



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: August 24, 2017
Time: After 8:30 A.M.*
Place: Van Nuys City Hall
Council Chambers, 2nd Floor
14410 Sylvan Street
Van Nuys, CA 91401

Public Hearing: July 19, 2017
Appeal Status: Density Bonus on-menu incentive is appealable to City Council by abutting owners. Density Bonus off-menu incentive (waiver) is not further appealable.
Expiration Date: August 25, 2017
Multiple Approval: No

Case No.: CPC-2017-699-DB
CEQA No.: ENV-2016-700-CE
Incidental Cases: N/A
Related Cases: N/A
Council No.: 5 - Koretz
Plan Area: West Los Angeles
Specific Plan: West Los Angeles Transportation Improvement and Mitigation
Certified NC: Westside
Existing Zone: C2-1VL-O
Applicant: Mahyar Barin, MFB Engineering
Representative: Matthew Hayden, Hayden Planning

PROJECT

LOCATION: 10604-10612 West Santa Monica Boulevard

PROPOSED PROJECT:

The demolition of existing structures and the construction, use, and maintenance of a new five-story, 54-foot high mixed-use building consisting of 24 residential dwelling units and 625 square feet of ground floor commercial space. Three of the dwelling units (11 percent of the base density) will be set aside for Very-Low Income Households. The project proposes to provide 44 automobile parking spaces and 44 bicycle parking spaces on the ground floor and one level of subterranean level of parking.

REQUESTED ACTION:

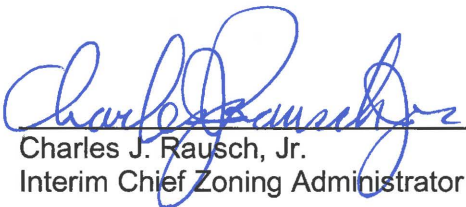
- 1) Pursuant to CEQA Guidelines Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies;
- 2) Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22-A,25, a set aside of 11 percent (three units) reserved for Very-Low Income Households, to permit the construction of a maximum of 24 residential dwelling units and requesting one On-Menu Incentive and three Off-Menu Incentives (Waiver):
 - a. pursuant to LAMC Section 12.22-A,25(f)(5), an On-Menu Incentive for a maximum height of 54 feet in lieu of the permitted 45 feet;
 - b. pursuant to LAMC Section 12.22-A,25(g)(3), an Off-Menu Incentive (Waiver) to permit a maximum of five stories in lieu of the permitted three stories;
 - c. pursuant to LAMC Section 12.22-A,25(g)(3), an Off-Menu Incentive (Waiver) to permit a maximum Floor Area Ratio (FAR) of 3:1 in lieu of the permitted 1.5:1 FAR; and

- d. pursuant to LAMC Section 12.22-A,25(g)(3), an Off-Menu Incentive (Waiver) to permit five-foot north and south side yard setbacks in lieu of the required eight-foot side yard setbacks.

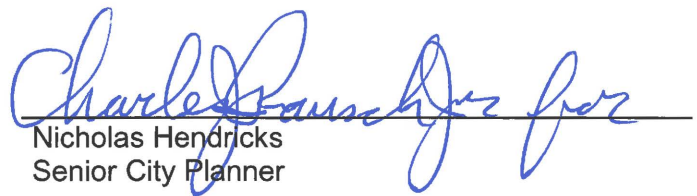
RECOMMENDED ACTIONS:

- 1) **Determine**, that based on the whole of the administrative record, the Project is exempt pursuant to CEQA Guidelines Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies;
- 2) **Approve** one (1) On-Menu Incentive and three (3) Waiver of Development Standards in conjunction with a set aside of 11 percent of the base density for Very-Low Income Households:
 - a. pursuant to LAMC Section 12.22-A,25(f)(5), an On-Menu Incentive for a maximum height of 54 feet in lieu of the permitted 45 feet;
 - b. pursuant to LAMC Section 12.22-A,25(g)(3), a Waiver of Development Standard to permit a maximum of five stories in lieu of the permitted three stories;
 - c. pursuant to LAMC Section 12.22-A,25(g)(3), a Waiver of Development Standard to permit a maximum Floor Area Ratio of 3:1 in lieu of the permitted 1.5:1 FAR; and
 - d. pursuant to LAMC Section 12.22-A,25(g)(3), a Waiver of Development Standard to permit five-foot north and south side yard setbacks in lieu of the required eight-foot side yard setbacks.
- 3) **Adopt** the attached Conditions of Approval; and
- 4) **Adopt** the attached Findings.

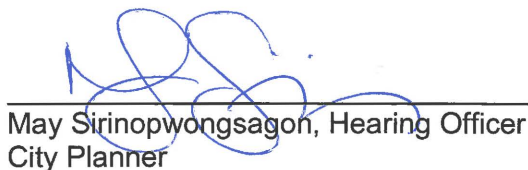
VINCENT P. BERTONI, AICP
Director of Planning



Charles J. Rausch, Jr.
Interim Chief Zoning Administrator



Nicholas Hendricks
Senior City Planner



May Sirinopwongsagon, Hearing Officer
City Planner

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 532, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1295.

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PROJECT ANALYSIS

Project Summary

The project site is developed with a 14-room motel which would be removed for the construction of a new five-story mixed-use building, with parking located on the ground floor and within one subterranean level. The project would consist of a maximum of 24 residential dwelling units, with three units proposed to be set aside for Very-Low Income households. The project proposes to provide 16 two-bedroom and 8 three-bedroom units, and 625 square feet of ground floor commercial space.

The project proposes to provide 3,400 square feet of open space. Common open space will be provided on the rooftop, while balconies will provide private open space for 20 of the units. Additional landscaping will be provided along the side and rear of the project site on the second level walkway.

Background

Subject Property

The project site is comprised of two parcels, with approximately 9,350 square feet of lot area and is located on the eastern side of Santa Monica Boulevard in the West Los Angeles Community Plan area. The Community Plan designates the project site with a land use designation of General Commercial, which lists the following corresponding zones: C1.5, C2, CR, C4, RAS3, RAS4, and P. The site is zoned C2-1VL-O, which is consistent with the land use designation, which would permit a maximum of 24 dwelling units. The site is located within the West Los Angeles Transportation Improvement and Mitigation Specific Plan. The project was reviewed by the Department of Transportation, which stated in a revised referral form dated August 14, 2017 that the project would have a net increase of 60 daily trips, with 4 a.m. and 7 p.m. peak hour trips and that impacts would be less than significant. The project site is developed with an existing 14-room motel which was constructed in 1946. The building has not been identified by the SurveyLA as having potential historic significance and is not located within an existing or potential historic district.

The site has approximately 85 feet of frontage along the eastern side of Santa Monica Boulevard, a designated Boulevard II. Santa Monica Boulevard is improved with a varying roadway width of 155 to 165 feet, including a center median dividing the main roadway and service roads on both sides of street. The rear of the site is bounded by an improved, 20-foot wide alley that is accessible from Prosser Avenue to the north and Parnell Avenue to the south. The project was revised to provide vehicular access from the alley instead of from Santa Monica Boulevard and the alley.

The C2-1VL-O Zone would permit a maximum of 14,025 square feet of floor area. The requested incentive to permit a maximum FAR of 3:1 would permit a maximum of 28,050 square feet of floor area. The proposed building will have a maximum floor area of 27,997 square feet. Height District 1-VL would permit a maximum height of 45 feet and three stories. As proposed the building would have a height of 54 feet and five stories. While the proposed building would observe the required front and rear yard setbacks, the side yards are proposed at five feet in lieu of the required eight feet.

Sustainability

The project proposes to provide 15 percent of the roof area for the installation of solar panels. The areas in which the solar panels are proposed to be installed is proposed in three locations for a total area of 1,125 square feet. Additionally, the project proposes to provide 20 percent of

the parking as wired for future installation of EV Chargers, with five percent installed with EV Chargers.

Surrounding Properties

Properties to the north and south are zoned C2-1VL-O and are developed with various commercial uses. The adjacent property to the north is developed with a two-story office building and the adjacent property to the south is developed with a telecommunications building. The properties to the west, across Santa Monica Boulevard, are zoned [Q]C2-1VL-O. The site is developed with a three story commercial office building with subterranean parking. Properties to the east, across the alley, are zoned R3-1-O and are developed with multi-family residential buildings.

Streets and Circulation

Santa Monica Boulevard is a designated Boulevard II, dedicated to a width of 83 feet and 50 feet at the project's street frontage and is improved with curb, gutter, sidewalk, and street trees.

An alley dedicated and improved to a width of 20 feet.

Relevant Cases

Subject Property:

Case No. APCW-2016-107-ZC: A previous application requesting for a Zone Change to permit the construction of a mixed-use building with 20 residential dwelling units and one commercial condominium. The application was withdrawn on April 18, 2016.

Surrounding Properties:

Case No. CPC-2013-2467-DB: A pending application requesting on- and off-menu incentives for a 28-unit residential building located generally at 10638-10644 W. Santa Monica Blvd.

Case No. TT-70083-CN-DB: On October 9, 2008, the Advisory Agency approved Tentative Tract Map No. 70083 for a maximum 22-unit residential condominium building with two units set aside for Very-Low Income households located at 1813-1819 S. Prosser Ave.

Public Hearing

A public hearing on this matter with the Hearing Officer was held at City Hall on Wednesday, July 19, 2017. The hearing was attended by the applicant, Mr. Barin, and the applicant's representative, Mr. Hayden.

The Hearing Officer discussed the comments received from the Professional Volunteer's Program (PVP) regarding the overall layout and design of the building. Mr. Barin and Mr. Hayden indicated that the architect was working on changes to the building pursuant to the comments received from Planning Staff and from PVP. The proposed changes are discussed further below under Issues.

Public Comment

A letter of support was received from Westside Neighborhood Council and the Office of Councilmember Koretz.

Issues

Density

The project site has 9,350 square feet of lot area and is zoned C2-1VL-O. The C2 Zone would permit a maximum density of 24 residential dwelling units. The applicant has proposed to set aside 11 percent of the base density, pursuant to LAMC Section 12.22-A,25, for Very-Low Income Households; however, the applicant has not requested an increase in the maximum permitted density.

In conjunction with the proposed 24 dwelling units with three units (11 percent) set aside for Very-Low Income Households, the applicant has requested one on-menu incentive and three off-menu incentives (waivers). The on-menu incentive is for an increase in height, from 45 feet to 54 feet. The three off-menu incentives (waivers) are to permit an increase from three stories to five stories, an increase in Floor Area Ratio (FAR) from 1.5:1 to 3:1, and a reduction of side yards from eight feet to five feet.

