above referenced location on October 4th, 2014. A visual observation of the existing residence was used to determine the condition of the existing structural integrity of house, general compliance with the Secretary of the Interior's Standards for Rehabilitation, the California Historical Building Code, and current retrofit and rehabilitation standards. No as-built drawings or geotechnical report was available for review at the time of this report.

FINDINGS:

Based on our visual observation, the property consisted of a three story condominium with a total of 24 units (Fig 1 & 2) with one level of underground parking. The underground parking consist of cast-in-place concrete retaining walls and a podium slab with major concrete beams and transfer beams to concrete columns. The roof has a slight parapet with scuppers and a gravel roof system (Fig 3 & 4). Some of the roof top units were located on the roof (Fig 5) with the remainder located in the parking area.

The existing roof is a flat roof, with tar and gravel. The roof drain systems are scuppers on either side of the complex. Visible debris was observed at the scupper openings preventing free flow of the drainage of the roof (Fig 3 & Fig 4). Cables were also observed going thru the scupper (Fig 3) and should be removed immediately. Due to the location of the property and drainage system with



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scuppers, the gravel has slowly been lifted away from the roof throughout the years. An industry standard replacement for the gravel roof system would be EPDM (ethylene propylene diene terpolymer). EPDM is a rubber roofing membrane that is typically sold in white or black and is adhered to the existing roof structure, which is widely used for flat roofs. Skid pads may be required to prevent injuries for maintenance crew working on the roof. Verification of compatibility of the historic preservation requirements should be confirmed prior to considering EPDM as a new roof replacement option.

The units on the roof should be anchor per current building code, and they also require additional analysis to determine if adequate anchorage has been provided to prevent tip over of the units on the roof (Fig 5).

Dry rot was notice at a few locations at the exposed roof beams (Fig 6 & Fig 7). Proper waterproofing and flashing to protect the exposed wood members throughout the building is critical to retain the structural integrity. Prolong deterioration of the members without any preventative measure will cause further damage to the members, leading to costly repair and structural damage that can extend to the interior of the building.

Electrical outlets without proper waterproofing cover or GFCI were observed at the exterior of the building (Fig 8). This is a building code violation and will be needed to be corrected.

The anchorage of the security bar at the windows appears to be missing (Fig 9). Previous penetration currently exposed to weather and moisture can cause deterioration of the interior structural members, and it should be patched to prevent damage.

Planters were observed at the front of the complex, located off the street, and appear to have sprinklers watering the vegetation (Fig 10). Sprinkler stream needs to point away from the building to prevent moisture damage to the building. Vegetation needs to be maintained and monitored. Roots too close to the building foundation can cause structural damage. Vents from the garage were located throughout the front of the complex (Fig 11). These vent needs to be kept clear of debris, such as vegetation and dirt. The dirt level needs to be lower than the vent to allow for proper ventilation. Constant maintenance of this area is critical to prevent damage to the retaining wall and footing of the building.

At the entry, several wall tiles were observed missing and cracked (Fig 12).

At the entry courtyard, planters were spread out throughout the area on top of the podium slab (Fig 13). Cracks were observed at the planter wall (Fig 14, 15, & 16). The planter wall does not appear to be reinforced and the pressure from the soil and roots are pushing through the cracks. Invasive plants can cause structural damage not only to the planter wall but to the podium slab as well. Proper maintenance to ensure drainage flow is critical to not overload the existing podium slab. The podium slab may not be able to sustain the additional stagnant water pressure from the planter. Proper waterproof and maintenance should be provided for the structural slab/podium. It



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is critical to prevent extra moisture into the slab. Currently, it appears there is some sort of painted covering but cracks do appear throughout the slab area.

Cosmetic cracks were observed throughout the complex (Fig 17, 18, & 19).

The parking garage level appears to be in fair condition. Patchwork can be observed at pipe penetrations (Fig 20). Moisture stain can be seen on the podium slab (Fig 21 & 22). This may be an indication of drainage issue from the planters above. Cracks were also observed at the floor along with previous patching of the slab (Fig 23). All slab cracks should be filled to prevent trip hazards.

