



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: September 8, 2016
Time: After 8:30 a.m.
Place: City Hall
Public Works Board Room
200 N. Spring Street, Room 350
Los Angeles, CA 90012

Public Hearing: August 5, 2016
Appeal Status: Project Permit Compliance
appealable to City Council
Expiration Date: August 10, 2016
Multiple Approval: Specific Plan Amendment, Project
Permit Compliance

Case No.: CPC-2016-1812-SP-SPP
CEQA No.: ENV-2016-1813-CE
Council No.: 13 – O'Farrell
Plan Area: Hollywood
Specific Plan: Vermont/Western Transit
Oriented District Specific
Plan / Station Neighborhood
Area Plan (SNAP)
Specific Plan Subarea: A – Neighborhood
Conservation
Certified NC: East Hollywood
GPLU: Low Medium II Residential
Zone: RD1.5-1XL
Applicant: Placido Macaraeg, City of
Los Angeles Department of
Recreation and Parks
Representative: Glen Duke, Los Angeles
Community Garden Council

PROJECT LOCATION: 1175 North Madison Avenue, legally described as Rose Hill Tract, Block None, Lots 32 and 33 (Arb 1 and 2).

PROPOSED PROJECT: The project includes the construction, use, and maintenance of a community garden and public park with an educational building, covered recreation area, and three (3) on-site parking spaces on a 24,411-square-foot site. The proposed educational building will contain 640 square feet of floor area, measure approximately 14 feet in height, and serve the community garden which will occupy the rear half of the subject property and be operated by the Los Angeles Community Garden Council. The proposed covered recreation area includes a 2,700-square-foot shade structure measuring approximately 21 feet in height and a 24-foot, 10-inch tall silo structure; and will service the public park which will occupy the front half of the subject property and be operated by the City of Los Angeles Department of Recreation and Parks. Proposed hours of operation will be from sunrise to sunset. The project site is located within Subarea A – Neighborhood Conservation of the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP).

REQUESTED ACTION:


1. Pursuant to 11.5.7 G of the Municipal Code, a **Specific Plan Amendment** to the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), Ordinance No. 184,414, to change the Subarea Designation of the subject property, from Subarea A – Neighborhood Conservation to Subarea E – Public Facilities.
2. Pursuant to Section 11.5.7 of the Municipal Code, a **Specific Plan Project Permit Compliance** to allow the construction, use, and maintenance of a community garden and public park with an educational building, covered recreation area, and three (3) on-site parking spaces within the SNAP, Ordinance No. 184,414.


3. Find that the project is **Categorically Exempt** (ENV-2016-1813-CE) from environmental review pursuant to Class 3 Category 17 and Class 4 Category 1 of the City of Los Angeles Environmental Quality Act Guidelines.


RECOMMENDED ACTIONS:

1. **Approve and Recommend** the City Council Approve a **Specific Plan Amendment** to the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), Ordinance No. 184,414, to change the Subarea Designation of the subject property, from Subarea A – Neighborhood Conservation to Subarea E – Public Facilities.
2. **Approve a Specific Plan Project Permit Compliance** to allow the construction, use, and maintenance of a community garden and public park with an educational building, covered recreation area, and three (3) on-site parking spaces within the SNAP, Ordinance No. 184,414.
3. **Determine**, in its independent judgment and analysis of the whole of the administrative record for Case No. ENV-2016-1813-CE, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant CEQA Guidelines Sections 15303 and 15304, and Class 3 Category 17 and Class 4 Category 1 of the City of Los Angeles Environmental Quality Act Guidelines; and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
4. **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP
Director of Planning


Shana Bonstin, Principal City Planner


Mindy Nguyen, City Planner


Blake E. Lamb, Senior City Planner


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ADVICE TO PUBLIC: * The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 532, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300)*. While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission's Office a week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to the agency at or prior to the public hearing. As a covered entity under Title II of the American Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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PROJECT ANALYSIS

Project Summary

The proposed project, known as the Madison Avenue Park and East Hollywood Achievement Center, involves the construction, use and maintenance of a community garden and public park on a 24,411-square-foot, vacant site. The public park will occupy the front half of the project site and be operated by the City of Los Angeles Department of Recreation and Parks (RAP). The park will contain a recreational area with: a shade structure that covers approximately 2,700 square feet and measures approximately 21 feet, 11 inches in height; 24-foot, 10-inch tall silo structure; mounded lawn and planting areas; play and exercise equipment; and seating areas. The community garden will occupy the rear half of the site and be operated by the Los Angeles Community Garden Council (LACGC). The garden will include approximately 30 to 50 garden plots available for rental, and an educational building that contains 640 square feet of floor area and measures approximately 14 feet in height. The project is required to provide two (2) on-site parking spaces per LAMC Section 12.21 A.4. The applicant proposes three (3) on-site parking spaces will be located adjacent to the educational building in the garden and accessible from a shared driveway that runs through the park along the southerly property line. Proposed hours of operation will be from sunrise to sunset, and the project proposes security cameras, fences, and light fixtures as security measures on the project site. The light fixtures will have the intensity of one-foot candle per square foot per the RAP standards, and the light fixtures at the park will be equipped with a motion sensor. One staff member for the community garden will be present during operation hours at the educational building. The park will receive daily maintenance as required by the RAP, and the LACGC will be responsible for management of the garden and educational building. The project site is currently located within Subarea A – Neighborhood Conservation of the Vermont/Western Specific Plan / Station Neighborhood Area Plan (SNAP).

Background

Subject Property

The subject property is a rectangular site that consists of three (3) contiguous lots owned by RAP and contains approximately 24,411 square feet of lot area. The site has a frontage of 100 feet along the westerly side of Madison Avenue. The subject property is zoned RD1.5-1XL and currently located within Subarea A of the Vermont/Western Specific Plan / Station Neighborhood Area Plan (SNAP) and the Hollywood Community Plan area, which designates the site for Low Medium II Residential General Plan Land Uses.

Surrounding Properties

The subject property is surrounded by properties that are zoned RD1.5-1XL, designated for Low Medium II Residential General Plan Land Uses, and developed with low- to medium-density residential buildings that are one to three stories in height. Properties within a quarter mile to the north and east maintain similar characteristics of the neighboring properties, with RD1.5 zoning classification, Low Medium II Residential General Plan Land Use designation, and single- and multi-family residential developments. These properties are also located within Subarea A (Neighborhood Conservation) of the SNAP. Properties about a quarter mile to the west and south of the site, along Vermont Avenue and Santa Monica Boulevard, respectively, are zoned C2-1D, C2-2D, P-1, and PF-1XL; designated for Highway Oriented Commercial and Public Facilities land uses; and developed with a hotel, healthcare and medical offices, commercial and retail uses, big-box stores (e.g. Staples and Rite Aid), surface parking lots, and City of Los Angeles Public Library Cahuenga Branch. The project site is also located in close proximity to major commercial, medical, public and institutional uses within a one-mile radius, including Hollywood Presbyterian Medical Center, Kaiser Permanente Los Angeles Medical Center, and Barnsdall Art Park located to the north of site; and Lockwood Avenue Elementary School and Los Angeles City College to

the south of the site; and within a mile from the Vermont/Sunset Metro Station to the north of the site and Vermont/Santa Monica Station to the southwest of the site.

50 Parks Initiative

In 2012, the City of Los Angeles' then Mayor, Antonio Villaraigosa, announced the 50 Parks Initiative, a program by the City of Los Angeles Department of Recreation and Parks (RAP) through which the Department acquires blighted, foreclosed residential parcels and vacant land through purchase and donation to develop 50 new neighborhood parks in underserved areas of the City. In its 2009 Citywide Community Needs Assessment, the RAP found that over 420 parks and facilities are not equitably distributed and many communities do not have parks within a reasonable distance. Recognizing the need to develop a coordinated long-term initiative to meet the recreation needs of current and future residents of the City, the RAP partnered with federal, state and local agencies, non-profit organizations, and community groups to implement the Initiative. The RAP aims to develop new public parks in neighborhoods where a large percentage of residents do not live in close proximity to a park or recreational facility and provide innumerable physical, social, health, and environmental benefits to those communities. The proposed park and community garden is a project proposed by the RAP as part of the 50 Parks Initiative.

Public and Private Partnership and Two Project Plans

The project is developed by the RAP, owner of the site, in partnership with nonprofit organizations, Los Angeles Community Garden Council (LACGC) and Trust for Public Land (TPL). The LACGC is a nonprofit organization that establishes community gardens and workshops throughout the Los Angeles County, and the TPL is a nonprofit organization that helps parks to secure funding for preservation and maintenance. While these organizations have been collaborating closely to design and implement the project, they have kept the projects independent of each other for the park to meet the standards of the Department of Recreation and Parks. Thus, the applicant submitted two sets of project plans: one for the Madison Avenue Park in Exhibit "A" and one for the East Hollywood Garden Achievement Center in Exhibit "B." Although the park and garden have been developed and designed independent of each other, the RAP will be managing the entire site.

Relevant Cases

Subject Property:

CPC-2000-1976-SP: On January 23, 2001, the City Council adopted Ordinance No. 173,749, establishing the SNAP, which became effective on March 1, 2001.

Surrounding Properties:

CPC-2015-74-GPA-SP-CUB-SPP-SPR: On July 1, 2016, the City Council adopted Ordinance No. 184,414 amending Ordinance No. 173,749, the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), to establish a new Subarea F – Large Scale Highway Oriented Commercial Designation for the Target site located at 5500 West Sunset Boulevard. Ordinance No. 184,414 became effective on August 16, 2016.

Public Hearing

A public hearing conducted by the Hearing Officer on this matter was held in Room 1020, City Hall on Friday, August 5, 2016. The project representatives from the Los Angeles Community Garden Council and Trust for Public Land and public members were in attendance. The public members expressed general support for the project (see Public Hearing and Communications, Page P-1).

Issues

Specific Plan Amendment

The applicant seeks a Specific Plan Amendment to the SNAP, Ordinance No. 184,414, to change the Subarea for the subject property from A – Neighborhood Conservation to E – Public Facilities. The SNAP establishes six types of Subareas, A through F, each containing distinct purpose, scale and character. Subarea A – Neighborhood Conservation designation is intended to preserve the current residential neighborhoods at their prevailing density and scale. Subarea E – Public Facilities is established to enhance the circulation, public recreation and service systems of publicly owned land. The City of Los Angeles Department of Recreation and Parks (RAP) acquired the subject property in 2012, subsequent to the establishment of the SNAP and Subarea A designation for the project site in 2001. The applicant proposes a public park and community garden that will be managed by the RAP in partnership with the Los Angeles Community Garden Council (LACGC). The Specific Plan contains regulations, development standards, and design guidelines for Subarea A that are designed to preserve the prevailing density and character of residential areas. However, the primary purpose of the proposed project is to provide open space and recreational opportunities for the local community, rather than construct buildings to accommodate housing and commercial activities. Requiring public facilities to comply with provisions that are set forth to regulate building envelope and design is too onerous and does not constitute a good zoning practice. Therefore, given the ownership by a public agency and the public facility uses proposed, designation of Subarea E – Public Facilities is more appropriate for the project site than Subarea A – Neighborhood Conservation.

Urban Design Studio: Professional Volunteer Program Meeting

The proposed project was reviewed by the Department of City Planning Urban Design Studio's Professional Volunteer Program (PVP) on July 19, 2016. Listed below are issues, concerns and recommendations that were discussed followed by project modifications and/or the applicant's justification as to why the PVP's recommendations could not be satisfied.

Security and Safety

PVP: The tricycle path currently overlaps with the vehicular driveway, which may create a dangerous environment for the path users.

Response: The project representative stated that the park team intentionally designed the path to overlap with the driveway, as the community's priority in park design is to not waste the space required for the driveway and develop the driveway as more than a single-use infrastructure.

PVP: The location of the educational building currently obscures half of the community garden, and the configuration of the garden and park as proposed may limit community interaction and access between the park and community garden. Consider an alternate configuration of the two uses and the educational building. Below is a list of recommendations made by the PVP, in the order of their preference.

1. Place the uses to the north and south of the site, rather than east and west as proposed.
2. Place the building at the front so that it can function as a gateway into the park and community garden.
3. Place the building and surface parking lot at the rear of the site to minimize obscuration of the garden.
4. Swap the location of the building and parking.
5. Rotate the building by 90 degrees.

Response: The project representative stated that the proposed building orientation and location cannot be changed due to the Fire Department requirements. A 20-foot wide fire lane with full paving for fire truck weight and an area large enough for a turn-around radius

may potentially be required if the west façade of the building is located 150 feet or more from the street. The applicant chooses to minimize the paved parking area and maximize the green and pervious park space by installing a simple, narrow driveway. In addition, the project representative clarified that the LACGC only has the right to use the rear half of the site, so the educational building cannot be located any closer to Madison Avenue.

Design and Program

PVP: Clarify whether the restroom in the educational building will be available by patrons of the park as well. The restroom should be accessible from outside of the building for convenience. Consider providing an additional entrance to the restroom from outside the building.

Response: The project representative stated that the LACGC and TPL conducted participatory design workshops to create the proposed design and the residents of the East Hollywood were against the provision of a public restroom, as it would attract unwanted activities. The plan reflects the residents' preference.

PVP: The design of the shade structure does not match the style and concept of the park as proposed in the illustrative site plan.

Response: The project representative stated that the design concept of the park references the agrarian aspect of the community garden. The design represents raw materials, angled roofs, and exposed structures used for sheds and packinghouses for production rather than a typical farm or barn and therefore cannot be redesigned.

PVP: Clarify the location of on-site storage for gardening.

Response: The project representative stated that the community garden will not have on-site storage, as the tools stored in a garden shed tend to disappear and storage space usually gets filled with junk, and no public trash can will be provided in the community garden. The LACGC states that a system in which gardeners take their trash home works best rather than having one of the gardeners empty the trash can each week.

PVP: Consider intertwining the pedestrian pathway and tricycle path between the community garden and park in order to increase community interaction.

Response: The project representative stated that based on a certified playground safety specialist's comments, pedestrian and tricycle paths have been purposefully separated from the community garden to avoid a conflict of uses. The project design has not been changed.

Landscaping

PVP: Provide additional landscaping along the parkway by the sidewalk to increase the connection between the street and park. Consider replicating the project landscaping into the parkway.

Response: The LACGC will plant five (5) trees with groundcover in the parkway along Madison Avenue as indicated in the Illustrative Site Plan. The park design will include an irrigation stub out under the sidewalk to the parkway. The park design team will also include a list of plants to be included that are reflective of those used within the park to maintain consistency.

Conclusion

Based on the information submitted, public input, the project's compliance with the General Plan Elements and Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), and mandatory findings for the requested entitlements, the Department of City Planning recommends that the City Planning Commission approve the project as recommended. The project, as proposed and conditioned, will be a great opportunity to increase the amount of open space in the City of Los Angeles as well as the immediate neighborhood while serving the community's need for access to public space and recreational and gardening activities. Furthermore, the proposed project will foster a healthy and active neighborhood by providing a community garden that will improve the quality of life for its residents. The project also fosters a public and private partnership that benefits the community by engaging the community in the design process, reflecting their priorities and wishes into the park and garden design, and providing a forum and physical space to interact and gain knowledge in urban agriculture.

CONDITIONS OF APPROVAL

Project Permit Compliance conditions

1. **Site Development.** The use and development of the subject property shall be in substantial conformance with the attached plans labeled as Exhibit "A," stamped, signed and dated by the City Planning Staff attached to the subject case file, except as the Director of Planning may subsequently approve modifications of the site plan.
2. **Specific Plan Amendment.** Prior to obtaining any building permits, the project shall be effective upon final Adoption of the Specific Plan Amendment Ordinance.
3. **Landscape Plan.** The applicant shall submit a Final Landscape Plan prepared by a licensed landscape architect, licensed architect, or licensed landscape contractor. All open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities shall be landscaped. The Final Landscape Plan shall include the following:
 - a. The Final Landscape Plan shall include the five (5) street trees required per Condition of Approval Number 4.
 - b. All landscaped areas, including public right-of-way, shall be irrigated with an automated watering system and maintained in good health for the life of the project.
 - c. Enhanced paving such as stamped concrete, permeable paved surfaces, tile and/or brick shall be used within recreational areas and walkways of the public park and the walkway between the surface parking lot and educational building of the community garden. All areas of the community garden, excluding areas used for the walkway, educational building, and surface parking lot, shall consist of gravel and wood bark.
 - d. The applicant shall plant a minimum of two (2) trees in the surface parking lot. These trees shall be located so that an overhead canopy effect is anticipated to cover at least 50 percent of the parking area after 10 years of growth.
4. **Street Trees.** Prior to the issuance of any building permit, the Applicant shall obtain a Class "A" or "B" Permit guaranteeing installation of:
 - a. Five (5), 36-inch box trees in the public right-of-way along the project street frontage of Madison Avenue, subject to the Department of Public Works, Bureau of Street Services, Urban Forestry Division requirements. Street tree species shall be consistent with the project site landscaping.
 - b. An automatic irrigation system.
 - c. A metal tree well cover or decomposed granite shall be provided for every new and reused street tree in the public right-of-way along the project street frontage of Madison Avenue. The design shall meet the Americans with Disabilities Act and Department of Public Works, Bureau of Street Services, Urban Forestry Division requirements.
5. **Revised Plans.** The applicant shall submit a revised set of plans to the Department of City Planning showing the following:

- a. **Transparent Building Elements.** Windows and sliding doors for the educational building shall consist of transparent materials, which shall occupy a minimum of 20 percent and maximum of 50 percent of each ground floor façade.
 - b. **Decorative Walls.** The project shall install new six-foot solid decorative wall along the north, south, and west property lines. These decorative walls shall contain an architectural element at intervals of no more than 20 feet in horizontal length and be limited to six (6) feet in height.
 - c. **Tricycle Path and Vehicular Driveway.** The entire tricycle path shall be located within the park space and not overlap with the vehicular driveway.
 - d. **Speed Bumps.** The vehicular driveway shall incorporate six (6) speed bumps at a distance of no more than 20 feet apart.
 - e. **Fences.** No fences shall be permitted in the front yard. No chainlink, barbed and concertina fences are permitted for all other fences.
6. **Utilities.** All new utility lines, which directly service the lots, shall be installed underground. If underground service is not currently available, then provisions shall be made by the Applicant for future underground service.
7. **Surface Mechanical Equipment.** All surface or ground mounted mechanical equipment shall be screened from public view and treated to match the materials and colors of the building which they serve.
8. **Rooftop Appurtenances.** All rooftop equipment and appurtenances shall be screened from public view or architecturally integrated into the design of the building.
9. **Trash, Storage Areas and Recycling Bins.** All trash, storage and recycling areas shall be completely enclosed within a gated, covered enclosure constructed of materials identical to the exterior wall materials of the building. The enclosure shall be a minimum of six feet in height and have a separate area for recyclable materials.
10. **On-Site Lighting.** A lighting plan shall be submitted that shows:
 - a. On-site lighting along all vehicular access ways and pedestrian walkways.
 - b. Parking areas shall have a minimum of $\frac{3}{4}$ foot-candle of flood lighting measured at the pavement.
 - c. All on-site lighting shall be directed away from adjacent properties and not up towards the sky.
 - d. This condition shall not preclude the installation of low-level security lighting.
 - e. Sources of illumination shall be shielded from casting light higher than 15 degrees below the horizontal plane as measured from the light source and not cast light directly into adjacent residential windows.
 - f. A maximum mounting height of light sources for ground level illumination shall be 14 feet, measured from the finished grade of the area to be lit.

- g. Color corrected ("white") high pressure sodium (HPS), color corrected fluorescent (2,700-3,000 degrees K), metal halide, or incandescent lamps shall be used for ground level illumination. Standard "peach" high pressure sodium, low pressure sodium, standard mercury vapor, and cool white fluorescent shall not be used for ground floor illumination.
- 11. **Security Devices.** If at any time during the life of the project the applicant wishes to install security grilles or window bars, such devices shall be fully concealed from public view. In the event metal security grilles are used, grilles, which recess into pockets or overhead cylinders and completely concealed and retractable, shall be used. Vertical or horizontally folding accordion grilles in front of a building shall be prohibited. All security window bars shall be installed within the building.
- 12. **Hours of Operation.** Parking lot cleaning and sweeping and trash collections and deliveries to or from the project shall not occur earlier than 7 AM and no later than 8 PM, Monday through Friday, and no earlier than 10 AM and no later than 4 PM on Saturdays and Sundays. The public park and community garden shall be open sunrise to sunset every day.

Administrative Conditions of Approval

- 13. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Approved Plans, supplied by the applicant, shall be retained in the subject case file.
- 14. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 15. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 16. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 17. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 18. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.

19. **Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement for CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.
20. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
21. **Indemnification and Reimbursement of Litigation Costs.** The applicant shall do all of the following:
 - a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$25,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
 - d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
 - e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

General Plan and Charter Findings

1. **General Plan Land Use Designation.** The General Plan sets forth goals, objectives, and programs that serve as the foundation for all land use decisions. The City of Los Angeles General Plan consists of seven state-mandated Elements including Land Use, Mobility, Housing, Conservation, Noise, Safety, and Open Space, and optional Elements including Framework, Air Quality, Service Systems, and Plan for a Healthy Los Angeles. The Land Use Element is comprised of 35 Community Plans that establish parameters for land use decisions within the communities of the City.

The subject property is located within the Hollywood Community Plan area, which designates the site for Low Medium II Residential land uses with corresponding zones of RD2 and RD1.5. The project site is currently zoned RD1.5-1XL and is therefore consistent with the General Plan land use designation. The project site is also located within the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), amended by Ordinance No. 184,414, effective August 16, 2016.

2. **General Plan Text.**

Framework Element

The Framework Element is a guide for communities to implement growth and development policies by providing a comprehensive long-range view of the City as a whole. The Framework Element establishes land use categories – Multi-Family Residential, Neighborhood District, Community Center, and Regional Centers – that are broadly described by ranges of intensity/density, heights, and lists of typical uses. The definitions reflect a range of land use possibilities found in the City's already diverse urban, suburban, and rural land use patterns.

The Framework Element text defines policies related to growth and includes policies for land use, housing, urban form/neighborhood design, open space/conservation, economic development, transportation, and infrastructure/public services. The proposed project is in conformance with several objectives and policies of the Framework Element as described below.

Chapter 3 Land Use, Issue One: Distribution of Land Use

Objective 3.1: *Accommodate a diversity of uses that support the needs of the City's existing and future residents, businesses, and visitors.*

Policy 3.1.1: *Identify areas on the Long-Range Land Use Diagram and in the community plans sufficient for the development of a diversity of uses that serve the needs of existing and future residents (housing, employment, retail, entertainment, cultural/institutional, educational, health, services, recreation, and similar uses), provide job opportunities, and support visitors and tourism.*

Policy 3.1.3: *Identify areas for the establishment of new open space opportunities to serve the needs of existing and future residents. These opportunities may include a citywide linear network of parklands and trails, neighborhood parks, and urban open spaces.*

Objective 3.2: *Provide for the spatial distribution of development that promotes an improved quality of life by facilitating a reduction of vehicular trips, vehicle miles traveled, and air pollution.*

The applicant requests a Specific Plan Amendment to change the Subarea of the project site from A – Neighborhood Conservation to E – Public Facilities within the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP). The new Subarea designation allows the use and area regulations of the Public Facilities (PF) Zone and parks and recreation facilities to be developed by right on the subject property. The project site is located in a neighborhood that is predominantly developed with medium-density residential apartment buildings and commercial, institutional, and retail uses. The nearest park and recreation facilities to the project site include the Barnsdall Art Park, Bellevue Recreation Center, and Madison West Park, which are all located more than a mile away from the project site. The residents are short of these amenities, as the immediate neighborhood does not contain any open space, community garden, or recreation area within the one-mile radius. The project proposes to transform a vacant site into a public park that will be managed by the City of Los Angeles Department of Recreation and Parks (LADRO) as well as a community garden that will be operated by the Los Angeles Community Garden Council (LACGC). These two uses will increase the diversity of uses within the neighborhood and support the recreational, physical health, and cultural needs of the existing and future residents in the area, which will improve the residents' quality of life. Furthermore, green spaces can provide substantial environmental benefits. The RAP proposes ample landscaping in the park, including a variety of canopy trees, shrubs and vines, ground cover, and planters. The areas that are not used for the educational building and surface parking lot in the community garden will be dedicated for garden beds. Additionally, the LACGC is conditioned to plant five (5) street trees along Madison Avenue and two (2) trees in the surface parking lot. These trees and plants on the site will help improve air quality by removing pollutants from the atmosphere and filtering the air and thereby reducing the carbon footprint.

Chapter 5 Urban Form and Neighborhood Design

Objective 5.4: *Encourage the development of community facilities and improvements that are based on need within the centers and reinforce or define those centers and the neighborhoods they serve.*

Objective 5.9: *Encourage proper design and effective use of the built environment to help increase personal safety at all times of the day.*

Policies 5.9.1: *Facilitate observation and natural surveillance through improved development standards which provide for common areas, adequate lighting, clear definition of outdoor spaces, attractive fencing, use of landscaping as a natural barrier, secure storage areas, good visual connections between residential, commercial, or public environments and grouping activity functions such as child care or recreation areas.*

During the City of Los Angeles, Department of City Planning, Urban Design Studio's Professional Volunteer Program, the panel was concerned that green spaces may foster crime and illegal activity if the site layout is not designed properly, especially if the project site is located within an area with high crime rates. However, when these spaces are located within a residential neighborhood and properly designed and planned, they can actually increase neighborhood surveillance and become social spaces where the community gathers to interact and socialize with one another. Furthermore, the community garden will be managed by approximately 30 to 50 families who will be renting out the garden beds,

and the spaces within the park will be visible from the adjacent residential buildings. The security of physical features, users of the park, and gardeners will be protected by the residents in the neighborhood through natural surveillance. The project will also provide lighting and cameras throughout the site to increase the users and residents' safety. The educational building will have wide, transparent sliding doors on the elevations facing the park and community garden. These doors are purposely designed to have eyes on public spaces and maintain surveillance on both sides of the project site. The doors also help in creating a visual connection between the park and community garden with their transparency. Additionally, the light fixtures in the park will be equipped with a motion sensor and light intensity will meet the RAP standard of one-foot candle per square foot. The intensity of the light fixtures in the community garden will also meet the RAP standards. The project is also required to install lighting along all vehicular access ways and pedestrian walkways per the Vermont/Western SNAP requirements. Although the park hours will be limited to daylight hours, there will be security cameras throughout the site to maintain security. As required per the Development Standards of the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP), the project is conditioned to provide six-foot tall, decorative walls along the north, south, and west property lines. The Los Angeles Department of Recreation and Parks (RAP) also proposes a decorative fence, pedestrian gate, and vehicular gate between the two uses in the middle of the project site as well as along the front property line. The Framework Element encourages natural surveillance through the use of landscaping as a natural barrier and create good visual connections between public environments. The proposed fence and gates that are eight-foot tall and directly located along the front property line create a barrier that is not friendly or open to public members. Furthermore, having landscaping along the front property line instead of metal fencing and gates will create a better visual connection between the proposed project and sidewalk. The project has been conditioned to prohibit any fences within the front yard. Therefore, the project's implementation of the "eyes on the street" principle and installation of security measures, as conditioned, are in conformance with the Urban Form and Neighborhood Design goals of the Framework Element.

Chapter 6 Open Space and Conservation

Policy 6.3.2: *Seek to ensure that the users of the City's open space system are safe and secure.*

Objective 6.4: *Ensure that the City's open spaces contribute positively to the stability and identity of the communities and neighborhoods in which they are located or through which they pass.*

Policy 6.4.1: *Encourage and seek to provide for usable open space and recreational facilities that are distributed throughout the City.*

Policy 6.4.4: *Consider open space as an integral ingredient of neighborhood character, especially in targeted growth areas, in order that open space resources contribute positively to the City's neighborhoods and urban centers as highly desirable places to live.*

Policy 6.4.5: *Provide public open space in a manner that is responsive to the needs and wishes of the residents of the City's neighborhoods through the involvement of local residents in the selection and design of local parks. In addition to publicly-owned and operated open space, management mechanisms may take the form of locally run private/non-profit management groups, and should allow for the private acquisition of land with a commitment for maintenance and public access.*

Policy 6.4.7: Consider as part of the City's open space inventory of pedestrian streets, community gardens, shared school playfields, and privately-owned commercial open spaces that are accessible to the public, even though such elements fall outside the conventional definitions of "open space." This will help address the open space and outdoor recreation needs of communities that are currently deficient in these resources.

Policy 6.4.10: Provide for the joint use of open space with existing and future public facilities, where feasible.

Chapter 9 Infrastructure and Public Services

GOAL 9L: Sufficient and accessible parkland and recreation opportunities in every neighborhood of the City, which gives all residents the opportunity to enjoy green spaces, athletic activities, social activities, and passive recreation.

Policy 9.23.1: Prioritize the implementation of recreation and park projects in areas of the City with the greatest existing deficiencies.

As previously discussed, the immediate neighborhood is short of green open space, as the nearest parks, including Barnsdall Art Park, are more than a mile away from the project site, which is four times further away from the comfortable walking distance of a quarter mile. The proposed park and community garden will provide sufficient and accessible parkland and recreation opportunities to the residents in the area. The Madison Avenue Park will contain seating areas with picnic tables and site furniture, a basketball tree on which hoops will be hung, swings, tractor, silo, and vertical net climbers, sand play area, tricycle path and mound play surfacing. The project will also contribute positively to residents of all ages with these recreation areas and exercise equipment, as they increase physical activities and enhance psychological well-being. Furthermore, the project will create a sense of community identity while increasing the safety of the neighborhood. The project site has been vacant since 2004 and is currently blocked off with chain-link fences and concrete masonry unit (CMU) walls, creating an unfriendly visual sore that could become a breeding ground for crime. Vacant properties usually require a high level of public maintenance in order to prevent a buildup of trash, illegal dumping, and toxic waste. The project takes this opportunity to transform an underutilized site within a highly residential neighborhood to a green open space with a community garden that serve the community needs. The proposed community garden will be maintained by 30 to 50 families who will be renting garden plots. Having their own space within the garden to care for will also create a sense of community ownership and stewardship, which fosters the development of a community identity. The Open Space Element's policy requires that the users of the open space system are safe and secure. The project representative stated that during one of the public workshops they conducted, the community wished to see the project maximizing the project area and not waste the space dedicated for the vehicular driveway. In response, the design team created a tricycle path that overlaps with the vehicular driveway along the southerly property line. The proposed design to overlap a tricycle path that will be utilized by children who may not be fully aware of their surroundings with a vehicular driveway without any security measures creates a dangerous environment and does not ensure the safety of the park users. Thus, the applicant is required per the Condition of Approval to redesign this area to separate the tricycle path area from the driveway. Therefore, as conditioned, the project is consistent with the Framework Element.

Land Use Element – Hollywood Community Plan

The Hollywood Community Plan was adopted by the City Council on December 13, 1988. The purpose of the Community Plan is to provide an official guide to the future development of the community for the use of government agencies, residents, property owners, entrepreneurs, and private organizations. The Community Plan is intended to promote an arrange of land use, circulation, and services which will encourage and contribute to the economic, social and physical health, safety, welfare and convenience of the community within the larger framework of the City; guide the development, betterment, and change of the community to meet existing and anticipated needs and conditions; balance growth and stability; reflect economic potentials and limits, land development and other trends; and protect investment to the extent reasonable and feasible. The proposed Specific Plan Amendment would enable the development of the park and community garden and is consistent with the following objectives and policies of the Community Plan.

Objective 5: *To provide a basis for the location and programming of public services and utilities and to coordinate the phasing of public facilities with private development. To encourage open space and parks in both local neighborhoods and in high density areas.*

Recreation and Parks Policy 1: *The desires of the local residents be considered in the planning of recreational facilities.*

The project team conducted extensive participatory design workshops to develop the design and programming of the park and garden. These workshops include on-site design events on September 7, 2012; three workshops with in January 2014, February 25, 2013, and February 12, 2016; and two community meetings and hearings at the East Hollywood Neighborhood Council on January 14, 2010 and February 10, 2016. The project representatives worked collaboratively with East Hollywood residents and reflected their priorities and comments in the park and community garden design. For example, the project representative mentioned during the Public Hearing on August 5, 2016 that the project initially proposed a basketball court within the park but the community was concerned about the noise the court would generate and requested that they move the court to another location away from the residential developments. In response to the neighbors' concern, the project team created a "basketball tree," on which basketball hoops are hung in order to reduce noise impacts while still providing a creative play area for park users. The Hollywood Community Plan recognizes the importance of process and community engagement in placemaking and planning of recreational facilities, and as elaborated above, the project provided a forum in which the community could come together to vision and collectively design a public space. The Specific Plan Amendment enables the development of the proposed project, whose design reflects the desires of local residents and a participatory design process, thus meeting the vision of the Hollywood Community Plan.

Health and Wellness Element

Adopted in March 2015, the Plan for a Healthy Los Angeles lays the foundation to create healthier communities for all Angelenos. As the Health and Wellness Element of the General Plan, it provides high level policy vision, along with measurable objectives and implementation programs, to elevate health as a priority for the City's future growth and development. The proposed project is consistent with the following goals, objectives and policies.

Policy 1.2 Collaboration: *Develop intentional strategic partnerships with public, private, and nonprofit entities to improve health outcomes by leveraging capacity, resources, and*

programs around mutually beneficial initiatives that promote health, equity, and sustainability.

Policy 1.4 Education: *Work with public, private, and nonprofit partners to educate the public about health and wellness by supporting information and interventions that are readily available, culturally relevant, and linguistically accessible.*

Policy 2.6 Repurpose Underutilized Spaces for Health: *Work proactively with residents to identify and remove barriers to leverage and repurpose vacant and underutilized spaces as a strategy to improve community health.*

Policy 2.10 Social Connectedness: *Acknowledge the mental and physical health benefits of social connectedness by promoting and valuing public spaces, social interaction, relationship building, and resilience in community and urban design.*

Policy 3.8 Active Spaces: *Support public, private and nonprofit partners in the ongoing development of new and innovative active spaces and strategies to increase the number of Angelenos who engage in physical activity across ages and level of abilities.*

Policy 4.1 Land for Urban Agriculture and Healthy Food: *Encourage and preserve land for urban agriculture in the City to ensure a long-term supply of locally produced healthy food, promote resiliency, green spaces, and healthy food access; increase the number of urban agriculture sites including but not limited to: community gardens, parkway gardens, urban farms and rooftop gardens in low-income and underserved areas.*

Policy 4.7 Empower Angelenos to Grow and Eat Healthy Food: *Foster and promote local initiatives and partnerships that empower, educate and train Angelenos to grow and eat healthy food.*

The Health and Wellness Element promotes public and nonprofit entity partnerships to improve health outcomes and educate the public about health and wellness. The Health and Wellness Element also emphasizes that the City should strive to work collaboratively with partners who have the expertise and capacity to partner and advance health equity in Los Angeles. The project site is owned by the City of Los Angeles Department of Recreation and Parks (RAP), who established a partnership with a nonprofit organization, Los Angeles Community Garden Council (LACGC), to develop a community garden at the rear of the site. Additionally, the RAP works with the Trust for Public Land (TPL), a nonprofit organization that helps secure funding to create parks and engage communities in the process of creating parks. The LACGC and TPL have held community outreach workshops and participatory design process together in order to collect community input from the residents, and as part of the result, the project was awarded 2.1 million dollars per the Safe Drinking Water, Water Quality and Supply, Flood Control, River and Coastal Protection Bond Act of 2006 (Proposition 84). The LACGC manages over 40 community gardens and offers workshops, advice, and community organizing assistance to more than 125 community gardens in Los Angeles County. This organization has been sharing their expertise of gardening techniques and agriculture practices with various communities. The LACGC representative stated during the Public Hearing on August 5, 2016 that they intend to provide gardening and water-efficiency classes at the proposed educational building to the aging community in the neighborhood. As such, public and private partnerships provide not only funding, but also needed resources and expertise in ongoing maintenance and space programming. The Specific Plan Amendment enables the development of the proposed project, which meets the goals of the Element by working collaboratively in

partnerships to secure funding to provide public open space and recreational area for the residents while developing programs that promote urban agriculture and water efficiency.

As discussed previously, the Specific Plan Amendment will enable the development of the project to transform a vacant, underutilized site into a public space. Underutilized and vacant lots, including publicly owned spaces, can be repurposed for services that support health and well-being, particularly in areas with limited financial resources. Underutilized sites detract from urban experience and limit the commercial vitality of a neighborhood. Repurposing these vacant sites with permanent and temporary uses that support community health and well-being can have a positive impact on community health. In addition, the park design is intended to maintain the theme of urban agriculture. Community gardens are ideal for individuals and families who live in apartments or homes that do not provide enough space or opportunity for personal gardens and producing food. The surrounding neighborhood is densely developed with multi-family developments that have little to no yards to garden. The project will preserve the land and space for urban agriculture to increase opportunities for residents to grow healthy food while providing a place for community gathering and knowledge sharing. Furthermore, the community will be exposed to the benefits of growing and eating healthy food in conjunction with agricultural training, which empowers the residents to make nutritional choices that promote health and well-being. Lastly, a sense of community belonging and access to social capital are important aspects of promoting good physical and mental health. The play and recreational area with ample landscaping and community garden could encourage social interactions among residents by providing a platform through which people can meet and interact in their communities and build social capital. According to the Health and Wellness Element, communities with a sense of belonging are also more likely to be civically engaged, encouraging neighbors to work together around issues such as public safety. As such, the proposed project will be a beneficial addition to the community that promotes a sense of community, civic engagement, and public safety.