Vehicular Access

The project site is located along the eastern side of Santa Monica Boulevard, fronting along an improved 30-foot wide service road. The rear of the site is bounded by an improved 20-foot alley. Presently, the project site is improved with a 14-unit motel which has a driveway along Santa Monica Boulevard and parking which is accessible from the alley.

The project was originally proposed with two driveways. One driveway would have been accessible from the service road, providing access to the ground floor parking. The second driveway was accessible from the alley, providing access to the subterranean level of parking. In reviewing the project, Planning Staff requested that the applicant consider revising the parking layout by consolidating the location of the driveways to the rear of the site, accessible from the alley. The applicant indicated that the location of the driveways was designed with consideration of comments from the community regarding traffic on the residential streets.

The project was reviewed by the Professional Volunteer's Program (PVP) which also suggested the relocation of the driveway to the alley to potentially improve circulation. Planning Staff also suggested that the removal of the driveway along Santa Monica Boulevard would enhance the pedestrian experience. At the public hearing, the applicant indicated that the architect was working on a revision to the site plan to have the driveway access from the alley. Planning Staff suggested revising the layout of the residential lobby in order to better utilize the ground floor space and improve the overall pedestrian and vehicular circulation inside and outside of the building.

Design and Professional Volunteer's Program (PVP)

The proposed project was reviewed by the Urban Design Studio's Professional Volunteer's Program (PVP) on July 18, 2017. Comments from PVP included the following:

- 1) Circulation – Pedestrian and Vehicular
 - a. Safety concerns regarding the narrow drive aisle and proposed location of pedestrian uses, such as bicycle parking and the trash and recycling uses.
 - b. Access should be from the alley, unless there are site constraints, narrowness of driveways creates visibility concerns
- 2) Architecture

- a. The design of the commercial space would lead to a substandard commercial space. Suggested to create the illusion of a larger space by establishing a strong ground floor base, rather than dividing the area into two spaces.
 - b. Smaller balconies located on the front, has limited impact on the façade.
 - c. Consider the hierarchy of the building levels to the street.
- 3) Open Space
- a. Centralized open space on the rooftop, limits the ability for meaningful use.
 - b. Move the planters outward to create a more inviting space.

As previously discussed under Vehicular Access, the applicant indicated that the ground floor would be revised to relocate the driveways to the rear of the site. The removal of the driveway on Santa Monica Boulevard allowed the residential lobby to be reoriented to create an improved street presence. This also changed the overall layout of the parking plan as reviewed by PVP and addressed the circulation concerns that were raised.

At the public hearing, the applicant indicated that the architect was making revisions to the façade treatment to enhance the ground floor and to provide for greater articulation. Revisions included creating a uniform treatment of the ground floor to establish a “base” to the building and the use of “wood tile” for balcony railings to visually extend the height of the ground floor space. Additional changes include the use of architectural “eyebrows” over the windows and balconies. The applicant indicated that the required rear yard setback and allowable projections into yards and public right-of-way limited the ability to increase the size of the balconies in the front of the building. In regards to the open space, the applicant indicated that the planters would be moved to the perimeter of the building to the greatest extent possible to accommodate a more useable common open area.

Conclusion

Based on the public hearing, information submitted to the record, and the surrounding uses and zones, staff recommends that the City Planning Commission approve the requested On-Menu Incentive and Off-Menu Incentives (Waivers) for the proposed mixed-use building with 24 residential units and 625 square feet of commercial space. Additionally, staff recommends that the City Planning Commission find, based on its independent judgement, after consideration of the entire administrative record, that the project is categorically exempt from CEQA, Case No. ENV-2017-700-CE.

CONDITIONS OF APPROVAL

Pursuant to Section 12.22-A.25 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

A. Development Conditions:

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the architectural plans, renderings, and materials submitted by the Applicant, stamped "Exhibit A," dated August 9, 2017 and attached to the subject case file.
2. **Residential Density.** The project shall be limited to a maximum density of 24 dwelling units, consisting of three (3) dwelling units set aside for Very-Low Income Households.
3. **Affordable Units.**
 - a. A minimum of three (3) dwelling units, that is 11 percent of the base dwelling units permitted in the C2-1VL-O Zone, shall be reserved as Very-Low Income units, as defined by the State Density Bonus Law 65915 (C)(2).
 - b. Changes in Restricted Units. Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A,25.

Housing Requirements. Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make three (3) units available to Very-Low Income Households, for sale or rental as determined to be affordable to such households by HCIDLA for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA.

4. **Incentives and Waivers.**
 - a. **Floor Area Ratio (FAR).** A maximum Floor Area Ratio (FAR) of 3:1 may be permitted in lieu of the maximum permitted 1.5:1 FAR.
 - b. **Height and Stories.** The project may have a maximum of five stories and height of 54 feet in lieu of the maximum permitted three stories and height of 45 feet.
 - c. **Side Yards.** The project may observe a minimum side yard setback of five feet along the north and south property lines in lieu of the required eight feet.
5. **Open Space.**
 - a. The project shall provide open space in accordance with LAMC Section 12.21-G. Planting of required trees within the public right-of-way shall obtain approval from the Urban Forestry Division prior to obtaining approval from the Department of City Planning.

- b. Any trees that are required pursuant to LAMC Section 12.21-G and are planted above the grade level shall be planted in a minimum three (3) foot planter.

6. Sustainability.

- a. The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
- b. Prior to the issuance of the Certificate of Occupancy, the applicant shall install 1,125 square feet of solar panels. The solar panels may be installed within three designated areas, as indicated on the roof plan stamped Exhibit A. The designated areas may be revised; however, the total area shall not be less than 1,125 square feet.

7. Parking.

- a. Automobile parking may be provided consistent with AB 744, which permits a maximum of 0.5 parking spaces per bedroom, provided that 11 percent of the base dwelling units is set aside for Very-Low Income Households; otherwise, parking shall be provided consistent with LAMC Section 12.22-A,25(d).
- b. Reductions in the required automobile parking shall be consistent with the requirements of bicycle replacement pursuant to LAMC Section 12.21-A,4.
- c. The project shall provide unbundled parking leases for residential units. Residential tenants of the market rate residential dwelling units shall have the option to lease parking spaces separately from the residential dwelling units or to opt out of leasing parking spaces. Parking spaces for Restricted Affordable Units shall be sold or rented consistent with LAMC Section 12.22-A,25(d).
- d. Adjustment of Parking. In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e. the number of bedrooms), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth pursuant to LAMC Section 12.22-A,25.
- e. **Electric Vehicle Parking.** The project shall include at least twenty percent (20%) of the total Code-required parking spaces provided for all types of parking facilities, but in no case less than one location, shall be capable of supporting future electric vehicle supply equipment (EVSE). Plans shall indicate the proposed type and location(s) of EVSE and also include raceway method(s), wiring schematics and electrical calculations to verify that the electrical system has sufficient capacity to simultaneously charge all electric vehicles at all designated EV charging locations at their full rated amperage. Plan design shall be based upon Level 2 or greater EVSE at its maximum operating capacity. Of the 20% EV Ready, five (5) percent of the total Code-required parking spaces shall be further provided with EV chargers to immediately accommodate electric vehicles within the parking areas. When the application of either the 20% or 5% results in a fractional space, round up to the next whole number. A label stating "EVCAPABLE" shall be posted in a conspicuous place at the service panel or subpanel and next to the raceway termination point.
- f. Bicycle Parking. Residential and commercial bicycle parking shall be provided consistent with LAMC 12.21-A,16.

- g. Prior to the issuance of a building permit, the driveway and parking plan shall be submitted for review and approval to the Department of Transportation.
8. **Construction.** The project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices. On-site power generators shall either be plug-in electric or solar powered.
9. **Noise.** All exterior windows having a line of sight of Santa Monica Boulevard (a Boulevard /Major or Secondary Highway) shall be constructed with double-pane glass and use exterior wall construction which provides a Sound Transmission Coefficient (STC) value of 50, as determined in accordance with ASTM E90 and ASTM E413, or any amendment thereto. Or, the applicant, as an alternative, may retain an acoustical engineer to submit evidence, along with the application for a building permit, any alternative means of sound insulation sufficient to mitigate interior noise levels below a CNEL of 45 dBA in any habitable room.
10. **Aesthetics (Light).** Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties, the public right-of-way, nor from above.
11. **Aesthetics (Glare).** The exterior of the proposed structure shall be constructed of materials such as, but not limited to, high- performance and/or non-reflective tinted glass (no mirror-like tints or films) and pre-cast concrete or fabricated wall surfaces to minimize glare and reflected heat.

B. Administrative Conditions

12. **Approvals, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, reviews or approval, plans, etc, as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file.
13. **Code Compliance.** All area, height and use regulations of the zone classification of the subject property shall be complied with, except wherein these conditions explicitly allow otherwise.
14. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.
15. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public offices, legislation or their successors, designees or amendment to any legislation.
16. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.

17. **Building Plans.** A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Development Services Center and the Department of Building and Safety for purposes of having a building permit issued.
18. **Corrective Conditions.** The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the City Planning Commission, or the Director pursuant to Section 12.27.1 of the Municipal Code, to impose additional corrective conditions, if, in the Commission's or Director's opinion, such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
19. **Expedited Processing Section.** Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.

20. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of

any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions include actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

1. Density Bonus/Affordable Housing Incentives Compliance Findings.

a. Pursuant to LAMC Section 12.22 A.25 (e)(2), in order to be eligible for any on-menu incentives, a Housing Development Project (other than an Adaptive Reuse Project) shall comply with the following criteria, which it does:

i. The façade of any portion of a building that abuts a street shall be articulated with a change of material or a break in plane, so that the façade is not a flat surface.

The project site has approximately 84 feet of frontage along the service road of Santa Monica Boulevard. Additionally, the rear of the project site is bounded by an alley. The project proposes to utilize a variety of material types such as wood tile, brick veneer, and stucco for the façade of the building. Balcony railings will vary between glass and metal guardrails. The west elevation, facing Santa Monica Boulevard, and the east elevation, facing the alley, feature varying types of balconies which further articulate the façade with breaks in the plane.

ii. All buildings must be oriented to the street by providing entrances, windows architectural features and/or balconies on the front and along any street facing elevation.

As previously described in Finding i above, the project site fronts along the eastern side of Santa Monica and an alley. The ground floor facing Santa Monica Boulevard has been redesigned to utilize the space for a 625 square-foot commercial tenant space and the residential lobby. As shown on Pages A6 – A7 of the stamped Exhibit A, the project provides windows, balconies, and other architectural features along all of the street facing elevation, as well as the alley.

iii. The Housing Development Project shall not involve a contributing structure in a designated Historic Preservation Overlay Zone (HPOZ) and shall not involve a structure that is a City of Los Angeles designated Historic-Cultural Monument (HCM).