At the back of the complex, cracks in the slab and cold joint between the slab and wall were observed (Fig 24 & 25). We were informed water flow is not ideal in this area, and it has caused the water to run into the basement. Waterproofing the concrete in this area is highly recommended. Slab slopes should also be checked to ensure flow is away from the building and the basement. The crack between the slab and concrete wall by the stairway (Fig 24 & 25) is a cold joint, where different concrete pour were provided at the time of construction. Cracks can be repaired with an injection epoxy or urethane resin to fill in the affected area to prevent moisture from entering the crack and rusting the reinforcement.

The CMU property wall at the back of the building appears to be cracking at the grout line and should be repaired (Fig 25).

Rusted guard rail should be replaced to prevent injuries (Fig 26).

A multi-story building where the lower level is less stiff than the immediate levels above by at least 70% would be consider a soft story. At locations where shear resisting elements should be located are openings for windows or doors would be a clear indication of soft story. This building has the majority of the garage walls as solid concrete retaining walls. The openings at the front and back are minimal at the garage level. For the first floor, openings are not more than 70% of the openings above it. Therefore, soft story is not an issue for this structure.

We trust the above information is adequate for your determination of the rehabilitation/retrofit approach at this time. If new information shall become available, we reserve the right to modify this report at any time.

If we can be of further assistance, please do not hesitate to contact our office. This opportunity to be of professional service is sincerely appreciated.

Very truly yours,

Miriam Tu, P.E.