3. **City Charter Sections 556 and 558.** Section 556 of the City Charter requires that the City Planning Commission make findings that determine whether the requested Specific Plan Amendment is either in substantial conformance or is not in substantial conformance with the purposes, intent and provisions of the General Plan. Section 558 of the City Charter establishes the procedures for the adoption, amendment or repeal of ordinances, orders or resolutions proposed by the City Council, City Planning Commission, or Director of Planning or by application of the owner of the affected property if authorized by ordinance. Based on the Findings delineated, the City Planning Commission finds that the requested Specific Plan Amendment is in substantial conformance with the purposes, intent and provisions of the General Plan.

The Specific Plan Amendment will allow the applicant to construct a public park and community garden that satisfies the needs of the local residents to have access to green open space, recreational area, and urban agriculture. Furthermore, the Amendment will allow for an increase in the public safety, health and wellness, sense of community, and private and public partnerships, which would highly benefit the existing and future residents of the neighborhood. Additionally, the Amendment will enable the development of the proposed project, which encourages the complete streets concept by providing the design and programming that encourage walking and bicycling.

Specific Plan Amendment Findings.

4. **Pursuant to Section 12.32 of the Municipal Code, and based on these findings, the recommended action to amend the Vermont/Western Station Area Plan Transit Oriented Specific Plan is deemed consistent with public necessity, convenience, general welfare and good zoning practice.**

As found above, the recommended Specific Plan Amendment is consistent with the General Plan Framework, Land Use (Hollywood Community Plan), and Health and Wellness Elements. The project requests a Specific Plan Amendment to change the Subarea of the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP) from A – Neighborhood Conservation to E – Public Facilities. The Specific Plan Amendment would only apply to the subject site to permit the construction, maintenance, and use of a public park and community garden. The site is located in an urbanized and developed area and affords a unique opportunity to provide green open space and community garden on an underutilized site. The SNAP acknowledges that the Specific Plan Area lacks adequate facilities for parks and establishes goals to create a safe and comfortable pedestrian-oriented community and expand public facilities. With the approval of the Specific Plan Amendment, the project would be consistent with the following purposes outlined by the Specific Plan:

2.B. Encourage sufficient schools, childcare facilities, parks, public pools, soccer fields, open space, libraries and police stations within the Plan Area by the horizon year of 2020;

2.C. Establish a clean, safe, comfortable and pedestrian oriented community environment for residents to shop in and use the public community services in the neighborhood;

2.I. Promote the provision of more small public parks among the residential neighborhoods;

The project site and its immediate surrounding area lack sufficient amount of public parks and urban agriculture areas, as the nearest parks – Barnsdall Art Park, Bellevue Recreation Center, and Madison West Park – are located more than a mile away from the project site. The proposed park and community garden will not only increase the diversity of land uses in the neighborhood, but also provide green spaces and recreational areas where the community could visit and interact with each other. Thus, the project will meet the needs of the local community of having more open space areas where residents of all ages can gather, which serves public necessity. The site is also located within a predominantly multi-family residential area. The residents in the neighborhood will be able to talk or bike to the project site, without the need to drive their vehicles. The project only provides three (3) on-site parking spaces to serve maintenance and staff vehicles that are authorized to access the site, which encourages park and garden users to utilize other modes of transportation than vehicles. The project also serves the general welfare by increasing the awareness of urban agriculture and encouraging local residents to produce their own food, which promotes health and wellness. The community garden will be a great opportunity for neighbors who do not have space in their apartment or home to have a personal garden to produce food. The project will also provide a forum and physical space for the community to share knowledge while increasing a sense of community and stewardship.

Subarea A of the SNAP is intended to preserve the current residential neighborhoods at their prevailing density and scale, while Subarea E is intended to develop public facilities for sites that are zoned public facilities and additional sites that are owned by the City and Caltrans. The project proposes a public park and community garden that meet the purpose and intent of Subarea E rather than those of Subarea A. Furthermore, the SNAP contains

various provisions for combined lot area, permitted use, transitional height, building setback, usable open space, parking requirements, as well as Development Standards and Design Guidelines, that are established to regulate and enhance new development and extensive remodeling of existing buildings and to preserve the prevailing character, design and scale of residential neighborhoods. The nature of the proposed project is to provide open space for recreational and agricultural activities for local residents rather than to develop a mixed-use, commercial, or residential development that needs to conform to the existing neighborhood character. Additionally, the City of Los Angeles Department of Recreation and Parks (RAP) acquired the subject property in 2012, subsequent to the establishment of the SNAP and Subarea A designation for the project site in 2001. Given the ownership by a public agency and the public facility uses proposed, designation of Subarea E – Public Facilities is more appropriate for the project site than Subarea A – Neighborhood Conservation. Therefore, making the project comply with an extensive amount of provisions that are not applicable to the type and purpose of the proposed project is onerous on the applicant and does not meet the intent of the Specific Plan to promote the provision of more small parks among the residential neighborhoods. Furthermore, the new Subarea E for the project site is consistent with the General Plan land use designation of Low Medium II Residential and RD1.5-1XL zoning, as the proposed use is more restrictive than permitted uses per the land use designation and zoning. As such, the proposed Specific Plan Amendment is consistent with good zoning practice.

Project Permit Compliance Findings

5. That the project substantially complies with the applicable regulations, findings, standards and provisions of the Specific Plan.

Following is a delineation of the findings and application of relevant facts as related to the request to allow the construction, maintenance, and use of a public park and community garden with an educational building, covered recreational area with a shade structure, and three (3) on-site parking spaces. These findings are based on the assumption that the requested Specific Plan Amendment from Subarea A – Neighborhood Conservation to E – Public Facilities will be adopted.

- a) **Use.** Section 11.A of the Vermont/Western Transit Oriented District Specific Plan / Station Neighborhood Area Plan (SNAP) allows uses and area regulations of Section 12.04.09 Public Facilities (PF) Zone of the Los Angeles Municipal Code (LAMC) on all lots in Subarea E. Farming and nurseries, which a community garden is categorized as, is a permitted use in the PF zone per LAMC and therefore is permitted on the subject site. The proposed public park is permitted by right per the SNAP. The project also proposes a 640-square-foot educational building to serve the users of the community garden with classes and programs. The public park will contain a recreational area, silo, mounded lawn and planting areas, play and exercise equipment, and seating areas, which are all permitted by right per the SNAP. Therefore, the project complies with the uses allowed in the PF Zone on a lot located within Subarea E of the SNAP.
- b) **Development Standards.** Section 11.B of the SNAP requires projects to be in substantial conformance with the Development Standards and Design Guidelines. The project conforms as discussed in the following sections.

Development Standards

- c) **Maximize the open space potential of all public facilities, even if open space is not the primary purpose of the site.** The Development Standards require that all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities shall be landscaped by shrubs, trees, ground cover, lawns, planter boxes, flowers, fountains, and any practicable combination so that it is dust free and allows convenient outdoor activity. The Trust for Public Land submitted a Planting Plan for the park portion of the project site, which shows a variety of landscaping. The front of the park would be landscaped with California Sycamore, Orange and True Green Chinese Elm trees, Dwarf Pomegranate and Atlas Fescue shrubs and vines, and turf grass. The side yards along the northerly and southerly property lines would be landscaped with Lemon and Orange trees and Pink Muhly, Dwarf Mat Rush and Giant Wild Rye shrubs and vines. The rear of the park adjacent to the educational building and surface parking lot would be landscaped with Coast Live Oak and California Sycamore trees, Creeping Barberry, Atlas Fescue, Giant Wild Rye, and Dwarf Pomegranate shrubs and vines. There will be planters containing shrubs and vines throughout the park as well. For the community garden, areas that are not used for the educational building and surface parking lot will be used for garden beds. The plot plan indicates that two (2) trees will be planted in the surface parking lot and two existing Prune trees at the rear will remain. The Development Standards also require that all landscaped areas should be landscaped in accordance with a landscape plan prepared by a licensed landscape architect, licensed architect, or licensed landscape contractor. The plans for the community garden do not contain a landscape plan that is prepared by a licensed professional as required. The project is conditioned to submit a final landscape plan that is reflective of the proposed landscaping and prepared by a licensed landscape architect, licensed architect, or licensed landscape contractor as required by the Development Standards. Therefore, as proposed and conditioned, the project complies with this Development Standard.
- d) **Streetscape – Street Trees.** The Development Standards require that at least one 36-inch box shade tree be planted in the public right-of-way on center or in a pattern satisfactory to the Bureau of Street Maintenance, for every 20 feet of street frontage. The Development Standards also require that an automatic irrigation system be provided within the tree well. The project site has a street frontage of approximately 100 feet, thereby requiring five (5) street trees along Madison Avenue. The plans submitted for the community garden do not contain a landscape plan or an irrigation plan that shows an automatic irrigation system for on-site landscaping or street trees. The Conditions of Approval requires the installation of five street trees along the project street frontage of Madison Avenue and an automatic irrigation system. Therefore, as conditioned, the project complies with this Development Standard.
- e) **Streetscape – Tree Well Covers.** The Development Standards require that a tree well cover be provided for each new and reused street tree in the project area. The design shall meet the Americans with Disabilities Act (ADA) requirements to minimize trip and fall accidents and provide a cut out sufficient for the type of tree planted. The plans submitted for the park and community garden do not indicate that the on-site and street trees will have a well cover for each tree. The project is conditioned to cover the required street trees with a tree well cover that meets the ADA requirements as well as the standards set forth by the Department of Public Works, Bureau of Street Services, Urban Forestry Division. Therefore, as conditioned, the project complies with this Development Standard.

- f) **Pedestrian Entrance.** All buildings that front on a public street, including parking structures, are required to provide a pedestrian entrance at the front of the building. The project proposes an educational building that is located approximately 147 feet west of the front property line along Madison Avenue and does not directly front on a public street. Therefore, this Development Standard does not apply to the proposed project.
- g) **Design of Entrances.** The Development Standards require that pedestrian entrances be accented by architectural elements. The project site is accessible via a pedestrian entrance that is located at the center of the front property line. This entrance would accommodate pedestrian traffic from the front to the rear of the project with pedestrian pathways throughout the site. The entrance area will be attractively landscaped with canopy trees, ground cover, and shrubs. Furthermore, the project proposes a decorative fence and pedestrian gate along the front property line, which will consist steel fence posts, rail, and cross braces along with perforated sheet metal panel. These design elements and landscaping will accentuate the pedestrian entrance to the park and community garden. Therefore, the project complies with this Development Standard.
- h) **Speed Bumps.** The Development Standards require that speed bumps be provided on the driveway at a distance of no more than 20 feet apart whenever a pedestrian walk way and a driveway share the same path for more than 50 lineal feet. The project proposes a vehicular driveway that measures approximately 132 feet along the southerly property line for maintenance and staff vehicles. However, users of the park and gardeners are anticipated to use the vehicular driveway as a walkway given the nature of the proposed uses and no fences or walls are proposed between the park and driveway. Incorporating speed bumps would increase the safety of the park and community garden users. Therefore, the project has been conditioned to incorporate six (6) speed bumps, and as conditioned, the project complies with the Development Standard.
- i) **Utilities.** The Development Standards require that all proposed utilities on the project site be placed underground when new utility service is installed in conjunction with new development or extensive remodeling. The project currently does not indicate the location of utilities on the project site in its plans. The project has been conditioned to place all new utility lines associated with the project underground. If underground service is not currently available, then the Applicant has been required to make future arrangements for underground service. Therefore, as conditioned, the project complies with this Development Standard.
- j) **Building Design – Transparent Building Elements.** The Development Standards require that transparent building elements such as windows and doors occupy a minimum of 20 percent and maximum of 50 percent of the exterior wall surface of all ground floor facades. The project includes the construction of a modular, prefabricated building for the community garden. As shown in Exhibit “A,” windows will occupy 33.75 square feet, or 20 percent, of the 106-square-foot façade on north and south elevations. The project proposes sliding glass doors on east and west elevations. The doors will occupy 83.25 square feet, or 20 percent, of the 416-square-foot façade on the east elevation and 193 square feet, or 50 percent, of the 416-square-foot façade on the west elevation. The plans, however, do not indicate the transparency of these windows and doors. The project has been conditioned to use transparent materials for the windows and doors. No buildings are proposed for the park portion of the site. Therefore, as conditioned, the project complies with this Development Standard.

- k) **Building Design – Façade Relief.** The Development Standards require that all exterior building walls provide a break in the plane or change in material every 15 to 30 feet in horizontal length and every 15 to 30 feet in vertical length, created by an articulation or architectural detail. The proposed educational building measures 40 feet in horizontal length for east and west elevations. The project proposes sliding doors that are slightly recessed from the plane of the building as well as flat metal trims above and below the sliding doors for the east and west elevations. The sliding doors will consist of transparent materials, as required per the Condition of Approval. These elements provide changes in the plane and material from the corrugated metal siding facades, which create a visual break. The north and south elevations of the building are 16 feet in horizontal length. The applicant proposes vertical windows that shall also consist of transparent materials, as conditioned, and provide a change in material from the corrugated siding facades. The building height measures 14 feet and therefore is not subject to the façade relief requirement for vertical length. Therefore, as proposed, the project complies with this Development Standard.
- l) **Building Design – Building Materials.** All buildings are required to apply at least two types of complementary building materials to exterior facades per the Development Standards. Transparent building elements do not count towards this requirement. The majority of the educational building materials will consist of metal, including the corrugated siding for the façade, trims above the sliding windows, and corner caps. The project also proposes concrete block stem walls along the perimeter of the building base. Therefore, the project complies with this Development Standard.
- m) **Building Design – Surface Mechanical Equipment.** The Development Standards require that all surface or ground mounted mechanical equipment are screened from public view and treated to match the materials and colors of the building which they serve. The plans do not indicate the location of surface mechanical equipment. However, in the event surface mechanical equipment is constructed, the Conditions of Approval require the equipment to be screened from public view and match the colors and materials of the building which they serve. Therefore, as conditioned, the project complies with this Development Standard.
- n) **Building Design – Roof Lines.** The Development Standards require that all roof lines in excess of 40 feet be broken up through the use of gables, dormers, plant-ons, cutouts, or other appropriate means. The educational building proposed for the community garden measures 40 feet in length along east and west elevations and 16 feet along north and south elevations, which are less than the threshold to provide a break in all roof lines. Therefore, this Development Standard does not apply to the proposed project.
- o) **Rooftop Appurtenances – Flat Roofs.** The Development Standards require that building equipment and ducts be screened from view from any street, public right-of-way or adjacent property for buildings with a flat roof. The Development Standards further stipulate that the screening shall be solid and match the exterior materials, design and color of the building. The project proposes a modular building that has a flat roof; however, the plans do not indicate any rooftop appurtenances to be provided on the roof. In the event the project requires rooftop appurtenances, the project is conditioned to screen them from public view or architecturally integrate them into the building design. Therefore, as conditioned, the project complies with this Development Standard.

- p) **Trash, Storage Areas and Recycling Bins.** The Development Standards require that all trash and storage areas be completely enclosed within a gated, covered enclosure constructed of materials identical to the exterior wall materials of the building. The enclosure shall be a minimum of six feet in height and have a separate area for recyclable materials. On-site storage and public trash cans will not be provided for the community garden portion. Additionally, the plans do not indicate the location of trash and storage areas for the park. The project has been conditioned to enclose all trash and storage areas within a covered enclosure that is constructed of materials that match the building façade materials in the event the project proposes trash and storage areas. Therefore, as conditioned, the project will comply with this Development Standard.
- q) **Pavement.** Per the Development Standards, paved areas, excluding parking and driveway areas, are required to consist of enhanced paving materials such as stamped concrete, permeable paved surfaces, tile and/or brick pavers. The planting plan for the public park does not indicate the type of enhanced paving proposed for recreation areas and walkways that are not covered with turf blocks or other landscaping elements. The plot plan for the community garden indicates that the majority of the garden area that are not utilized for the surface parking lot, walkway, and building will consist of gravel and wood bark. The plot plan also indicates that the pedestrian walkway between the surface parking lot and building will consist of concrete paving; however, the plan does not specify that this paving will be enhanced. The applicant is required to provide revised plans to specify the type of enhanced paving to be used for the recreational area and pedestrian pathways in the park and the walkway in the community garden. Therefore, as conditioned, the project complies with this Development Standard.
- r) **Decorative Freestanding Walls.** The Development Standards require that all freestanding walls be decorative and contain an architectural element at intervals of no more than 20 feet. The Development Standards further stipulate that all freestanding walls are to be set back from the property line adjacent to a public street with a landscaped buffer, and no chain-link, barbed and concertina fences are acceptable. The project is conditioned to provide six-foot tall, decorative walls along the north, east, and south property lines. These decorative walls will not be located along a property line adjacent to a public street, and thus a landscaped buffer is not required. The project also has been conditioned to incorporate an architectural element at intervals of no more than 20 feet in horizontal length for these walls. The decorative walls will not be located along a property line adjacent to a public street, and thus a landscaped buffer is not required. The project also proposes decorative fences along the front property line and between the park and community garden. However, the project has been conditioned to limit erecting any fences within the front yard for conformance with the General Framework Element Policy to create a natural barrier and pedestrian-friendly space using landscaping rather than eight-foot tall, metal fencing and gates. The project has also been conditioned to ensure that no chain-link, barbed and concertina fences are allowed. Therefore, as conditioned and proposed, the project's decorative walls and fences comply with the Development Standards.
- s) **Parking Behind Buildings.** The Development Standards require that surface parking lots be located at the rear of buildings, and in no case closer than 20 feet of a public street. The project proposes a surface parking lot containing three (3) on-site parking spaces located adjacent to the educational building. In addition, the parking lot will be located approximately 132 feet west of the public street and will be screened with

trees, shade structure, silo, and recreational and play equipment in the public park. Therefore, as proposed, the project complies with this Development Standard.

- t) **Parking Structures Façade Treatments.** The Development Standards require that the exterior elevations of all parking structures be designed to match the style, materials and color of the main building. The project does not propose any parking structures. Therefore, this Development Standard does not apply.
- u) **Structures Across from Residential Uses.** The Development Standards require that wherever a structure abuts or is directly across an alley or public street from any residential use or zone, the structure abutting such residential use or zone should conform to the following standards: a six-foot solid decorative wall that blocks light and deflects noise shall be installed along the side of the lot that abuts the residential use or zone; a landscaped buffer shall be provided along the outside of the perimeter walls along an alley or public street across from any residential use or zone; solid panels that measure a minimum of three feet, six inches in height shall be installed at the ramps of any parking structure adjacent to residential uses or zones; light standards on any uncovered above ground level areas of the structure should not be higher than the adjacent perimeter walls; and garage floors and ramps shall be constructed with textured surfaces to minimize tire squeal noises. The project proposes a shade structure and educational building on a lot that abuts residential uses and the RD1.5 zone to the north, south, and east of the site. The site currently has three CMU walls that measure less than six feet in height, along portions of the north, west, and south property lines. As this Development Standard requires a minimum height of six feet for the decorative walls, the project has been conditioned to installing new, six-foot solid decorative walls along the north, south, and east property lines to meet the Development Standards. The project is not located directly across an alley or public street from any residential use or zone and does not propose a parking structure and thus the requirement to provide a landscaped buffer, solid panels, light standards, and textured surfaces do not apply to the proposed project. Therefore, as conditioned, the project complies with this Development Standard.
- v) **Surface Parking Lots.** The Development Standards require that at least 10 percent of a surface parking lot shall be landscaped in accordance with the following standards: one 24-inch box shade tree for every four parking spaces, spaced evenly to create an orchard-like effect; a landscaped buffer around the property line; and a three and a half foot solid decorative masonry wall shall be provided behind the three-foot landscaped buffer. Shade producing trees as identified in the Street Tree List of the Bureau of Street Maintenance shall be planted, and the trees shall be located so that an overhead canopy effect is anticipated to cover at least 50 percent of the parking area after 10 years of growth. The project proposes two (2) canopy trees on the surface parking lot that will contain three (3) on-site parking spaces and is conditioned to provide six-foot tall decorative walls along the north, east, and south property lines. These walls will help screen the neighbors' views of the surface parking lot. The project has also been conditioned to plant trees that are anticipated to cover at least 50 percent of the parking area after 10 years of growth. Therefore, as conditioned, the project complies with the Development Standards.
- w) **Surface Parking Abutting Residential.** The Development Standards require that wherever a surface parking lot abuts or is directly across an alley from a residential use or zone, a decorative wall at least six feet in height be erected along the perimeter of the parking area facing such residential lot or use. The project proposes a surface parking lot that abuts a multi-family residential development to the south of the project

site. The project site currently contains CMU walls and fences along some portions of the property lines; however, these do not meet the required six-foot height requirement to screen a surface parking lot. The project has been conditioned to install six-foot decorative walls along the north, east, and south property lines. The project also has been conditioned to incorporate an architectural element at intervals of no more than 20 feet in horizontal length for these walls. As conditioned, the project complies with this Development Standard.

- x) **On-Site Lighting.** The Development Standards require that on-site lighting be installed along all vehicular access ways and pedestrian walkways. The Development Standards specify that the minimum lighting intensity in parking areas is $\frac{3}{4}$ foot-candle of flood lighting measured from the ground, and all on-site lighting shall be shielded from casting light higher than 15 degrees below the horizontal plane as measured from the light source. The Development Standards also require that a maximum mounting height of light sources for ground level illumination be 14 feet, measured from the ground, and "white" color corrected lamps shall be used for ground level illumination. The applicant is required in the Conditions of Approval to comply with these provisions, thus complying with this Development Standard.
- y) **Security Devices.** The Development Standards require that all security devices be screened from public view. Alternative methods such as interior electronic security and fire alarm systems are encouraged. If metal security grills are used, grilles, which recess into pockets or overhead cylinders, completely concealed and retractable, shall be used. The Development Standards prohibit the use of vertical or horizontally folding accordion grills in front of a building and requires all security window bars be installed inside of the building. The project does not propose any security grills or window bars on the site. However, the project has been conditioned to comply with this Development Standard should these security devices be proposed in the future. Therefore, as conditioned, the project complies with this Development Standard.
- z) **Privacy.** The Development Standards require that buildings be arranged to avoid windows facing residential windows or private outdoor space of residential units. The north and south elevations of the educational building will have three vertical windows on each façade. The windows on the north elevation abut a surface parking lot, and the multi-family residential building located on the neighboring property is located more than 60 feet away from the north elevation of the educational building. The property located to the south of the site is also developed with a multi-family residential building; however, the windows on the south elevations are located more than 50 feet away from the adjacent residential building. Therefore, the proposed building will not directly face residential windows or private outdoor space of residential units. Therefore, this Development Standard does not apply.
- aa) **Hours of Operation.** The Development Standards require that parking lot cleaning and sweeping, trash collections and deliveries to or from a building occur no earlier than 7 AM and no later than 8 PM, Monday through Friday, and no earlier than 10 AM and no later than 4 PM on Saturdays and Sundays. The project has been conditioned to comply with this Development Standard. The project also has been conditioned to limit hours of operation to sunrise to sunset, as proposed by the applicant. As conditioned, the project complies with this Development Standard.

Design Guidelines

- bb) **Urban Form.** The Design Guidelines encourage informal gatherings of chairs and benches. The streets should begin to function for the surrounding community like an outdoor public living room. Transparency should exist between what is happening on the commercial street and on the ground floor level of the buildings. Mid-block pedestrian walkways and access through buildings are encouraged. The project proposes a variety of gathering spaces and recreational areas within the public park. As illustrated in Exhibit "A," site amenities include picnic tables, exercise equipment, swings, vertical net climber, silo climber, basketball tree, and other site furniture that will create informal gathering spaces and seating areas. There will be a decorative fence along the front property line; however, visitors can access the project site through a pedestrian entrance that is located in the middle of the front property line. Furthermore, the project is the construction of a public park and community garden. Given the nature of the proposed project and its uses, the project will have ample pedestrian walkways throughout the site. The educational building located in the middle of the site proposes transparent windows and doors that increase visual connection between the public spaces, building, and street. As such, the design of the proposed project satisfies the urban form provisions of the Design Guidelines.
 - cc) **Building Form.** The Design Guidelines encourage every building to have a clearly defined ground plane, roof expression and middle or shaft that relates the two. The project proposes a single-story educational building to serve the community garden and its users. The ground plane of the building will consist primarily of corrugated metal siding. The roof will be articulated with metal fascia, which is connected to the ground plane with corner metal caps. These three elements are designed to relate to one another and create a coherent building form. Therefore, the project satisfies the building form provisions of the Design Guidelines.
 - dd) **Architectural Features.** The Design Guidelines encourage courtyards, balconies, arbors, roof gardens, water features, and trellises. As previously mentioned, the project proposes a one-story prefabricated, modular building. The building itself does not incorporate the recommended architectural features; however, the project proposes a large deck to the west of the building that will consist of galvanized steel handrail and wood deck ramp. The east side of the building will have a terrace that provides pedestrian access to the building. As proposed, the project satisfies the architectural feature provision of the Design Guidelines.
 - ee) **Building Color.** The Design Guidelines encourage buildings be painted three colors: a dominant color, subordinate color and "grace note" color. The proposed educational building will consist primarily of metal material, which would not have three different colors. However, the project proposes different types of material, including corrugated metal siding, metal fascia, and transparent glazing, that articulate the building facades. Therefore, as proposed, the project meets the intent of the building color Design Guidelines.
6. **The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

The project includes the construction, maintenance, and use of a community garden and public park with a 14-foot tall educational building with 640 square feet of floor area, shade

structure that is 21 feet in height, a 24-foot, 10-inch silo structure and three on-site parking spaces on a 24,411-square-foot site. Mitigation measures are not necessary, as there are no potentially significant negative environmental effects associated with the project. The Director of Planning has determined that the project is Categorically Exempt from the environmental review pursuant to Article III, Section 1, Class 3, Category 17 and Class 4, Category 1 of the City of Los Angeles Environmental Quality Act Guidelines.

There are six Exceptions which must be considered in order to find a project categorically exempt under Class 3, Category 17 and Class 4, Category 1: (a) Location; (b) Cumulative Impacts; (c) Significant Effect; (d) Scenic Highways; (e) Hazardous Waste Sites; and (f) Historical Resources. While the project site is located within a Bureau of Engineering Special Grading Area, the site is relatively flat and has previously been developed. Furthermore, the project will not require a haul route approval, as it will not be exporting more than 1,000 cubic yards of earth material. In addition, according to the City's Zoning Information Mapping System (ZIMAS), the project site is not located within any other "sensitive" locations such as Coastal Zone, Very High Fire Hazard Severity Zone, Flood Zone, Fault Zone, Alquist-Priolo Fault Zone, Landslide Area, Liquefaction Area, or Tsunami Inundation Zone. Thus, the location of the project will not result in a significant impact based on its location.

There is also not a succession of known projects of the same type and in the same place as the subject project. As mentioned, the project proposes to develop the project site into a community garden and public park. The project includes the construction of an educational building that will contain 640 square feet of floor area with a maximum height of 14 feet, a 21-foot tall shade structure that will cover approximately 2,700 square feet of the lot, a 24-foot, 10-inch silo structure and three onsite parking spaces. The proposed scope of work is minor compared to other residential and commercial developments in the area that are much larger in scale and massing. Thus, there are no unusual circumstances which may lead to a significant and cumulative impact on the environment.

The project site fronts on Madison Avenue, which is designated as a Local Standard Street per the City of Los Angeles Mobility Plan 2035. According to Appendix B of the Mobility Plan 2035, the subject site is not designated as a scenic highway, nor are there any designated scenic highways located near the project site. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site is currently vacant and has not been identified as a historic resource by local or state agencies, nor has been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register. The project site also was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource, and this exception does not apply.

7. California Environmental Quality Act (CEQA) Findings.

As previously mentioned, the project is determined to be Categorically Exempt pursuant to CEQA Guidelines Section 15303 and 15304, and Class 3 Category 17 of the City's Environmental Quality Act guidelines. Projects that qualify for this Exemption include those involving less than 35 dwelling units or 15,000 square feet of commercial, industrial, governmental or institutional floor space where, as determined by the appropriate City department; not located in a designated hillside ("H") area or in an officially mapped area of severe geologic hazard; conform with or is less intensive than the adopted plan; that are an

in-fill rather than an initial intrusion into an established pattern of development; are not in an officially designated Paleontological, Historical, Archaeological or Seismic Study Area; and are of residential more than 1,000 feet from a freeway, railway, or airport. If any grading is required in connection with such projects, this Categorical Exemption shall not apply unless the grading is also exempted by Article III, Section 1, Subsection d (Class 4. Minor Alterations to Land) of the City's Environmental Quality Act Guidelines. The only building that is being proposed as part of the project will contain approximately 640 square feet of floor area, which is well under the threshold of 15,000 square feet of floor space. The project site is not located in a Hillside Area, Fault Zone, Alquist-Priolo Fault Zone, Landslide Zone, Liquefaction Zone, Preliminary Fault Rupture Study Area, or Isunami Inundation Zone per ZIMAS, nor is it located within an officially designated Paleontological, Historical, Archaeological or Seismic Study Area. The project also qualifies for Class 4 Category 1 Exemption which is under Article III, Section 1, Subsection d of the Guidelines, which exempts grading on land with a slope of less than 10 percent, except where it is to be located in a waterway, in any wetland, in an officially designated scenic area or in an officially mapped areas of severe geologic hazard. The project does involve grading; however, the project site has a slope of approximately three percent, which is below the threshold of 10 percent. The site is not located in any waterway, wetland, or designated scenic area. Therefore, based on the facts herein, it can be found that the project meets the qualifications of Class 3 Category 17 and Class 4 Category 1 Exemptions.

This determination that the Project is exempt from CEQA as referenced above, is based on the whole of the administrative record, the lead agency's independent judgment and analysis, and the determination that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

PUBLIC HEARING AND COMMUNICATIONS

The Public Hearing on this matter was held at Los Angeles City Hall, 200 North Spring Street, 10th Floor, Los Angeles, CA 90012 on Friday, August 5, 2016.

Summary of Public Hearing

1. Present: three (3) people signed in at the hearing.
2. Public Speakers: two (2) people spoke at the hearing, not inclusive of the applicant team. Both people spoke in support of the project.
3. The applicant's representatives from the Trust for Public Land and Los Angeles Community Garden Council spoke at the hearing and described the project design and entitlement requests. The representatives provided the following information regarding the proposed project:
 - The park aims to serve the underserved community members and provide access to open space.
 - The applicant team held numerous community outreach meetings and worked with the Council Office to design the project.
 - The park was awarded 2.1 million dollars per Proposition 84, known as the Safe Drinking Water, Water Quality and Supply, Flood Control, River and Coastal Protection Bond Act of 2006.
 - The theme of the park is urban agriculture with packing house design for the shade structure and other amenities including net climbers, swings, tractor, and silo to emphasize the agricultural heritage of the theme.
 - The park will also contain a sports court, which initially was designed with a basketball court near the residential uses. After learning that the residents are concerned about the noise from the balls bouncing during community outreach meetings, this area has been moved to a different location and the basketball court has been replaced with a "basketball tree" with hoops hanging from the tree to reduce the noise while still providing the play element.
 - A 12-foot wide driveway is proposed for the park maintenance crew and the Los Angeles Community Garden Council (LACGC) staff at the educational building.
 - The educational building is designed with large transparent windows and doors on east and west elevations in order to increase the connection between the park and community garden and to always have eyes on these spaces for security.
 - The LACGC will provide gardening and water-efficiency classes at the educational building as an outreach to the aging community in the neighborhood.
4. Public Hearing Testimony

Speaker Comments Supporting the Project

- Ivan Gonzales, an adjacent neighbor of the project site, commented that the proposed project is a great opportunity to provide open space and public amenities on an existing lot that is vacant, especially with a shortage of parks. The project will greatly benefit the neighborhood and create a sense of community.
- Dan Fujiwara, a master gardener in the community, shared that he supports the project as it is a much needed amenity in the community, and we need more parks and gardens in the City. The project will encourage people to grow more food and live and eat healthier.

Summary of Written Comments

1. One (1) person submitted comments in support of the project.
2. Written Comments

Written Comments Supporting the Project

- Jamie Hanson, a resident on Lexington Avenue, shared that a garden is a great idea that could benefit the community despite the project's potential impact on street parking.

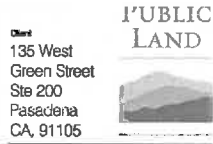
Madison Avenue Park

11175 North Madison Avenue
Los Angeles, California 90029

Madison Ave
Park

EXHIBIT A

MADISON AVE PARK PLANS
CPC-2016-1812-SP-SPP



EPTDESIGN
landscape architecture | urban design | planning

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www.eptdesign.com



Consultant

Revisions	By	Date

Job Number: E16-042
Design Staff: EH
Project Manager: JG
Principal: SC

Project
Cover Sheet

L0.00

50% Construction Documents

GeneralNotes

- THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT WAS PREPARED BY EARTH SYSTEMS SERVICES, INC.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS GRADES, AND FIELD CONDITIONS AT THE SITE BEFORE COMMENCING WORK. HE/SHE SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION WHERE NO DETAILS ARE GIVEN. THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK SO INVOLVED.
- REFERENCES OF THE ASLTALS AND THE UNIFORM BUILDING CODE SHALL BE TO THE LATEST EDITIONS AS ADOPTED BY THE CITY OF LOS ANGELES, CA.
- IMPORT SOIL SHALL BE APPROVED ON SITE BY OWNERS REPRESENTATIVE. REFER TO SPECIFICATIONS FOR SOIL REQUIREMENTS. SOIL SHALL BE FREE FROM ROCK, DEBRIS, BERNALDA GRASS OR OTHER DELETERIOUS MATERIAL.
- AREAS WITHIN SCOPE OF WORK SHALL BE WEED KILLED WITH AN APPLICATION OF ROUNDUP TEN DAYS PRIOR TO START OF WORK. VERIFY WITH LANDSCAPE ARCHITECT.
- AREAS TO BE GRADED OR PAVED SHALL BE GRUBBED AND STRIPPED OF ALL VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIAL. ALL LOOSE SOIL DISTURBED BY REMOVAL OF TREES, EXISTING FILL AND LOOSE OR DISTURBED TOPSOIL SHALL BE REMOVED.
- EXCESS SOIL SHALL BE REMOVED FROM SITE.
- ARCHITECTURAL CONCRETE SHALL BE THINSET MIXED FROM A LICENSED BATCHING PLANT, WHICH SHALL BE 3000 P.S.I. AT 28 DAYS. COLOR STRENGTH & FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT. REFER TO MASTER CONSTRUCTION LEGEND. SEE STATE PARK DRAWINGS & SPECS. FOR OTHER SPECIFIC CRITERIA PERTAINING TO THAT SCOPE OF WORK.
- REINFORCING STEEL: A.S.T.M. A-615, GRADE 40 FOR ALL REINFORCING. MINIMUM CLEARANCE FOR BARS SHALL BE 3" AT BOTTOM OF FOOTING AND 1 1/2" AT BOTTOM OF SLABS ON GRADE.
- SLEEVER: CONCRETE CONTRACTOR SHALL PROVIDE PVC UNDER PAVING. THE LOCATIONS SHALL BE COORDINATED WITH THE ELECTRIC CONTRACTOR AND IRRIGATION CONTRACTOR.
- MORTAR SHALL BE 1-3 1/2 : 1 1/4 TO 1/2 PARTS BY VOLUME OF PORTLAND CEMENT, TO MORTAR SAND, TO LIME PUTTY. USE NO FINE CLAY, ADD 1 PINT ADMIXTURE PER BAG OF CEMENT TO INHIBIT EFFLORESCENCE.
- USE AT LEAST A 1-SACK MIXER. MEASURE PARTS BY VOLUME FOR UNIFORMITY.
 - FOR MORTAR, LOAD MORTAR SAND, PORTLAND CEMENT, ADMIXTURE, AND WATER INTO MIXER IN THAT ORDER, AND MIX FOR 3 MINUTES THEN ADD LIME PUTTY AND MIX ADDITIONAL 10 MINUTES.
 - FOR GROUT, LOAD PER GRVEL, IF USED, SAND, PORTLAND CEMENT, ADMIXTURE, AND WATER INTO THE MIXER FOR 3 MINUTES. USE ENOUGH WATER TO FORM A POURING CONSISTENCY AND COLLOID TEST PLANS.
 - DO NOT USE ANY MORTAR OR GROUT AFTER MORE THAN 1 1/2 HOURS OF ITS INITIAL MIXING, EXCEPT MORTAR MAY BE RETEMPERED.
- REFER TO MASTER CONSTRUCTION LEGEND FOR ADDITIONAL INFORMATION.