The proposed project is not located within a designated Historic Preservation Overlay Zone, nor does it involve a property that is designated as a City Historic-Cultural Monument.

iv. The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.25.01 of the LAMC.

The project site is a 9,350 square-foot site that is bounded by Santa Monica Boulevard to the west and an alley to the east. Santa Monica Boulevard is a designated Boulevard II and is dedicated to a combined varying width of 155 to 165 feet at the project's street frontage. The alley is improved to a width of 20 feet. The site is not located on a substandard street in a Hillside area or in a Very High Fire Hazard Severity Zone as established in Section 57.25.01 of the LAMC.

b. Pursuant to Section 12.22 A.25(g) of the LAMC and Government Code 65915(d), the Commission shall approve a density bonus and requested incentive(s) unless the Commission finds that:

- i. **The incentives does not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Commission to make a finding that the requested incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in 12.22-A.25 were pre-evaluated at the time the Density Bonus Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Commission will always arrive at the conclusion that the density bonus on-menu incentives and do result in identifiable and actual cost reductions, and are required to provide for, affordable housing costs because the incentives by their nature increase the scale of the project.

The requested waiver of development standards, which are requests for an increase in the number of stories, FAR, and reduction of the side yards are not expressed in the Menu of Incentives Per LAMC Section 12.22-A,25(f) and, as such, are subject to LAMC Section 12.22-A,25(g)(3).

The requested incentives and waivers, an increase in height from 45 to 54 feet, an increase in number of stories from three to five, an increase in FAR from 1.5:1 to 3:1, and a reduction in side yards from eight to five feet, would result in building design or construction efficiencies that provide for affordable housing costs. The requested incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed and the overall space dedicated to residential uses is increased. The incentives and waivers support the applicant's decision to set aside three dwelling units for Very-Low Income households for 55 years.

Requested On-Menu Incentive

Height Limit. Height District 1-VL restricts buildings within the C2 Zone to a maximum height of 45 feet. As proposed, the project will have a maximum height of 54 feet. The project proposes to develop the site with the 24 dwelling units permitted by-right, with three units set aside for Very-Low Income households. The additional nine feet would allow for the fifth story to be constructed to accommodate six dwelling units consisting of two- and three-bedroom units. In conjunction with the requested Off-menu incentive for two additional stories, the additional height would allow for the development of dwelling units which are of a habitable and sufficient size.

Requested Off-Menu Incentive

Based on the set aside of 11 percent of units for Very-Low Income Household units, the applicant is entitled to two incentives under both the Government Code and LAMC. However, pursuant to Government Code Section 65915(e), the Commission is also required to grant a "waiver or reduction of development standards that will have the effect of physically precluding the construction of the density bonus project." Without the below waivers, the existing development standards would preclude development of the proposed density bonus units and project amenities.

Floor Area Ratio Increase. The proposed project requests an increase from the maximum permitted Floor Area Ratio (FAR) of 1.5:1 to 3:1 in the C2-1VL-O Zone. The additional FAR would accommodate the construction of the maximum number of dwelling units permitted by-right in the C2 Zone, while setting aside three units for Very-Low Income Households and providing a neighborhood serving commercial use. Additionally, the FAR would permit the project to provide a mix of two- and three-bedroom units which would provide additional market-rate and affordable housing opportunities for families.

Story Limit: Height District 1-VL restricts mixed-use buildings within the C2 Zone to three stories, where buildings which are 100 percent residential are not limited in the number of stories. The limitation on the number of stories for mixed-use buildings could limit the ability to construct the residential dwelling units permitted by-right and the Restricted Affordable Units which are of a sufficient size. The building, as proposed, would have a maximum height of 54 feet and would have a total of five stories. The two additional stories would allow the project to be developed with units of a sufficient size and providing an opportunity to develop the site with two- and three-bedroom units, as proposed.

Side Yard Reduction. The project proposes to provide five-foot side yards along the northern and southern property lines in lieu of the required eight feet for a five-story building in the C2 Zone. The reduction of three feet would allow the project to provide a mix of two- and three-bedroom dwelling units which are of a habitable size. The dwelling units have been designed to have private balconies which will be inset; as such, access to light and air would not be restricted.

- ii. **The Incentive will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

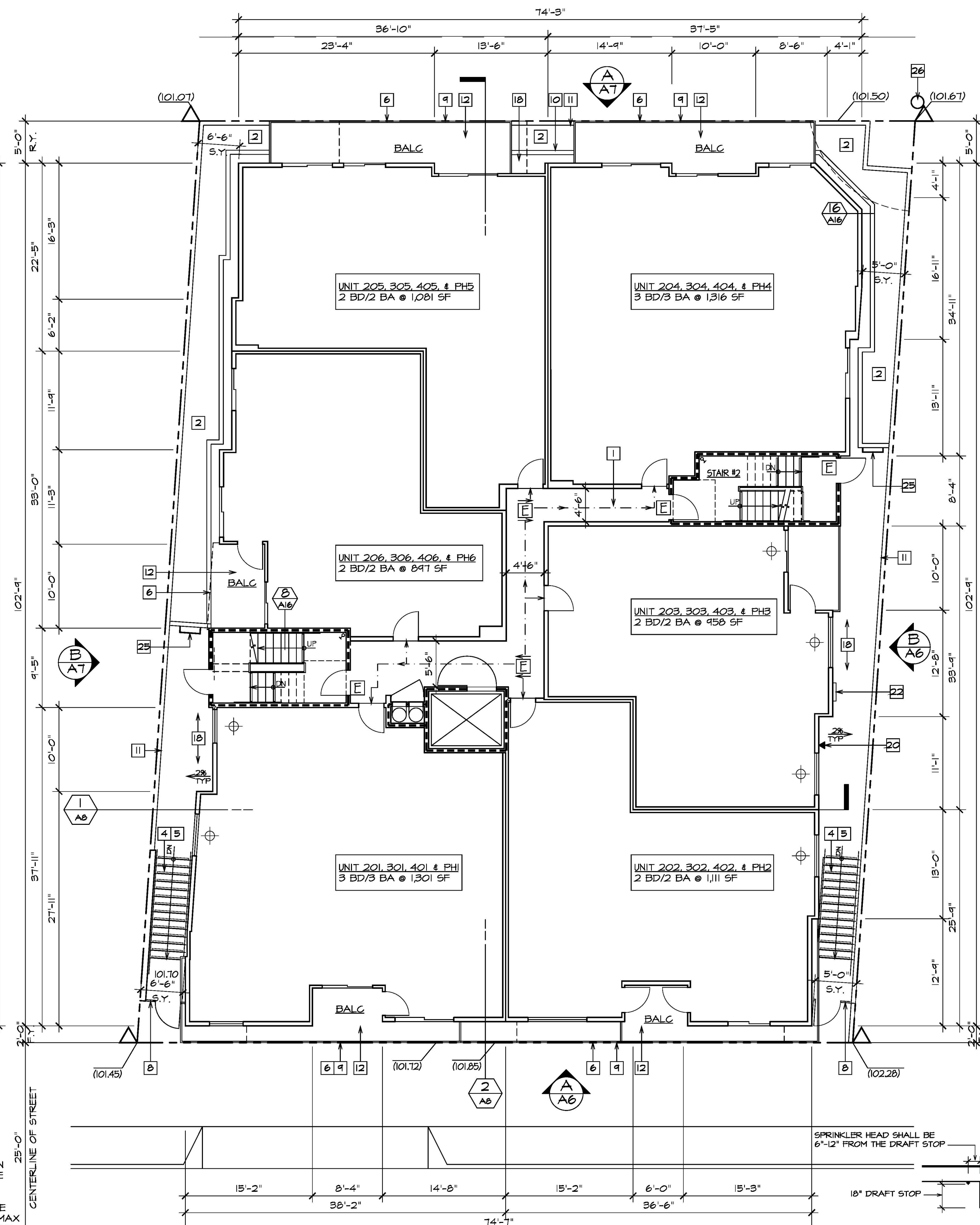
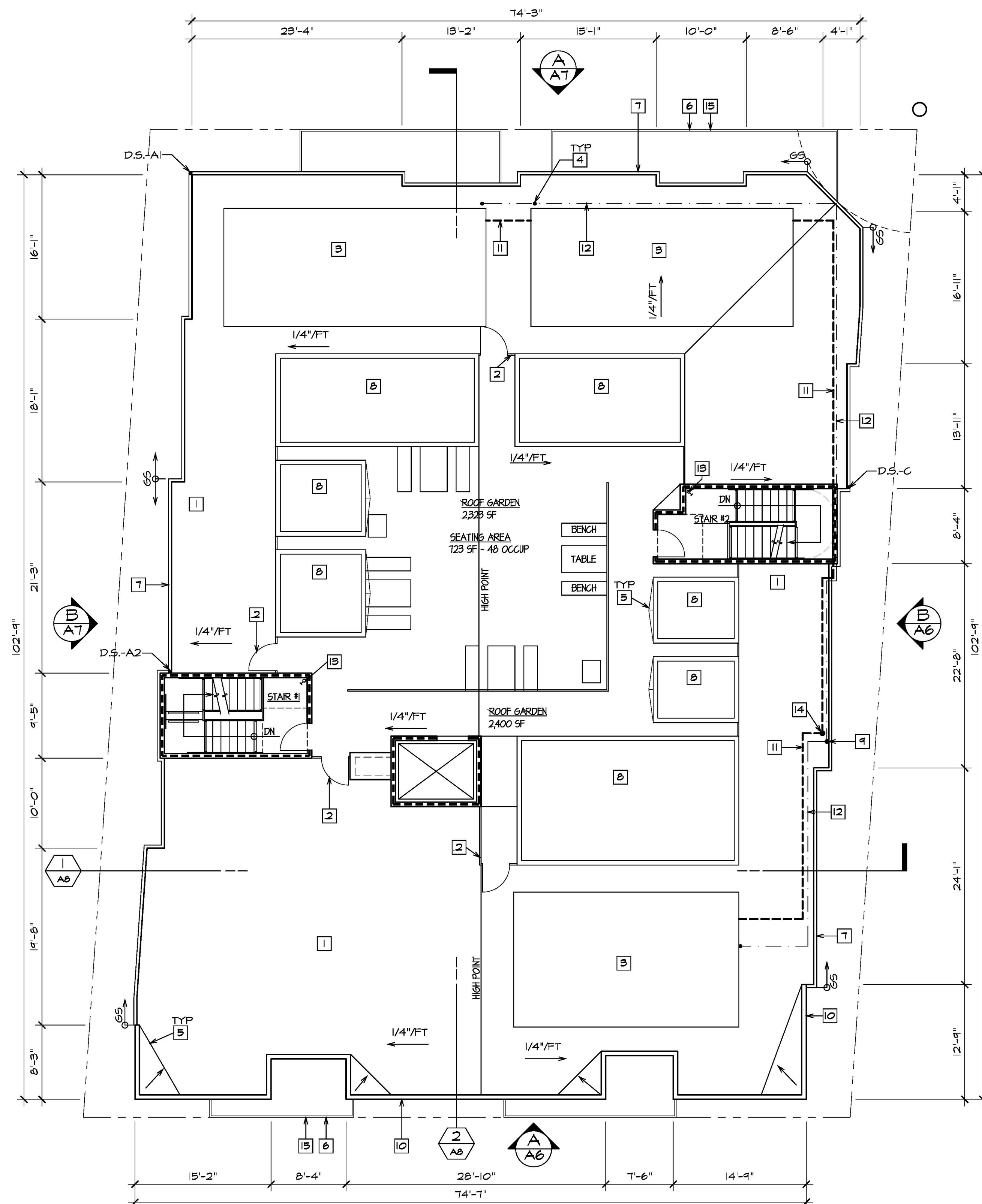
There is no substantial evidence that the proposed incentive will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22-A.25(b)). The finding that there is no evidence in the record that the proposed incentive(s) will have a specific adverse impact is further supported by the recommended CEQA finding. The findings to deny an incentive under Density Bonus Law are not equivalent to the findings for determining the existence of a significant unavoidable impact under CEQA. However, under a number of CEQA impact thresholds, the City is required to analyze whether any environmental changes caused by the project have the possibility to result in health and safety impacts. For example, CEQA Guidelines Section 15065(a)(4), provides that the City is required to find a project will have a significant impact on the environment and require an EIR if the environmental effects of a project will cause a substantial adverse effect on human beings. The proposed project and potential impacts were analyzed in accordance with the City’s Environmental Quality Act (CEQA) Guidelines. An initial study was prepared and concluded that the proposed Project is categorically exempt per Article III, Section I, Class 32, as further discussed in Finding No. 2. Therefore, there is no substantial