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Figure 1: Front of condo



Figure 2: Units from courtyard



Figure 3: Roof scupper with cable and debris



Figure 4: Debris at scuppers at multiple locations



Figure 5: Units with no visible anchorage



Figure 6: Deterioration of exposed roof beam



Figure 7: Paint peeling from cantilever overhang



Figure 8: Electrical outlet with no waterproofing or GFCI



Figure 9: Missing anchorage from security bar



Figure 10: Vegetation at planters off the street



Figure 11: Visible vent at planters at front of building

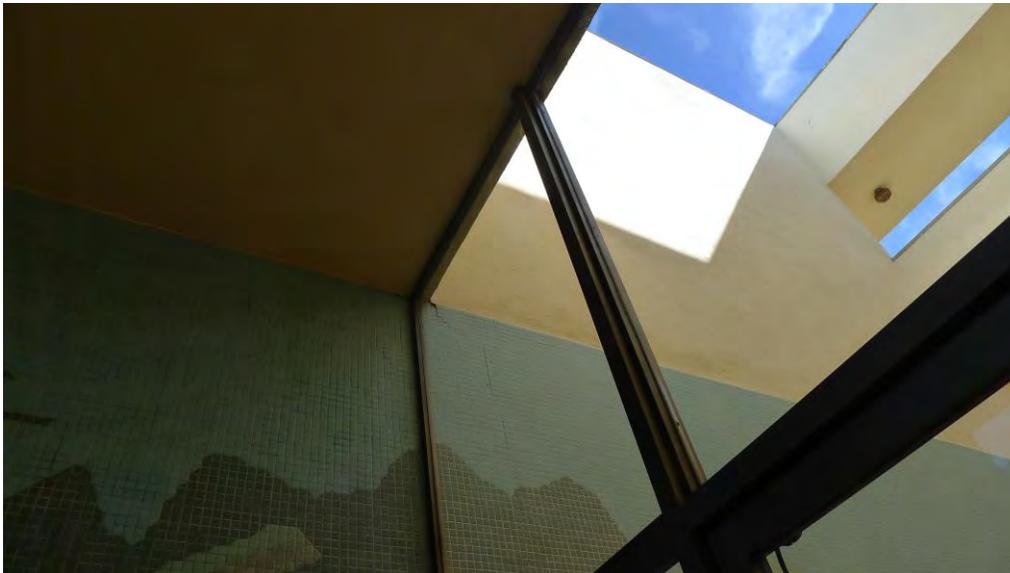


Figure 12: Crack in tile by front entry



Figure 13: Courtyard



Figure 14: Crack in planter



Figure 15: Roots growing out of cracks of the planter



Figure 16: Large crack in planter



Figure 17: Cosmetic cracking in the ceiling at the common area



Figure 18: Cosmetic crack at walkway



Figure 19: Minor cosmetic crack inside unit



Figure 20: Previous patch work at penetration of concrete structural slab



Figure 21: Water stain at concrete structural slab in garage



Figure 22: Rust stain at concrete structural slab in garage



Figure 23: Cracked concrete in basement with evidence of previous patchwork



Figure 24: Concrete slab at back of structure



Figure 25: Cracked CMU wall at back of property

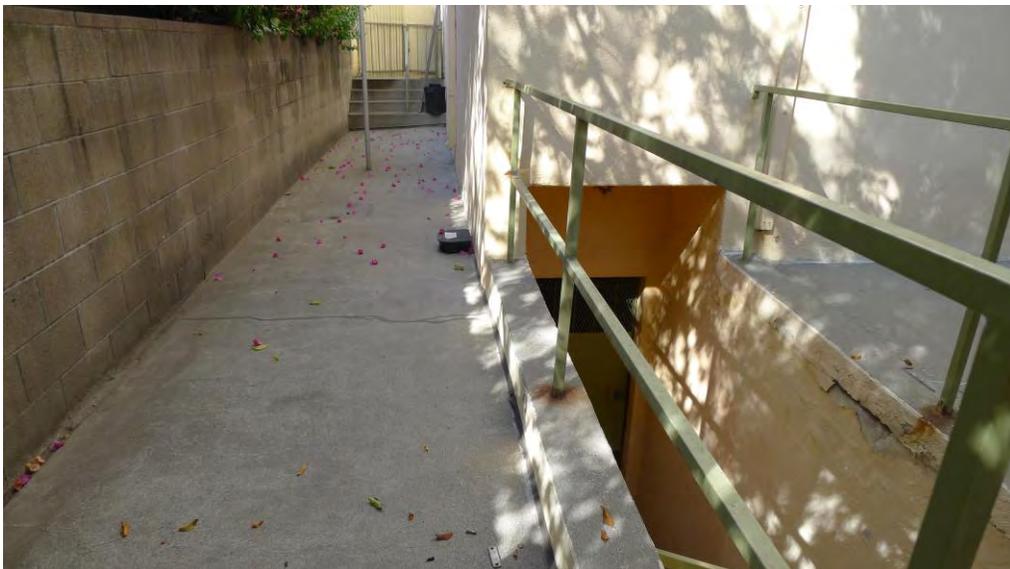


Figure 26: Rusted railing at embedment point



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Figure 27: Crack in concrete and rusted railing



23 September, 2014

Polynesian HOA
Shelly Leopold
1830 Taft Ave. Unit 206
Los Angeles, CA 90028

Dear Shelly,

Here is a report for the leak finding you requested for the address of 1830 Taft Ave. Unit 302 storage area in the garage. Use this left photo for the following pages.

Figure a is a potential leak source where there are cracks between the block of the wall and the grout around this area at least. I could not validly test this since there were leak sources on the walkway and any water getting on this wall would get on the walkway leak sources and render the test invalid.

Once the walkway and patio crack leak sources are standardly repaired, you can test this wall for about 1-2 hours (or less if it starts leaking below) and see if it too is a leak source.