DesignTeam

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LADBS Submittals

SUBMITTAL	R.T.L DATE	REVIEWED BY	Plan Check #
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SheetIndex

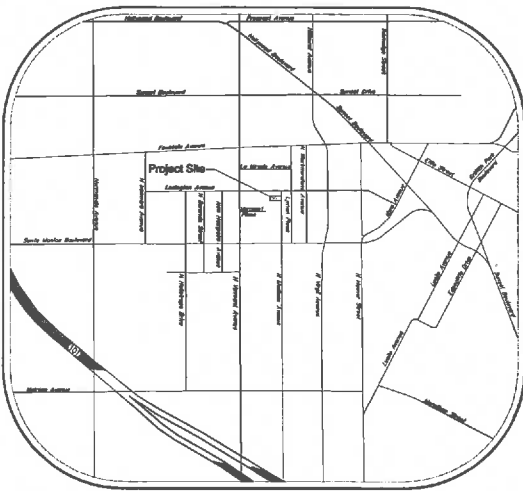
NO. IN SET	SHEET TITLE	NO. IN SET
1 of 29	Project Cover Sheet	L0.00
2 of 29	General Notes	C1.0
3 of 29	Topographic Survey	C2.0
4 of 29	Demolition Plan	C3.0
5 of 29	Grading Plan	C4.0
6 of 29	Grading Plan - Details	C5.1
7 of 29	Utility Plan	C6.0
8 of 29	Utility Plan Details	C6.1
9 of 29	Storm Water Management Plan	C7.0
10 of 29	Erosion and Sediment Control Plan	C8.0
11 of 29	Title 24 Calculations - Exterior	E0.0
12 of 29	Title 24 Calculations - Power Distribution	E0.1
13 of 29	Symbol List, General Notes, Single Line Diagram Abbreviations	E1.0
14 of 29	Lighting Fixture Schedule	E2.0
15 of 29	Site Plan	E3.0
16 of 29	Photomontage (Not Included in D.D. Package)	E3.1
17 of 29	Security Camera Plan	E4.0
18 of 29	Security Camera Cut Sheets	E5.0
19 of 29	Master Construction Legend	L1.00
20 of 29	Construction Plan	L1.01
21 of 29	Construction Details	L1.10
22 of 29	Construction Details	L1.11
23 of 29	Construction Details	L1.12
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26 of 29	Irrigation Plan	L2.01
27 of 29	Master Irrigation Legend and Notes	L2.10
28 of 29	Irrigation Details and Notes	L2.11
29 of 29	Planting Plan	L3.01
30 of 29	Planting Details and Notes	L3.10

DemolitionNotes

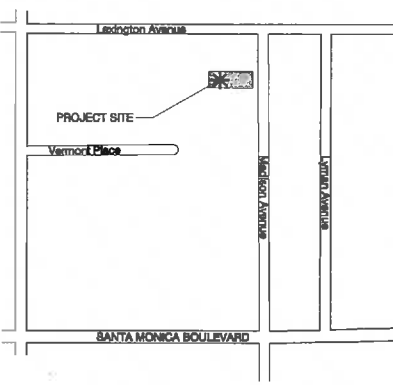
- CONTRACTOR IS RESPONSIBLE FOR COMPLETE REMOVAL FROM SITE ALL MATERIAL UNLESS SPECIFIED ON THE CONSTRUCTION DOCUMENTS TO REMAIN. TO BE STORED ON SITE OR TURNED OVER TO CITY. SUCH MATERIALS INCLUDE BUT ARE NOT LIMITED TO: CONCRETE CURBS, ASPHALT CONCRETE, CONCRETE PAVING, CATCH BASINS, TREES AND SHRUBS, IRRIGATION VALVES, PIPING AND WRINGS, CLIPPING AND GRUBBING OF PLANT MATERIAL, POSTS, FENCES, FURNISHINGS, ANY FOUNDATIONS, AND OTHER MISCELLANEOUS OBJECTS NOT PERTINENT TO THE FINAL DESIGN. CONTRACTOR SHALL CLEAR SITE OF ANY REMAINING DEBRIS NOT IN STORAGE PRIOR TO BEGINNING NEW CONSTRUCTION. ALL DEBRIS SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH THE SPECIFICATIONS AND ACCEPTED STANDARD PRACTICES.
- CONTRACTOR TO PROCURE CITY AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES, INCLUDING MUNICIPAL BUSINESS LICENSE, AND PAY ALL CHARGES AND FEES FOR THE SAME WITHOUT COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING AND LOCATING EXISTING UTILITIES PRIOR TO ANY DEMOLITION AND IS RESPONSIBLE FOR DAMAGE TO UTILITIES. NOTIFY USA ALERT @ 800-422-4133 (24 HOURS) PRIOR TO START OF WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION MATERIALS AND PLANT MATERIAL TO REMAIN DURING DEMOLITION AND IS RESPONSIBLE FOR REPLACEMENT OR REPAIR OF ANY DAMAGED MATERIAL NOT SPECIFIED FOR REMOVAL.
- FOR TREE REMOVALS, REMOVE TREE ROOTS TO A MINIMUM DEPTH OF 4 FEET BELOW ROUGH GRADE, AND WITHIN A RADIUS OF APPROXIMATELY 7 FEET BEYOND THE TRUNK DIAMETER AT GRADE.
- FILL AND COMPACT EXCAVATED AREAS OF TREE AND STUMP REMOVAL, FILL IN 6 INCH LIFTS, EACH COMPACTED TO 90 PERCENT DENSITY.
- FILL AND COMPACT EXCAVATED AREAS OF STRUCTURE REMOVAL PER THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL REPORT ANY POTENTIAL PROBLEMS OR DISCREPANCIES TO THE OWNER PRIOR TO COMMENCING ANY DEMOLITION WORK. DO NOT WILLFULLY PROCEED WITH WORK AS SHOWN WHEN IT IS OBVIOUS THAT CONDITIONS AND/OR OBJECTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS AND/OR OBJECTS SHALL BE IMMEDIATELY BROUGHT TO THE OWNERS ATTENTION. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL SECURE THE CONSTRUCTION SITE FOR THE ENTIRE LENGTH OF THE CONSTRUCTION PERIOD, INCLUDING THE MAINTENANCE PERIOD, WITH A 24 HOUR TEMPORARY CHAIN LINK FENCE. LOCATION OF FENCE AND GATES SHALL BE AS SHOWN BY THE LIMITS OF WORK LINE ON PLAN.
- CONTRACTOR IS RESPONSIBLE FOR ALL EROSION CONTROL ON THE CONSTRUCTION SITE, DURING CONSTRUCTION AND THROUGH THE MAINTENANCE PERIODS.
- REMOVE OR DISPOSE OF CRUSHED ROCK, ASPHALT, CURBS, GUTTER, AND DEBRIS ON GROUND SURFACE PER PLAN.
- BREAK UP AND REMOVE EXISTING CONCRETE TO INDICATED LIMITS. CUT NEAT AND EVEN LINES WITH A CONCRETE CUTTING SAW. MINIMUM DEPTH OF CUT SHALL BE 1-1/2 INCHES, UNLESS OTHERWISE REQUIRED. REMOVE CONCRETE BROKEN BEYOND THE INDICATED LIMITS TO THE NEAREST JOINT OR SCORE LINE AND REPLACE WITH NEW CONCRETE TO MATCH EXISTING. REMOVED CONCRETE SHALL BE STOCKPILED IN SPECIFIED LOCATION SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, FOR LATER USE AS BROKEN CONCRETE PAVING.
- BREAK UP AND REMOVE AGGREGATE BASE MATERIAL UNDER PAVING BEING DEMOLISHED. REMOVE TWELVE INCHES OF SOIL UNDER ASPHALT BASE MATERIAL.
- ALL MATERIALS SPECIFIED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS.
- CONTROL DUST AND NOISE DURING DEMOLITION OPERATIONS, PER LOCAL CODES. EXCESSIVE BLOWING DUST AND NOISE WILL NOT BE PERMITTED AT ANY TIME.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REFER TO PLANTING PLANS TO DETERMINE LOCATION OF SPECIMEN TREES AND TO ROUTE UNDERGROUND STRUCTURES AROUND THESE LOCATIONS.
- CONDUCT DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE SAFETY REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 19, THE LATEST CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, STATE OF CALIFORNIA, THE ASSOCIATED GENERAL CONTRACTORS MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, LATEST EDITION, AND THE APPLICABLE REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION.
- CONFORM TO SPECIFICATIONS RELATING TO THE PROTECTION OF THE PUBLIC AND CONTRACTORS PERSONNEL AND THE FLOW OF TRAFFIC.
- REFER TO MASTER CONSTRUCTION LEGEND FOR ADDITIONAL REQUIREMENTS.



VicinityMap



SiteMap



- WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT DATED _____ BY _____.
3. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
4. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING THE LOCATION AND ELEVATION OF ALL SURFACE JOIN CONDITIONS, AND INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT JOINTS WITH PROVIDED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
5. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR OMISSIONS OF EXISTING UNDERGROUND FACILITIES AT JOINTS WITH PROVIDED UNDERGROUND FACILITIES, IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
6. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
7. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
8. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN OR NOT SHOWN ON THESE PLANS. CONSTRUCTION WILL VERIFY LOCATIONS.
9. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNDESIRABLE GEOTECHNICAL CONDITIONS ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO THE UNCOVERING OF ARTICLES, POTENTIALLY HAZARDOUS, OR INJURING GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED. CONTRACTOR WILL VERIFY LOCATION.
10. THE PROPOSED SLOPE IS THE FINAL GRADE AND NOT THE BRUSH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED GRADE AND/OR LANDSCAPE TEPSON, SECTIONS TO ARRIVE AT THE MOUND GRADE ELEVATION.
11. STRAIGHT GRADES SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
12. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
13. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
14. THE CONTRACTOR SHALL OBTAIN AN O.C.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE ONE FEET OR DEEPER.
15. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
16. ALL MANHOLE RISERS SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
17. THURST BULBS SHALL BE INSTALLED AT MAXIMUM HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS AND SHALL BE THE DESIGN PROVIDED ON THESE PLANS.
18. A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER SHALL PERFORM CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS.
19. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT BENCH MARKERS.
20. PRIOR TO EXCAVATION CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2800) FOR PUBLIC UTILITIES.
21. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
22. ALL CURB DIMENSIONS AND RAIN ARE TO PAVEMENT FACE OF CURB.
23. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
24. WATER FURNISHED BY CONTRACTOR SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
25. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF LOS ANGELES FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
26. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
27. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR THE DISCHARGE OF STORM WATER RUNOFF AND GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH THE EXCAVATIONS AND CONSTRUCTION WORK SHOWN ON THESE PLANS.
28. ALL GRADING SHALL CONFORM TO REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION AND THE CITY OF LOS ANGELES GRADING CODE. IF CONTRADICTIONS ARISE BETWEEN VARIOUS CODES, THE MOST RESTRICTIVE STANDARDS APPLY.
29. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREENBOOK), LATEST EDITION, ALL SUPPLEMENTS THERETO, AND CITY OF LOS ANGELES STANDARDS AS REQUIRED.
30. GRADING, TRENCHING AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PLANS.
31. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION PHASING PLAN. THE PLAN SHALL BE REVIEWED BY THE OWNER PRIOR TO CONSTRUCTION.
32. CONSTRUCTION OF THE PROJECT WILL REQUIRE THE CONTRACTOR TO COORDINATE WITH THE CITY AND MAINTAIN TRAFFIC IN THE AREAS OF CONSTRUCTION. CONTRACTOR WILL MAINTAIN ACCESS TO ADJOINING DRIVEWAYS AT ALL TIMES. PROVIDE TEMPORARY DRIVEWAYS AND TRAFFIC-RELATED PLATES OVER OPEN TRENCHES. CONTRACTOR SHALL LIMIT THE AMOUNT OF OPEN TRENCH SO THAT TRAFFIC CAN BE MAINTAINED. CONFORM TO THE GENERAL CONDITIONS.
33. THE SOILS ENGINEER SHALL ALSO BE RESPONSIBLE TO VERIFY AND REPORT THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBSURFACE TESTING TO THE UTILITY LINE BACKFILL INCLUDING, BUT NOT LIMITED TO, SEWERS, WATER LINES (ELECTRICAL, GAS, AND LANDSCAPE IRRIGATION LINES).
34. PREPARATION OF THE SITE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE INSTRUCTIONS OF A GEOTECHNICAL ENGINEER AND ALL FILLS WILL BE MADE UNDER HIS DIRECTION.
35. IT IS THE SOILS ENGINEER'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE EXISTING GRADING SITE.
36. IN NO CASE IS ANY SLOPE TO EXCEED A GRADIENT OF TWO HORIZONTAL TO ONE VERTICAL (2:1).
37. IF ANY UNDESIRABLE SUB-SURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER BEFORE PROCEEDING FURTHER.
38. THE EXISTING BOUNDARY AND EASEMENTS, AS SHOWN, WERE TAKEN FROM INFORMATION PROVIDED BY OTHERS.
39. FILL MATERIAL SHALL MEET WITH THE APPROVAL OF THE ENGINEER PRIOR TO BEING OFFLOADED. UNSUITABLE MATERIAL THAT IS EXCAVATED BY THE CONTRACTOR THAT CANNOT BE USED AS FILL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
40. AFTER REMOVAL OF DEBRIS, ANY EXISTING FILL OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED TO THE SATISFACTION OF THE SOILS ENGINEER.
41. THE EXPOSED SOILS SHALL THEN BE INSPECTED BY THE SOILS ENGINEER, AND ANY ADDITIONAL OVER-EXCAVATION SHALL THEN BE MADE IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS AND AS CONTAINED IN THE SOILS REPORT.
42. CONTRACTOR SHALL REPLACE ANY SURFACE OR SUBSURFACE IMPROVEMENTS DAMAGED OR REMOVED DUE TO CONSTRUCTION AND IS REQUIRED TO REPLACE THEM TO THEIR ORIGINAL CONDITION.
43. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING FIRE LANES AT ALL TIMES. COORDINATE WITH FIRE AUTHORITY.
44. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS PRIOR TO POURING ANY CONCRETE.
45. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST, MUD, SALT, DEBRIS, AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
46. THE TERM "DEFLECTION" OR "TYPICAL" AS USED IN THESE CONTRACT DOCUMENTS SHALL BE TAKEN TO MEAN "OBSERVE" OR "OBSERVATION". THE ENGINEER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S CONSTRUCTION METHODS.
47. SUBMIT SHOP DRAWINGS AND LAYOUT DRAWINGS FOR ALL MATERIALS PRIOR TO ANY MATERIAL PURCHASE OR INSTALLATION.
48. REMOVE INTERFERING PORTIONS OF EXISTING ABANDONED UTILITIES AS REQUIRED TO CONSTRUCT PROJECT. VERIFY ABANDONED STATUS PRIOR TO REMOVAL.
49. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
50. NFPA 244 SHALL BE THE GOVERNING DOCUMENT FOR THE PRIVATE PREMIER SYSTEM.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POST-HOLING AND VERIFYING THE DEPTH AND LOCATION OF ALL UTILITIES WITHIN THE WORK AREA PRIOR TO DEMOLITION. NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE BEGINNING CONSTRUCTION.
2. CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINES. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE EXISTING UTILITIES, STRUCTURES, PLANTINGS, TREES, AND ANY OTHER SITE FEATURES AS SHOWN ON PLAN TO BE REMOVED.
3. PRIOR TO THE START OF GRADING, ALL EXISTING VEGETATION AND DEBRIS (INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS) SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE SOILS ENGINEER.
4. THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR SITE ITEMS TO BE REMOVED OR RELOCATED IN PREPARATION FOR CONSTRUCTION.
5. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR INGROUND LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND REGULATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
6. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR EXCAVATIONS, GRADING, DEMOLITION, AND DISPOSAL OF SOIL MATERIALS AS REQUIRED BY PRIVATE, LOCAL, AND STATE JURISDICTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
9. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
10. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
11. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THE PROJECT SHALL BE PROTECTED IN PLACE. IF REMOVAL OF ANY OF THEM OR ADVERSELY AFFECTED SOIL ITEMS IN ANY WAY, THE CONTRACTOR/ DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
12. CONTRACTOR TO CAP AND MARK ALL UTILITY SERVICES TO BUILDING TO BE DEMOLISHED.
13. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS OF ALL UTILITIES ENCOUNTERED DURING DEMOLITION, AND RECORD THE LOCATIONS OF ALL CAPPED UTILITIES.
14. MAINTAIN A RECORD OF LOCATION OF UTILITY LOCATIONS ON THE AS-BUILT PLAN. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL LOCATIONS.
15. ALL ITEMS OUTSIDE THE LIMIT OF WORK ARE TO BE PROTECTED IN PLACE.
16. COORDINATE SALVAGE OF REMOVAL ITEMS/EQUIPMENT WITH THE CITY OF LOS ANGELES.
17. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSATURABLE MATERIALS FROM ENTERING STORM DRAINAGE, SANITARY SEWERS AND STREETS. MEASURES TO BE FOUND IN SWPPP REPORT FOR PROJECT.
18. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
19. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
20. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 34 OF THE CBC AND ARTICLE 67 OF THE CFC.
21. CONTRACTOR TO FENCE SITE AS REQUIRED.

1. UNDERGROUND UTILITIES AS SHOWN HEREON WERE PLOTTED IN ACCORDANCE WITH THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD GUIDELINES FOR THE COLLECTION AND DETECTION OF EXISTING SUBSURFACE UTILITY DATA" (ASCE C-1 38-02) TO QUALITY LEVEL C, UNLESS OTHERWISE INDICATED. ONLY THE ABOVE GROUND UTILITY APPURTENANCES SHOWN HEREON WERE LOCATED BY SURVEYING UTILITIES LOCATING AND NOT STRUCTURES SHOWN ON THIS INFORMATION MAY BE REPRODUCED FROM RECORDS SUPPLIED BY OWNERS AND NOT VERIFIED FOR LINE OR GRADE IN ANY WAY DURING THE COURSE OF THIS SURVEY. OTHER UTILITIES MAY EXIST ON THIS SITE WHICH WERE NOT SURVEYED AND THEREFORE ARE NOT SHOWN ON THIS INFORMATION.
2. FIRELINE PIPING SHALL HAVE A MINIMUM COVER OF 36".
3. CONTRACTOR SHALL POTHOLE ALL CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION.
4. ALL UNDERGROUND METALLIC FITTINGS SHALL BE WRAPPED WITH 4mil. PE OR COATED WITH ASPHALT MASTIC.
5. USE PIPE JOINT GASKET LUBRICANT AS RECOMMENDED BY THE PIPE MANUFACTURER.
6. CONTRACTOR SHALL PULL JOINTS TO MATCH PROPOSED BEARINGS.
7. CONTRACTOR SHALL INSTALL DETECTOR/WARNING TAPE 12" ABOVE UTILITIES. TAPE SHALL BE LABELED AS TO IDENTIFY THE PIPE BELOW. CONTRACTOR SHALL ALSO INSTALL TRACER WIRE ON ALL PLASTIC PIPE RUNS.
8. ALL UNDERGROUND MAINS AND LEAD-IN CONNECTIONS SHALL BE FLUSHED AS INDICATED IN TABLE 1-11.1.2. (NTPA 113) PRIOR TO CONNECTION TO THE OVERHEAD PIPING. THE FLUSHING SHALL CONTINUE UNTIL THE WATER IS CLEAR. FLUSHING SHOULD BE PERFORMED AT THE TIME OF HYDROSTATIC TEST.
9. AN AGREEMENT SHALL BE MADE A MINIMUM OF TWO WORKING DAYS IN ADVANCE WITH THE APPROPRIATE FIRE PREVENTION OFFICE FOR ALL INSPECTION AND TESTS.
10. ALL SYSTEM PIPING SHALL BE HYDROSTATICALLY TESTED AT 200 P.S.I. FOR TWO HOURS OR AT 30 P.S.I. ABOVE THE SYSTEM OPERATING PRESSURE, WHICHEVER IS GREATER.
11. ALL WATER LINES TO BE CHGO CL 200 P.CI UNLESS OTHERWISE NOTED.
12. POTHOLING COSTS SHALL BE INCLUDED IN THE UNIT PRICES FOR INDIVIDUAL BID ITEMS.
13. COORDINATE WITH CITY FOR TYPING OF CONNECTIONS TO FIRE HYDRANTS. CONNECTIONS WILL HAVE TO BE MADE SEQUENTIALLY FOR EACH HYDRANT. CONNECTIONS AS APPROVED BY THE CITY. CONNECTIONS MAY HAVE TO BE MADE AT NIGHT AND CONTRACTOR SHALL BUDGET ACCORDINGLY. EXISTING FIRE LINE AND CONNECTION TO REMAIN IN SERVICE UNTIL APPROVED OTHERWISE BY THE CITY.
14. ALL NEW MANHOLES COVERS SHALL BE BOLTED TO FRAME.
15. ALL WATER PIPING TO BE PROVIDED WITH JOINT RESTRAINTS (4" ± LARGER) FOR THREE JOINTS EACH SIDE OF EVERY ANGLE POINT.

1. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
2. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES.
3. ALL SEDIMENT BASINS, TRAP EMBANKMENTS AND SLOPES, PERIMETER DITCHES, SWALES AND ALL DISTURBED SLOPES STEEPER THAN OR EQUAL TO 2:1 SHALL BE STABILIZED WITH SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, AS SOON AS POSSIBLE BUT NO LATER THAN THIRTY (30) CALENDAR DAYS AFTER ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE IMMEDIATELY MAINTAINED. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
4. THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURE TO ALL EXPOSED AREAS AND DISBURSE WITHIN THIRTY (30) CALENDAR DAYS AFTER STOPPING AND GRADING ACTIVITIES HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
5. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIPRAP OR BY OTHER APPROVED STABILIZATION MEASURE.
6. CONTRACTOR SHALL FURNISH AND PLACE WATER ON BARE SOIL AS NECESSARY IF DUST CONTROL BECOMES A PROBLEM.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL PRACTICES DURING UTILITY INSTALLATION AND THE CONTINUED MAINTENANCE AND REPAIR OF ALL SITE PROTECTION MEASURES.
8. ALL SOILS SHALL BE STOCKPILED ON LOW SLOPING AREAS WITHIN A PROTECTED AREA WITH APPROPRIATE SEDIMENT AND EROSION CONTROL PRACTICES INSTALLED.

[illegible]

SURVEY BY:
HICKMAN CONSULTING GROUP
SURVEY DATE: DECEMBER 2015

CENTERLINE OF MADISON AVE ESTABLISHED FROM FOUND CENTERLINE
MONUMENTATION AND TIES PER CITY OF LOS ANGELES PUBLIC WORKS,
SURVEY DIVISION FIELD BOOKS FB-144-187 PG 129 AND 149

BENCHMARK:
CITY OF LOS ANGELES BENCHMARK AS LISTED BELOW:

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF:

1. SPECIAL REQUIREMENTS OF THE PERMIT
2. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
3. LOS ANGELES CITY CODES
4. CALIFORNIA ENERGY CODE
5. NATIONAL ELECTRIC CODE

CUT	20 CY
FILL	240 CY
<u>SHRINKAGE</u>	<u>24 CY</u>
NET	244 CY (IMPORT)

ITEM	UNIT
GENERAL NOTES	C1.0
TOPOGRAPHIC SURVEY	C2.0
DEMOLITION PLAN	C2.1
GRADING PLAN	C3.0
GRADING PLAN - DETAILS	C3.1
UTILITY PLAN	C4.0
UTILITY PLAN - DETAILS	C4.1
STORM WATER MANAGEMENT PLAN	C5.0
EROSION AND SEDIMENT CONTROL PLAN	C6.0

THE
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for
PUBLIC
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[illegible]

Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

General
Notes

Plan Check Number: XXXX
Permit Number: XXXX

C1.0

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Madison Ave Park

1175 North Madison Avenue
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THE TRUST for PUBLIC LAND

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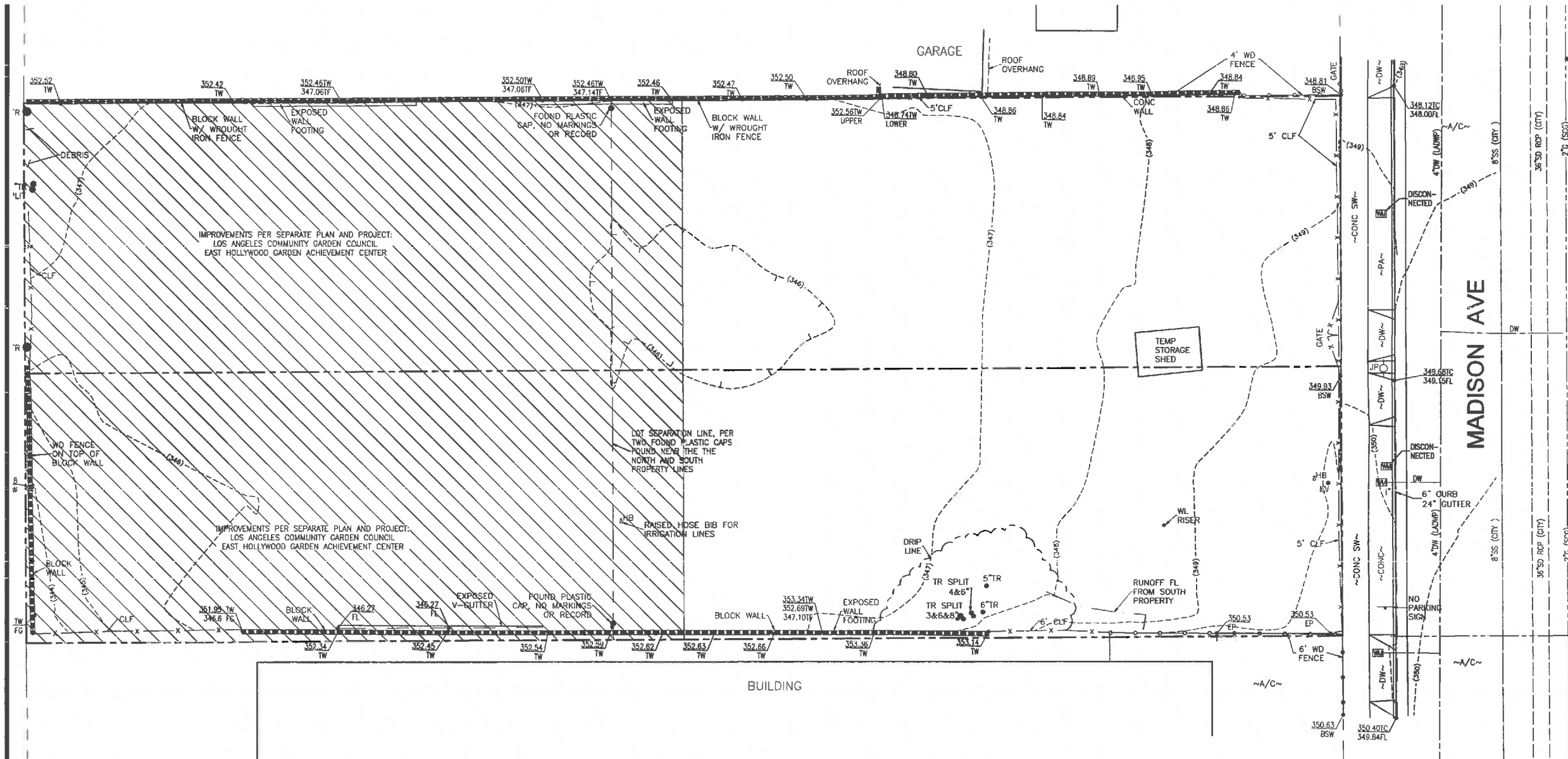
Revisions	By	Date

Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

Topographic Survey
Plan Check Number: XXXX
Permit Number: XXXX

C2.0

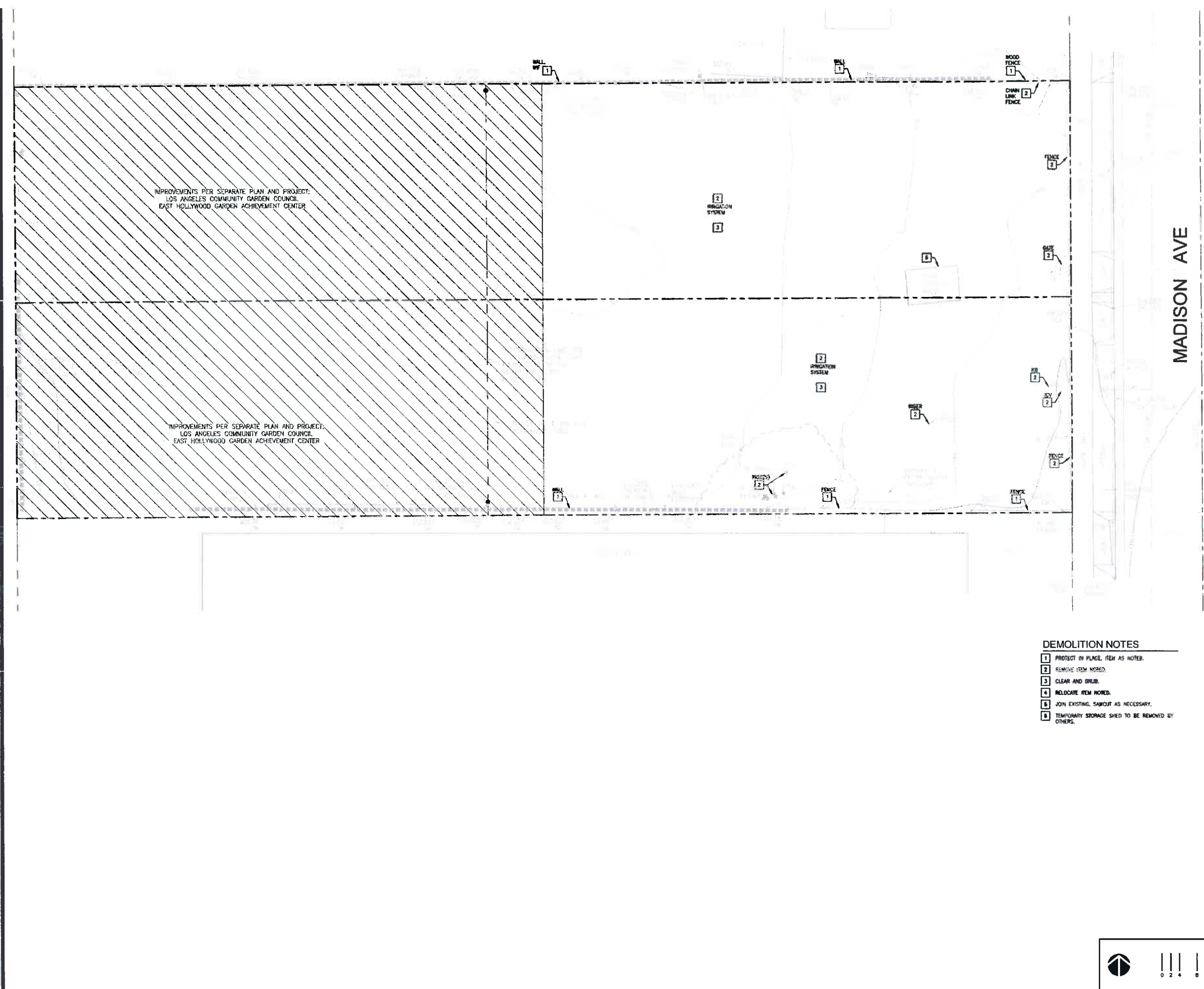
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Revisions	By	Date

Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

Demolition Plan
Plan Check Number: XXXX
Permit Number: XXXX

C2.1

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Plan Control Documents



Madison Ave Park

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Los Angeles, CA 90029

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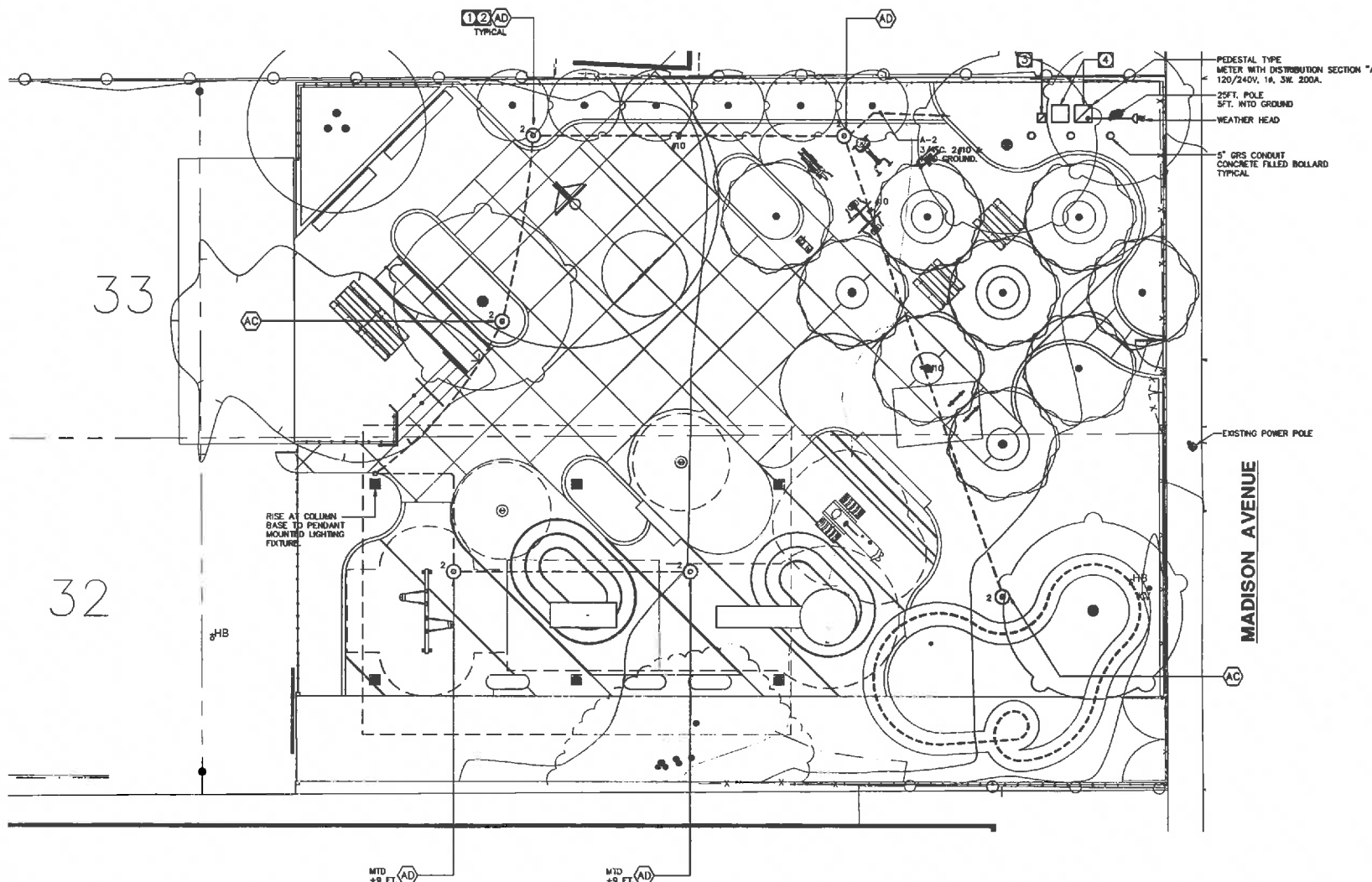
Revisions	By	Date
Revision 1 Description	JK	01.03.05
Revision 2 Description	JK	01.03.05
Revision 3 Description	JK	01.03.05
Revision 4 Description	JK	01.03.05
Revision 5 Description	JK	01.03.05
Revision 6 Description	JK	01.03.05
Revision 7 Description	JK	01.03.05

Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: BC

SITE PLAN

E2.0

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REFERENCE NOTES

- 1 LIGHTS TO BE CONTROLLED BY PHOTOCELL.
- 2 LIGHTING FIXTURE EQUIPPED WITH MOTION SENSOR.
- 3 IRRIGATION CONTROLLER, INSTALLED IN ENCLOSURE ON CONCRETE PAD 4" ABOVE FINISH GRADE.
- 4 SECURITY SYSTEM CABINET.
- 5 FOR FEEDER SIZE REFER TO SHEET E-1, SINGLE LINE DIAGRAM.

SPECIAL NOTE:

SEAL ALL CONDUITS ENDS
TO PREVENT MOISTURE / WATER
ENTERING CONDUITS.