evidence that the proposed Project will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources. Based on the above there is no basis to deny the requested incentive.

Environmental Findings

2. **Environmental Finding.** The Department of City Planning determined that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15332, Class 32 and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. As described in the Environmental Narrative dated June 12, 2017 attached to the Notice of Exemption for Case No. ENV-2017-700-CE, the project qualifies as an in-fill development under the Class 32 exemption as it meets the following conditions:
 - a) The project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations;
 - b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
 - c) The project site has no value as habitat for endangered, rare or threatened species;
 - d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality;
 - e) The site can be adequately served by all the required utilities and public services.
3. **Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.

GENERAL NOTES									
A. GENERAL					18. FIRE BLOCK AT MID-HEIGHT WALLS OVER 8'-0" HIGH.				
1. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE 2014 EDITION OF THE LOS ANGELES BUILDING CODES AND ORDINANCES OF THE STATE OF CALIFORNIA.					20. COMFORT HEATING WILL BE PROVIDED TO EVERY DWELLING UNIT AS REQUIRED BY CODE.				
2. ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS WORK. ANY ERRORS, OMISSIONS, OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR BEFORE CONSTRUCTIONS BEGINS.					21. PROVIDE 6" HIGH NONABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIAL FOR SHOWER ENCLOSURE AND WINDOWS WITHIN 5' OF FLOOR OF SHOWER OR BATHTUB FLOOR.				
3. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. NOTE THAT DIMENSIONS ARE TO CENTER LINE OR FACE OF FINISH MATERIAL.					22. CONDUCT ALL ROOF DRAINAGE UNDER SIDEWALK TO STREET BY MEANS OF AN APPROVED NONEROSIVE DEVICE.				
4. THE BUILDINGS REQUIRE FIRE PROTECTION AS FOLLOWS:(SEE CODE ANALYSIS)					23. BATHTUB AND SHOWER UNITS, INCLUDING BACKING, SHALL BE OF TYPE APPROVED BY THE PLUMBING DEPARTMENT.				
A. FIRE EXTINGUISHERS-PORTABLE TYPE 2A SHALL BE PROVIDED. DISTANCE FROM APARTMENT ENTRY DOOR TO FIRE EXTINGUISHER SHALL BE 75' MAXIMUM PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR.					24. TELEVISION ANTENNA SHALL BE LOCATED 7' ABOVE FLAT ROOFS.				
B. PROVIDE FIRE EXTINGUISHER WITH A RATING OF 10BC FOR GARAGE, MECHANICAL VENTILATION; ALL BATHROOMS, TOILET ROOMS, POWDER ROOMS AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE A COMPLETE CHANGE OF AIR 5 TIMES PER HOUR. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE. FAN SHALL BE OPERATED FROM A LIGHT SWITCH.THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.					25. ALL STAIRS SHALL HAVE 8" MAXIMUM RISE AND 9" MINIMUM TREAD (7" RISE AND 11" TREADS AT PUBLIC STAIRS).				
6. LEGAL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT. ALL EXIT HARDWARE SHALL BE OF AN APPROVED TYPE. DEAD OR FLUSH BOLTS (THUMBS OPERATED) AND SIMILAR DEVICES ARE PROHIBITED.					26. PROVIDE ULL APPROVED SMOKE AND FIRE DETECTORS WITHIN 12" OF CEILING AND WERE SHOWN ON PLANS. HARD WIRED WITH BATTERY BACK UP.				
7. PROVIDE 2-HOUR CONSTRUCTION BEHIND ALL TUBS LOCATED ADJACENT TO 2-HOUR FIRE DIVISION WALLS.					27. ANTI-GRAFFITI COATING BY GENESIS COATINGS, INC.(LA RR#25042-T) FOR LOWER 9'-0" OF BUILDINGS.				
8. EXIT / ENTRANCE DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1/2' BELOW THE THRESHOLD AND HAVE A LENGTH NOT LESS THAN 36"(44"(60"HCD).					28. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4 INCHES.				
9. PROVIDE ULTRA LOW FLUSH WATER CLOSETS (1.6 GAL./FLUSH MAX) AND LOW FLOW SHOWER HEADS WITH A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.					29. AN ATIC CERTIFICATE OF INSPECTION FOR ALL GLUED LAMINATED TIMBER SHALL BE SUBMITTED TO A BUILDING AND SAFETY DIVISION INSPECTOR PRIOR TO ERECTION.				
10. TRENCHES OR EXCAVATIONS OF 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND SHALL OBTAIN THE NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.					B. SECURITY				
11. A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE.					GENERAL:				
12. NO MEDICINE CABINETS, ELECTRIC PANELS, VENTS, OR WALL HEATERS SHALL PERCE 2-HOUR DIVISION WALLS.					1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.				
13. PROVIDE APPROVED STUCCO WEEP SCREEDS AT SILL PLATE OF ALL STUCCO WALLS. STUCCO FINISH SHALL NOT EXTEND BEYOND FINISH GRADE.					2. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY FUSE OR SIMILAR STRUCTURES.				
14. BATHROOM FLOORS OVER WOOD SHALL HAVE WATER-PROOF PROTECTION. PROVIDE RESILIENT FLOORING OVER 15# FELT BONDED TO PLYWOOD SUBFLOOR.					3. WOOD FLOOR TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709-1 DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.				
15. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE REGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.					4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB(60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR.				
16. ALL EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. ALL FLASHING, COUNTER FLASHING AND COPING WHEN OF METAL SHALL BE 26 GA.G.I. MINIMUM.					5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL, FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.				
17. ALL PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE INSPECTED AND APPROVED BY BUILDING INSPECTOR BEFORE COVERING.					6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY. SPECIAL KNOWLEDGE OR SPECIAL EFFORT(LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES.				
					7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8" AND A HOOK-SHAPED OR AN EXPANDING DISC DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A				
					NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED. SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLTS SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.				
					9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9'x16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH.				
					10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.				
					11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SECTION 6717.1.				
					12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BLOTTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.				
					13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.				
					14. IN B.F.M. AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES.				
					15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. WINDOWS:				
					16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ON DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.				
					17. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS.				
					18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.				
					19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN (6717.2).				
					20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS.				
					GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:				
					21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.				
					22. PROVIDE SECURITY LIGHTING FOR GARAGE AND/OR EXTERIOR PARKING AREA SERVING DWELLING UNITS OR GUESTROOMS AND FOR RECREATION ROOM, SERVICE ROOMS ACCESSORY TO APARTMENT HOUSES, AND AT EVERY DOOR IN A SECURITY OPENING. SECURITY LIGHTING SHALL HAVE A SURFACE ILLUMINATION OF 0.2 FOOT-CANDELES AT THE FLOOR LEVEL.				
					23. WINDOWS IN CORRIDOR WALLS SHALL BE PROTECTED BY FIXED GLASS OF 1/2 HR RATING IN STEEL FRAMES. TOTAL AREA OF WINDOW IN A CORRIDOR SHALL NOT EXCEED 25% OF THE AREA OF A COMMON WALL WITH ANY ROOM.				
					C. ENERGY INSULATION				
					1. THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53.				
					2. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND BUILDER STATING THAT THE INSULATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUB CHAPTER 4, ARTICLE 3.				
					3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.				
					4. DOORS AND WINDOWS BETWEEN CONDITIONED SPACES AND OUTSIDE OR UNCONDITIONED SPACES SUCH AS GARAGES AND COMPARTMENTS FOR CENTRAL AIR GAS FURNACES SHALL BE FULLY WEATHERSTRIPPED.				
					5. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS LISTED IN TABLE 2-53V FOR THE ENERGY REGULATIONS.				
					6. ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK DRAFT DAMPERS.				
					7. CAULK AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.				
					8. CAULK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.				
					9. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO CHAPTER 10 OF THE 1997 CITY OF LOS ANGELES MECHANICAL CODE. ALL JOINTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.				
					10. STORAGE TYPE WATER HEATERS AND STORAGE TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER, UNLESS SO INTERNALLY INSULATED.				
					11. PROVIDE MINIMUM R-13 INSULATION ON WATER HEATER INLET AND OUTLET PIPE FOR FIRST FIVE FEET IN UNCONDITIONED SPACE.				
					12. INSULATE RECIRCULATING HOT WATER PIPING IN UNHEATED SPACES.				
					13. GAS FIRED HOUSEHOLD HEATING AND COOLING APPLIANCES, SHOWER HEADS AND FAUCETS SHALL COMPLY WITH THE APPLIANCE EFFICIENCY STANDARDS.				
					14. GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE AN EFFICIENCY OF: NOT LESS THAN 25 LUMENS / WATTS. (SPECIFY FLUORESCENT LIGHTING)				
					D. SOUND TRANSMISSION CONTROL				
					1. DOORS TO UNIT FROM INTERIOR CORRIDORS AND FIRE-RATED SHAF ENCLOSURES ARE REQUIRED TO HAVE A MIN. STC RATING OF 26; LAMINATED 1 3/4" SOLID CORE DOORS WITH RESILIENT STOPS AND GASKETS MEET THIS REQUIREMENT. DOORS MUST BE SELF-AUTO-CLOSING UPON SMOKE DETECTION.				
					2. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES WILL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED WITH 2" MINIMUM MINERAL FIBER INSULATION. (TV, TELEPHONE, AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY.)				
					3. CARPETS OR SIMILAR SURFACE MATERIALS WHICH ARE PART OF THE FLOOR-CEILING ASSEMBLY MUST BE INSTALLED AND INSPECTED BEFORE THE CERTIFICATE OF OCCUPANCY IS ISSUED AND MAY BE REPLACED ONLY BY OTHER FLOOR COVERING THAT PROVIDES THE REQUIRED IMPACT SOUND INSULATION.				
					4. AN APPROVED PERMANENT RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS, FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, UNED OR INSULATED.				
					5. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OF FLOOR, CEILING ASSEMBLIES SHALL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.				
					6. ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES, APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MIN. 1/4" THICK APPROVED RESILIENT MATERIAL. VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.				
					7. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE LINED. (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES, AND BATH ROOMS NEED NOT BE LINED.)				
					8. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES TO A POINT 12" BEYOND THE PIPE OR DUCT, WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR ASSEMBLY FROM WITHIN A WALL. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE PIPE, GAS LINE OR ELECTRICAL CONDUIT.				
					9. WALL MOUNTED LAVATOIRES AND TOILETS ARE NOT PERMITTED ON SOUND RATED PARTITIONS.				
					E. FIRE DEPARTMENT NOTES				
					1. EXIT PATH LIGHTING SHALL BE PROVIDED FOR STAIRWAY, HALLWAY, EXIT PASSAGEWAY AND EGRESS TO A PUBLIC WAY ANY TIME THE BUILDING IS OCCUPIED.				
					2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.				
					3. ROOF OBSTRUCTION SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, AND RAZOR RIBBON SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS.				
					4. PROVIDE CONTINUOUS DRYWALL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.				
					5. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED A FLAME-SPREAD CLASSIFICATION OF 75; (CLASS II)				
					6. INTERIOR WALL AND CEILING FINISHES FOR ENCLOSED STAIR WELLS SHALL NOT EXCEED A FLAME-SPREAD CLASSIFICATION OF 25 (CLASS I)				
					7. EXIT CORRIDORS AND EXTERIOR EXIT BALCONIES SHALL BE A MINIMUM OF 44" WIDE. (TITLE 24)				
					8. AN EXIT WALKWAY WITH A MINIMUM WIDTH OF 44" SHALL BE MAINTAINED CONTINUOUSLY TO A PUBLIC WAY.				
					9. ALL EXITS MUST BE CONTINUOUS AND TERMINATE IN A PUBLIC WAY OR EXIT COURT LEADING TO A PUBLIC WAY OR AN APPROVED REFUGE AREA. (TITLE 24, C.A.C.)				
					10. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP; THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.				
					11. A FIRE ALARM SYSTEM IS REQUIRED FOR THIS STRUCTURE. PLANS FOR THE FIRE ALARM SYSTEM MUST BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.				
					12. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING ELECTRICAL SYSTEM AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.				
</									