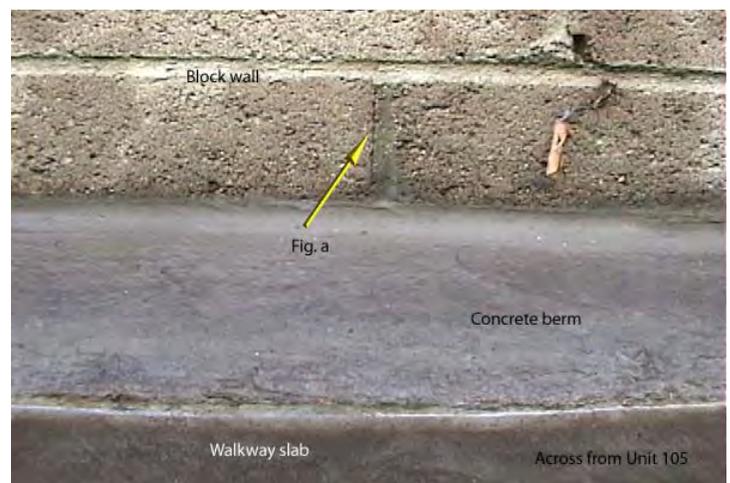
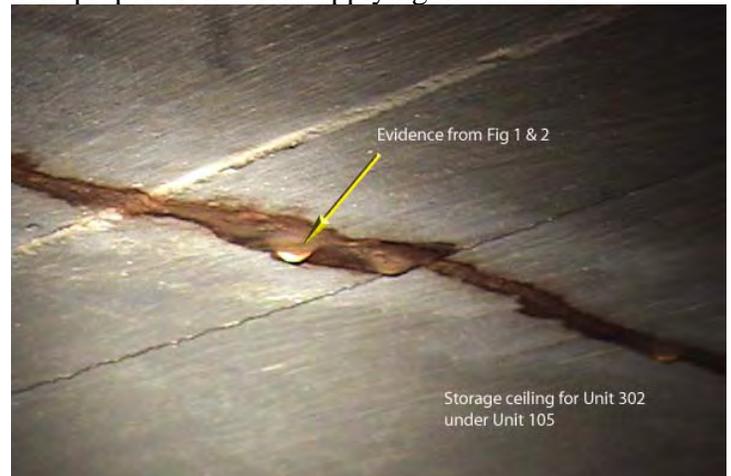




Figure 1 is a leak source where there is a crack in the walkway to patio slab by Unit 105 and allows water in the Unit 302 storage area below. There are cracks in the main structure slab of the ceiling of the garage below as well as this concrete slab that is on top of it (it appears that this is a concrete slab on top of the main concrete under it comprising the ceiling of the garage as I saw a few expansion joints on this walkway but no corresponding expansion joints in the ceiling below.) **Figure 2** is another crack that has been caulked but is coming undone and allows water in the ceiling below in the garage. Note: Any water getting in any of the cracks in the walkway or patio of Unit 105 will wind up in the ceiling area below in the garage due to the number of cracks in the concrete structure slab of the garage ceiling.



I suggest water proofing the entire surface of the walkway AND all of the patio of Unit 105 at least. You may try to patch each crack you can find and standardly seal it and see how it goes but note proper preparation is necessary for a good bond to occur. Fig. 2 shows that there was insufficient preparation before applying the sealant.



The 2 lower photos show evidence of the Fig. 1 & 2 leak sources above.

Rain Leak
Specialists &
Consultants



Rain Leak Specialists & Consultants

A Division of Haydon and Associates Inc.
P.O. Box 291718
Los Angeles, Ca 90029
Contractors Lic. #685743
Class B-General

Contractor
Business
Consulting Firm



Thank you for using my services. I trust they will help. As stated before, I did not test everything. This should give you valuable data as to a better method of doing the repairs. It is in the sole hands of the contractor to decide what and how to fix the sources found and the best approach to it. I have given some general ideas but these are not necessarily the only way and you should consult your contractor on it. He may also uncover other flaws as he is pulling apart the flawed areas already identified and may need to do more or less depending on what he finds as he gets into it to do a standard job. Careful attention should be made to do standard tie ins to existing water proofing so you do not create new leaks where your job “ends”. Take responsibility for what you uncover.

As stated before, there may be other sources; but minimally get these finite and factual ones repaired and keep your eye open in the next rains. Handling leaks is a process of elimination as a lot of times there is more than one source showing up in the same place inside the structure as was demonstrated.