ELECTRICAL SERVICE NOTES

- 1 PROVIDE SERVICE CONDUIT BELOW GRADE ENCLOSED IN CONCRETE ENVELOPE AND AS DIRECTED BY UTILITY COMPANY SERVICE REPRESENTATIVE.
- 2 FOR POWER COMPANY SERVICE REQUIREMENTS, CONTACT:
LADWP-DEPARTMENT OF WATER & POWER
CITY OF LOS ANGELES
2633 ARTESIAN ST RM 210, LOS ANGELES CA 90031
ATTN: MANUEL HARO (213) 357 - 8022
E-MAIL: manuel.haro@ladwp.com



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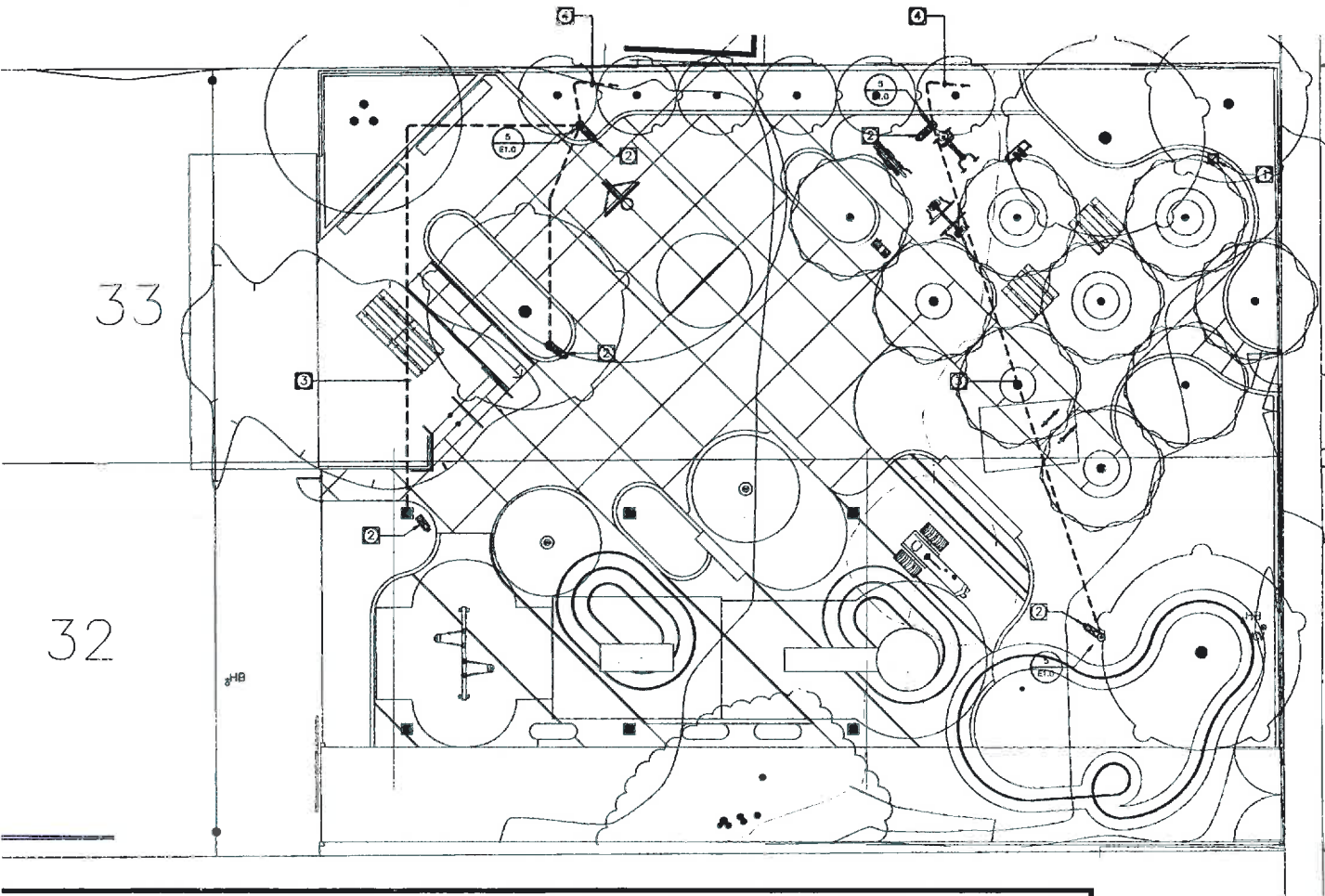
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GENERAL SECURITY CAMERA CONSTRUCTION NOTES

1. ELECTRICAL CONTRACTOR SHALL PROVIDE THE PROPER INSTALLATION OF BOTH THE HEAD EQUIPMENT AND CAMERAS IN KEEPING WITH A SINGLE GROUNDING SYSTEM. THE ONLY GROUND REFERENCE FOR THE VIDEO SECURITY EQUIPMENT IS THE AC POWER GROUND. CAMERA HOUSING AND ALL ASSOCIATED EQUIPMENT MUST ONLY BE GROUND TO THE AC POWER GROUND.
2. ALL BRANCH CIRCUIT CONDUCTORS, WIRES, AND CABLES SHALL BE COPPER TYPE THHN/THWN 75°C, 600V. THE MINIMUM WIRE SHALL BE #12 CONDUCTORS #10 AND SMALLER SHALL BE SOLID AND LARGER WIRES SHALL BE STRANDED.
3. PROVIDE AND INSTALL 1/8" MINIMUM O.C. POLYETHYLENE LINE IN ALL CONDUIT FOR PULLING WIRES AND ALL EMPTY CONDUITS.
4. THE ELECTRICAL CONTRACTOR SHALL SECURE AS BUILT DRAWINGS FOR ALL UNDERGROUND POWER AND TELEPHONE SYSTEMS. THIS CONTRACTOR SHALL EXERCISE UTMOST CARE WHILE TRENCHING FOR NEW WORK TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITY LINE, INCLUDING ELECTRICAL, SIGNAL, TELEPHONE, PLUMBING, AND TRENCH MAY BE NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND AND UTILITY LINES. ALL DAMAGE TO UTILITY LINES WILL BE REPAIRED BY THIS CONTRACTOR AT NOT COST TO THE OWNER.
5. ALL CONDUITS SHALL BE RUN CONCEALED, UNLESS OTHERWISE NOTED. INSTALLED UNDERGROUND PLASTIC CONDUIT SCHEDULE 40 PVC OR RIGID STEEL (CONCRETE ENCASED), TRANSITION FROM SCH. 40 PVC EXPOSED USE RIGID STEEL CONDUIT FLOW COMING OUT OF GROUND. MAKE UP CONNECTION TO ELECTRICAL EQUIPMENT, USE LIQUID TIGHT FLEXIBLE STEEL CONDUIT.

SPECIAL NOTES FOR CCTV SYSTEM

- CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:
- A. ALL SECURITY SYSTEM (CCTV) EQUIPMENTS AND CABINET.
 - B. A COMPLETE CCTV SYSTEM CONDUIT, WIRING, RECEPTACLES AND CONNECTIONS.
 - C. A COMPLETE CCTV EQUIPMENTS INCLUDING POLE MOUNTED CAMERAS, DIGITAL VIDEO RECORDER, UNINTERRUPTED POWER SUPPLY, STAINLESS STEEL LOCKABLE CABINET TO HOUSE ALL CCTV SYSTEM RELATED EQUIPMENT.
 - D. ALL CONSTRUCTION FOR CCTV SYSTEM TESTING OF EQUIPMENTS AND SYSTEM THROUGH FINAL ACCEPTANCE TEST.
 - E. COMPLETE INSTALLATION OF CCTV SYSTEM FOR THIS PROJECT.
 - F. DIGITAL VIDEO RECORDER SHALL BE 8 CHANNELS FULL HD UNIC CCTV HD-SDI MAGIC SERIES 1500 VA UPS UNINTERRUPTIBLE POWER SUPPLY AND HD-SDI INFRARED 1080P DOME CAMERA WITH POWER SUPPLY.

REFERENCE NOTES

1. FURNISH AND INSTALL FLOOR MOUNTED LOCKABLE STAINLESS STEEL ENCLOSURE WITH STAINLESS STEEL SHELVES TO HOUSE CCTV (SECURITY SYSTEM) DIGITAL VIDEO RECORDER AND UNINTERRUPTIBLE POWER SUPPLY. CONTRACTOR SHALL INSTALL DOUBLE DUPLEX RECEPTACLE INSIDE THE CABINET. CONTRACTOR SHALL INSTALL 4" HEIGHT CONCRETE SLAB AND BOLT CABINET TO SLAB AS REQUIRED. EXACT CABINET SIZE-24"D X 24"W X 24"H. PROVIDE SHOP DRAWINGS PRIOR TO ORDERING. REFER TO SHEET E4.0 FOR ENCLOSURE REQUIREMENTS.
2. CONTRACTOR TO FURNISH & INSTALL HD-SDI INFRARED HI-RESOLUTION WEATHERPROOF DOME CCTV CAMERA ON LIGHT POLE AS INDICATED PER DETAIL 5/E1.0.
3. MINIMUM 1" CONDUIT WITH CAT5 CABLE AND CONNECT TO CCTV CAMERA AS REQUIRED. CONDUIT SHALL BE CARRIED INSIDE LIGHT POLE TO FIXTURE. CONTINUOUS DO NOT ALLOW CAT5 CABLE TO BE EXPOSED.
4. 1" CONDUIT WITH CCTV CABLES TO SECURITY SYSTEM CABINET.

Revisions	By	Date
Revision 1 Description	JK	08.03.00
Revision 2 Description	JK	08.03.00
Revision 3 Description	JK	08.03.00
Revision 4 Description	JK	08.03.00
Revision 5 Description	JK	08.03.00
Revision 6 Description	JK	08.03.00
Revision 7 Description	JK	08.03.00

Job Number: E16-042
Design Staff: EH
Project Manager: JH
Principal: BC

SECURITY CAMERA PLAN

E4.0



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Revisions	By	Date
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Revision 6 Description	JK	00.00.00
Revision 7 Description	JK	00.00.00

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Principal: SC

SECURITY CAMERA CUTSHEETS

E5.0

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Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

Master Construction Legend

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MASTER CONSTRUCTION LEGEND							
ITEM	DESCRIPTION	MANUFACTURER	MATERIAL/MODEL	COLOR	FINISH	NOTES	DETAIL
PAVING LEGEND							
P-1	CONCRETE MOW CURB	-	CAST IN PLACE REINFORCED CONCRETE	NATURAL	LIGHT BROOM	-	DETAIL K SHEET L-10
P-2	INTEGRAL COLOR CONCRETE PAVING	-	4" THICK CAST IN PLACE CONCRETE	DAVIS COLOR 6207 SANDS OF BUFF	TOPCAST 5	SCORING PER PLAN. INSTALL CONSTRUCTION JOINTS AND EXPANSION JOINTS ACCORDINGLY.	DETAIL A, D, G, H SHEET L-10
P-3	TERRACE PAVING	STEPSTONE 303.572.829	NARROW MODULAR PAVERS	TBD	TBD	INSTALL PER MANUFACTURER'S SPECIFICATIONS	DETAIL E SHEET L-10
P-4	RUBBERIZED PLAY SURFACING	A	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	25% RUB - BEIGE, 25% RUB - BROWN, 25% RUB-3 - DARK BROWN, 25% RUB-1 - MEDIUM GRAY	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	DETAIL J, I SHEET L-10
		B	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	33% RUB-1 - BRIGHT GREEN, 33% RUB-3 - BEIGE, 33% RUB-4-BRIGHT YELLOW	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
		C	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	33% RUB-1 - STANDING GREEN, 33% RUB-1 - BRIGHT GREEN, 33% RUB-3 - DARK BROWN	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
		D	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	50% RUB-3 - STANDING GREEN, 50% RUB-1 - BRIGHT GREEN	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
		E	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	50% RUB-3 - DARK GRAY, 50% RUB-3 - CREAM	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
		F	SPECTRA TURF: MARK HOLLOWELL, 861.741.4254	SPECTRAPOUR SUPREME	100% RUB-1 - CREAM	COLOR BLEND TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION	
P-5	CONCRETE RAMP	-	4" THICK POLISHED IN PLACE CONCRETE	NATURAL	LIGHT BROOM	SCORING PER PLAN. INSTALL CONSTRUCTION JOINTS AND EXPANSION JOINTS ACCORDINGLY.	DETAIL G, H SHEET L-11
P-6	STABILIZED DECOMPOSED GRANITE	SOUTHWEST BOULDER 877.782.7625	STABILIZED 3" THICK LAYER	DESERT GOLD	-	INSTALL PER DETAIL. LOCATION PER PLAN.	DETAIL A SHEET L-10
P-7	CONCRETE STAIRS	-	CAST IN PLACE CONCRETE	NATURAL	LIGHT BROOM	LAYOUT PER PLAN. INSTALL PER DETAIL.	DETAIL G SHEET L-10
P-8	TRUCKLAY	-	PERMEABLE CONCRETE	NATURAL	-	LAYOUT PER PLAN. INSTALL PER DETAIL.	DETAIL G SHEET L-10
WALLS AND FENCE LEGEND							
W-1	CONCRETE SEAT WALL	-	CAST IN PLACE REINFORCED CONCRETE	NATURAL	SMOOTH TROWELED	REFER TO GRADING PLAN FOR PORT OF WALL ELEVATIONS. WALL LENGTHS VARY PER PLAN.	DETAIL L SHEET L-10
W-2	FLUTTER WALL	-	CAST IN PLACE REINFORCED CONCRETE	NATURAL	SMOOTH TROWELED	REFER TO GRADING PLAN FOR PORT OF WALL ELEVATIONS.	DETAIL N SHEET L-10
SITE AMENITIES LEGEND							
SA-1	PACKING HOUSE PLAYSHADE STRUCTURE	LEXINGTON DESIGN AND FABRICATION 818.736.8758	-	TBD	TBD	-	DETAIL F SHEET L-13
SA-2	PICNIC TABLE	JANUS ET OIE	STEEL AND FIBERGLASS / BAKURA PICNIC TABLE 220	WHITE	STANDARD	OR EQUAL	DETAIL O SHEET L-11
SA-3	SWINGS	LANDSCAPE STRUCTURES 618.785.0558	TBD	TBD	TBD	-	DETAIL F SHEET L-13
SA-4	TRACTOR CLIMBER	-	-	-	-	USED TRACTOR TO BE REFORBISHED TO MEET ASTM AND CALIFORNIA PLAYGROUND SAFETY CODES	-
SA-5	S&O CLIMBER WITH ROLLER SLIDE	LEXINGTON DESIGN AND FABRICATION 818.736.8758	TBD	TBD	TBD	-	DETAIL S SHEET L-13
SA-6	PRECAST CONCRETE PLANTERS	GLUCK CRAFTS PRODUCTS, INC. JUSTIN WATKINS 916.973.2840	TBD	TBD	TBD	-	DETAIL R SHEET L-10
SA-7	EXERCISE EQUIPMENT	GAME TIME 803.236.2448	GT H1-1783	STANDARD	STANDARD	-	DETAIL S SHEET L-11
SA-8	BASKETBALL TREE	-	-	-	-	-	DETAIL S SHEET L-12
SA-9	BIKE RACKS	SPECTRWORKS NORTHWEST, INC. 425.465.7008	WESTPORT NO SCRATCH BIKE RACK	STAINLESS STEEL	BEAD BLAST	IN GROUND MOUNT PER MANUFACTURER'S SPECIFICATIONS	DETAIL K SHEET L-11
SA-10	VERTICAL NET CLIMBER	KOMPAN 800.406.5788	TBD	TBD	TBD	-	DETAIL F SHEET L-13
SA-11	SPINNER	LANDSCAPE STRUCTURES 618.785.0558	STAND-UP SPINNER	-	GALVANIZED	-	DETAIL P SHEET L-10
SA-12	TREE GRATE	URBAN ACCESSORIES 877.487.0488	FLAT RAINBOW, KILD STEEL	NATURAL	RAW	-	DETAIL Q, M SHEET L-10
SA-13	STOCK TANK BENCH	-	STEEL TANK WITH CONCRETE TOP	NATURAL	GALVANIZED STEEL, CONCRETE TOP FORCAST 15	CONTRACTOR TO PROVIDE SHOP DRAWINGS PER DETAIL	DETAIL N SHEET L-11
SA-14	SAND PLAY AREA	-	STANDARD PLAY SAND	NATURAL	-	-	DETAIL J, I SHEET L-10
SA-15	DRINKING FOUNTAIN	MURDOCK 802.450.7465	GYS240-HYSRAP	STAINLESS STEEL	-	LOCATION PER PLAN. INSTALL PER MANUFACTURER'S SPECIFICATIONS	DETAIL P SHEET L-12
SA-16	SITE FURNITURE	JANUS ET OIE	TBD	TBD	TBD	-	-
SA-17	RAMP HANDRAIL	TBD	STEEL	TBD	POWDER COATED	-	DETAIL H SHEET L-11
SA-18	HANDRAIL	-	STEEL	TBD	POWDER COATED	-	DETAIL E SHEET L-11
SA-19	GUMMURAL	-	STEEL	TBD	POWDER COATED	-	DETAIL F, G SHEET L-11
SA-20	MOUND IN PLAY SURFACING	-	SPECTRAPOUR SUPREME	PER PLAN, SEE P-4	-	REFER TO CIVIL ENGINEER'S PLANS FOR SHADING IN FORMATION	DETAIL J SHEET L-11
FENCE/GATE LEGEND							
F-1	DECORATIVE ENTRY GATE AND FENCE	-	STEEL	WHITE	POWDER COAT	-	DETAIL B SHEET L-14
F-2	DECORATIVE STEEL FENCE	-	STEEL	WHITE	POWDER COAT	-	DETAIL N SHEET L-15
F-3	VEHICULAR GATE	-	STEEL	WHITE	POWDER COAT	-	DETAIL O SHEET L-13
F-4	REAR FENCE AND GATE	OMEGA II FENCE SYSTEMS 848.485.8937	6" OMEGA II WITH PLAT POST	STD. SIGNAL BLACK RAL-5014	POWDER COAT	GATE SHALL BE SECURED WITH STD. HINGE PER MANUFACTURER'S SPECIFICATIONS	DETAIL M SHEET

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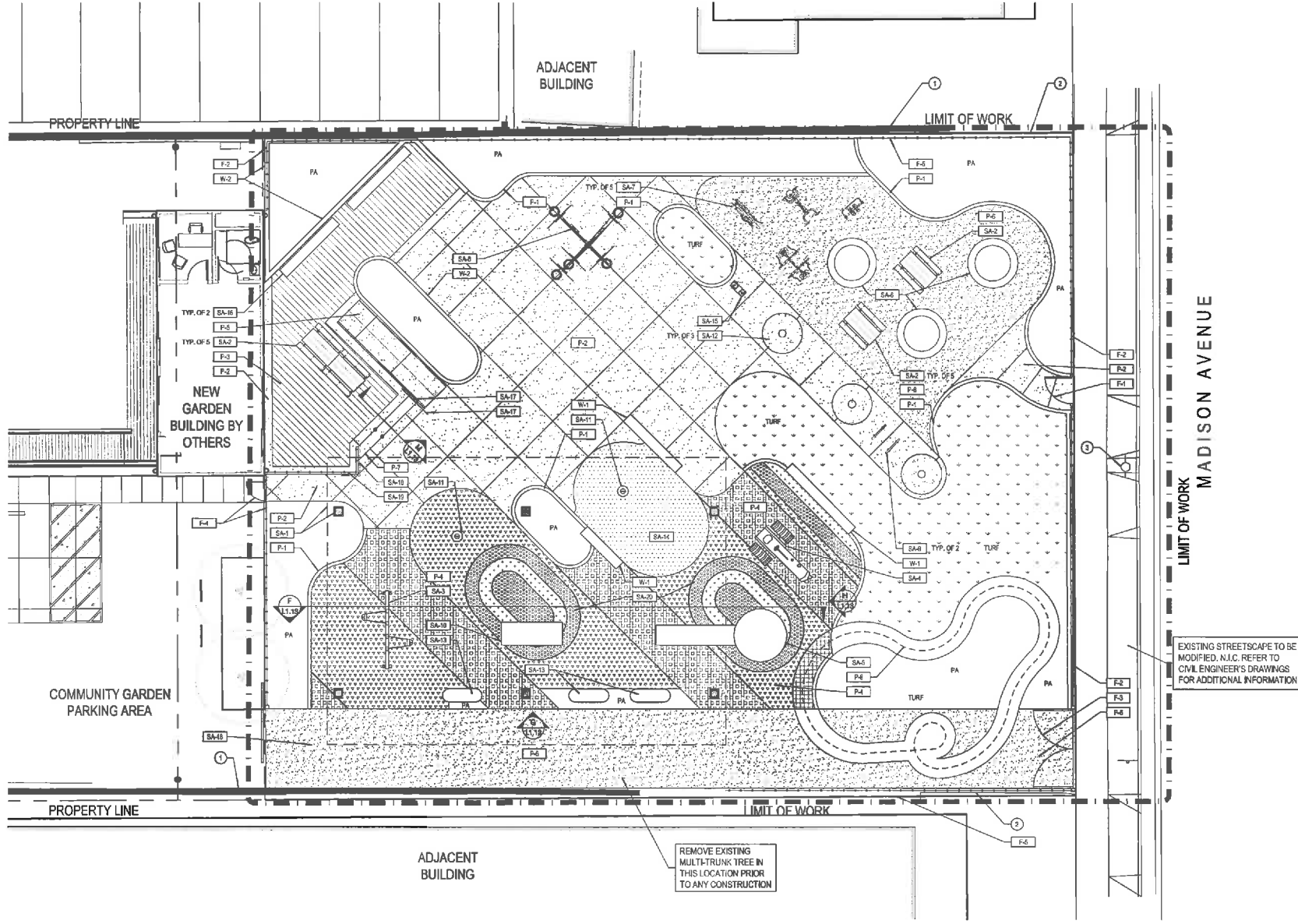
Job Number: E15-042
Design Staff: BH
Project Manager: JG
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Construction
Plan

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PAVING LEGEND		
ITEM	DESCRIPTION	DETAIL
P-1	CONCRETE MOW CURB	DETAIL K SHEET L1.03
P-2	INTERLOCKED CONCRETE PAVING	DETAIL A,B,C,D,F SHEET L1.10
P-3	TERRACE PAVING	DETAIL E SHEET L1.10
P-4	PLAY SURFACING	DETAIL L,J SHEET L1.10
P-5	CONCRETE RAMP	DETAIL G,H SHEET L1.11
P-6	DECOMPOSED GRANITE	DETAIL A SHEET L1.10
P-7	CONCRETE STAIRS	DETAIL G SHEET L1.10
P-8	TRICYCLE TRACK	DETAIL T SHEET L1.10
WALL LEGEND		
W-1	CONCRETE SEAT WALL	DETAIL L SHEET L1.10
W-2	PLANTER WALL	DETAIL N SHEET L1.10
SITE AMENITY LEGEND		
SA-1	PICNICK HOUSE/PLAYSHADE STRUCTURE	DETAIL F SHEET L1.13
SA-2	PICNIC TABLE	DETAIL O SHEET L1.11
SA-3	SWINGS	DETAIL F SHEET L1.13
SA-4	TRACTOR CLIMBER	-
SA-5	WILD CLIMBER WITH ROLLER SLIDE	DETAIL F SHEET L1.13
SA-6	PREFAB PLANTERS	DETAIL R SHEET L1.10
SA-7	EXERCISE EQUIPMENT	DETAIL S SHEET L1.11
SA-8	BASKETBALL TREE	DETAIL F SHEET L1.13
SA-9	BIKE RACKS	DETAIL R SHEET L1.11
SA-10	VERTICAL NET CLIMBER	DETAIL F SHEET L1.13
SA-11	SPINNER	DETAIL P SHEET L1.10
SA-12	TREE GRATE	DETAIL Q,M SHEET L1.10
SA-13	STOCK TANK/BENCH	DETAIL N SHEET L1.11
SA-14	SAND PLAY AREA	DETAIL J SHEET L1.10
SA-15	DRINKING FOUNTAIN	DETAIL P SHEET L1.12
SA-16	SITE FURNITURE	-
SA-17	RAMP HANDRAIL	DETAIL N SHEET L1.11
SA-18	HANDRAIL	DETAIL E SHEET L1.11
SA-19	GUARDRAIL	DETAIL F,G SHEET L1.11
SA-20	MOUND BY PLAY SURFACING	DETAIL J SHEET L1.11
FENCE/GATE LEGEND		
F-1	PEDESTRIAN ENTRY GATE	DETAIL S SHEET L1.14
F-2	DECORATIVE STEEL FENCE	DETAIL N SHEET L1.13
F-3	VEHICULAR GATE	DETAIL O SHEET L1.13
F-4	REAR FENCE AND GATE	DETAIL N SHEET L1.11
F-5	PERIMETER FENCE	DETAIL Q SHEET L1.11
REFERENCE LEGEND		
1	(E) PROPERTY WALL	-
2	(E) PROPERTY FENCE	-
3	(E) UTILITY POLE	-
CL	CENTER LINE	-
PA	PLAYING AREA	-
TYP	TYPICAL	-
CONSTRUCTION NOTES		
1. SEE MASTER CONSTRUCTION LEGEND FOR MORE DETAILED LEGEND INFORMATION, SHEET L1.00		



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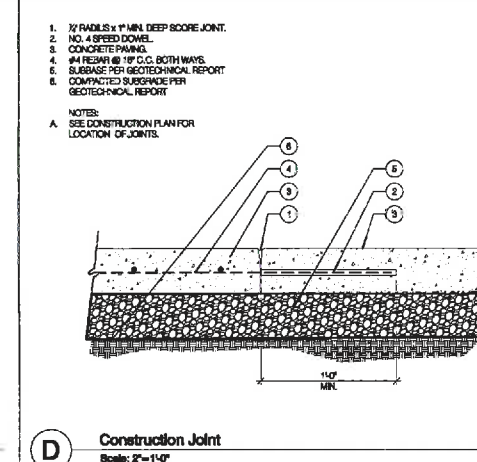
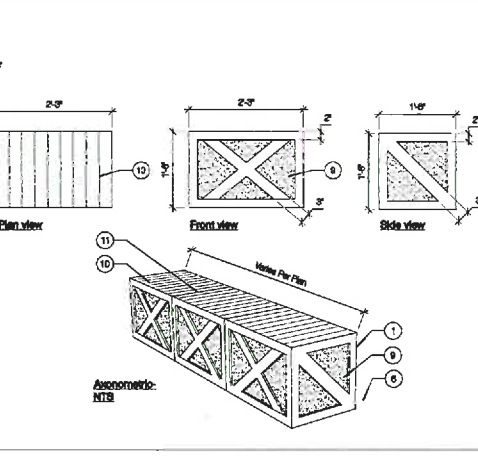
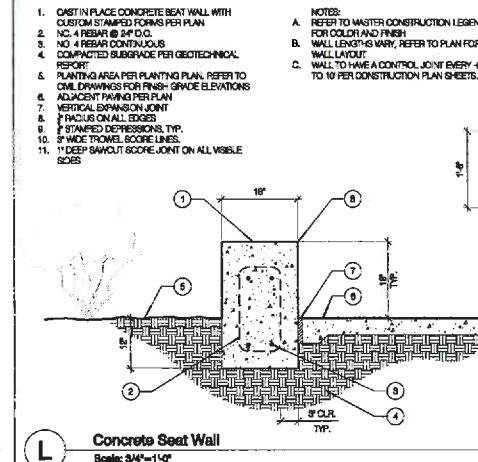
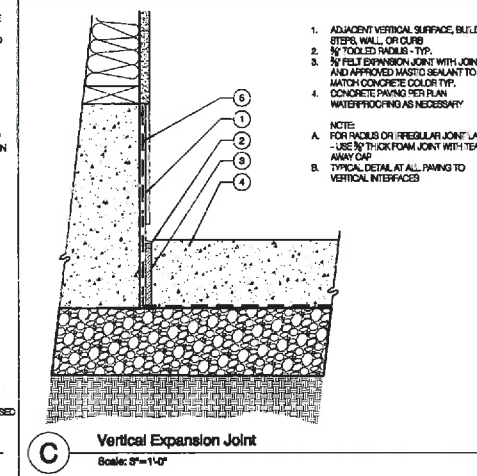
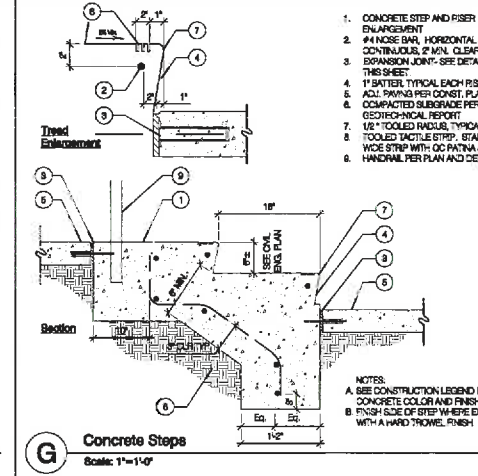
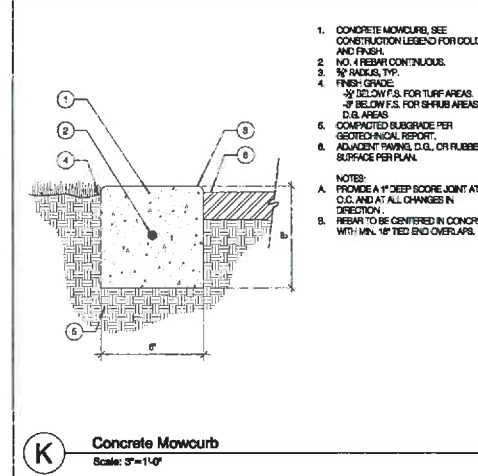
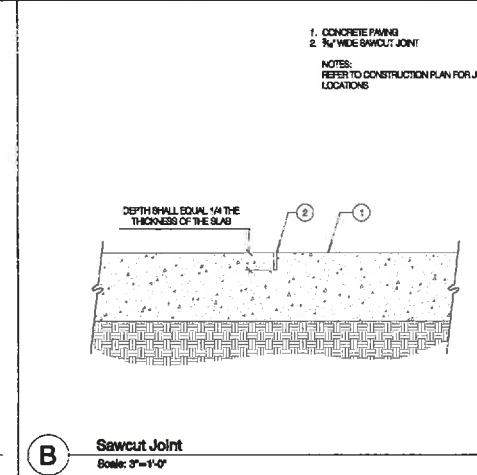
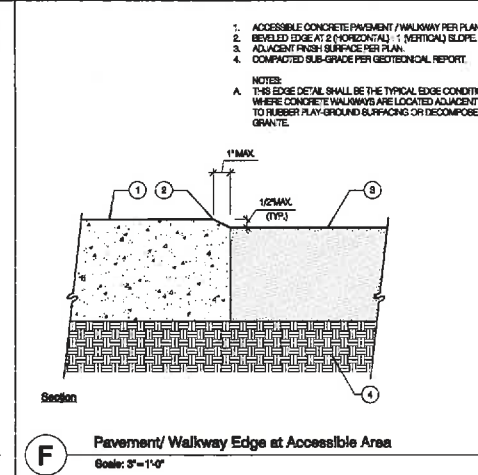
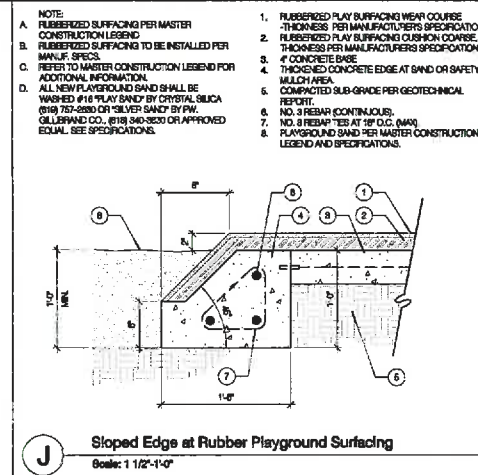
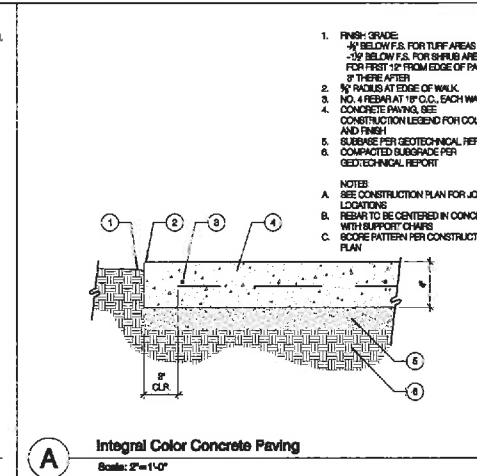
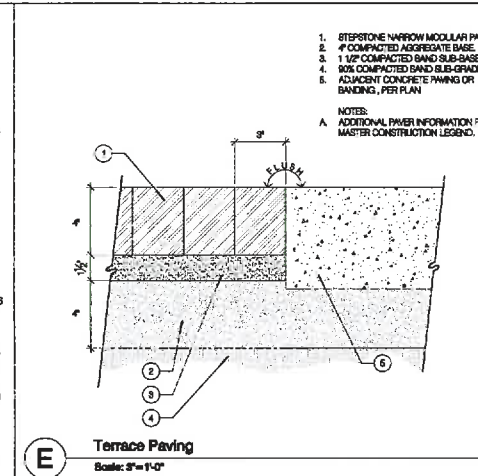
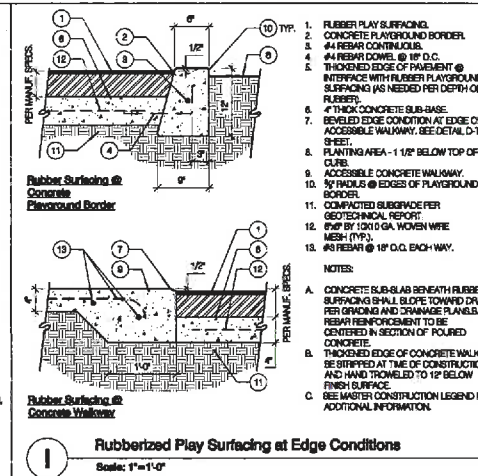
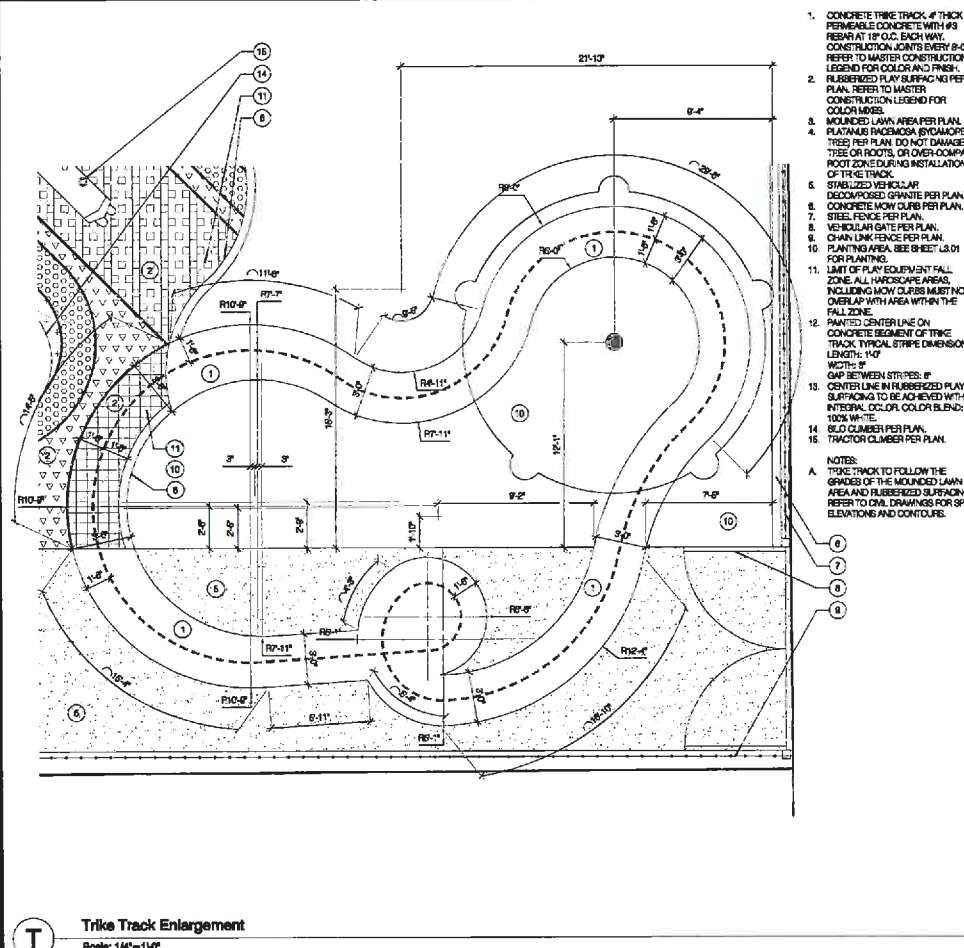
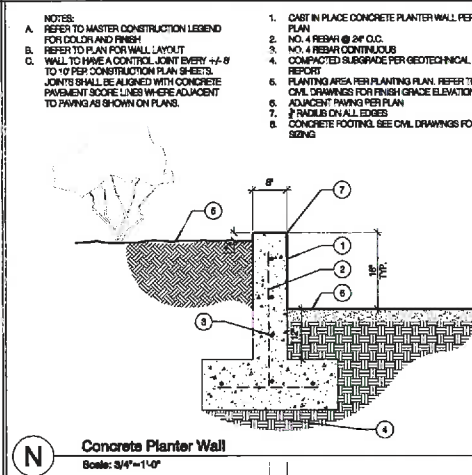
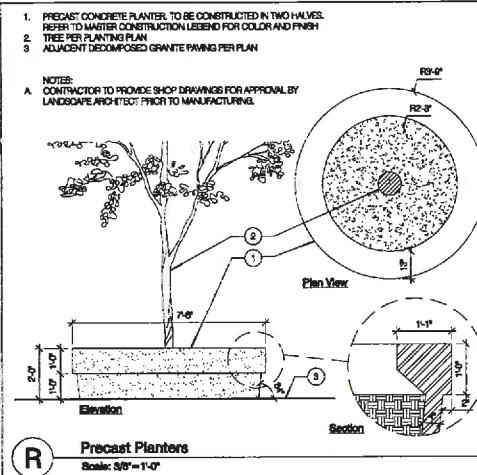
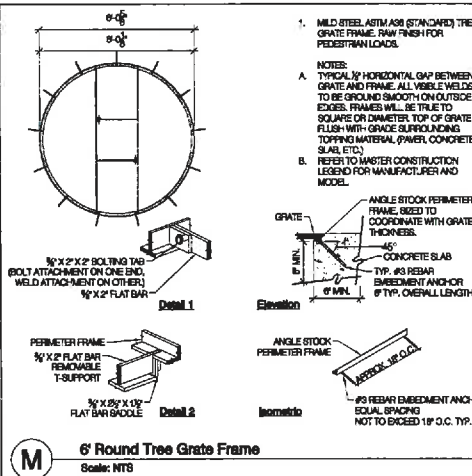
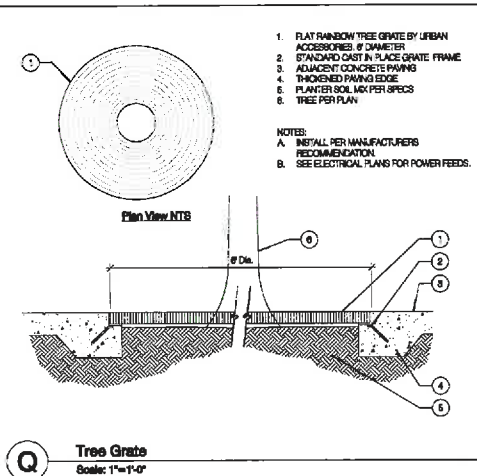
Revisions	By	Date