PLAN REFERENCE NOTES:

- ADA PATH OF TRAVEL
 - PLANTER
 - LANDSCAPE AREA
 - CONCRETE STAIRS/STEPS
 - WARNING STRIPE & HANDRAIL EXTENSIONS
 - LINE OF BALCONY ABOVE
 - LINE OF BUILDING ABOVE
 - 6'-0" HIGH W.I. GATE & FENCE - SEE 3/A2
 - 42" HIGH WROUGHT IRON RAILING
 - 3'-6" HIGH CMU WALL
 - 6'-0" HIGH CMU WALL
 - MER-KOTE RR #25T14
 - BIKE RACK FLOOR MOUNT PER 4/A3
 - LONG TERM BICYCLE PARKING
 - BIKE RACK WALL MOUNT, SEE 3/A3
 - AUTOMATIC SPRINKLER PROVIDED AT TOP OF CHUTE AND IN TERMINAL ROOM
 - SHORT TERM BICYCLE PARKING
 - 100% OF HARDSCAPE TO BE UNCOLORED CONCRETE W/ SMOOTH CEMENT FINISH AND A SOLAR REFLECTANCE OF AT LEAST 0.30 AS DETERMINED PER ASTM E910 or C1544.
 - MAILBOXES
 - WEATHER BASED IRRIGATION CONTROLLER
 - FIRE DEPARTMENT CONNECTION
 - INVERTER FOR SOLAR SYSTEM
 - CLASS 1 STANDPIPE - SEE LEGEND
 - 5'X4' MIN. 2 WHEEL CHAIR REFUGE. THIS AREA TO BE IN ACCORDANCE W/ SECTION 1007.1.3 THRU 1007.1.6
 - LADDER
 - EXISTING POWER POLE
- △ ELEVATION MONUMENT TO BE ESTABLISHED AND VERIFIED PRIOR TO FOUNDATION EXCAVATION

LEGEND

- 1-HR SOUND WALL - AS NOTED
- 2-HR WALL
- CLASS 1 - 4" STANDPIPE W/ 2 1/2" OUTLET
- EXIT SIGN - SEE NOTES F13&14/A1
- WATER CURTAIN, SEE 4/A2, TYP
- EXIST. GRADE
- FINISHED GRADE

ZONING FLOOR AREA (NET FLOOR AREA W/BALCONIES LESS ELEVATOR, STAIRS, ENCLOSED SHAFTS & OPEN TO SKY OPEN SPACE)

1ST FLR (625 SF - 0 SF)	625 SF
2ND FLR (7,414 SF - 571 SF)	6,843 SF
3RD FLR (7,414 SF - 571 SF)	6,843 SF
4TH FLR (7,414 SF - 571 SF)	6,843 SF
5TH FLR (7,414 SF - 571 SF)	6,843 SF
TOTAL	27,947 SF

BUILDING FLOOR AREA (NET FLOOR AREA INCL. BALCONIES, ELEV., STAIRS & ENCLOSED SHAFTS LESS OPEN TO SKY OPEN SPACE)

1ST FLR (625 SF - 0 SF)	625 SF
2ND FLR (7,414 SF - 0 SF)	7,414 SF
3RD FLR (7,414 SF - 0 SF)	7,414 SF
4TH FLR (7,414 SF - 0 SF)	7,414 SF
5TH FLR (7,414 SF - 0 SF)	7,414 SF
TOTAL	30,281 SF

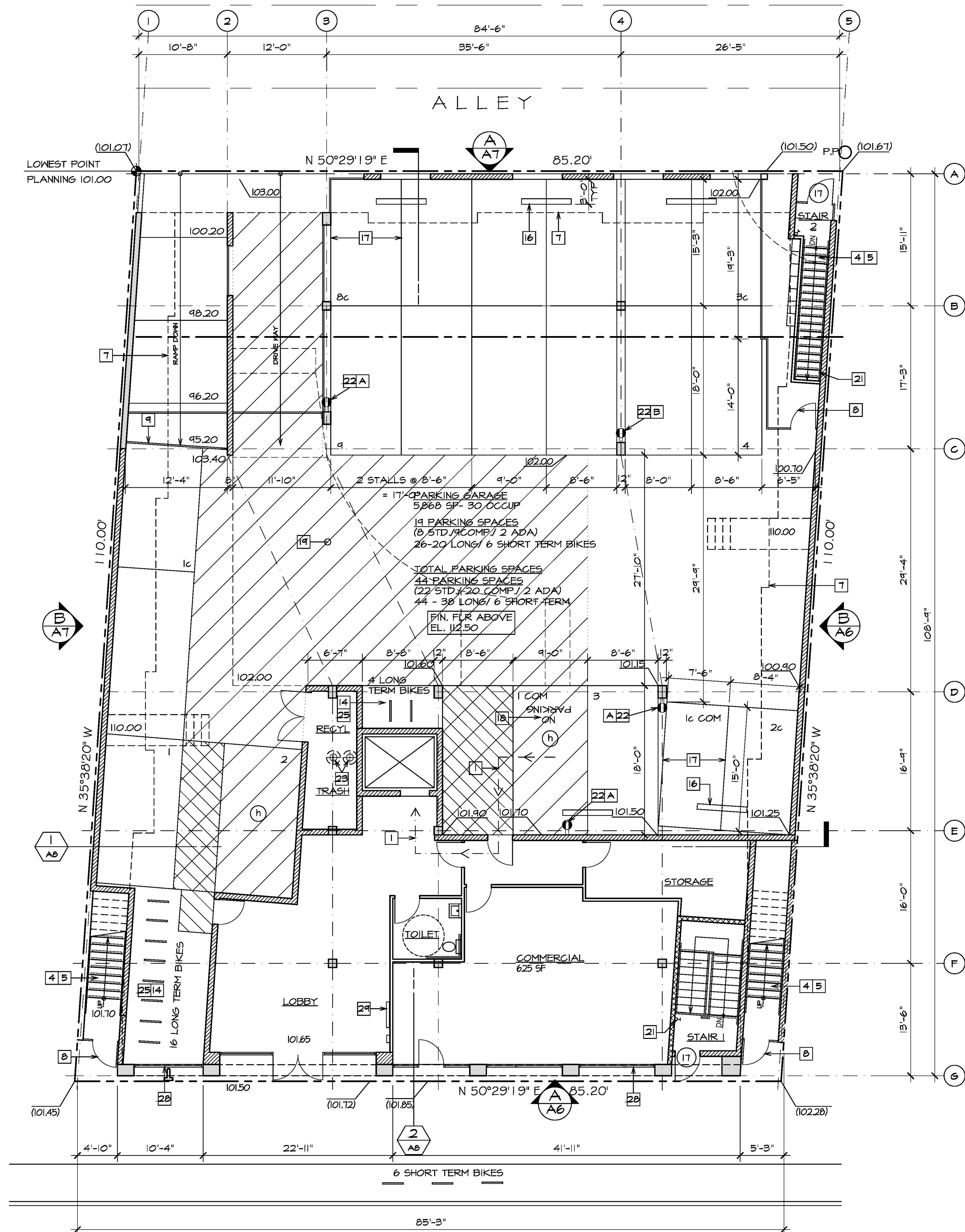
SCHOOL FEE FLOOR AREA (GROSS FLOOR AREA W/ BALCONIES LESS ELEVATOR, STAIRS, ENCLOSED SHAFTS & OPEN TO SKY OPEN SPACE)