It is important to isolate specific finite sources, standardly remedy those and carry on with the process till all are gone; and providing the repairs are viably and standardly done, there will be an end to the leakage.

I strongly suggest you do not do any interior repairs until you are sure that the leak sources already found have been standardly fixed and that there are no other leak sources, otherwise, if the source found has not been standardly remedied or there are other sources, it will most probably damage the same place in the interior again and will be a waste of time and money. If you have to do repairs, I would keep the cost minimum until you are sure there are no other leak sources and that the sources found have been standardly remedied. Heavy rains typically do a good test, you are the best judge since you know what rains caused it in the first place- heavy, driving- south blowing etc...

I am giving you the def. of standard so as to use workable solutions in the repairs rather than “common” or “usual” as sometimes common and usual are not good enough.

Standard: A definite level or degree of quality that is proper and adequate for a specific purpose. (Webster’s Third New International Dictionary Unabridged. Standard 3b Page 2223)

Sincerely,

Mark Haydon
Senior Consultant

1

APPLICATION TO CONSTRUCT NEW BUILDING AND FOR CERTIFICATE OF OCCUPANCY

Form B-1

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	ADDRESS APPROVED
	OVER			Morgans Hollywood MK
2. JOB ADDRESS	1830 No. Taft Ave.			DIST. MAP 150-189
3. BETWEEN CROSS STREETS	Franklin Ave. AND Hollywood Blvd.			ZONE R-3-2
4. PURPOSE OF BUILDING	24 unit Apartment Building			FIRE DIST.
5. OWNER'S NAME	Roy H. & H. F. Johnson		PHONE HE 24095	INSIDE KEY
6. OWNER'S ADDRESS	3330 No. Knoll Dr.		P. O. BOX	ZONE
7. CERT. ARCH.	Emory Kanarik		STATE LICENSE NO. C 1135	PHONE OL 32665
8. ARCH. ENGR.	Tiber Gyimesi		STATE LICENSE NO. SE 1123	PHONE DU 77802
9. CONTRACTOR	None		STATE LICENSE NO.	PHONE
10. CONTRACTOR'S ADDRESS			P. O. BOX	ZONE
11. SIZE OF NEW BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
104'4" x 133	3	30	None	
1. 1830 No. Taft Ave.				BLDG. AREA 10800
12. MATERIAL	<input type="checkbox"/> WOOD	<input type="checkbox"/> METAL	<input type="checkbox"/> CONC. BLOCK	ROOF
EXT. WALLS:	<input checked="" type="checkbox"/> STUCCO	<input type="checkbox"/> BRICK	<input type="checkbox"/> CONCRETE	CONST.
				<input checked="" type="checkbox"/> WOOD
				<input type="checkbox"/> STEEL ROOFING
				<input type="checkbox"/> CONC.
				<input type="checkbox"/> OTHER COMP.
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.	\$ 340,000.00			VALUATION APPROVED
Approval of driveway location must be obtained from the Department of Public Works before securing Building Permit.				SPRINKLES SECRETES YES
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.				AFFIDAVITS
Signed: Roy H. Johnson				APPROVAL CHECKED F. Johnson
This form when properly validated is a Permit to Do the Work Described.				PLANS CHECKED J. [Signature]
				DWELL. UNITS 24
				CORRECTIONS VERIFIED J. [Signature]
				SPACES PARKING 24 Bays
				PLANS APPROVED J. [Signature]
				GUEST ROOMS 0
				APPLICATION APPROVED J. [Signature]
				FILE WITH
				INSPECTOR
				CONT. INSP. CONCRETE