Job Number: E16-042
Design Staff: EH
Project Manager: JG
Principal: SC

Construction
Details

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Madison Ave Park

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Los Angeles, CA 90029



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Design Staff: EH
Project Manager: JG
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Plan Control
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Q Perimeter Fence
Scale: 1/2"=1'-0"

M Rear Fence and Gate
Scale: 3/4"=1'-0"

E Typical Handrail
Scale: 3/4"=1'-0"

R Bike Rack Anchorage
Scale: 1"=1'-0"

N Stock Tank Bench
Scale: 1"=1'-0"

J Rubber Safety Surfacing Mounds
Scale: 1"=1'-0"

F Guardrail
Scale: 3/4"=1'-0"

G Guardrail with Handrail at Ramp
Scale: 3/4"=1'-0"

H Ramp with Handrail
Scale: 3/4"=1'-0"

S Typical Fitness Equipment Post Footing
Scale: NTS

O Picnic Table Anchorage
Scale: 3/4"=1'-0"

L Play Sand Transition
Scale: 3/4"=1'-0"

T Furniture Mounting
Scale: 3/4"=1'-0"

P Spinner
NTS

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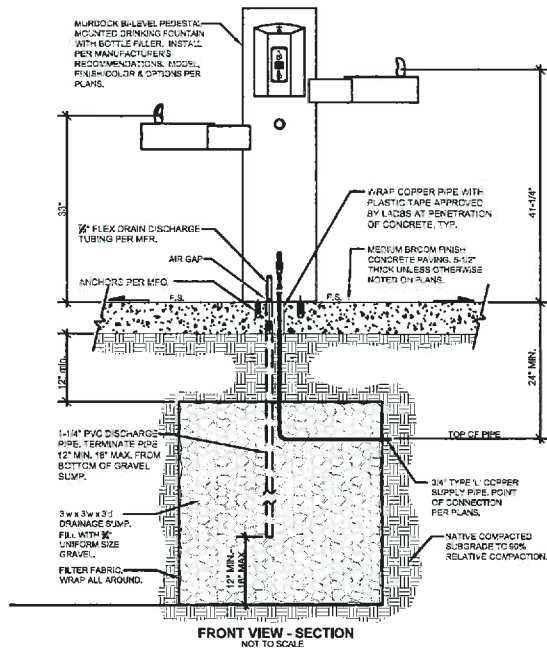
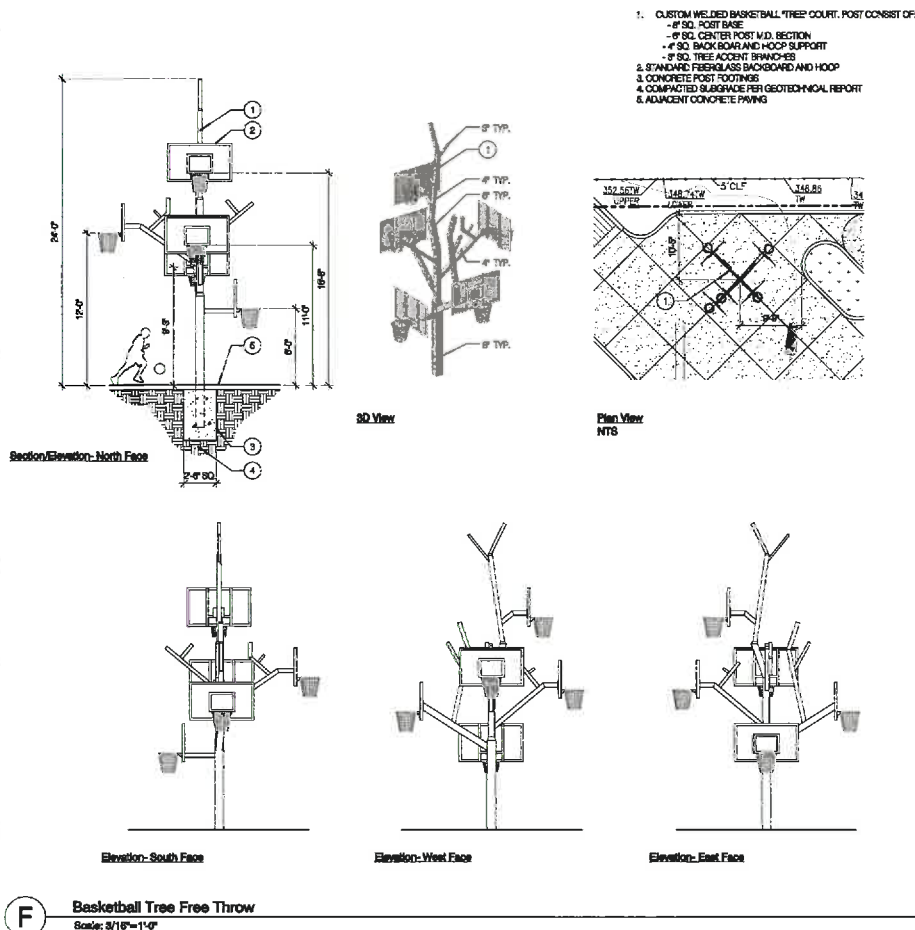
Job Number: E15-042
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Project Manager: JG
Principal: SC

Construction
Details

L1.12

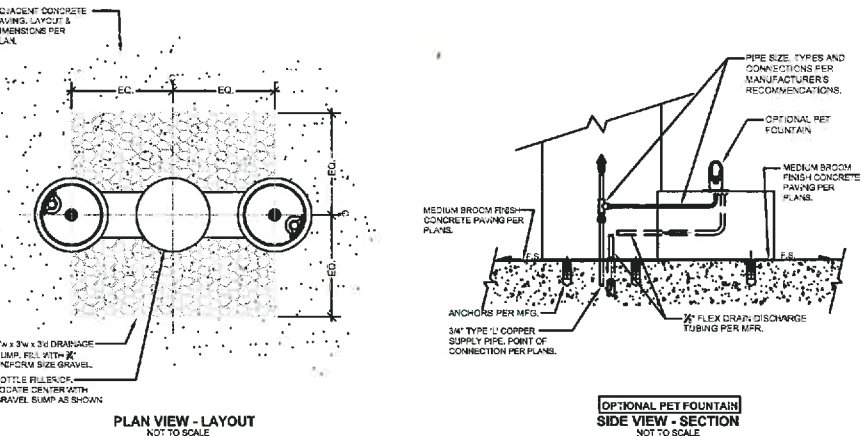
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DOMESTIC LINE STERILIZATION PROCEDURE:
FLUSH DOMESTIC WATER LINES COMPLETELY. INJECT CHLORINE GAS OR LIQUID DISINFECTANT INTO LINE THROUGH A 3/4" INCH SERVICE COCK USING A PROPORTIONING PUMP AT A POINT AS CLOSE AS IS PRACTICAL TO THE WATER METER. OPEN BUSBARS ON ALL UNITS INSTALLED SUFFICIENTLY TO DISTRIBUTE DISINFECTANT THROUGHOUT SYSTEM. SO THAT A MINIMUM CONCENTRATION OF 50PPM, AS VERIFIED BY TEST, IS MEASURED AT ALL UNITS. DISINFECTANT SHALL REMAIN IN SYSTEM FOR 24 HOURS MINIMUM. AT CONCLUSION, RESIDUAL RETENTION OF DISINFECTANT SHALL NOT BE LESS THAN 15PPM. ALL LINES SHALL BE FLUSHED THOROUGHLY. A WATER SAMPLE SHALL BE TESTED BY AN APPROVED TESTING LABORATORY. RESULTS SHALL SHOW:
- COLIFORM-AEROBIC ORGANISMS: NEGATIVE
- TOTAL BACTERIA PLATE COUNT: LESS THAN 100 DUBIC CENTIMETER
- WATER POTABILITY: SAFE TO USE. IF RESULTS ARE NEGATIVE, STERILIZATION SHALL BE REPEATED. UNTIL STANDARD IS MET.

NOTE:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
2. REFER TO MANUFACTURER'S INSTALLATION & MAINTENANCE INSTRUCTIONS FOR OPTION INSTALLATION.



P Drinking Fountain
Scale: N.T.S.

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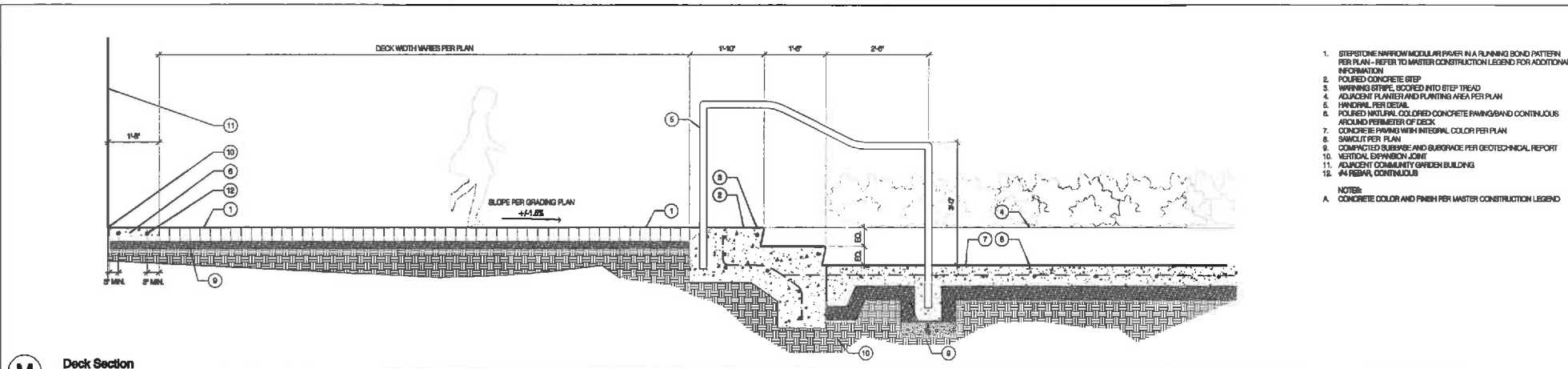
Revisions	By	Date

Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

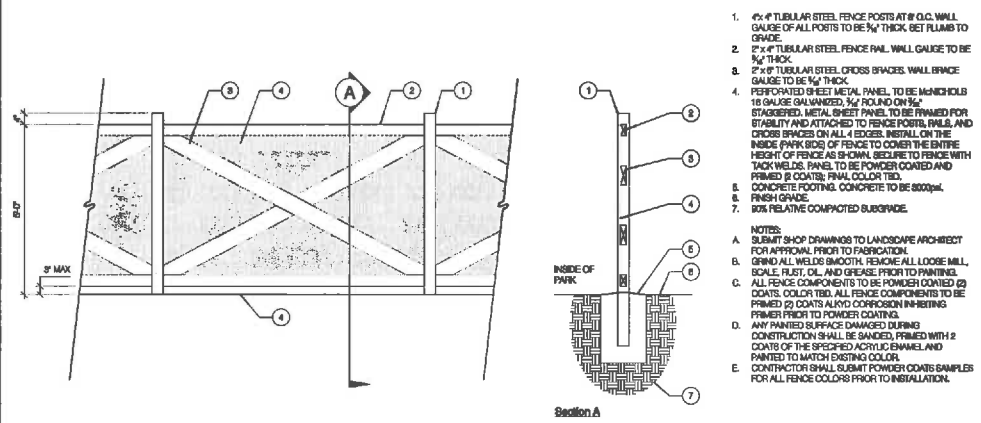
Construction
Details

L1.13

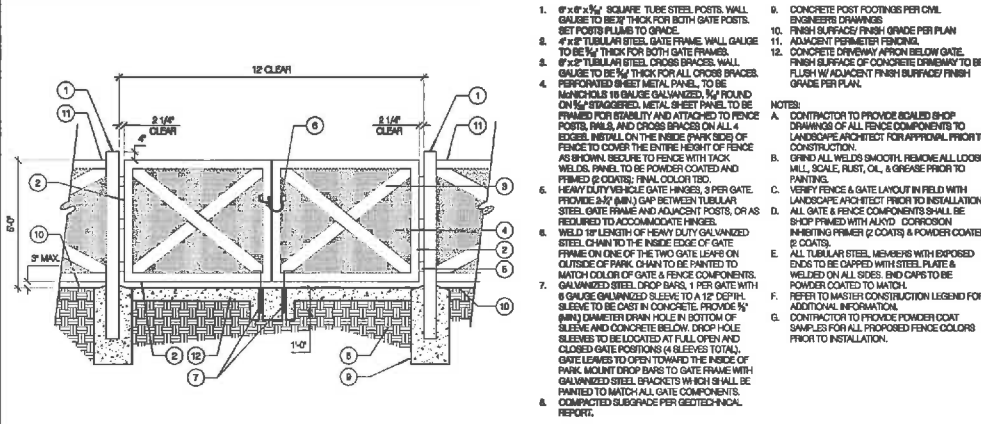
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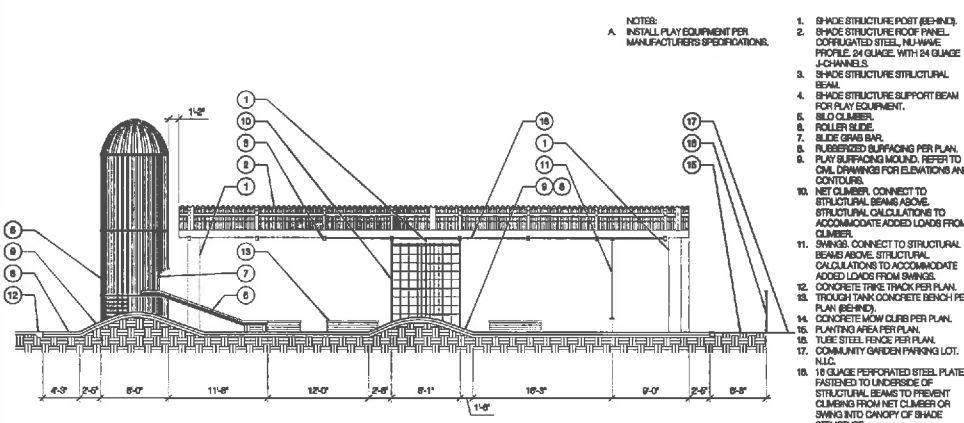
M Deck Section
Scale: 3/4"=1'-0"



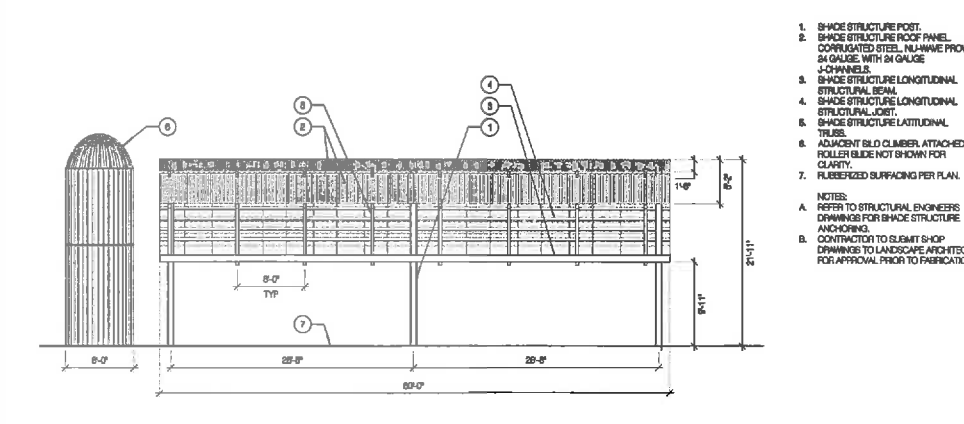
N Park Fence
Scale: 1/2"=1'-0"



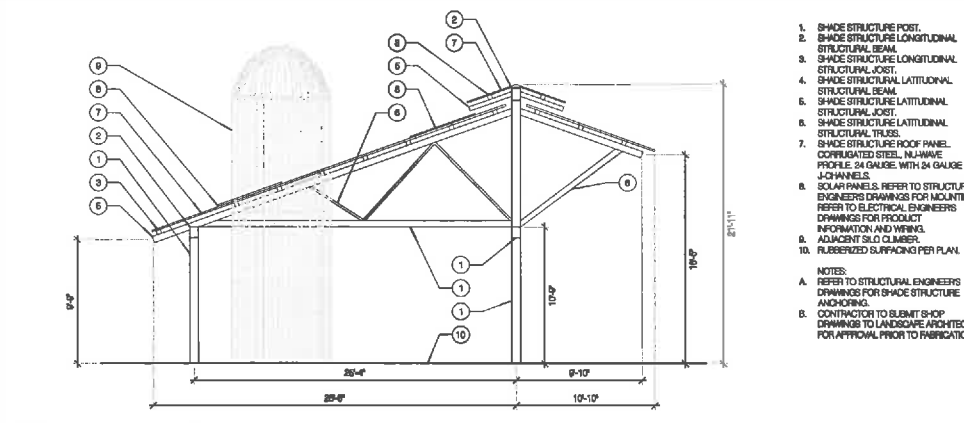
O Vehicular Access Gate
Scale: 3/8"=1'-0"



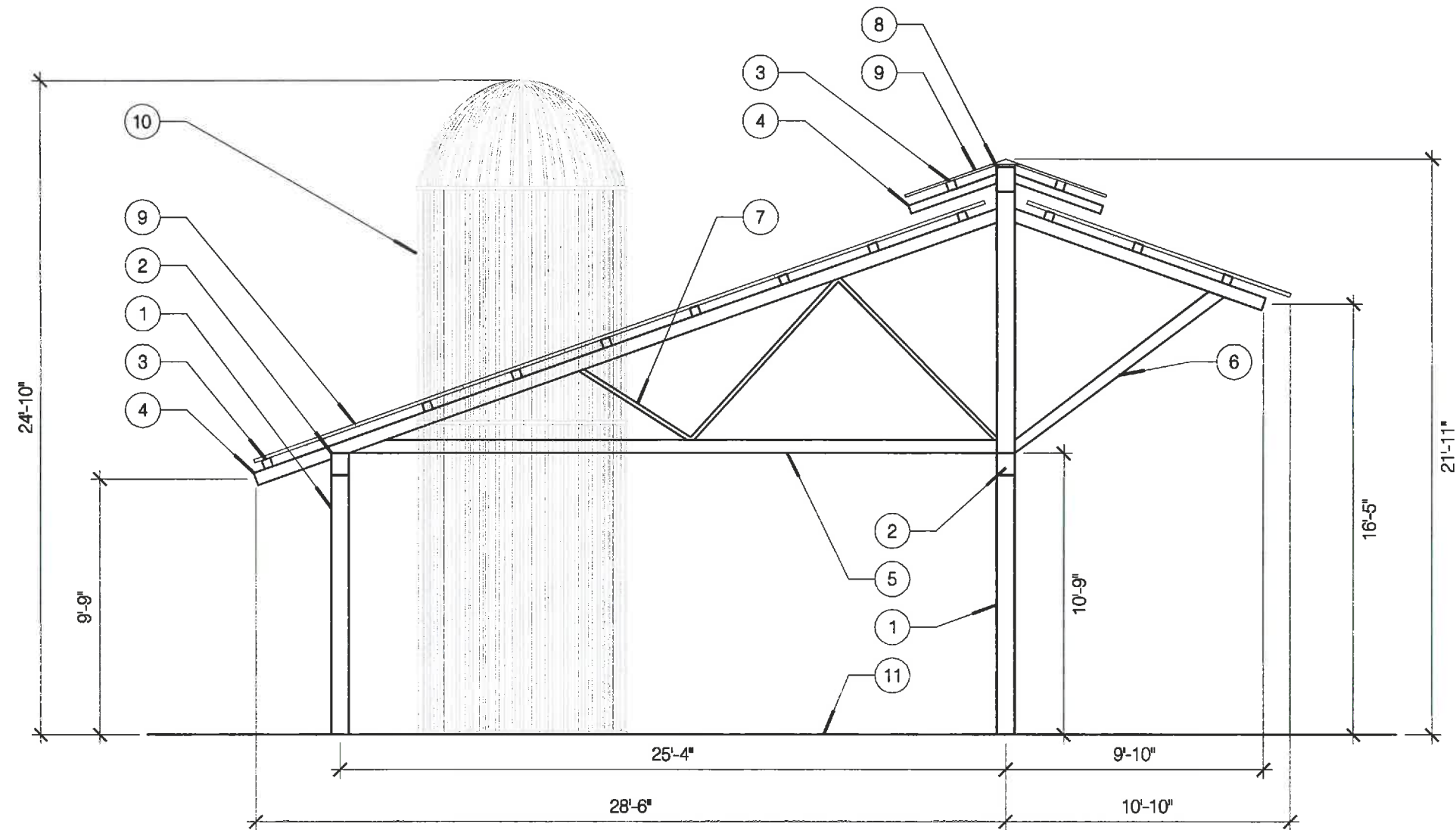
F Section A - Shade Structure and Play Area
Scale: 1/8"=1'-0"



G Shade Structure Rear Elevation
Scale: 1/8"=1'-0"



G Shade Structure Side Elevation
Scale: 3/16"=1'-0"

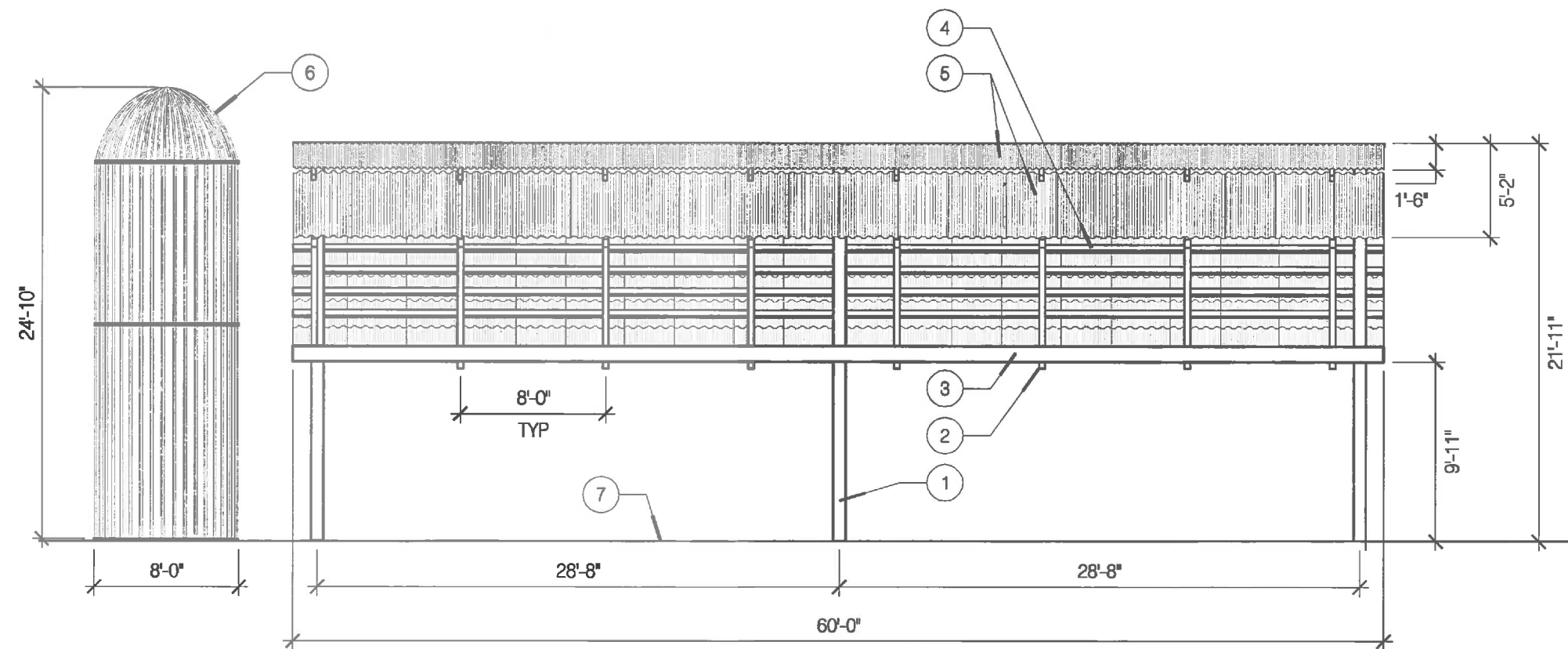


1. 8" SQ. HSS STEEL SHADE STRUCTURE POST
2. 10" x 8" HSS STEEL SHADE STRUCTURE BEAM
3. 4" SQ. HSS STEEL ROOF BATTENS
4. 4" X 6" HSS STEEL ROOF RAFTERS
5. 4" X 6" HSS STEEL CEILING JOIST
6. 4" X 6" HSS STEEL STRUT
7. 2" SQ. HSS STEEL WEB
8. 10" X 8" HSS STEEL RIDGE BEAM
9. SHADE STRUCTURE ROOF PANEL: GALVANIZED CORRUGATED STEEL, NU-WAVE PROFILE, 24 GAUGE, WITH 24 GAUGE J-CHANNELS.
10. ADJACENT SILO CLIMBER.
11. RUBBERIZED SURFACING PER PLAN.

- NOTES:
- A. ALL STRUCTURAL STEEL MEMBERS TO BE POWDER COATED WITH A TWO STEP PRIME AND PAINT PROCESS. PRIME ALL SURFACES WITH ONE COAT ALKYD CORROSION INHIBITING PRIMER. REFER TO MASTER CONSTRUCTION LEGEND FOR COLOR AND FINISH.
 - B. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
 - C. GRIND ALL WELDS SMOOTH. REMOVE ALL LOOSE MILL, SCALE, RUST, OIL AND GREASE PRIOR TO POWDER COATING.
 - D. REFER TO MANUFACTURERS STRUCTURAL CALCULATIONS FOR ALL POST FOOTING AND HARDWARE REQUIREMENTS.

Shade Structure East Face Elevation

Scale: 3/16"=1'-0"



1. 8" SQ. HSS STEEL SHADE STRUCTURE POST
2. 4" X 6" HSS STEEL ROOF RAFTERS
3. 10" X 8" HSS STEEL SHADE STRUCTURE BEAM
4. 4" SQ. HSS STEEL ROOF BATTENS
5. SHADE STRUCTURE ROOF PANEL: GALVANIZED CORRUGATED STEEL, NU-WAVE PROFILE, 24 GAUGE, WITH 24 GAUGE J-CHANNELS.
6. ADJACENT SILO CLIMBER. ATTACHED ROLLER SLIDE NOT SHOWN FOR CLARITY.
7. RUBBERIZED SURFACING PER PLAN.

NOTES:

- A. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SHADE STRUCTURE ANCHORING.
- B. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

Shade Structure North Face Elevation

Scale: 1/8" = 1'-0"

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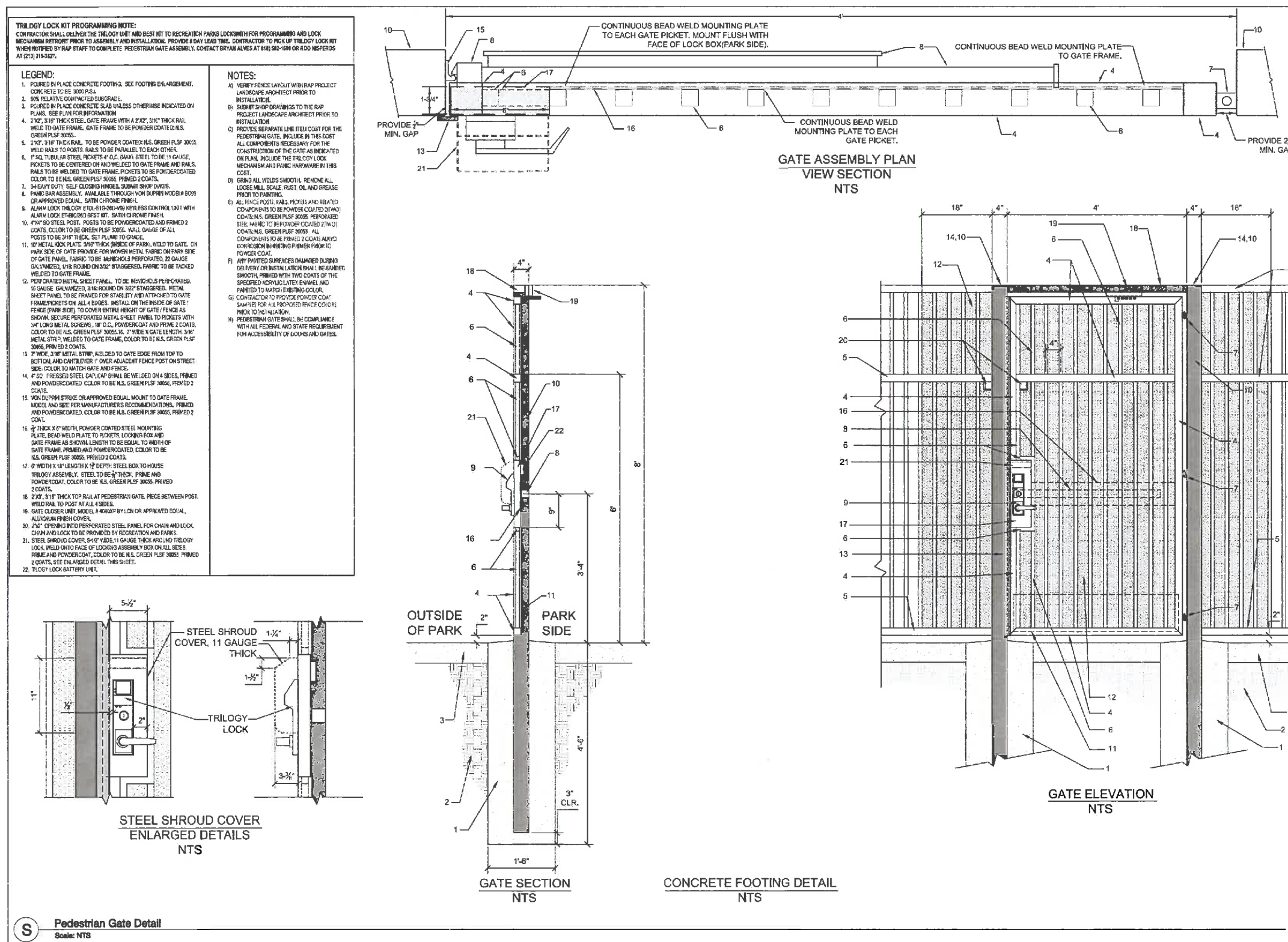
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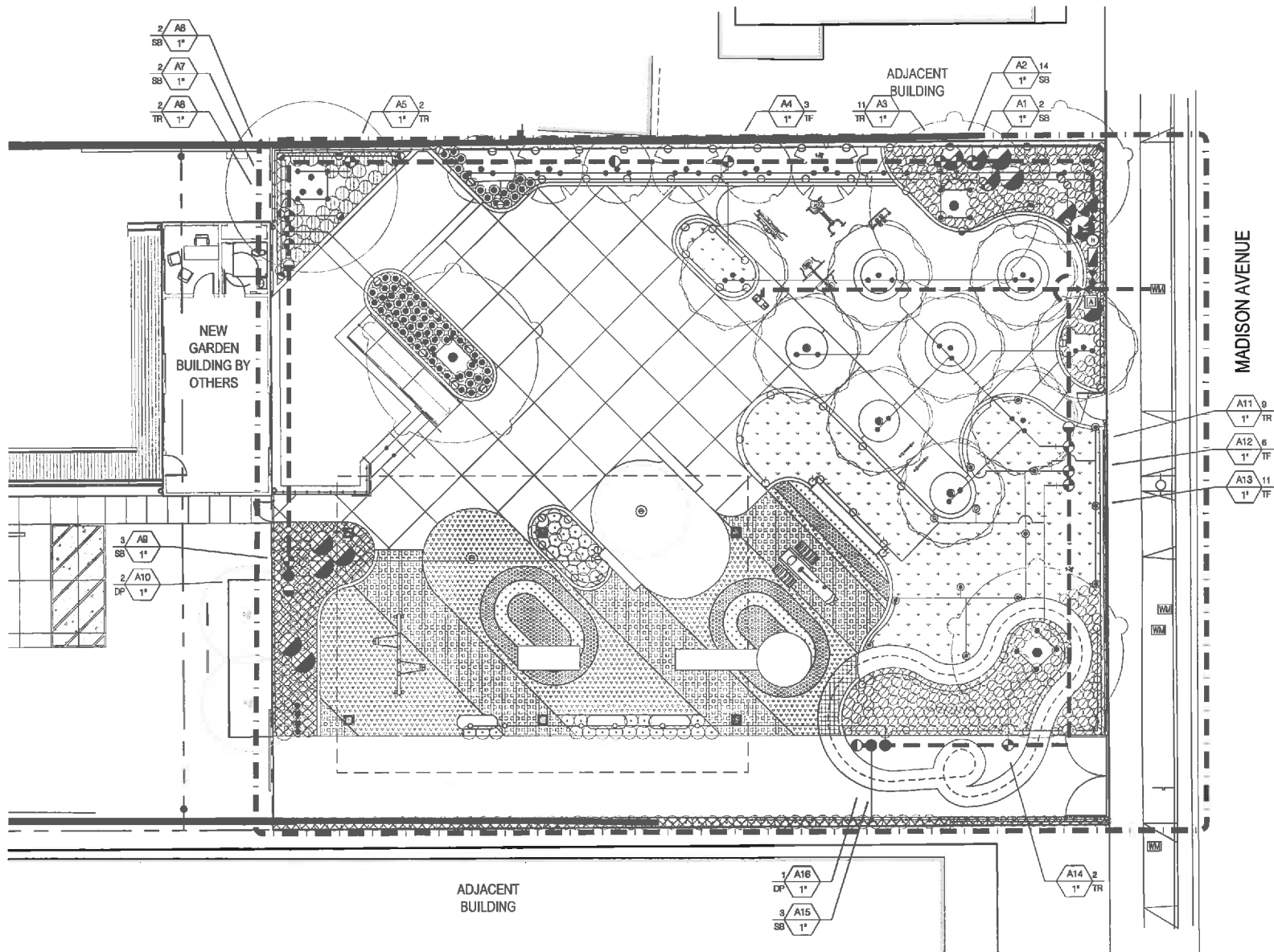
Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: SC