1ST FLR (625 SF - 0 SF)	625 SF
2ND FLR (7,593 SF - 571 SF)	7,022 SF
3RD FLR (7,593 SF - 571 SF)	7,022 SF
4TH FLR (7,593 SF - 571 SF)	7,022 SF
5TH FLR (7,593 SF - 571 SF)	7,022 SF
TOTAL	28,713 SF

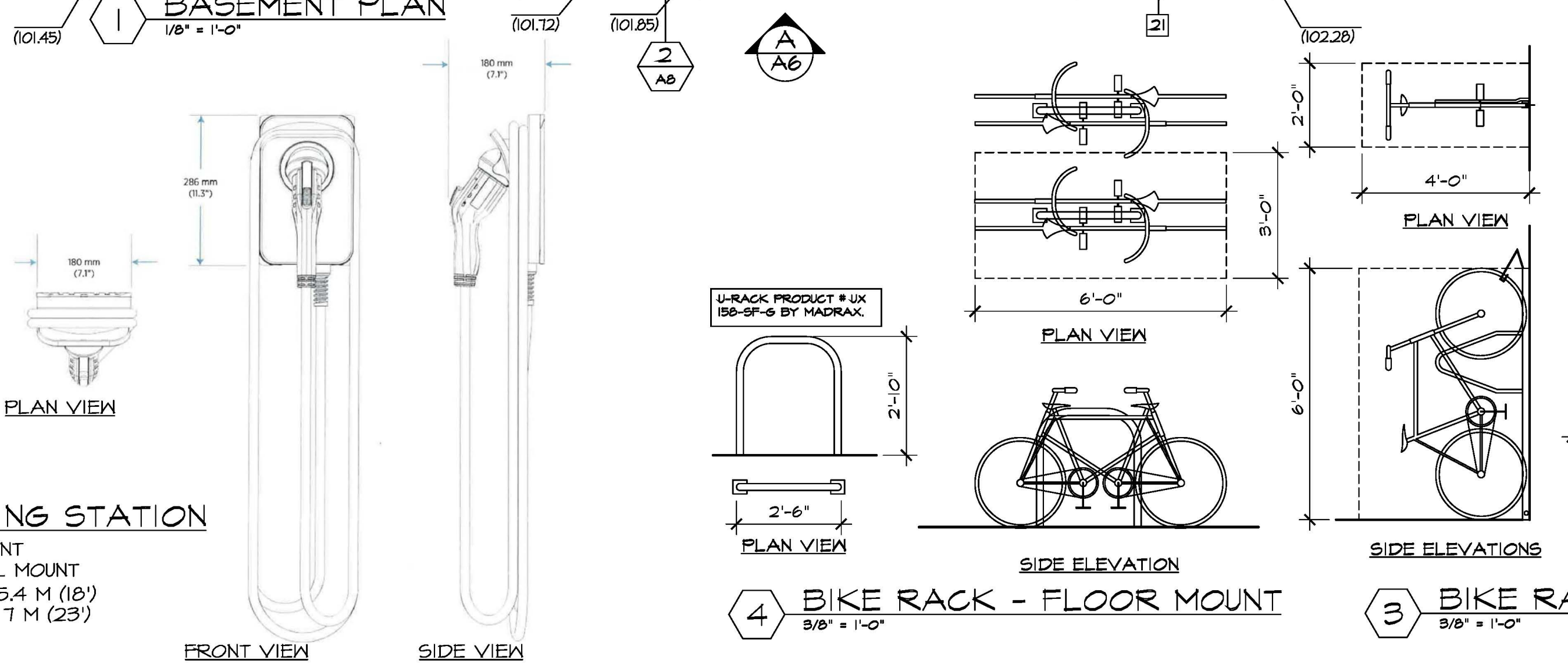
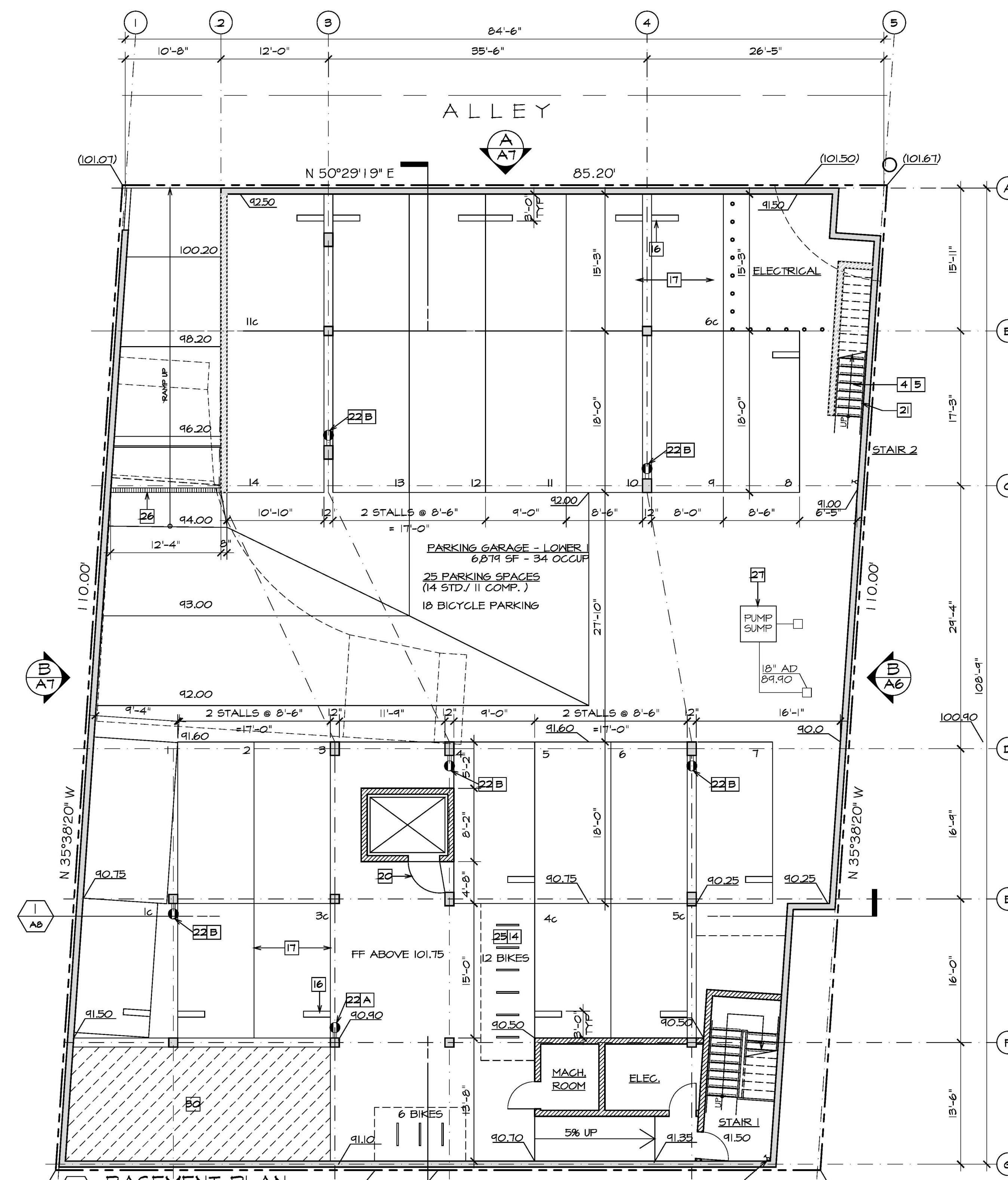
SHEET TITLE		DATE		REVISIONS	
SITE PLAN		12/7/15		△	
ROOF PLAN		1/18/17		△	
JOB TITLE		10608 SANTA MONICA BOULEVARD			
DRAWN		1523			
CHECKED					
JOB		1523			
SHEET					
A2					

ARCHITECT: GIOVANNI URIU
C-7487
EXP. 1/31/19
STATE OF CALIFORNIA

URIU & ASSOCIATES
ARCHITECTURE • PLANNING
830 S. GLENDALE AVENUE
GLENDALE, CA 91205



2 FIRST FLOOR PLAN
1/8" = 1'-0"



- PLAN REFERENCE NOTES:
- 1 ADA PATH OF TRAVEL
 - 2 PLANTER
 - 3 LANDSCAPE AREA
 - 4 CONCRETE STAIRS/STEPS
 - 5 WARNING STRIPE & HANDRAIL EXTENSIONS
 - 6 LINE OF BALCONY ABOVE
 - 7 LINE OF BUILDING ABOVE
 - 8 6'-0" HIGH W.L. GATE & FENCE - SEE 3/A2
 - 9 42" HIGH WROUGHT IRON RAILING
 - 10 3'-6" HIGH CMU WALL
 - 11 6'-0" HIGH CMU WALL
 - 12 MER-KOTE RR #25T14
 - 13 SHORT TERM BICYCLE PARKING
 - 14 LONG TERM BICYCLE PARKING
 - 15 BIKE RACK WALL MOUNT - SEE 3/A3
 - 16 CONCRETE WHEEL STOP, TYP.
 - 17 PAINTED PARKING STRIPES, TYP
 - 18 12" HIGH PAINTED WHITE LETTERS
 - 19 MAINTAIN 8'-2" CLEAR HEIGHT
 - 20 1 1/2-HR SELF-CLOSING DOORS
 - 21 CLASS 1 - 4" STANDPIPE W/ 2 1/2" OUTLET
 - 22 208/240V/40 AMP GROUNDED AC OUTLET, TYP. 1- 20% OF 45 SPACES = 10 OUTLETS REQUIRED
 - 23 4 INSTALLED
 - 24 6 WIRED
 - 25 AUTOMATIC SPRINKLER PROVIDED AT TOP OF CHUTE AND IN TERMINAL ROOM
 - 26 FIRE DEPARTMENT CONNECTION
 - 27 BIKE RACK FLOOR MOUNT - SEE 4/A3
 - 28 TRENCH DRAIN
 - 29 SUMP PUMP
 - 30 ALUMINUM STOREFRONT WINDOWS SYSTEM - DOUBLE GLAZED
 - 31 MAILBOXES
 - 32 BIKE MAINTENANCE AREA 100 SF (MIN)
- LEGEND
- CONC. WALL - 2-HR. RATED
 - CONC. BLK WALL-2-HR RATED
 - CLASS 1 - 4" STANDPIPE W/ 2 1/2" OUTLET
 - EXIT SIGN - SEE NOTES F13 & 14/A1
 - AUTOMATIC SPRINKLER PROVIDED AT TOP OF CHUTE AND IN TERMINAL ROOM
 - 208/240V/40 AMP GROUNDED AC OUTLET, TYP. 5% OF 41 SPACES = 3 OUTLETS REQUIRED/4 PROVIDED
 - EXIST. GRADE
 - FINISHED GRADE