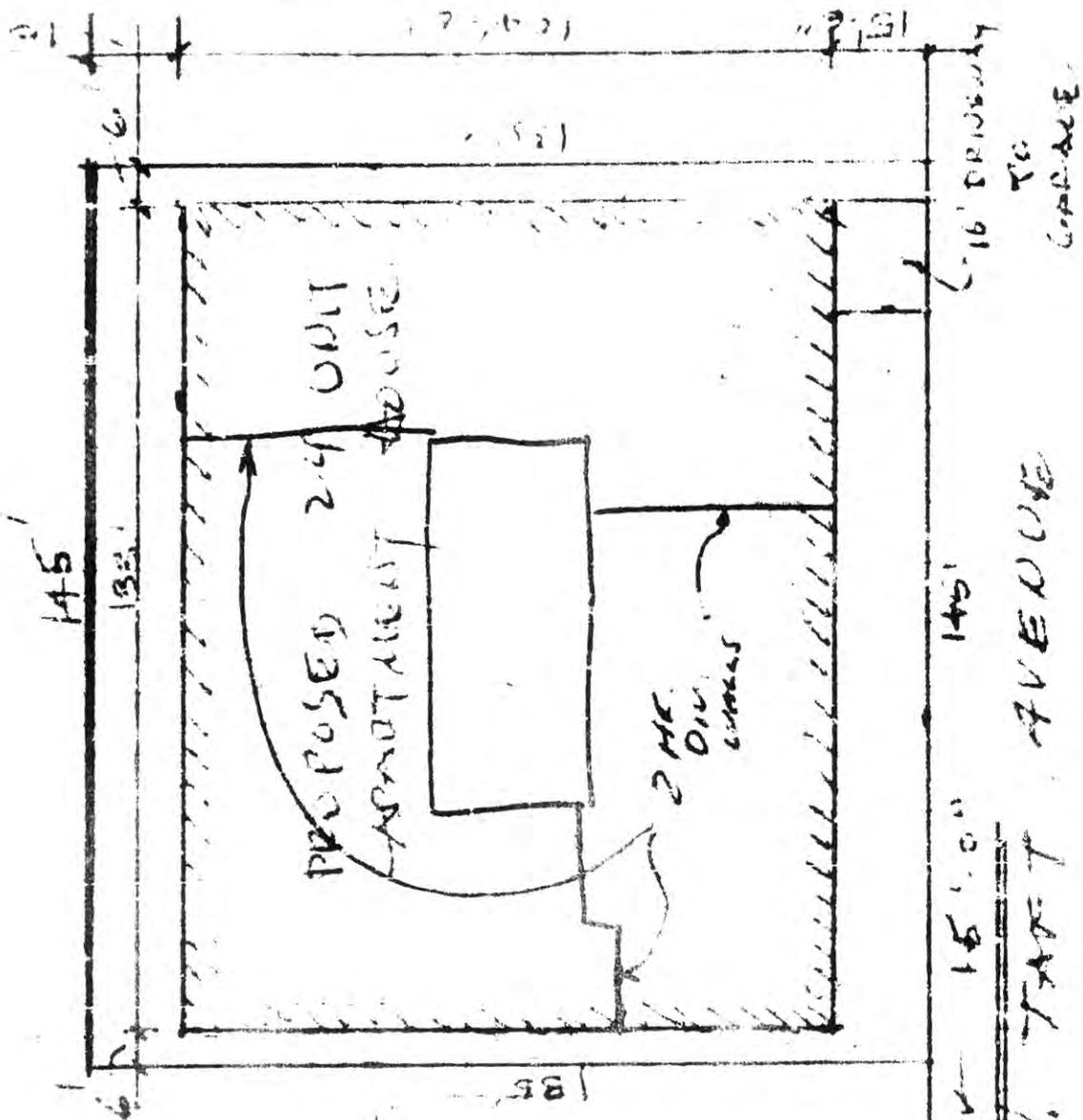
SEWER (Available) - 4/16/62
 CRITICAL SOIL
 LATER

TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	G.P.I.	B.P.	I.F.	O.S.	C/O
2-1	2-1		279.50	65.00		689.00			
APR-17-62 MAY-28-62 27608 39746 B - 2 CK 279.50 65.00 MAY-28-62 39747 B - 1 CK 689.00 No TRF									
P.C. No. R-2002 GRADING CRIT. SOIL X CONS. X									

CASHIER'S USE ONLY

No. 20' of Lot 91, Lots 92 & 93 and So. 25' of Lot 94

5/25/62 lot cuts on North and South were made prior to 1946 when



1830 N. TAYLOR AVENUE
 145' 145' 145'
 6.16' DRIVEWAY TO GARAGE

1401 (PLAN) 1" = 40' - 0"

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed."
 (See Sec. 17.0000 LAMC.)