Construction Details

L1.13

211
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IRRIGATION LEGEND			
SYMBOL	RAI	NAME	MODEL NO. WITH NOZZLE SIZE & TYPE
F H Q A			
	Varied	Rain Bird	TBD
SPRAY HEAD NOTE: Rain Bird PCV screens shall be used to reduce the "throw" or radius of Rain Bird nozzles whenever spray heads will exceed the planting area dimensions.			
	-	Rain Bird	RW5-AB-C-1402 (1/2 GPM)
	-	Rain Bird	1402 on 1/2" or 3/4"
	N/A	Irrigation Delineator	Tecolite CV Delineator TLDV6-18
	N/A	Air Relief Valve	
	N/A	TL50V - Manual Flush Valve	
	N/A	Drip Connector	
	-	Water Meter Pin Out	
	N/A	9750L - 2" Backflow Preventer	
	N/A	T-111 Gate Valve - 1/2" and smaller	
	N/A	3300 - 2" Normally Open Master Valve	
	N/A	WeatherTRAK - Flow ID	
	Rain Bird	3543-FC - 3/4" Quick Coupler Valve	
	Rain Bird	EFB-CP4RIS-D	
	Rain Bird	XG2-PRB-100-COM - 2-20 GPM	
	Rain Bird	XG2-PRB-150-COM - 15-40 GPM	
	N/A	Line Size Check Valve	
	Rain Bird	RISD4E - 1/2" Inlet Sensor	
	Rain Bird	ESP-LX06-REYCLX	
	-	Spine Valve P&H Box	
	-	Existing Mainline	
	-	Mainline	
	-	Lateral Line	
	-	PVC Shown	
IRRIGATION VALVE CALLOUT:		LATERAL LINE BEING CHART	
	3/4"		1/2"
	1/2"		1/4"
	1/4"		1/8"
	1/8"		1/16"
	1/16"		1/32"
	1/32"		1/64"
	1/64"		1/128"
	1/128"		1/256"
	1/256"		1/512"
	1/512"		1/1024"
	1/1024"		1/2048"
	1/2048"		1/4096"
	1/4096"		1/8192"
	1/8192"		1/16384"
	1/16384"		1/32768"
	1/32768"		1/65536"
	1/65536"		1/131072"
	1/131072"		1/262144"
	1/262144"		1/524288"
	1/524288"		1/1048576"
	1/1048576"		1/2097152"
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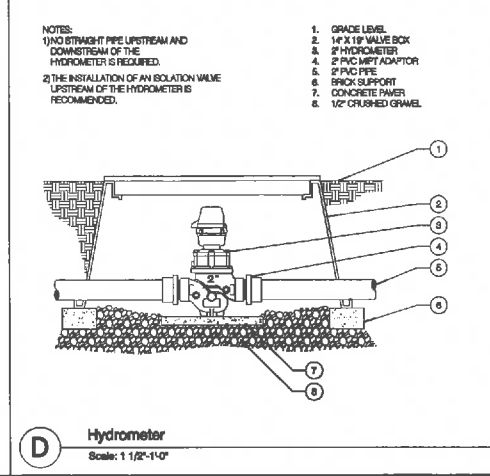
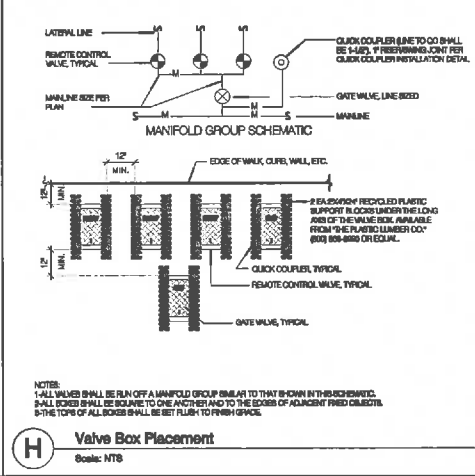
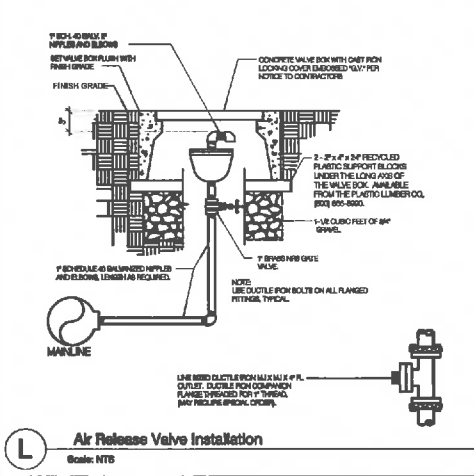
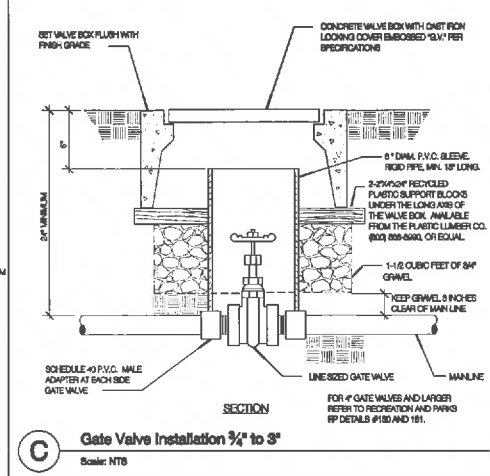
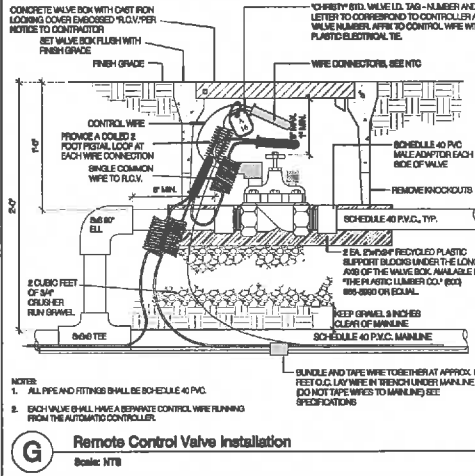
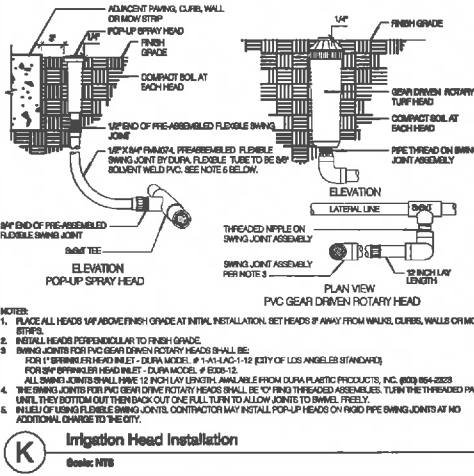
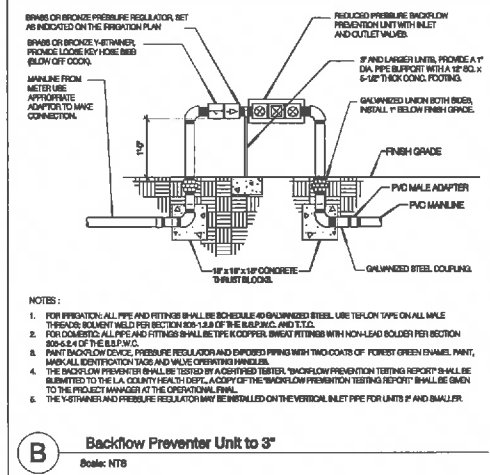
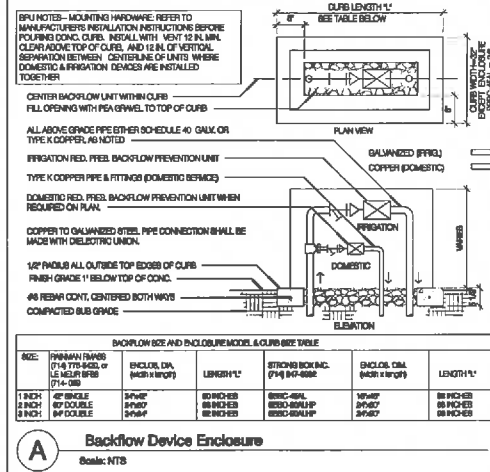
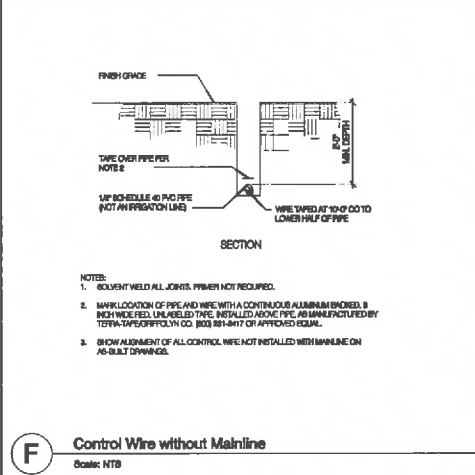
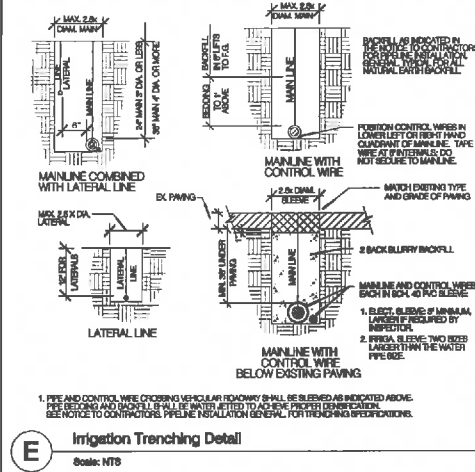
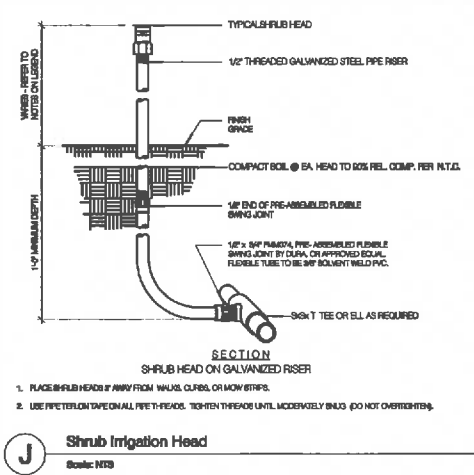
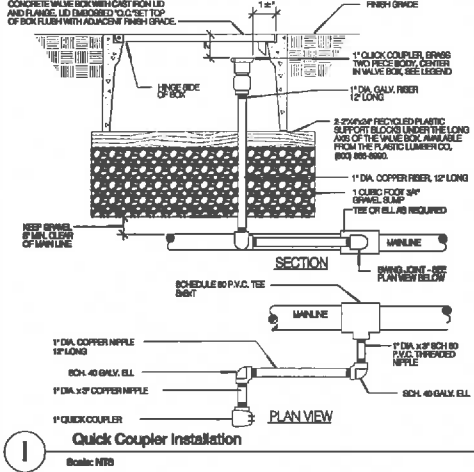
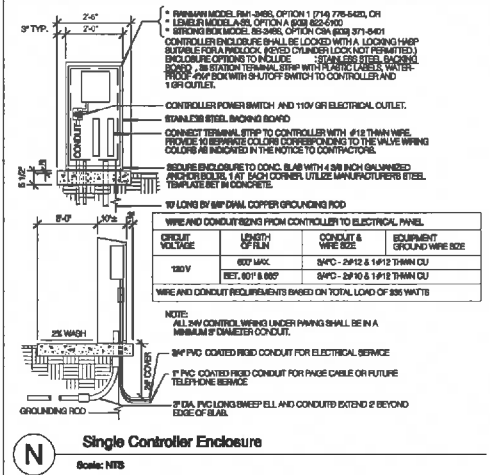
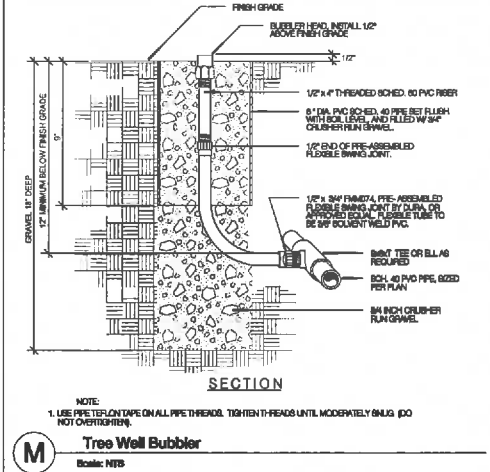
Revisions	By	Date

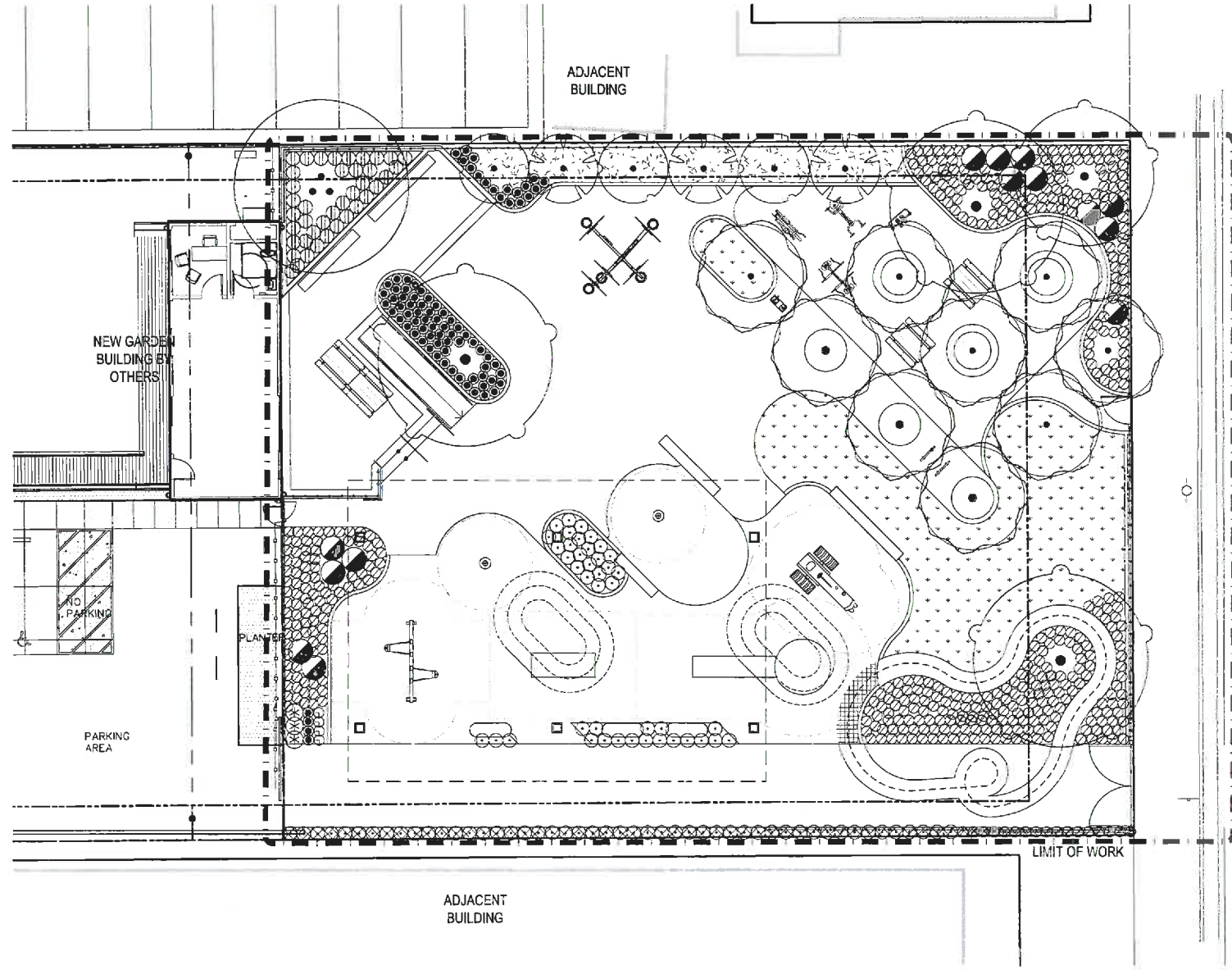
Job Number: E15-042
Design Staff: EH
Project Manager: JG
Principal: BC

Irrigation Details

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PLANTING LEGEND: Trees

SYMBOL	NAME	WATER REQUIREMENT	SIZE	QTY	DETAIL
⊙	Citrus lemon	Med	Size and Spacing	3	Q6.10
⊙	Citrus x Valencia Orange	Med	Size and Spacing	3	Q6.10
⊙	Ficus religiosa California Banyan	Med	Size and Spacing	4	Q6.10
⊙	Quercus agrifolia Coast Live Oak	Very Low	Size and Spacing	1	Q6.10
⊙	Ulmus parvifolia True Green® True Green Chamae Elm	Med	Size and Spacing	3	Q6.10
Linear Root Barrier by Deep Root					SL3.10

PLANTING LEGEND: Shrubs and Vines

SYMBOL	NAME	WATER REQUIREMENT	SIZE	QTY	DETAIL
⊙	Adiantum medium Moonlighter Moonlighter Fern	Low/Med	5 Gal. at 18" O.C.	4	B, DL3.10
⊙	Sarcocolla sp. Creeping Barkberry	Low/Med	5 Gal. at 24" O.C.	40	B, DL3.10
⊙	Redwood plant Adiantum	Med	5 Gal. at 18" O.C.	447	B, DL3.10
⊙	Layman's condensation Giant Wreath	Low/Med	5 Gal. at 24" O.C.	8	B, DL3.10
⊙	Lomandra longifolia Broom	Low/Med	5 Gal. at 24" O.C.	91	B, DL3.10
⊙	Mulleinberry capitate Pink Mulberry	Low/Med	5 Gal. at 18" O.C.	64	B, DL3.10
⊙	Pinkish granular plant Deep Paragonberry	Med	15 Gal. at 42" O.C.	14	B, DL3.10

PLANTING LEGEND: Ground Cover and Turf

SYMBOL	NAME	WATER REQUIREMENT	SIZE	QTY	DETAIL
⊙	Turf Grass Meritton I	High	800	1,174 SF	-
⊙	Decomposed Granite	-	-	1,140 SF	HL3.10
⊙	Bark Mulch	-	-	300 SF	-L3.10

- PLANTING NOTES**
- In all shrub and groundcover areas apply 2" layer of forest floor bark mulch per Aquinaga Fertilizer Company, Inc. Contractor shall submit sample to landscape architect for approval.
 - All clearance data per City of Los Angeles Recreation and Parks tree planting standards and guidelines.
 - Plant quantities are for REFERENCE ONLY. Contractor to provide and install all plant material shown on drawings.

Madison Ave Park

1175 North Madison Avenue
Los Angeles, CA 90029

THE TRUST for PUBLIC LAND

Client
135 West Green Street
Ste 200
Pasadena CA, 91105

EPTDESIGN
landscape architecture | urban design | planning

844 East Green Street, Ste. 201 | Pasadena, CA 91101 | T 626.795.2008 | F 626.795.2547
9821 Irvine Center Drive | Irvine, CA 92618 | T 949.502.5200 | F 949.502.4510
www.eptdesign.com



Consultant

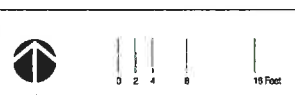
Revisions	By	Date

Job Number: E16-042
Design Staff: EH
Project Manager: JG
Principal: SC

Planting Plan

L3.01

Plan Control
50% Construction Documents



Section 07140-111 of the government code requires a dig test identification number be placed before a permit to excavate is issued. Call 311 or 213-480-0000 for more information.

18. RECYCLING
THE CONTRACTOR SHALL RECYCLE ON-OR OFF-SITE ALL VEGETATIVE WASTE (PER SECTION 12.43 OF LAMC).

Boole: NT8

- A** Scale: 1"=1'-0"



50% CONSTRUCTION DOCUMENTS











LOS ANGELES COMMUNITY GARDEN COUNCIL EAST HOLLYWOOD GARDEN ACHIEVEMENT CENTER

1175 NORTH MADISON AVENUE, LOS ANGELES CA 90029

osborn

837 N. Spring Street, 3rd Fl. / Los Angeles, CA 90012
Telephone (213) 475-8075

EXHIBIT B

EAST HOLLYWOOD GARDEN ACHIEVEMENT CENTER PLANS CPC-2016-1812-SP-SPP

GENERAL NOTES

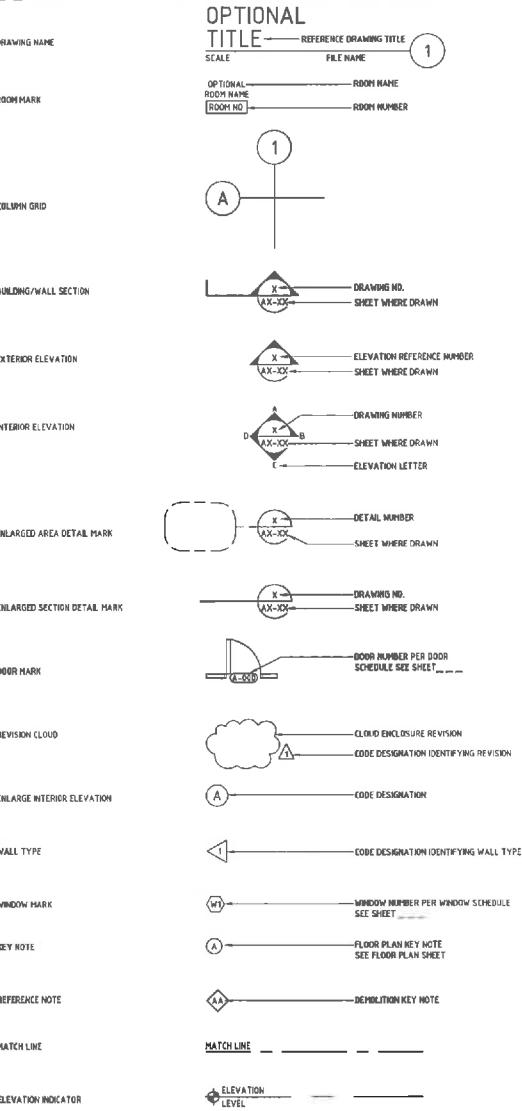
- CODES AND REGULATIONS: CALIFORNIA CODE OF ALL WORK SHALL CONFORM TO TITLE 24, 2013 REGULATIONS (C.C.R.).
- ALL EQUIPMENT, PIPING & OTHER DEVICES & MATERIALS INSTALLED OUTSIDE THE BUILDING SHALL BE WEATHERPROOF.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT, AND SHALL NOTIFY THE ARCHITECT/OWNER OF ANY CONCERN REGARDING MODIFICATION OF CHANGE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES PRIOR TO PERFORMING ANY WORK ON THE SITE.
- ALL WALL DIMENSIONS ARE TO THE FACE OF STUD, UNLESS NOTED OTHERWISE. CONCRETE OR MASONRY WALLS ARE MEASURED TO THE FACE, UNLESS NOTED OTHERWISE.
- SHOP DRAWINGS SHALL BE SUBMITTED AS REQUIRED BY THE SPECIFICATIONS. SUBMITTALS TO BE MADE BY THE CONTRACTOR TO THE OWNERS AUTHORIZED REPRESENTATIVE FOR REVIEW BY THE ARCHITECT/ENGINEER.
- REVIEW OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL CONTRACT REQUIREMENTS.
- ANY WORK OR MATERIALS NOT DIRECTLY NOTED IN THE CONTRACT DOCUMENTS, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENT THEREOF, ARE IMPLIED AND ARE TO BE PROVIDED AS SPECIFICALLY DISCUSSED.
- ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF PLANS SHALL BE REFERRED BY THE CONTRACTOR TO THE AUTHORIZED OWNERS REPRESENTATIVE FOR RESOLUTION BY THE ARCHITECT.
- WRITTEN DIMENSIONS GOVERN OVER SCALED DIMENSIONS, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS. BUILDING DRAWINGS ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND WHAT IS SPECIFIED BY ONE SHALL BE BINDING AS IF SPECIFIED BY ALL. ANY WORK SHOWN OR REFERRED TO IN CONSTRUCTION DOCUMENTS, WHETHER DRAWINGS OR SPECIFICATIONS, SHALL BE PROVIDED AS THOUGH IT WERE SHOWN IN ALL RELATED DOCUMENTS.
- THE GENERAL CONDITIONS AND OWNER/CONTRACTOR AGREEMENT SHALL CONTROL THE EXECUTION, CORRELATION AND INTENT OF THE CONTRACT DOCUMENTS.
- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND WASTE IN THEIR AREA OF WORK ON A REGULAR BASIS, AND SHALL TURN THEIR AREA OF WORK CLEAN UPON COMPLETION OVER TO THE OWNER.
- PLACEMENT OF THERMOSTATS SHALL BE DETERMINED UPON THE WRITTEN APPROVAL OF THE ARCHITECT.
- ALL WOODWORK, BLOCKING, GROUND, ROUGH BRICKS, AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT IN ACCORDANCE WITH THE STATE FIRE MARSHAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, BACKING, FRAMING HANGERS, OR OTHER SUPPORT FOR ALL STRUCTURES, FURNITURE, CABINETRY, HANDRAILS, TOILET ACCESSORIES, FURNISHINGS, AND ALL OTHER ITEMS REQUIRING THE SAME.
- CABINET CONTRACTOR SHALL COORDINATE THE SETTING OF ALL NECESSARY METAL BACKING PLATES AS RELATED TO ITS INSTALLATION.
- WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH THE CABINETRY, THE CABINET CONTRACTOR SHALL COORDINATE HIS WORK (CUTOUTS FOR THE SWITCHES, OUTLETS, ETC.) WITH THE ELECTRICAL CONTRACTOR.
- ALL FINISH MATERIALS SHALL MEET THE STATE FIRE MARSHAL REQUIREMENTS.
- THE CONTRACTOR SHALL INVESTIGATE AND VERIFY THAT ALL WALL, FLOOR, AND OTHER FINISHES ARE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKSPLASHES, ELECTRICAL OUTLETS, CONSULT, AND ETC. AS REQUIRED BY THE OWNERS TELEPHONE COMPANY, TO ACCOMMODATE THEIR INSTALLATION.
- TELEPHONE AND ELECTRICAL OUTLETS ON THE OPPOSITE SIDES OF COMMON WALLS SHALL BE LOCATED IN SEPARATE STUD CAVITIES. TWO BACK-TO-BACK OUTLETS SHALL BE ALLOWED WHERE SPECIFIC DIMENSIONS CONTRADICT THIS NOTE. THE CONTRACTOR SHALL RELOCATE ONE OUTLET TO THE OPPOSITE SIDE OF THE STUD NEAREST THAT DIMENSION.
- ALL ELECTRICAL, PHONE, MECHANICAL AND PLUMBING LINES SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CHANGE ORDER, AND SIGNED BY THE ARCHITECT & OWNER.
- THE CONTRACTOR SHALL CONTACT LABS FOR INSPECTIONS AT THE APPROPRIATE TIMES AND IN A TIMELY MANNER.
- DETAILS ARE REFERENCED FOR CONVENIENCE ONLY. DETAILS & NOTES SHALL APPLY IN ALL SIMILAR CASES, WHETHER OR NOT THEY ARE SPECIFICALLY REFERENCED.
- CONTRACTOR SHALL VISIT SITE PRIOR TO BEGINNING THE JOB TO FAMILIARIZE HIMSELF IN DETAIL, AS TO THE EXTENT OF THE WORK REQUIRED & THE EXISTING CONDITIONS, & SHALL TAKE THESE INTO CONSIDERATION IN THE COST OF THE BID.
- ALL ITEMS PENETRATING A ROOF SHALL EXTEND 2" MINIMUM ABOVE THE ROOF.
- NO MOTOR VEHICLES ARE TO BE STORED IN THE BUILDING DURING CONSTRUCTION.
- THERE SHALL NOT BE ANY TRESPASSING ON THE ADJOINING PROPERTY. NO MATERIALS SHALL BE STORED ON THE ADJOINING PROPERTY. REPRESENTATIVES OF THE OWNER AND OF THE CONTRACTOR ARE TO INSPECT ALL SIDEWALKS INCLUDING THE ADJOINING PROPERTY PRIOR TO COMMENCING WORK. ALL EXISTING DAMAGE SHALL BE NOTED AND ADDED TO BY BOTH PARTIES. ANY DAMAGE TO THESE SIDEWALKS OR ADJOINING PROPERTY DURING THE CONSTRUCTION SHALL BE REPAIRED PRIOR TO COMPLETION.
- NO MATERIALS SHALL BE STORED ON THE PUBLIC RIGHT OF WAY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- ALL PAINT AND STAIN MATERIALS MUST COMPLY WITH LOCAL, STATE, AND FEDERAL AIR POLLUTION CONTROL STANDARDS.
- FIXED WINDOWS SHALL BE SEALED TO LIMIT THE AIR INFILTRATION.
- ALL EXTERIOR DOORS SHALL LIMIT THE AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION.
- THE OPEN EXTERIOR JOINTS AROUND THE WINDOW AND DOOR FRAMES, BETWEEN THE WALLS AND ROOFS, BETWEEN THE WALL PANELS, AT THE PENETRATIONS OF THE UTILITIES THROUGH THE BUILDING, SHALL BE SEALED, CAULKED, OR WEATHERED TO LIMIT AIR AND WATER LEAKAGE.
- TESTS: TESTS OF MATERIALS ARE REQUIRED PER SECTION 4-305 OF CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE.
- THE CONTRACTOR SHALL COMPLY WITH THE LOS ANGELES MUNICIPAL CODE SECTION 10.35 SUCH THAT CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF LOS ANGELES NOISE STANDARDS.
- THE CONSTRUCTION EQUIPMENT, STATIONARY AND MOBILE, SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLING DEVICES.
- THE CONTRACTOR SHALL COORDINATE WITH THE OAR TO PROVIDE ADVANCE NOTIFICATION TO ADJACENT PROPERTY OWNERS AND THEIR TENANTS WITH REGARD TO THE SCHEDULE OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL COORDINATE WITH THE OAR TO PROVIDE ADVANCE NOTIFICATION TO ADJACENT PROPERTY OWNERS AND THEIR TENANTS WITH REGARD TO THE SCHEDULE OF CONSTRUCTION ACTIVITIES.
- THE LIVE LOADS FOR EACH FLOOR OR PORTION THEREOF THE BUILDING HAS BEEN DESIGNED SHALL HAVE SUCH DESIGN LIVE LOADS CONSPICUOUSLY POSTED BY THE OWNER IN THAT PART OF EACH STORY IN WHICH THEY APPLY, USING DURABLE METAL SIGNS, AND IT SHALL BE UNLAWFUL TO REMOVE OR DEFACE SUCH NOTICES. THE OCCUPANT OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LIMITS.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE, THEY CAN BE DEPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED DEBRIS MUST BE DEPOSITED INTO A CONTAINER RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPENSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRADED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- DRAINING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- MAINTAIN FIRE PROTECTION SERVICES DURING DEMOLITION OPERATIONS AND NEW CONSTRUCTION, PER CHAPTER 33 C.F.C.
- EXTERIOR AND INTERIOR FINISHES SHALL CONFORM TO REQUIREMENTS OF CHAPTER 7 OF THE C.R.C.
- CONTRACT DOCUMENTS, SPECIFICATIONS & OTHER DOCUMENTS RELATED TO THIS PROJECT WILL ASSIST IN COMMUNICATING THE DESIGN INTENT & DETAILED REQUIREMENTS ESTABLISHED DURING THE COURSE OF THE PROFESSIONAL ARCHITECTURAL SERVICES. THESE INSTRUMENTS MAY REPRESENT IMPERFECT DATA & MAY CONTAIN CONFLICTS & OMISSIONS, WHICH WILL BE CORRECTED BY THE ARCHITECT WHEN IDENTIFIED.
- SAFEGUARDING OF OWNERS PROPERTY: THE CONTRACTOR SHALL ASSUME CARE, CUSTODY & RESPONSIBILITY FOR SAFEGUARDING ALL OF THE OWNERS PROPERTY OF EVERY KIND, WHETHER FIXED OR PORTABLE, RUNNEN ALL FORMS OF SECURITY & PROTECTION NECESSARY TO PROTECT THE OWNERS PROPERTY. REGARDLESS OF CAUSE, CONTRACTOR SHALL REPAIR, RESTORE OR OTHERWISE ACCEPTABLY RESTORE ALL OF THE OWNERS PROPERTY UNDER THE CONTRACTORS CARE.
- ALL MATERIAL USED IN THIS PROJECT SHALL BE NEW AND OF KIND & QUALITY REQUIRED BY THE DRAWINGS.
- THE CONTRACTOR SHALL PROCURE ALL NOTICES AND LICENSES REQUIRED FOR THE COMPLETION OF THE WORK. THE COST OF THESE NOTICES AND LICENSES IS INCIDENTAL TO OTHER ITEMS OF WORK AND NO ADDITIONAL PAYMENT WILL BE MADE FOR COSTS INCURRED BY OBTAINING NOTICES AND LICENSES OR IN CONFORMING TO THE REQUIREMENTS THEREOF.
- TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, REQUIRE A SEPARATE PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY.
- HOUSEHOLD FIRE ALARM SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 LISTED AND LABELED PER IX, 20, AND THE REQUIREMENTS OF SECTION 924 C.F.C.
- PENETRATIONS OF ALL FIRE RATED WALLS SHALL BE PROTECTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, PART 2, CHAPTER 7.
- GENERAL CONDITIONS - THE GENERAL CONDITIONS AND ANY SUPPLEMENTAL CONDITIONS, WHICH MAY BE ATTACHED OR INCLUDED AS PART OF OWNER - CONTRACTOR AGREEMENT ARE A PART OF THESE CONTRACT DOCUMENTS.
- VERIFICATION - THE CONTRACTOR SHALL VERIFY ALL SIZES OR PREPARATORY WORK FOR EQUIPMENT OF OTHERS AND SHALL COORDINATE THE WORK ON THIS CONTRACT WITH ALL WORK FURNISHED BY OTHERS.
- DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MAJOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- "TYPICAL" - MEANS ALL EXCEPT AS SPECIFICALLY NOTED. "SIMILAR" MEANS THERE ARE SLIGHT VARIATIONS AMONG CONDITIONS WHERE THE DETAILS OCCUR.
- THE CONTRACTOR SHALL PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS NECESSARY FOR THE INSTALLATION OF THE WORK.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATION OF EXISTING UNDERGROUND PIPES AND UTILITY LINES IN THE VICINITY OF THE WORK WITH THE USE OF AN UNDERGROUND PIPE LOCATOR. THE CONTRACTOR SHALL MARK ALL EXISTING PIPES AND UTILITY LINES AFFECTED BY THE WORK BY SPRAY PAINTING THE SURFACE WITH CODED COLORS APPROVED BY THE DISTRICT. ALL UNDERGROUND PIPES AND UTILITY LINES FOUND DURING EXECUTION OF THE WORK SHALL BE NOTED ON THE RECORD DRAWINGS.
- ANCHORAGE DETAILS FOR EQUIPMENT WHICH ARE NOT APPROVED DURING PLAN REVIEW ARE SUBJECT TO APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD PRIOR TO INSTALLATION AND INSPECTION BY THE PROJECT INSPECTOR.
- CONTRACTOR TO UTILIZE ONLY COVERED TRUCKS FOR TRANSPORTING DEBRIS TO PREVENT LITTERING ON PUBLIC OR PRIVATE PROPERTIES.

APPLICABLE CODES

- PART 1 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24, C.C.R.
- PART 2 2014 CITY OF LOS ANGELES BUILDING CODE VOL. 1 & 2, BASED ON 2013 CALIFORNIA BUILDING CODE, VOL. 1 & 2, TITLE 24, C.C.R., BASED ON 2012 INTERNATIONAL BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH L.A. CITY AMENDMENTS.
- PART 3 2014 CITY OF LOS ANGELES ELECTRICAL CODE VOL. 1 & 2, BASED ON 2013 CALIFORNIA ELECTRICAL CODE, TITLE 24, C.C.R., BASED ON 2011 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA, WITH L.A. CITY AMENDMENTS.
- PART 4 2014 CITY OF LOS ANGELES MECHANICAL CODE VOL. 1 & 2, BASED ON 2013 CALIFORNIA MECHANICAL CODE, TITLE 24, C.C.R., BASED ON 2010 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO, WITH L.A. CITY AMENDMENTS.
- PART 5 2014 CITY OF LOS ANGELES PLUMBING CODE VOL. 1 & 2, BASED ON 2013 CALIFORNIA PLUMBING CODE, TITLE 24, C.C.R., BASED ON 2010 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO, WITH L.A. CITY AMENDMENTS.
- PART 6 2013 CALIFORNIA ENERGY CODE, TITLE 24, C.C.R.
- PART 8 2013 CALIFORNIA HISTORICAL BUILDING CODE, TITLE 24, C.C.R.
- PART 9 2013 CALIFORNIA FIRE CODE, TITLE 24, C.C.R. (2012 INTERNATIONAL FIRE CODE OF THE INTERNATIONAL CODE COUNCIL)
- PART 10 2013 CALIFORNIA EXISTING BUILDING CODE, TITLE 24, C.C.R. (2012 INTERNATIONAL EXISTING BUILDING CODE OF THE INTERNATIONAL CODE COUNCIL, WITH AMENDMENTS)
- PART 11 2014 CITY OF LOS ANGELES GREEN BUILDING CODE (BASED ON 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24, C.C.R. (CALGreen)) WITH L.A. CITY AMENDMENTS.
- PART 12 2013 CALIFORNIA REFERENCED STANDARDS CODE, TITLE 24, C.C.R.
- PARTIAL LIST OF APPLICABLE STANDARDS:
- 2013 CALIFORNIA BUILDING CODE (FOR OTHER REFERENCED STANDARDS CHAPTER 35)

SYMBOLS



SCOPE OF WORK

- SITE WORK INCLUDING: FENCES & GATES, PAVING & PARKING SPACES, WOOD DECK & PLANTERS
- LANDSCAPE AND HOSERBBS.
- UNDERGROUND UTILITIES AND HOSE-UPS TO MODULAR BUILDING
- MODULAR BUILDING FOUNDATIONS: PROVISION OF MODULAR BUILDING AND MODULAR BUILDING INSTALLATION.