DATE		ISSUED FOR	DATE	REVISIONS
12/7/15	1/18/17	ZONE CHANGE	1/18/17	1
DATE		ISSUED FOR	DATE	REVISIONS
12/7/15		1/18/17	1/18/17	1
12/7/15		1/18/17	1/18/17	1
12/7/15		1/18/17	1/18/17	1

ARCHITECT

JOVANNI URIU

C-7487

EXP. 1/31/19

STATE OF CALIFORNIA

URIU & ASSOCIATES

ARCHITECTURE, PLANNING

830 S. GLENDALE AVENUE

GLENDAL, CA 91205

SHEET TITLE

BASEMENT PLAN

FIRST FLOOR PLAN

JOB TITLE

10608 SANTA MONICA BOULEVARD

DRAWN

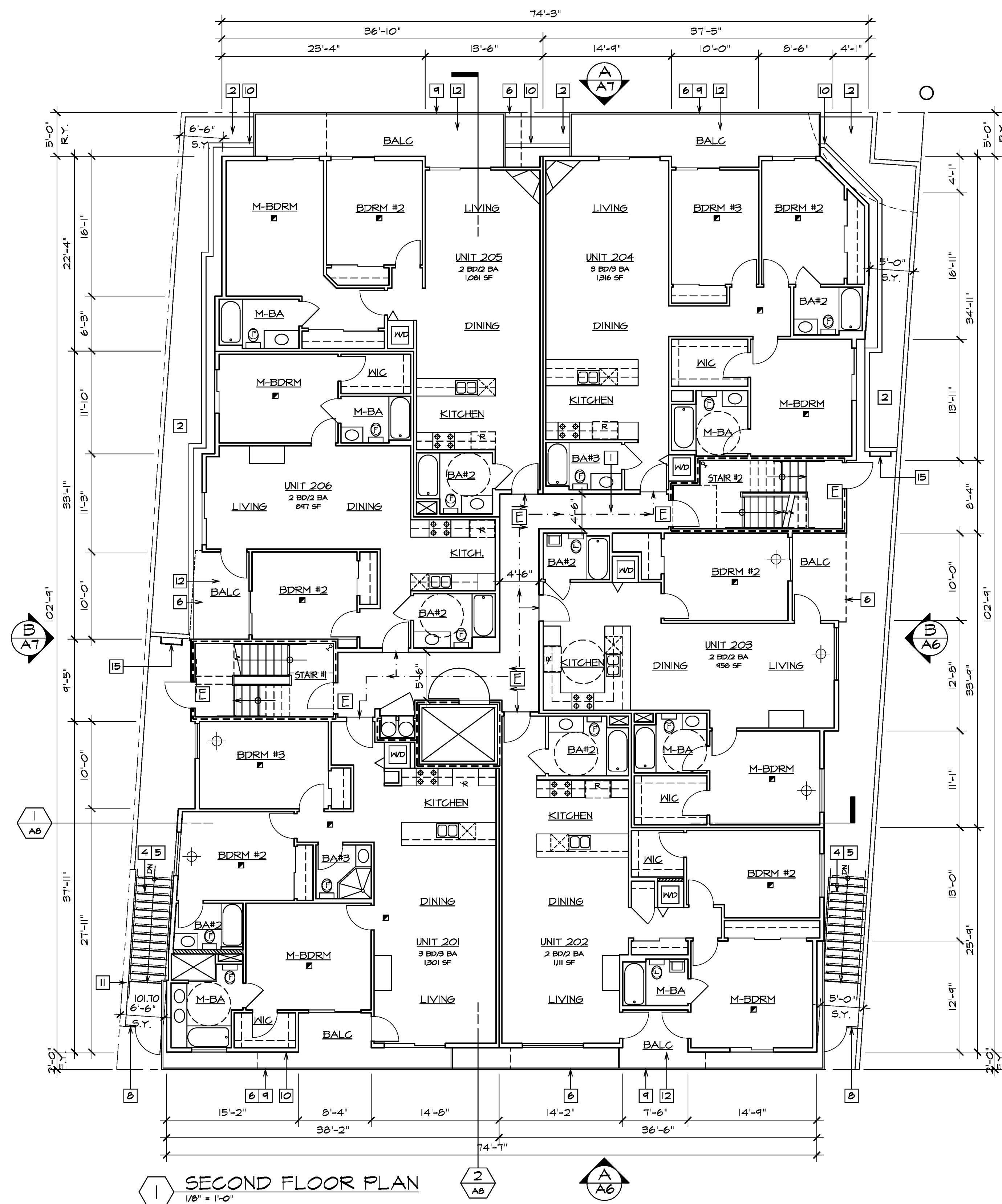
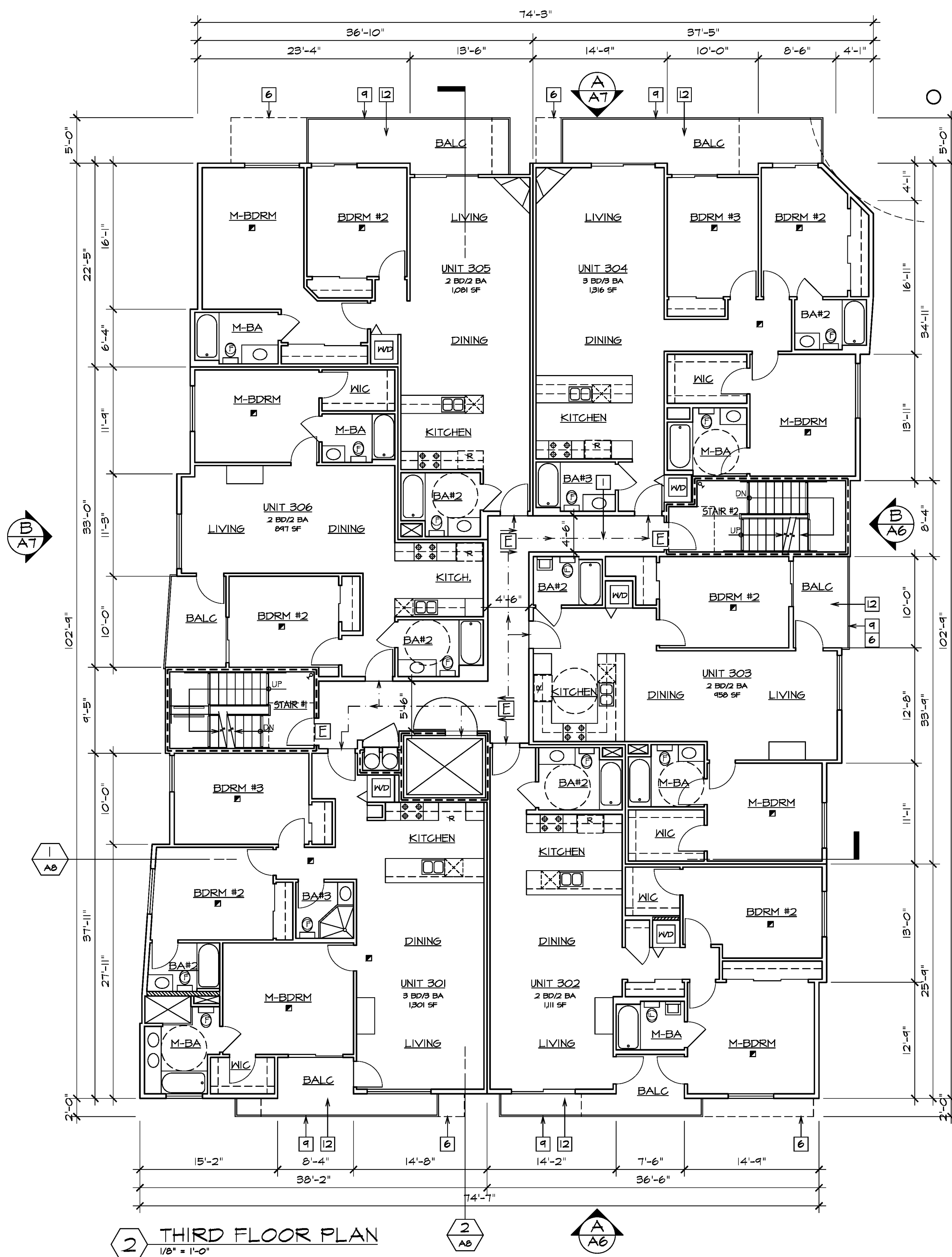
CHECKED