5/25/62 Affidavit # 4884 Filed to the lot (clean)

THE POLYNESIAN

CURRENT OWNERS

Unit.	Assessors Parcel No.	Current Owner	Address
101	5586-033-025	Lew, Joycelyne M. Trustee, Joycelyne M. Lew Trust	1830 Taft Avenue No. 101 Los Angeles, CA 90028-5762
102	5586-033-026	Clouse, John Co-Trustee Clouse and Saiget Family Trust	1830 Taft Avenue No. 102 Los Angeles, CA 90028-5741
103	5586-033-027	Meyer, Martin	1728½ N. Hudson Avenue Los Angeles, CA 90028-4879
104	5586-033-028	Carranza, Jorge and Maria	1830 Taft Avenue No. 104 Los Angeles, CA 90028-1996
105	5586-033-029	Sotoodehfar, Rahim	1830 Taft Avenue No. 105 Los Angeles, CA 90028-5741
106	5586-033-030	Cox, Barbara E. Trustee Barbara E. Cox Trust	1830 Taft Avenue No. 106 Los Angeles, CA 90028-5741
107	5586-033-031	Budd, Graham K.	1830 Taft Avenue No. 107 Los Angeles, CA 90028-5741
108	5586-033-032	Geller, Suzanne and Proctor, M. B. Dax	1830 Taft Avenue No. 108 Los Angeles, CA 90028-5794
201	5586-033-033	Carranza, Jorge and Maria	1830 Taft Avenue No. 104 Los Angeles, CA 90028-5741
202	5586-033-034	Khazaen, Sam	1830 Taft Avenue No. 202 Los Angeles, CA 90028-5794
203	5586-033-035	Caldwell, Barry	1830 Taft Avenue No. 203 Los Angeles, CA 90028-5794
204	5586-033-036	Bishop, Courtney and Vanessa	1830 Taft Avenue No. 204 Los Angeles, CA 90028-5794
205	5586-033-037	Klyusner, Alexander	1830 Taft Avenue No. 205 Los Angeles, CA 90028-5794
206	5586-033-038	Leopold, Shelley	1830 Taft Avenue No. 206 Los Angeles, CA 90028-5749

207	5586-033-039	Glaz, Tomasz and Glaz, Gregory	1830 Taft Avenue No. 207 Los Angeles, CA 90028-5749
208	5586-033-040	Naggar, Alan	1830 Taft Avenue No. 208 Los Angeles, CA 90028-5749
301	5586-033-041	Seyler, Anthony and Sarah	13701 Riverside Drive, 9th Floor Sherman Oaks, CA 91423-2430
302	5586-033-042	Niemoller, Karl	1830 Taft Avenue No. 302 Los Angeles, CA 90028-5749
303	5586-033-043	O'Rourke, Daniel M.	1830 Taft Avenue No. 303 Los Angeles, CA 90028-5749
304	5586-033-044	Hadzick, Patricia and Hadzick, Danya J.	1830 Taft Avenue No. 304 Los Angeles, CA 90028-5795
305	5586-033-045	Graham, Paul A. Jr. Co-Trustee Paul A. Graham-Strother Trust	1830 Taft Avenue No. 305 Hollywood, CA 90028-5795
306	5586-033-046	Symmons, Philip R.	1830 Taft Avenue No. 306 Los Angeles, CA 90028-5795
307	5586-033-047	Hourwitz, Rose	1830 Taft Avenue No. 307 Los Angeles, CA 90028-5795
308	5586-033-048	Shaffer, Gary L. Trustee Gary L. Shaffer Trust	1830 Taft Avenue No. 308 Los Angeles, CA 90028-5795