SHEET INDEX

ARCHITECTURAL:

- A0.01 PROJECT INFORMATION
- A0.02 GREEN BUILDING NOTES & FORMS
- A0.03 ACCESSIBILITY NOTES
- A0.04 SITE SURVEY
- A0.10 PLOT PLAN
- A0.01 ENLARGED SITE PLAN
- A0.02 ENLARGED DECK & RAMP PLANS
- A0.03 SITE DETAILS

CIVIL:

- C1.0 TITLE AND DETAIL SHEET
- C1.1 DETAILS
- C2.0 FINISH GRADING PLAN
- C3.0 SITE UTILITIES PLAN
- C4.0 EROSION CONTROL PLAN

ELECTRICAL:

- E1.0 ELECTRICAL SITE PLAN
- E2.0 ELECTRICAL SINGLE LINE DIAGRAM, PANEL SCHEDULE, AND DETAILS

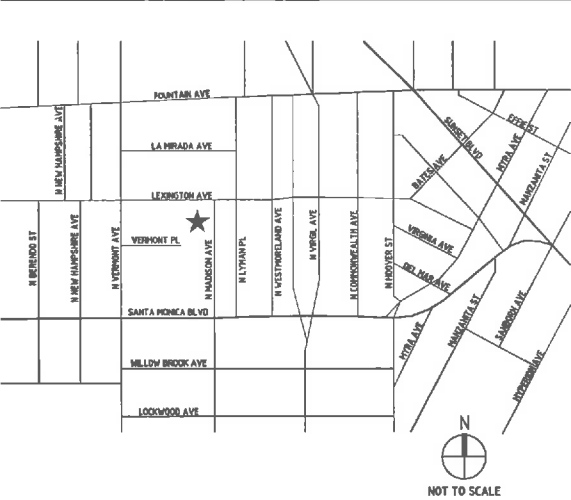
MODULAR BUILDING FOUNDATIONS:

- S-1.0 STRUCTURAL NOTES
- S-2.0 STRUCTURAL FOUNDATIONS
- S-3.0 SYSTEM FOUNDATION DETAILS
- A-2.0 PLANS, EXTERIOR ELEVATIONS, BUILDING SECTIONS

SOILS REPORT

THE PRELIMINARY SOILS ENGINEERING INVESTIGATION PREPARED BY GEOSYSTEMS, INC., DATED MAY 22, 2014 (GEOSYSTEMS PROJECT REG-14-01) IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS. ALL FINDINGS AND RECOMMENDATIONS ARE TO BE INCLUDED IN THE SCOPE OF THE WORK AND REFLECTED IN THE COST OF THE CONTRACTOR'S PROPOSAL.

VICINITY MAP



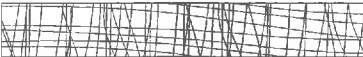
CIVIL
BREEN ENGINEERING

ELECTRICAL
BREEN ENGINEERING

PROJECT A13027.04

LOS ANGELES COMMUNITY
GARDEN COUNCIL
EAST HOLLYWOOD GARDEN
ACHIEVEMENT CENTER

1175 NORTH MADISON AVENUE
LOS ANGELES, CA 90029



BID DOCUMENTS

OCTOBER 19, 2015

A0.01

PROJECT INFORMATION

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 - Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersed by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

MANDATORY REQUIREMENTS CHECKLIST
NEWLY CONSTRUCTED NON-RESIDENTIAL BUILDINGS
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Project Address: 105 N. MADISON AVENUE, LOS ANGELES, CA 90012

Date:

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A)
PLANNING AND DESIGN				
1	5.106.1	Storm water pollution prevention	A022	SEE PLAN
2	5.106.4.1.1	Short-term bicycle parking	A101	ENLARGED SITE PLAN
3	5.106.4.1.2	Long-term bicycle parking	A101	ENLARGED SITE PLAN
4	5.106.5.2	Designated parking	N/A	+10 PARKING SPACES
5	5.106.5.3	Electric vehicle charging	N/A	SEE ELECTRICAL SCHEDULE
6	5.106.8	Light pollution reduction	N/A	NO SITE LIGHTS
7	5.106.10	Grading and paving	C24, C24	FORM GRADING/PAVE UTILITIES
8	5.106.11	Hardscape alternatives	C10, C10	DETAILS/ FINISH GRADING PLAN
ENERGY EFFICIENCY				
9	5.211.1	Solar ready buildings	A231	PHOTOVOLTAC SYSTEM PLAN
WATER EFFICIENCY & CONSERVATION				
10	5.303.1.1	New buildings or additions in excess of 50,000 sq ft	N/A	+10,000 SF
11	5.303.1.2	Excess consumption	N/A	+10% CALCPAY
12	5.303.2	Water reduction	N/A	ENLARGED SITE PLAN
13	5.303.3	Water conserving plumbing fixtures and fittings	N/A	ENLARGED SITE PLAN
14	5.303.3.3	Showers/baths	N/A	NONE
15	5.304.1	Water budget	N/A	+10,000 SF
16	5.304.2	Outdoor potable water use	N/A	+10,000 SF
17	5.304.3	Irrigation design	N/A	+10,000 SF
MATERIAL CONSERVATION & RESOURCE EFFICIENCY				
18	5.407.1	Weather protection	N/A	BIDS REV BY HCD
19	5.407.2.1	Sprinklers	A022	ENLARGED SITE PLAN
20	5.407.2.2.1	Nonabsorbent floor and wall finishes	N/A	BIDS REV BY HCD
21	5.407.2.2.2	Exterior door protection	N/A	BIDS REV BY HCD
22	5.407.2.2.3	Flashing	N/A	BIDS REV BY HCD
23	5.408.1	Construction waste diversion	A022	ENLARGED SITE PLAN
24	5.408.3	Excavated soil and land clearing debris	A022	ENLARGED SITE PLAN
25	5.410.1	Recycling by occupants	N/A	+10,000 SF
26	5.410.2	Commissioning (> 10,000 sq ft.)	N/A	+10,000 SF
27	5.410.2.1	Owner's Project Requirements (OPR)	N/A	+10,000 SF
28	5.410.2.2	Basis of Design (BOD)	N/A	+10,000 SF
29	5.410.2.3	Commissioning plan	N/A	+10,000 SF

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A)
30	5.410.2.4	Functional performance testing	N/A	+10,000 SF
31	5.410.2.5.1	Systems manual	N/A	+10,000 SF
32	5.410.2.5.2	Systems operations training	N/A	+10,000 SF
33	5.410.2.6	Commissioning report	N/A	+10,000 SF
34	5.410.4	Testing and adjusting (< 10,000 sq ft)	N/A	BIDS REV BY HCD
35	5.410.4.2	Systems	N/A	BIDS REV BY HCD
36	5.410.4.3	Procedures	N/A	BIDS REV BY HCD
37	5.410.4.3.1	HVAC balancing	N/A	BIDS REV BY HCD
38	5.410.4.4	Reporting	N/A	BIDS REV BY HCD
39	5.410.4.5	Operation and maintenance manual	N/A	BIDS REV BY HCD
40	5.410.4.5.1	Inspections and reports	N/A	BIDS REV BY HCD
ENVIRONMENTAL QUALITY				
41	5.503.1	Fireplaces and Woodstoves	N/A	NONE
42	5.504.1.3	Temporary ventilation	N/A	BIDS REV BY HCD
43	5.504.3	Covering of duct openings and protection of mechanical equipment during construction	N/A	BIDS REV BY HCD
44	5.504.4	Finish material pollutant control	N/A	
45	5.504.4.1	Adhesives, sealants, and caulks	N/A	
46	5.504.4.3	Paints and coatings	N/A	
47	5.504.4.3.1	Aerated paints and coatings	N/A	
48	5.504.4.3.2	Verification	N/A	
49	5.504.4.4	Carpet systems	N/A	BIDS REV BY HCD
50	5.504.4.4.1	Carpet cushion	N/A	BIDS REV BY HCD
51	5.504.4.5	Composite wood products	N/A	BIDS REV BY HCD
52	5.504.4.6	Resilient flooring systems	N/A	BIDS REV BY HCD
53	5.504.5.3	Filters	N/A	BIDS REV BY HCD
54	5.504.7	Environmental tobacco smoke (ETS) control	N/A	NO SMOKING AREAS
55	5.505.1	Indoor moisture control	N/A	BIDS REV BY HCD
56	5.506.2	Carbon dioxide (CO2) monitoring	N/A	BIDS REV BY HCD
57		Exterior noise transmission prescriptive method	N/A	BIDS REV BY HCD
58	5.507.4.1	Exterior noise transmission for roof	N/A	AS-CRCEL AIRPORT NOISE CONTROL
59		Exterior noise transmission for walls	N/A	AND NOT WITHIN
60		Exterior noise transmission for windows	N/A	1,000 FEET OF FREEMAN
61	5.507.4.2	Exterior noise transmission performance method	N/A	SEE ABOVE
62	5.507.4.3	Interior sound transmission	N/A	NOT SEPARATE TENANTS
63	5.508.1	Ozone depletion and greenhouse gas reductions	N/A	BIDS REV BY HCD
64	5.508.2	Supermarket refrigerant leak reduction	N/A	NOT A RETAIL STORE

The VOCs below are taken from the 2014 Los Angeles Green Building Code Tables 4.501.1, 4.501.2, 4.501.3, 4.501.4, 4.501.5, 4.501.6, 4.501.7, 4.501.8, 4.501.9, 4.501.10, 4.501.11, 4.501.12, 4.501.13, 4.501.14, 4.501.15, 4.501.16, 4.501.17, 4.501.18, 4.501.19, 4.501.20, 4.501.21, 4.501.22, 4.501.23, 4.501.24, 4.501.25, 4.501.26, 4.501.27, 4.501.28, 4.501.29, 4.501.30, 4.501.31, 4.501.32, 4.501.33, 4.501.34, 4.501.35, 4.501.36, 4.501.37, 4.501.38, 4.501.39, 4.501.40, 4.501.41, 4.501.42, 4.501.43, 4.501.44, 4.501.45, 4.501.46, 4.501.47, 4.501.48, 4.501.49, 4.501.50, 4.501.51, 4.501.52, 4.501.53, 4.501.54, 4.501.55, 4.501.56, 4.501.57, 4.501.58, 4.501.59, 4.501.60, 4.501.61, 4.501.62, 4.501.63, 4.501.64, 4.501.65, 4.501.66, 4.501.67, 4.501.68, 4.501.69, 4.501.70, 4.501.71, 4.501.72, 4.501.73, 4.501.74, 4.501.75, 4.501.76, 4.501.77, 4.501.78, 4.501.79, 4.501.80, 4.501.81, 4.501.82, 4.501.83, 4.501.84, 4.501.85, 4.501.86, 4.501.87, 4.501.88, 4.501.89, 4.501.90, 4.501.91, 4.501.92, 4.501.93, 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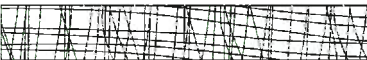
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PROJECT A19027.04

LOS ANGELES COMMUNITY
GARDEN COUNCIL
EAST HOLLYWOOD GARDEN
ACHIEVEMENT CENTER

1175 NORTH MADISON AVENUE
LOS ANGELES, CA 90028

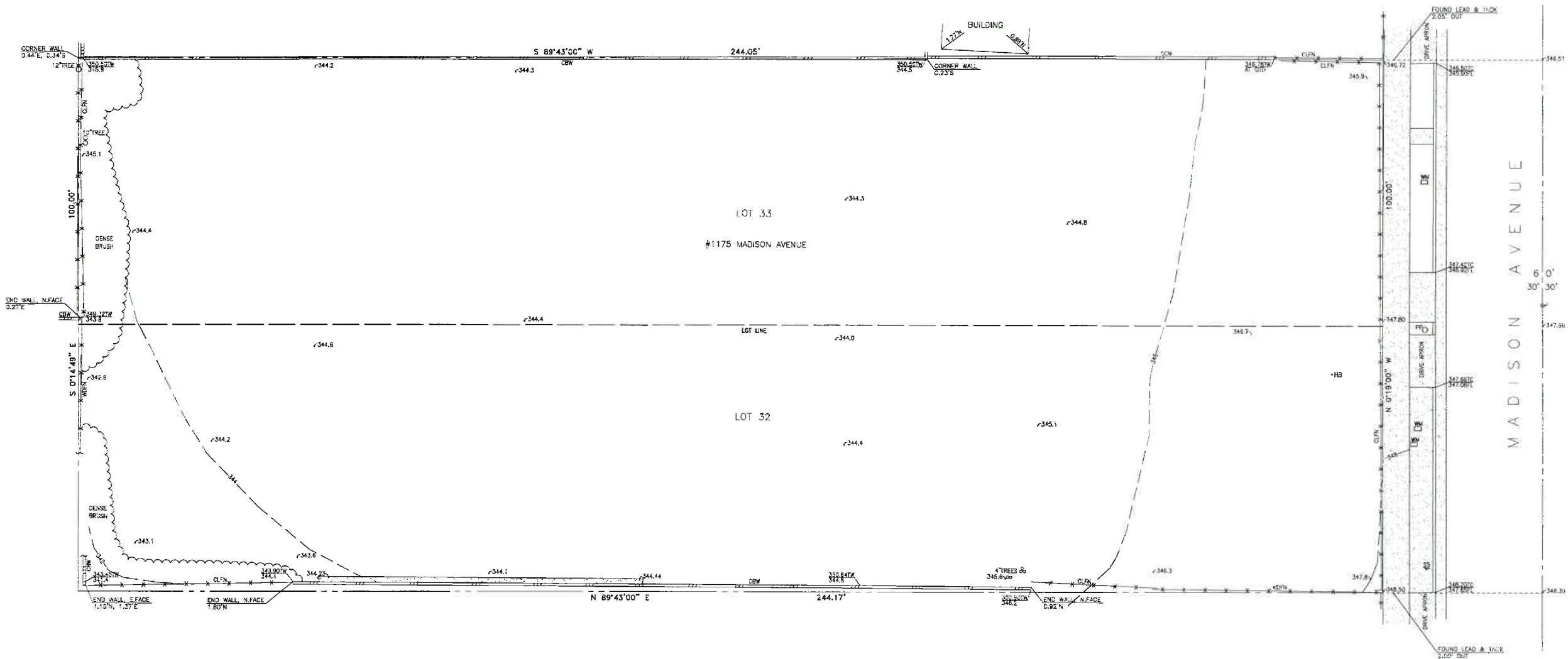


BID DOCUMENTS

OCTOBER 19, 2015

A0.04

SURVEY
FOR REFERENCE ONLY



LOT AREA = 24,411 SQ. FT. (0.56 ACRES)

BENCH MARK:
LID OF SEWER MANHOLE IN MADISON AVE.
AT STATION 8+85.00 PER CITY OF LOS
ANGELES SEWER WYE MAP 144 8197
ELEVATION OF LID = 344.30

LEGEND

CBW CONCRETE BLOCK WALL
CCW CONCRETE WALL
CLFN CHAINLINK FENCE
GRD GRADE
HSE/HB HOSE/HB
PP POWER POLE
TC TOP OF CURB
TW TOP OF WALL
WDFN WOOD FENCE
WM WATER METER

N NORTH OF PROPERTY LINE
S SOUTH OF PROPERTY LINE
E EAST OF PROPERTY LINE
W WEST OF PROPERTY LINE

BECKER AND MIYAMOTO, INC.		JCB	11623
LICENSED LAND SURVEYORS		GRAPH BY	H
2816 ROBERTSON BLVD. LOS ANGELES, CA 90034 (310) 839-9530		CHECKED BY	VM
TOPOGRAPHIC SURVEY		DATE OF SURVEY	8-30-13
LOT 32 & LOT 33		SHEET	1
ROSE HILL TRACT, L.S. 4-2		OF	1

ALTA/ACSM LAND TITLE SURVEY

LEGEND / SYMBOLS

CONCRETE PAVING

WOOD DECKING

WOOD

GRAVEL

LANDSCAPE AREA - SEE L1.0

TREE - SEE L1.0

(E) FENCE

PROPERTY LINE

SUMMARY TABLE

BUILDING AREA TOTAL 640 SF	OPEN SPACE NOT REQUIRED	PARKING REQUIRED (LAMC 12.21.A.4.(e) AND (f)) OFFICE OR OTHER BUSINESS SERVICES 1 per 500SF = (2) SPACES REQUIRED PROVIDED (1) VAN ACCESSIBLE (1) STANDARD = (2) SPACES PROVIDED
SITE AREA 24,411 SF / 10.56 AC	LANDSCAPING LANDSCAPED (PLANTED) AREA = 2,540 SF = 21% OF DEVELOPED SITE AREA	BICYCLE PARKING REQUIRED (LAMC TBL 12.21.A.16.(a)(2) AND (c)(1)(v)) (1) SHORT-TERM/10,000SF (MINIMUM 2) = (2) SHORT-TERM SPACES REQUIRED, MIN (X) COVERED (1) LONG-TERM/5,000SF (MINIMUM 2) = (2) LONG-TERM SPACES REQUIRED PROVIDED (X) COVERED, (X) UNCOVERED SHORT-TERM SPACES
FLOOR AREA RATIO ALLOWABLE (LAMC 12.21.1.A) FLOOR AREA : BUILDABLE AREA = 3 : 1 PROPOSED 640 SF : 24,411 SF = .026 : 1	PAVED (CONCRETE) AREA = 1,944 SF = 15.92% OF DEVELOPED SITE AREA	
BUILDING HEIGHT ALLOWABLE (LAMC 12.21.1) 30'-0" PROPOSED 14'-0" MEASURED FROM LOWEST ADJACENT GRADE 5' FROM BUILDING	REQUIRED TREES (L.A. LANDSCAPE ORDINANCE, ORD. NO.170,978) (1) TREE/(4) PARKING SPACES = (1) TREES @ PARKING LOT (1) TREE/500 SF OF LANDSCAPE AREA (5) TREES TOTAL PROVIDED (2) TREES @ PARKING LOT (3) TREES @ OTHER FENCE HEIGHT	

PROJECT INFORMATION

OWNER: CITY OF LOS ANGELES DEPARTMENT OF RECREATION AND PARKS
LESSEE: LOS ANGELES COMMUNITY GARDEN COUNCIL (NON-PROFIT)
ADDRESS: 1175 NORTH MADISON AVENUE, LOS ANGELES, CA 90029
LEGAL DESCRIPTION
PIN 144B197 374
LOT AREA 24,411 SF
DEVELOPED LOT AREA 12,206 SF
THOMAS BROTHERS GRID PAGE 584 - GRID A5
APN 5542028902
TRACT ROSE HILL
MAP REFERENCE L 5 4-2
BLOCK NONE
LOT 32 & 33
ARB 1
ZONE RD1.5-1XL
USE
COMMUNITY GARDEN CENTER
FIRE HYDRANT WITHIN 500 FT - NW CORNER OF LEXINGTON / MADISON AVE.

BUILDING CODE ANALYSIS

TYPE OF CONSTRUCTION VB
TYPE OF OCCUPANCY B
ONE STORY 14'-0" MAX. HT. < 40'-0"
ALLOWABLE
NON-SPRINKLERED
CBC TABLE 503 ALLOWABLE FLOOR AREAS PER OCCUPANCY:
ALLOWABLE AREA 9,000 SF
BUILDING AREA 640 SF < 9,000 SF = OK
CBC TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS
10 ≤ x < 30 = 0 FOR TYPE VB
CONSTRUCTION
CFC TABLE B105.1
REQUIRED FIRE-FLOW FOR TYPE VB, 640 SF BUILDING IS 1,500 GPM
CFC TABLE C105.1
FOR 1,500 GPM OR LESS REQUIRED FIRE-FLOW, A MINIMUM OF 1 HYDRANT LOCATED A MAXIMUM DISTANCE OF 250' FROM ANY POINT ON STREET OR ROAD FRONTAGE

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EAST HOLLYWOOD GARDEN
ACHIEVEMENT CENTER

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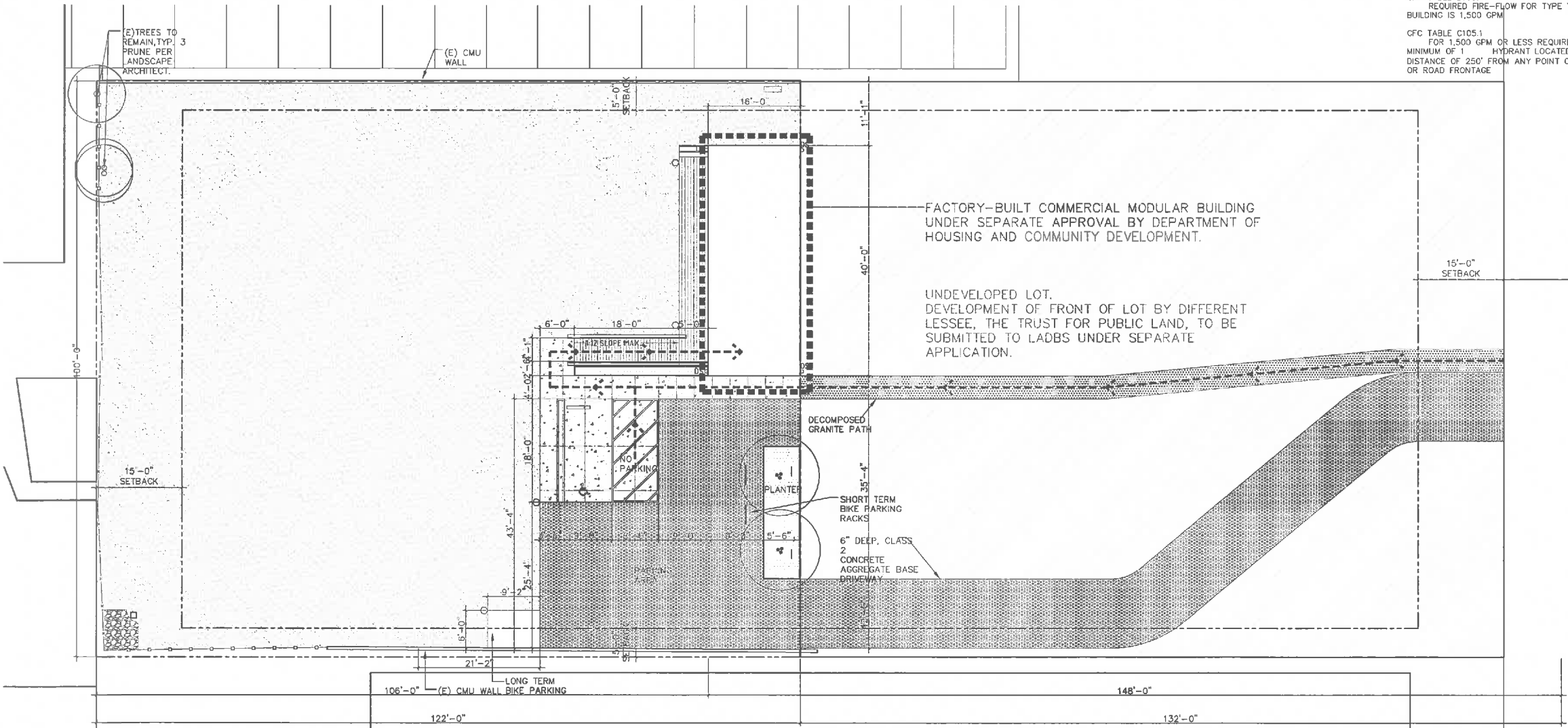


100% CONSTRUCTION DOCUMENTS

NOVEMBER 24, 2015

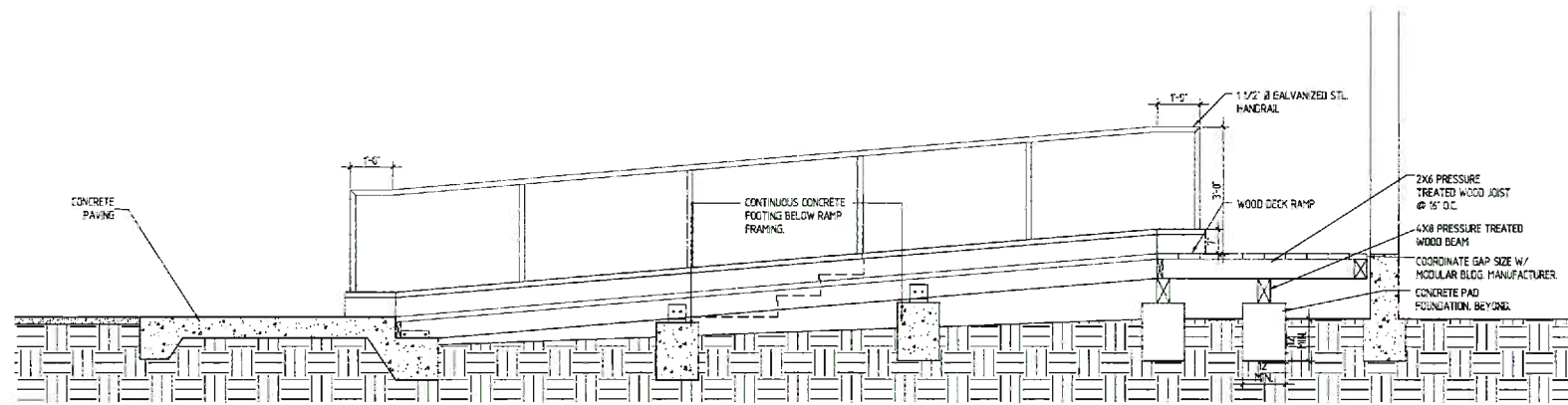
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PLOT PLAN



SITE PLAN
SCALE: 1" = 10'-0"

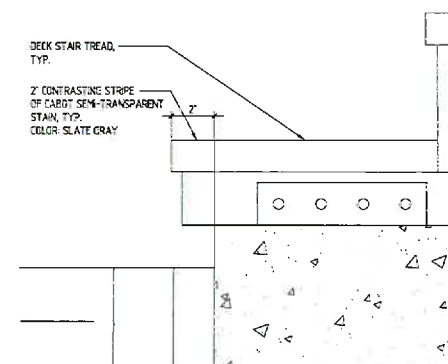




RAMP SECTION

SCALE: 1/2" = 1'-0"

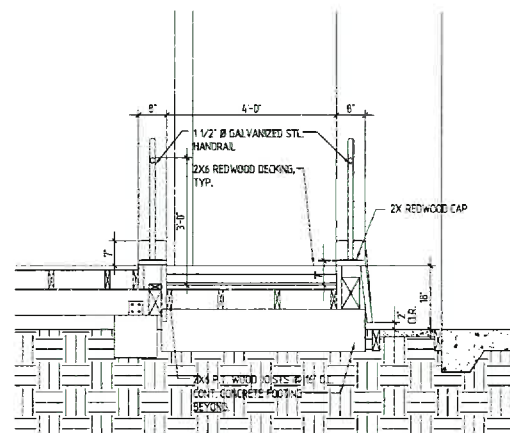
6



STAIR TREAD DETAIL

SCALE: 3" = 1'-0"

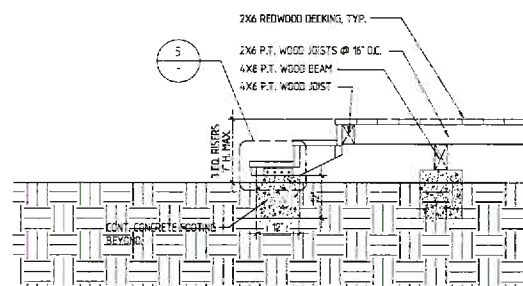
5



RAMP SECTION

SCALE: 1/2" = 1'-0"

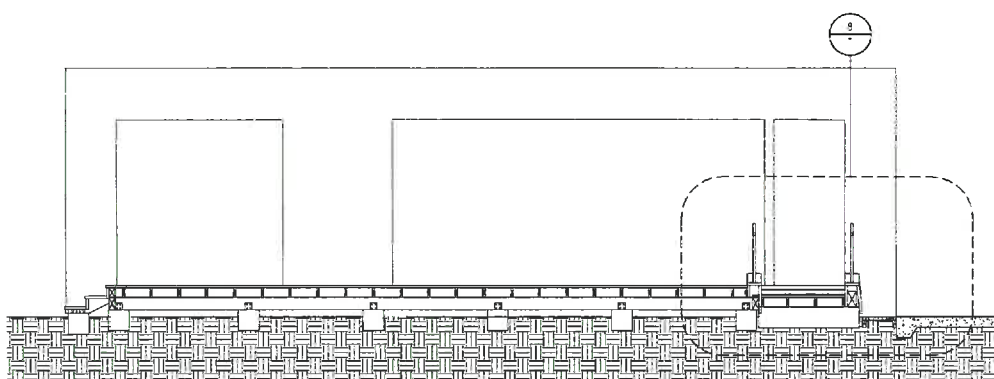
8



STAIR SECTION

SCALE: 1/2" = 1'-0"

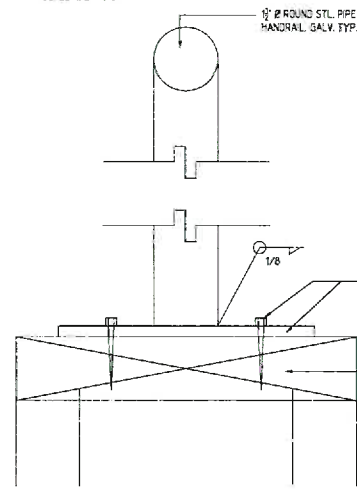
4



SECTION THROUGH DECK

SCALE: 1/4" = 1'-0"

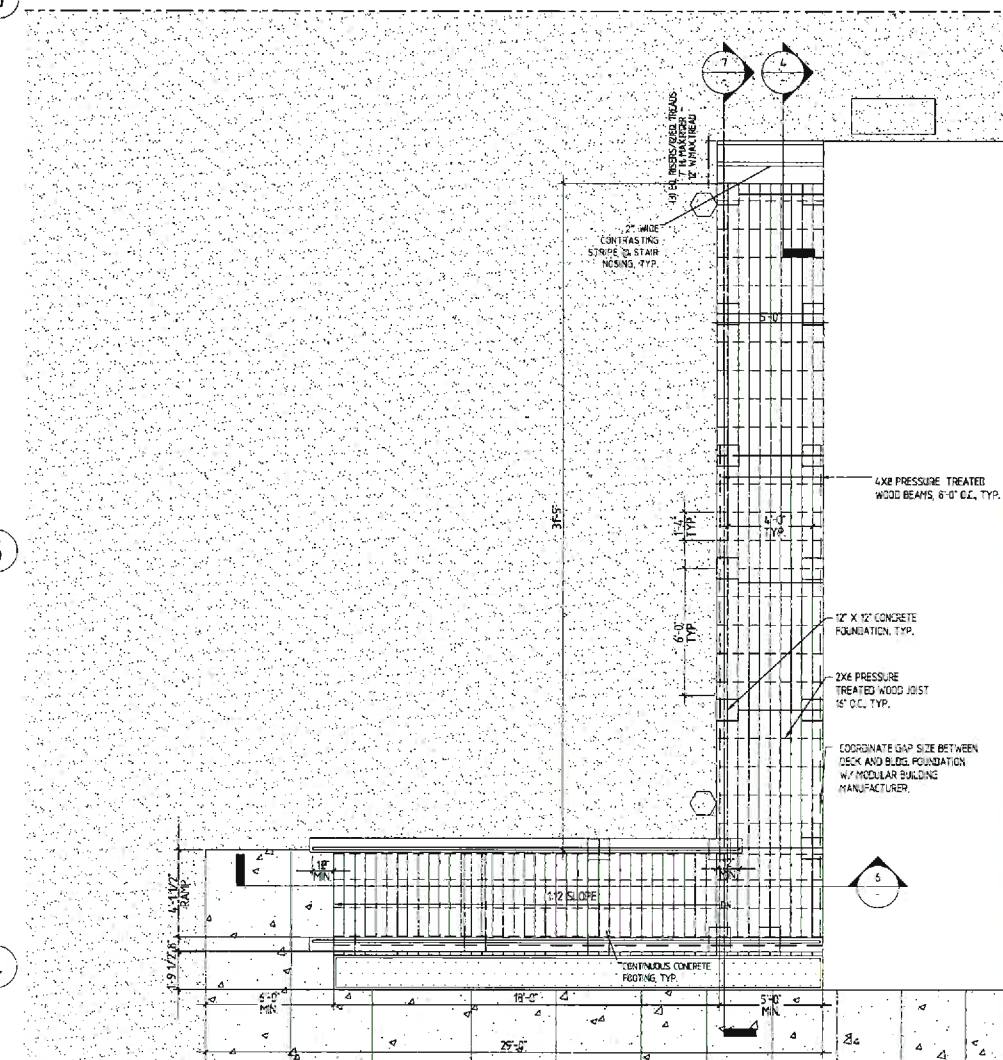
7



HANDRAIL SECTION

SCALE: 1" = 1'-0"

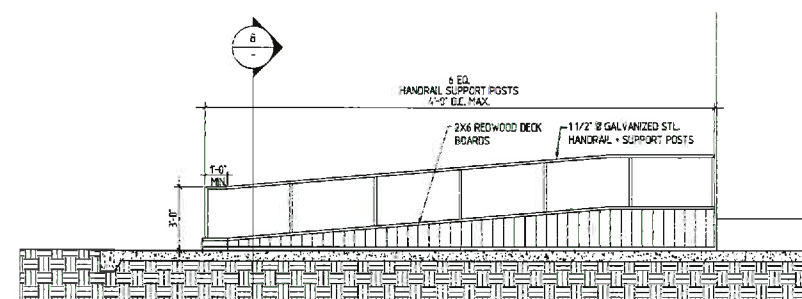
3



DECK FRAMING AND RAMP PLAN

SCALE: 1/4" = 1'-0"

2



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1

DECK NOTES

- FOUNDATIONS SHALL BE A MINIMUM OF 12 INCHES IN WIDTH AND 12 INCHES IN DEPTH.
- ALL VISIBLE WOOD DECKING 2X6 REDWOOD DECK BOARDS.
- ALL NON-VISIBLE WOOD DECK FRAMING PRESSURE TREATED 2X WOOD MEMBERS.
- ALL WOOD DECK FRAMING CONNECTORS/ATTACHMENTS/ANCHORS/BOLTS/FASTENERS TO OTHER WOOD MEMBERS AND CONCRETE FOUNDATIONS TO BE SIMPSON STRONG-TIE SYSTEM STAINLESS STEEL SST300.
- ALL WOOD SCREWS TO BE 316 STAINLESS STEEL. SCREW HEADS TO BE FLUSH WITH DECK SURFACE.
- SUBMIT SHOP DRAWINGS SHOWING ALL DIMENSIONS AND DETAILS.
- SUBMIT PRODUCT INFORMATION VERIFYING WOOD DECKING, FRAMING MATERIALS AND FRAMING CONNECTORS/ATTACHMENTS ANCHORS/BOLTS/FASTENERS AND SCREWS.

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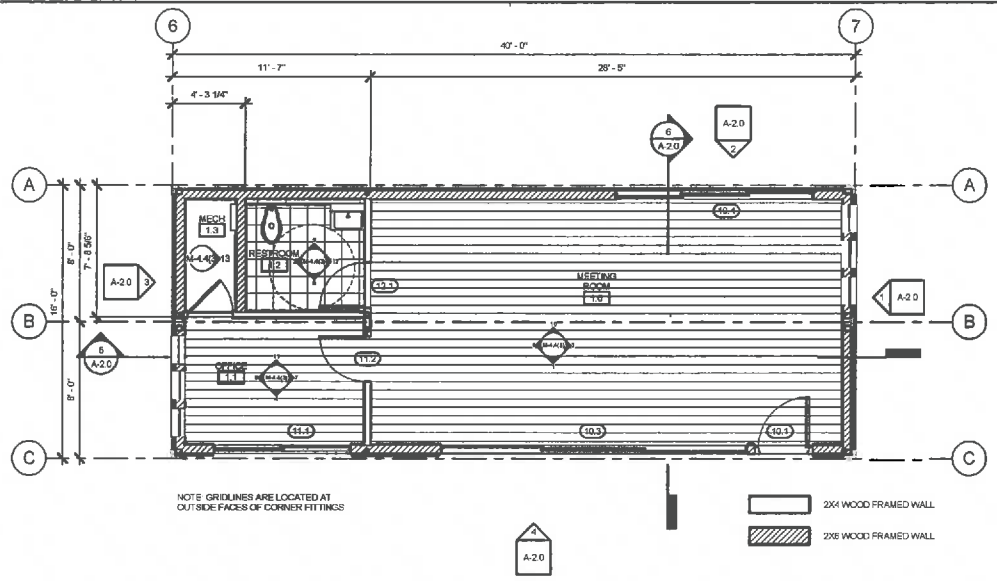
BID DOCUMENTS

OCTOBER 19, 2015

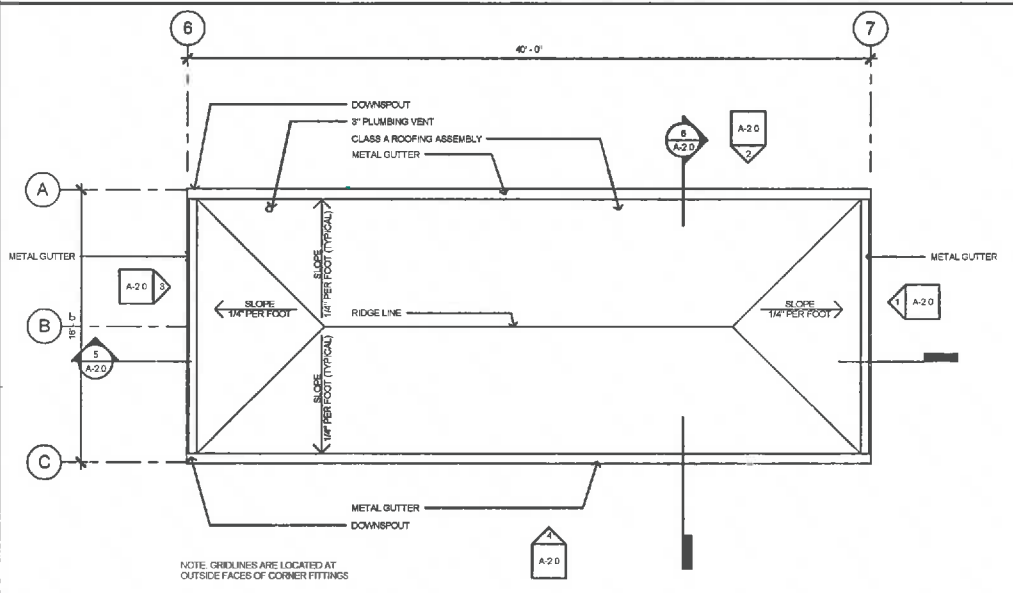
A1.02

ENLARGED DECK PLANS
+ DETAILS

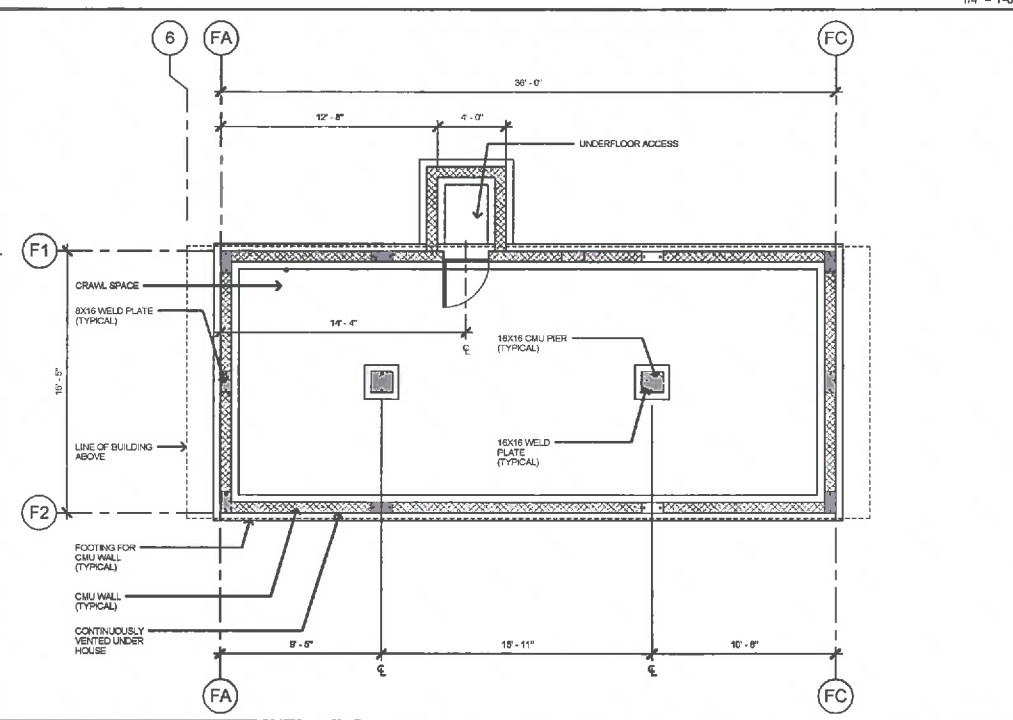
Not Used. See elevations on sheet
"Proposed Elevations" of 8/17/16



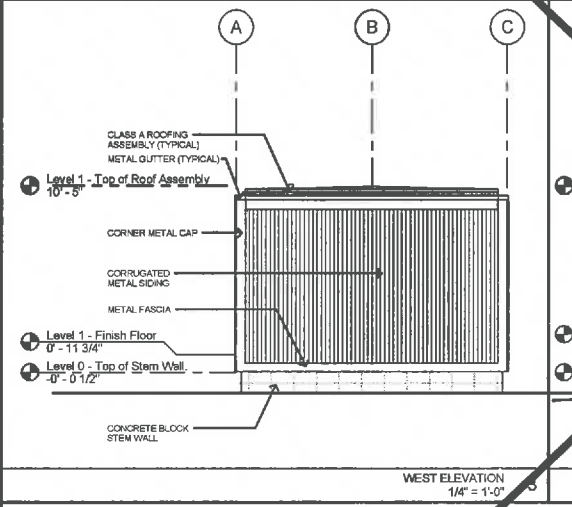
LEVEL 1 - FINISH FLOOR PLAN
1/4" = 1'-0"



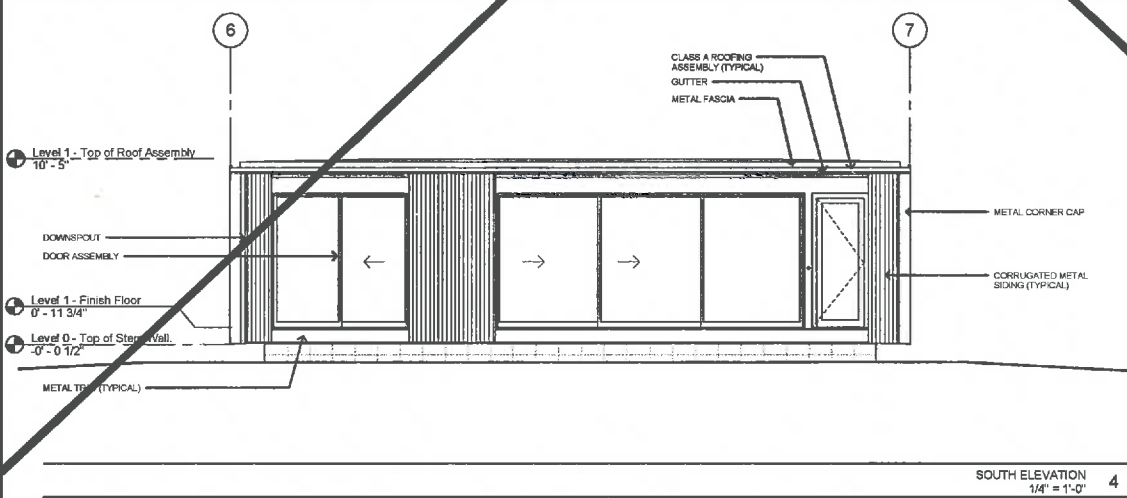
LEVEL 1 - ROOF PLAN
1/4" = 1'-0"



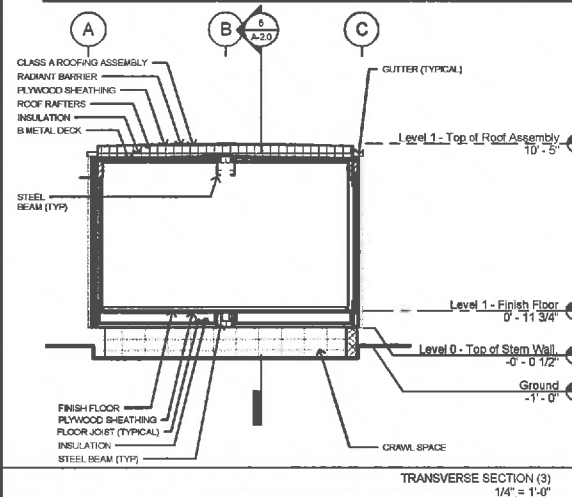
ARCHITECTURAL FOUNDATION PLAN
1/4" = 1'-0"



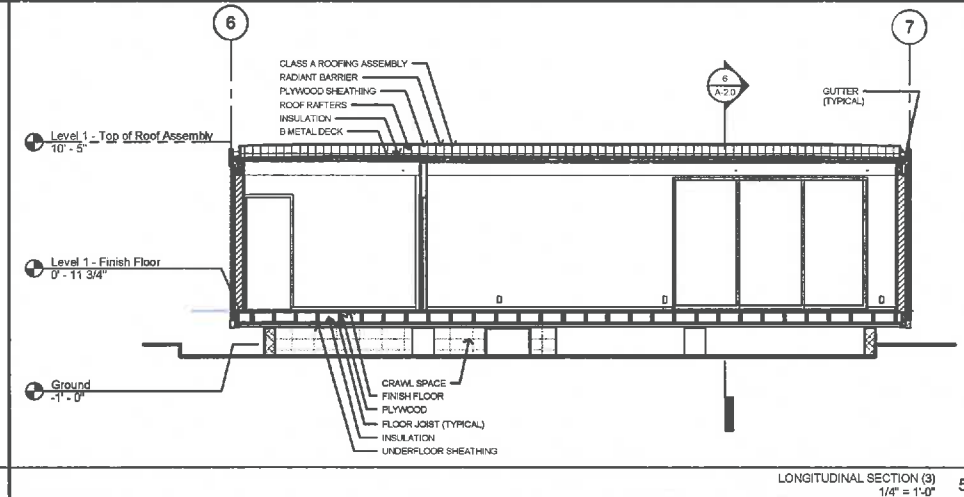
WEST ELEVATION
1/4" = 1'-0"



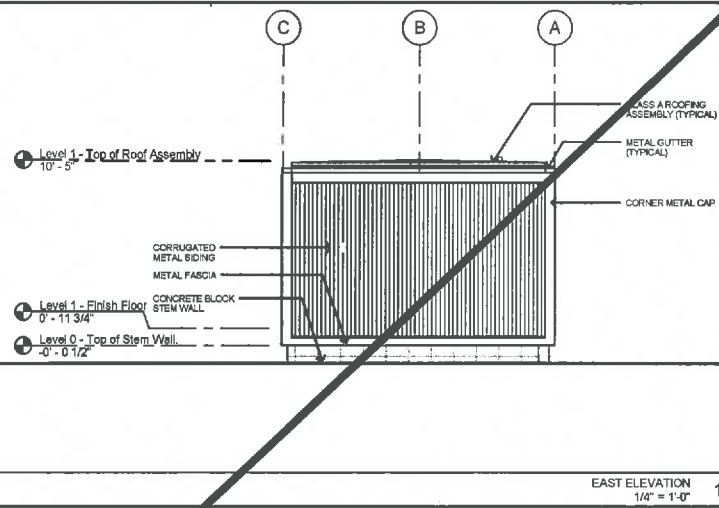
SOUTH ELEVATION
1/4" = 1'-0"



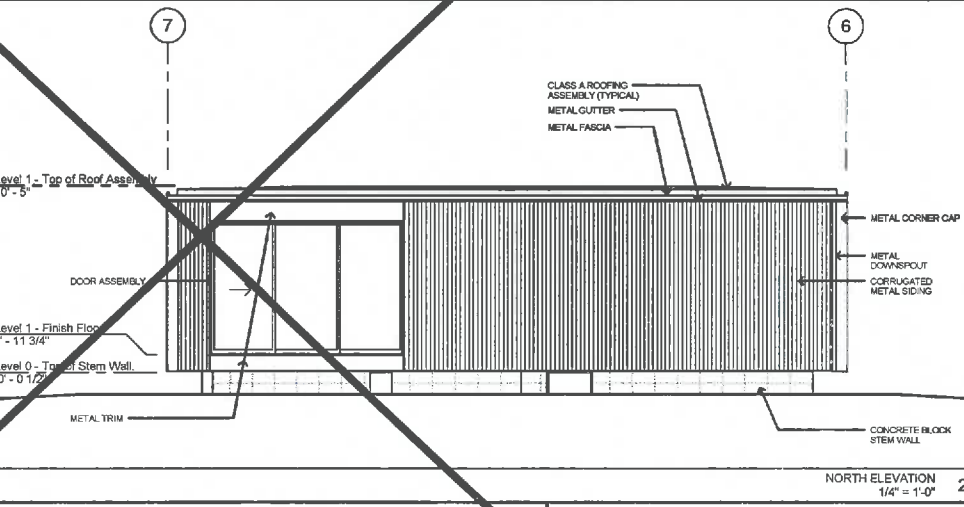
TRANSVERSE SECTION (3)
1/4" = 1'-0"



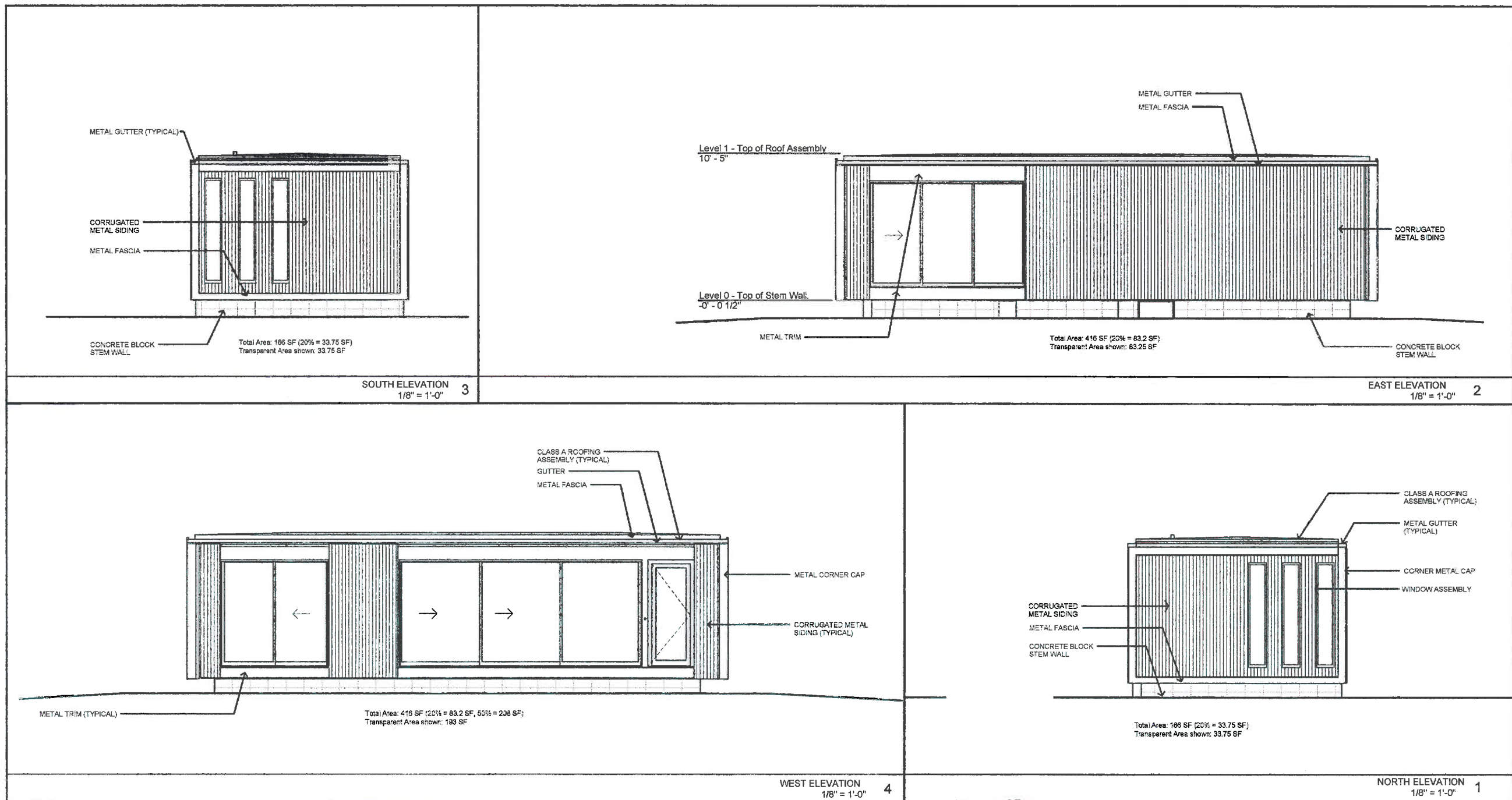
LONGITUDINAL SECTION (3)
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



LOS ANGELES COMMUNITY
GARDEN COUNCIL
EAST HOLLYWOOD GARDEN
ACHIEVEMENT CENTER

PROPOSED ELEVATIONS
AUGUST 17TH, 2016

1175 NORTH MADISON AVENUE
LOS ANGELES, CA 90029

Sign in



EXHIBIT C1

VICINITY MAP
CPC-2016-1812-SP-SPP

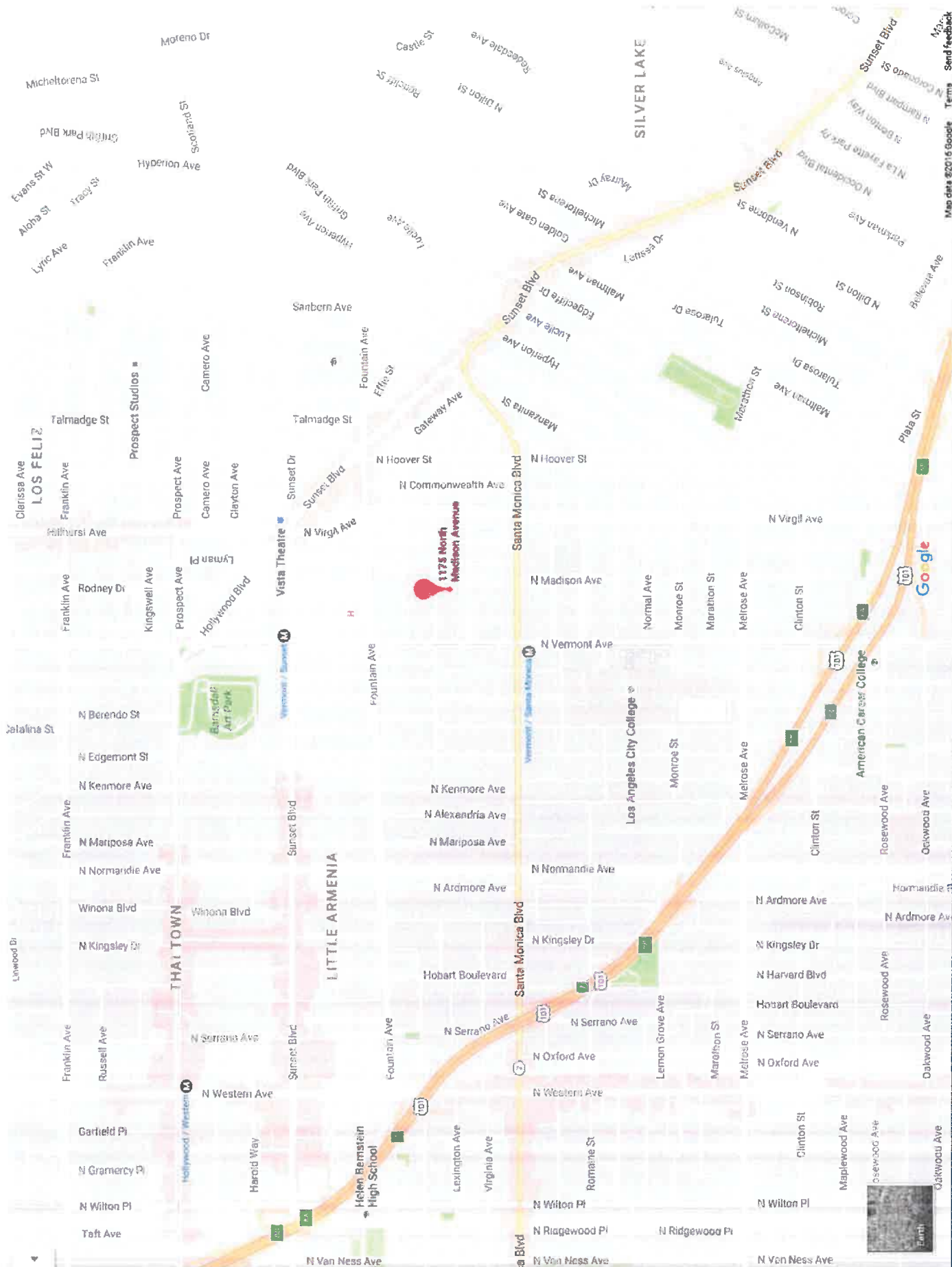
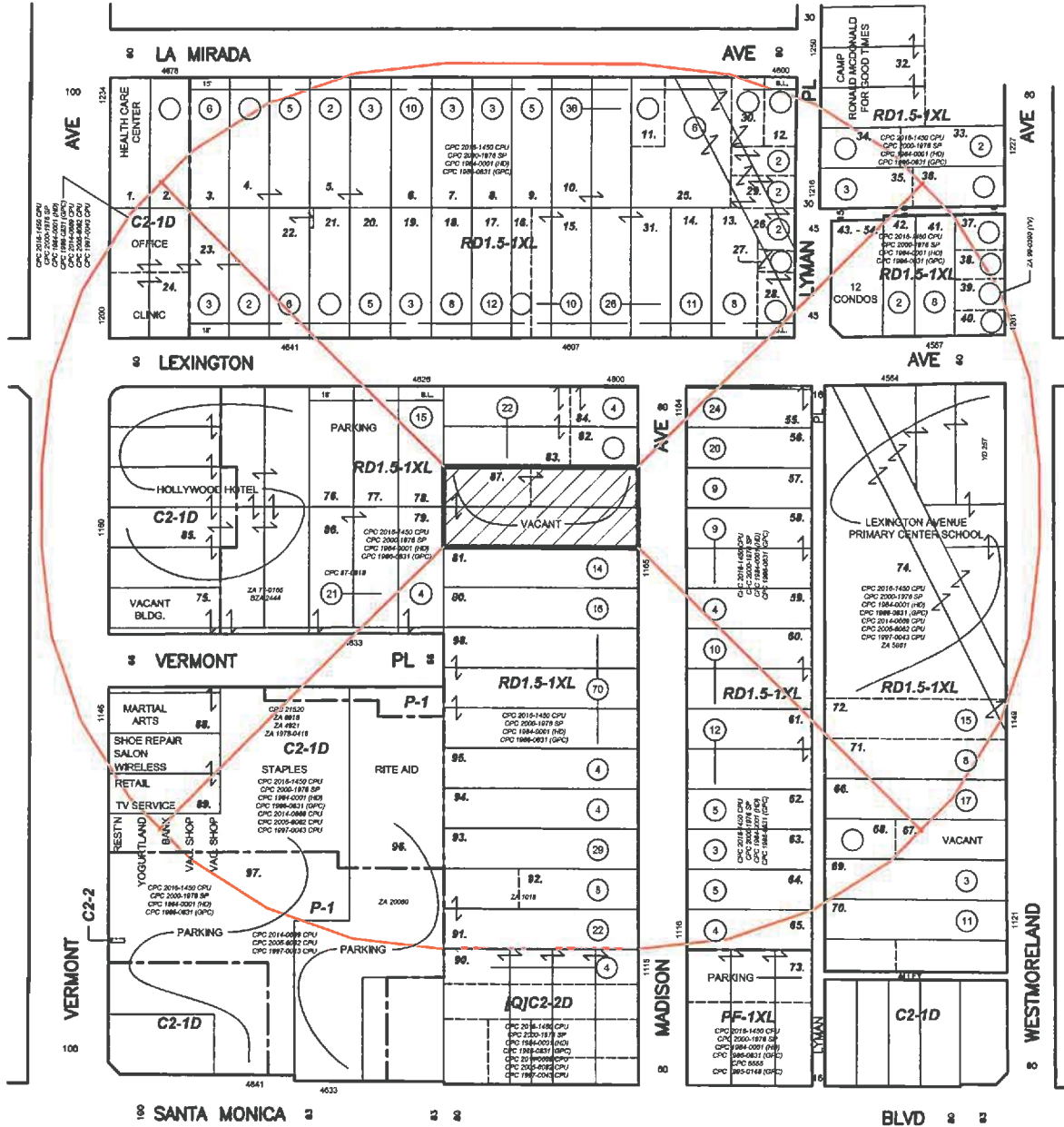


EXHIBIT C2

RADIUS MAP
CPC-2016-1812-SP-SPP



LEGAL: LOT'S 31 & 32, ROSE HILL TRACT (LS 4 - 2)
"SEE APPLICATION"

SPECIFIC PLAN AMENDMENT PROJECT PERMIT COMPLIANCE

C.D. 13
C.T. 1913.01
P.A. HOLLYWOOD

L.A. MAPPING SERVICE
71 DEER CREEK ROAD
POMONA, CA 91766
(909) 595-0903

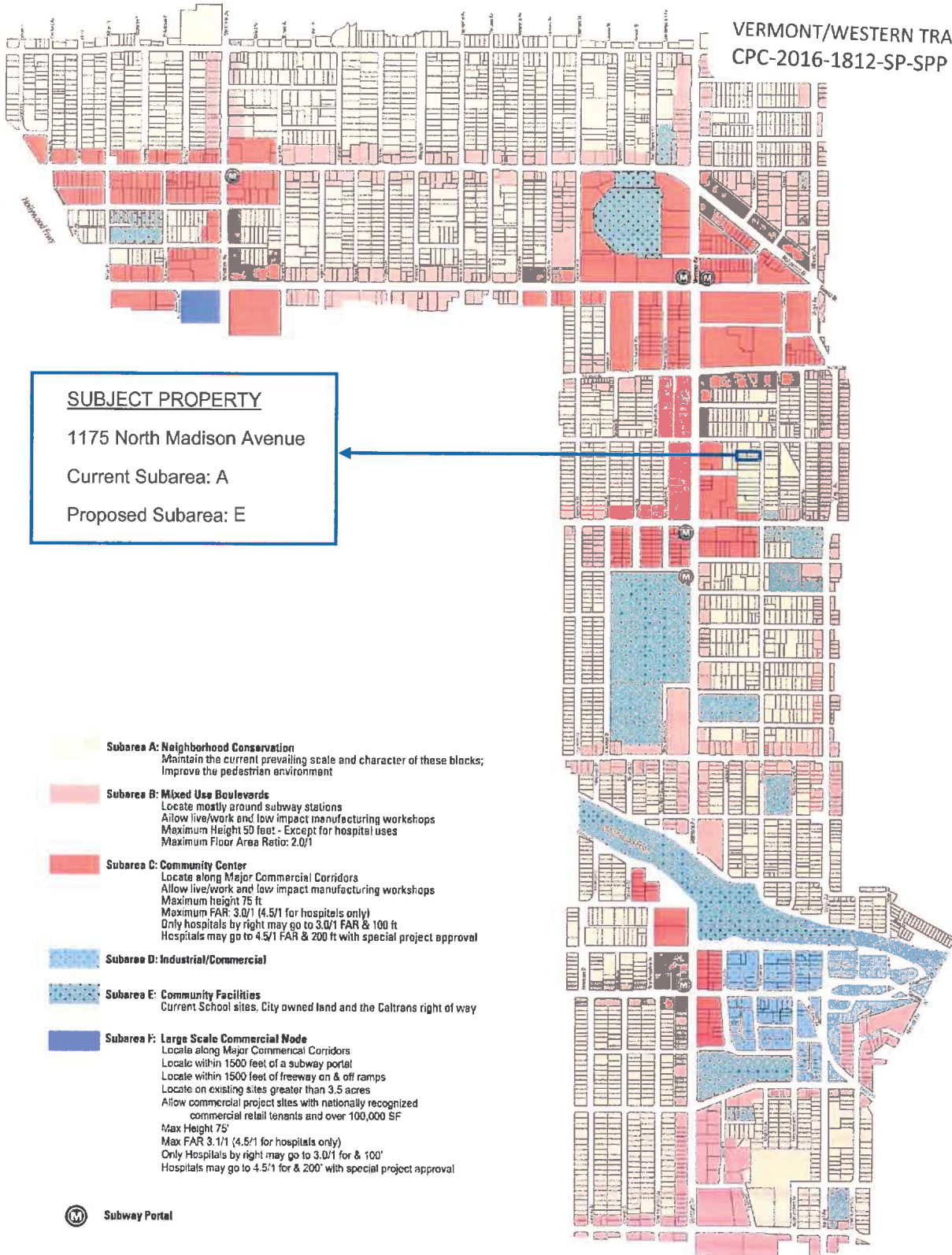
0.56 NET AC.

CASE NO.
DATE: 5 - 12 - 16
SCALE: 1" = 100'
USES FIELD
D.M. 144 B 197

T.B. PAGE: 594 GRID: A-5

EXHIBIT C3

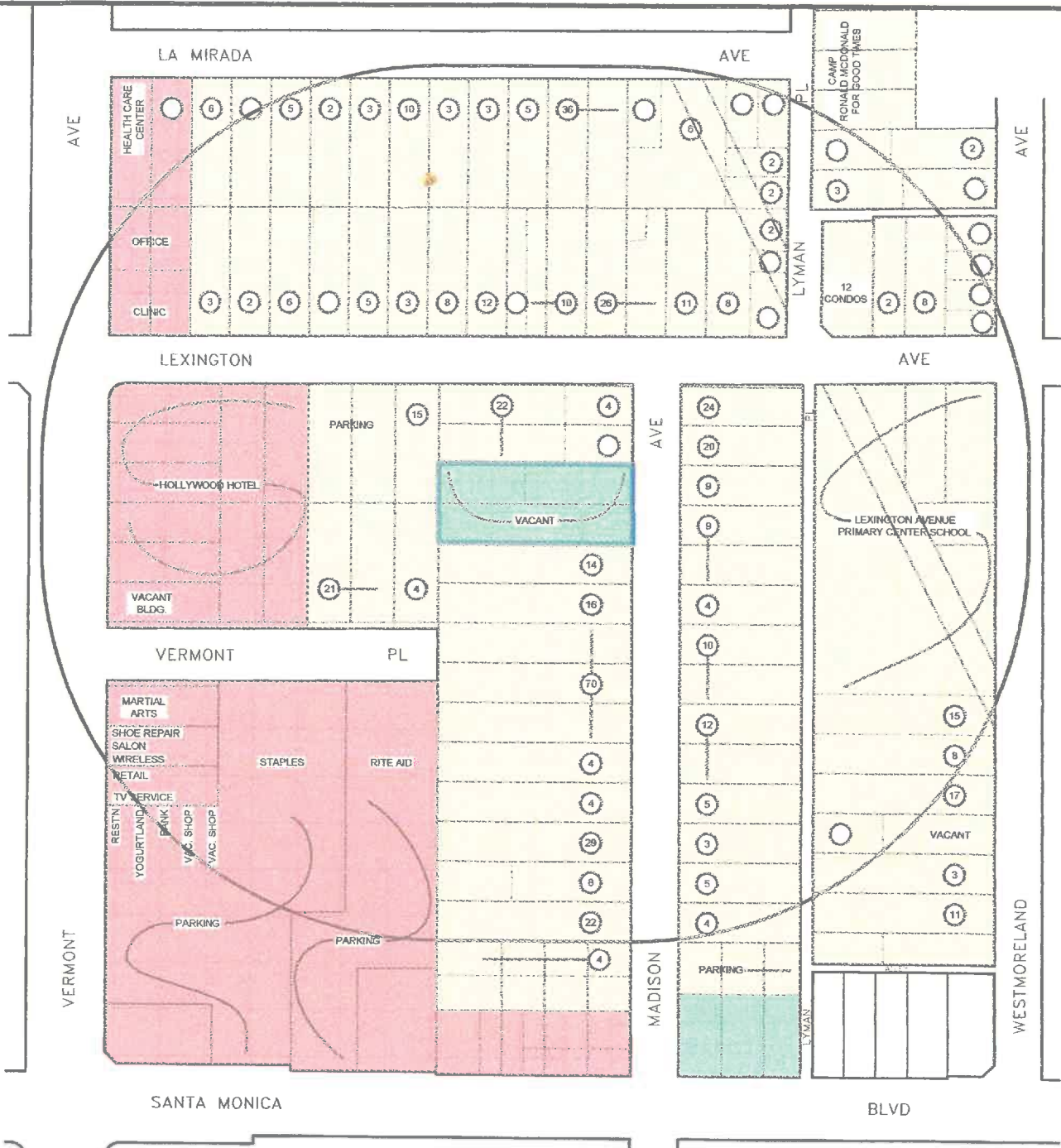
VERMONT/WESTERN TRANSIT / SNAP
CPC-2016-1812-SP-SPP



Map I

Vermont/Western Transit Oriented District Specific Plan (Station Neighborhood Area Plan)





Requested - Vermont/Western Transit Oriented District Specific Plan (Station Neighborhood Area Plan)

- Subarea A: Neighborhood Conservation**
Maintain the current prevailing scale and character of these blocks;
Improve the pedestrian environment
- Subarea C: Community Center**
Locate along Major Commercial Corridors
Allow live/work and low impact manufacturing workshops
Maximum height 75 ft
Maximum FAR: 3.0/1 (4.5/1 for hospitals only)
Only hospitals by right may go to 3.0/1 FAR & 100 ft
Hospitals may go to 4.5/1 FAR & 200 ft with special project approval
- Subarea E: Community Facilities**
Current school sites, City owned land and the Caltrans right of way

CASE NO.

DATE: 5 - 12 - 16

SCALE: 1" = 200'

L.A. MAPPING SERVICE

71 DEER CREEK ROAD
POMONA, CA 91766
(909) 595-0903

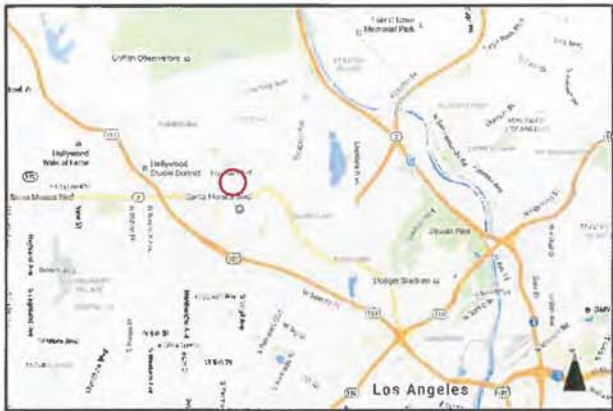
CPC 2016-1812

EXHIBIT D

SITE PHOTOS
CPC-2016-1812-SP-SPP

PHOTO EXHIBIT

1175 N. Madison Avenue, Los Angeles, CA 90029



○ Project Site Area



"Birdseye" View of Subject Property



Aerial view of Subject Property and surrounding area

PHOTO EXHIBIT

1175 N. Madison Avenue, Los Angeles, CA 90029



Key Map



1 View of Subject Property, facing southwest



2 View of Subject Property, facing northwest



3 View of neighboring properties, facing northeast



4 View of neighboring properties, facing southeast



EXHIBIT E

CORRESPONDENCE
CPC-2016-1812-SP-SPP

Support for community garden

Jamie Hanson <jamieh1116@gmail.com>
To: nuri.cho@lacity.org

Thu, Jul 14, 2016 at 6:51 PM

Hi,

I won't be able to make it to the hearing about the community garden on Madison Ave so I wanted to write to you to let you know I fully support it. I'm on Lexington right near Madison and though I do worry about street parking getting full because of the garden I still think it's a great idea and something this community could really benefit from. I'm planning on volunteering at their next event this month.

Jamie Hanson
4559 1/4 Lexington Ave
Los Angeles CA 90029