JOB

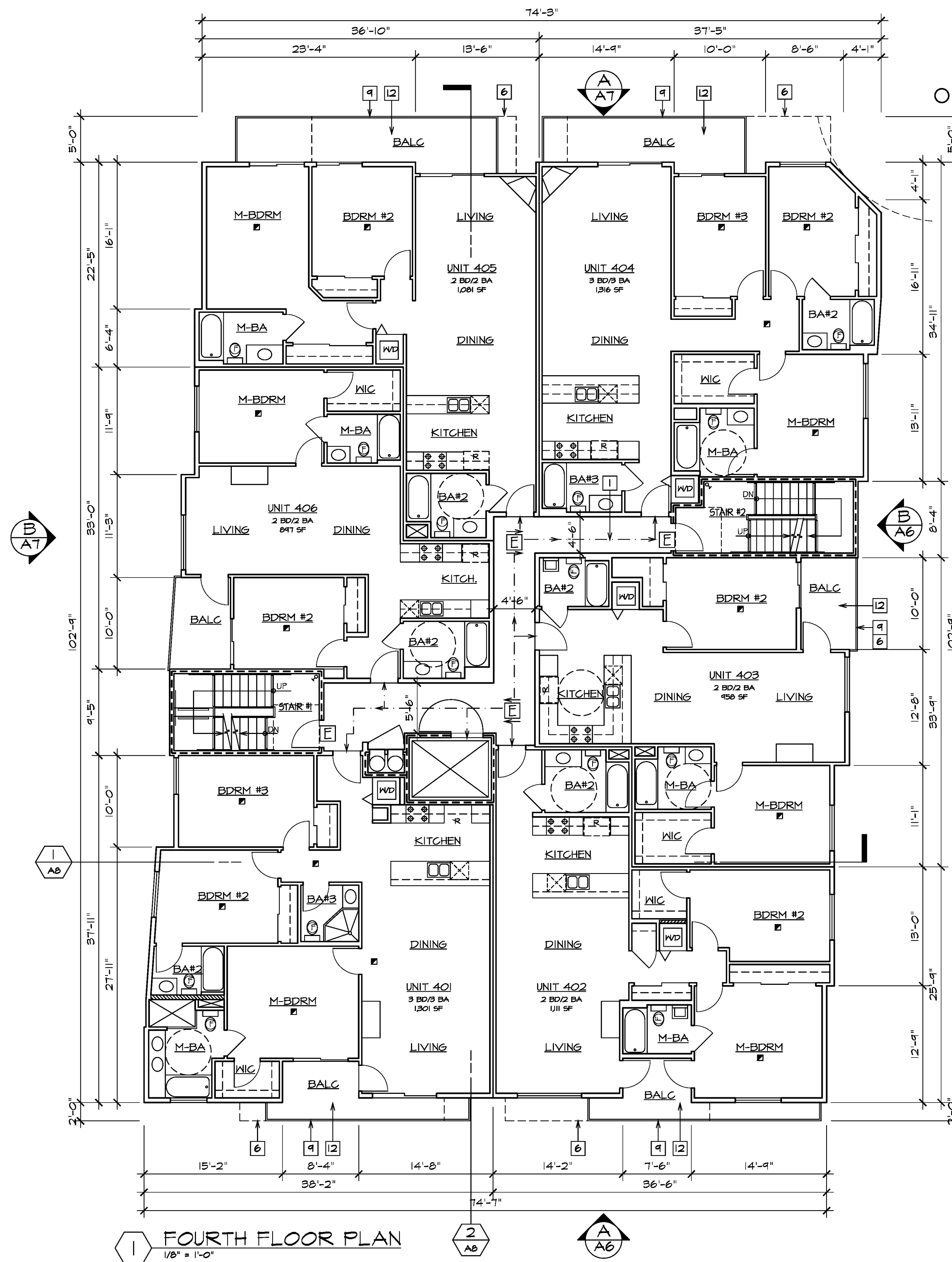
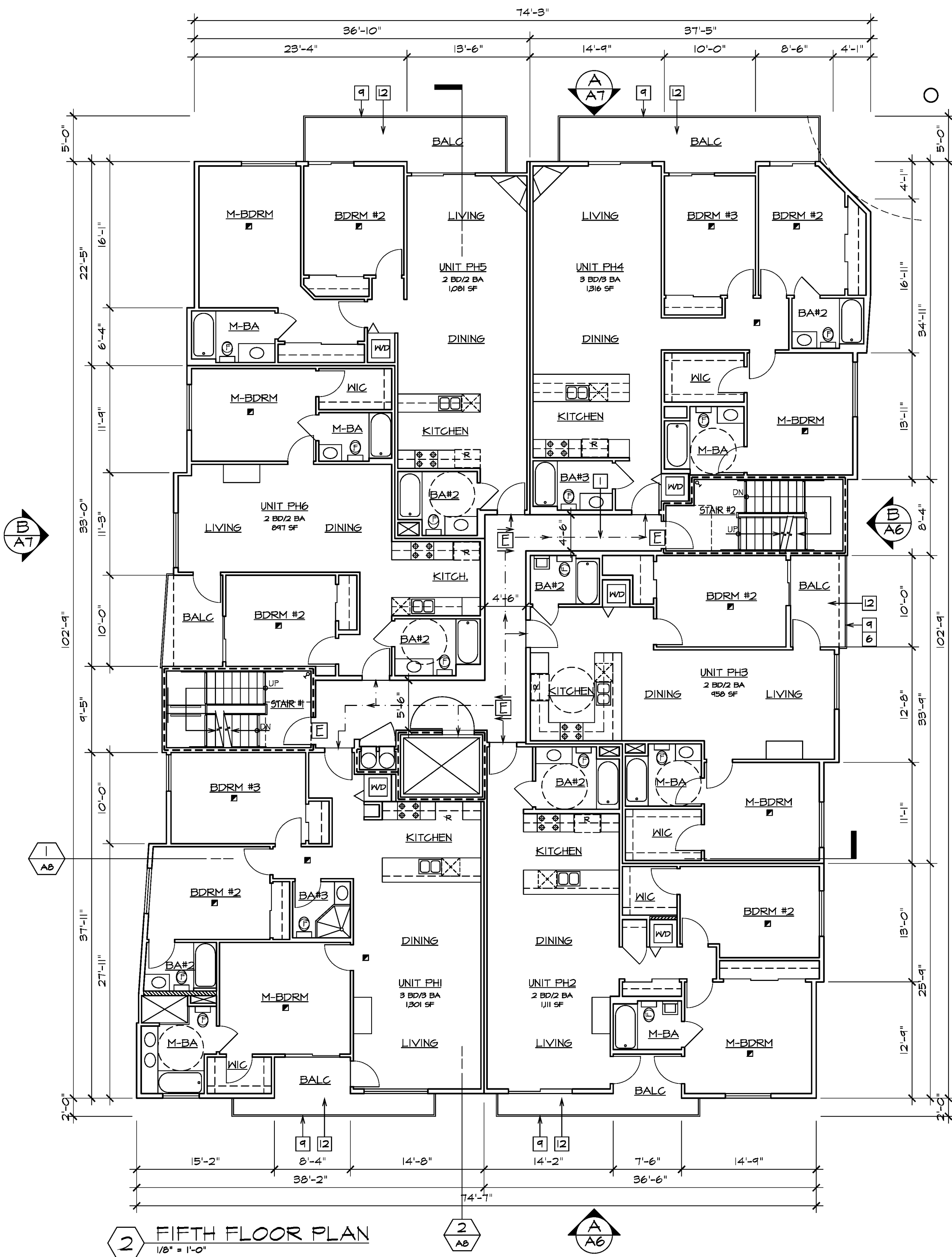
1523

SHEET

A3



<div style="text-align: center;">  </div>	<div style="text-align: center;"> SHEET TITLE FIRST FLOOR PLAN SECOND FLOOR PLAN JOB TITLE 10608 SANTA MONICA BOULEVARD </div>	<div style="text-align: center;">  </div>	<div style="text-align: center;"> URIU & ASSOCIATES ARCHITECTURE, PLANNING (818) 247-2530 GLENDALE, CA 91205 830 S. GLENDALE AVENUE </div>	<div style="text-align: center;">  </div>	DATE 12/7/15	ISSUED FOR ZONE CHANGE	DATE -	REVISIONS -
					DATE 11/6/17	ISSUED FOR DENSITY BONUS	DATE -	REVISIONS -



PLAN REFERENCE NOTES:

- 1 ADA PATH OF TRAVEL
- 2 PLANTER
- 3 LANDSCAPE AREA
- 4 CONCRETE STAIRS/STEPS
- 5 WARNING STRIPE & HANDRAIL EXTENSIONS
- 6 LINE OF BALCONY ABOVE
- 7 LINE OF BUILDING ABOVE
- 8 6'-0" HIGH W.I. GATE & FENCE - SEE 3/A2
- 9 42" HIGH WROUGHT IRON RAILING
- 10 3'-6" HIGH CMU WALL
- 11 6'-0" HIGH CMU WALL
- 12 MER-KOTE RR #25TT4
- 13 BIKE RACK FLOOR MOUNT PER 4/A3
- 14 42" HIGH WALL
- 15 LADDER

LEGEND

- 1-HR SOUND WALL - AS NOTED
- 2-HR WALL
- 1/4 CLASS 1 - 4" STANDPIPE W/ 2 1/2" OUTLET
- E EXIT SIGN - SEE NOTES FIB3414(A)
- WATER CURTAIN, SEE 4/A2, TYP
- 100.00 EXIST. GRADE
- 100.00 FINISHED GRADE

SHEET TITLE	DATE	ISSUED FOR	DATE	REVISIONS
FOURTH FLOOR PLAN FIFTH FLOOR PLAN	12/7/15	ZONE CHANGE		
	1/18/17	DENSITY BONUS		
JOB TITLE 10608 SANTA MONICA BOULEVARD	ARCHITECT	JOVANNI URIU	EXP. 1/31/19	
	ARCHITECTURE - PLANNING	C-7487		
DRAWN	URIU & ASSOCIATES ARCHITECTURE - PLANNING 830 S. GLENDALE AVENUE GLENDALE, CA 91205			
CHECKED				
JOB	1523			
SHEET	A5			

- 1 BUILT-UP ROOF-GLASS 'A'
- 2 EXTERIOR FINISH, SEE COLORED ELEVATIONS ON A000 - A002 FOR SPECIFIC COLOR & MATERIAL LOCATIONS
- 3 PARAPET WALL
- 4 LINE OF ANCHOR GRADE
- 5 PLANTER
- 6 6' HIGH CMU WALL
- 7 42" HIGH GUARDRAIL
- 8 6' HIGH W.I. GATE
- 9 STAIR TOWER BEYOND
- 10 ELEVATOR TOWER BEYOND
- 11 ENTRY GATE
- 12 METAL AWNING
- 13 42" HIGH GLASS GUARDRAIL
- 14 ROOF-UP DOOR
- 15 WALL OPENING W/ METAL GRILL
- 16 BRICK VENEER
- 17 WOOD TILE
- 18 12" STEEL NUMBERS
- 19 ALUMINUM STOREFRONT WINDOWS SYSTEM - DOUBLE GLAZED
- 20 EXISTING POWER POLE (P.P.)

- ① STUCCO, SMOOTH TROWEL,
COLOR: WHISPER WHITE (DE W340)
- ② WOOD TILE
- ③ BRICK VENEER
- ④ STUCCO, SMOOTH TROWEL,
COLOR: TBD (GRAY TO MATCH BRICK)
- ⑤ GLASS GUARDRAIL
- ⑥ METAL GUARDRAIL
- ⑦ WINDOWS: CLEAR ANODIED ALUMINUM
- ⑧ 12" TALL CUT STEEL LETTERS, 3/4" THICK,
FONT: BOOKMAN OLD STYLE,
COLOR: BROWN TO MATCH WOOD TILE (TBD)
- ⑨ FIGUS VINES

Architectural elevation drawing of a five-story building facade. The drawing shows a symmetrical design with a central entrance on the ground floor and multiple windows and balconies on the upper floors. Key features include:

- Ground Floor:** Central entrance with a large glass door and windows. Dimensions: 10'-4" (101.45) and 10'-4" (101.22).
- Second Floor:** Large windows and a balcony. Dimensions: 9'-6" (101.75) and 9'-6" (101.25).
- Third Floor:** Large windows and a balcony. Dimensions: 9'-6" (101.75) and 9'-6" (101.25).
- Fourth Floor:** Large windows and a balcony. Dimensions: 9'-6" (101.75) and 9'-6" (101.25).
- Fifth Floor:** Large windows and a balcony. Dimensions: 9'-6" (101.75) and 9'-6" (101.25).
- Roof:** Flat roof with a parapet wall. Dimensions: 9'-6" (101.75) and 9'-6" (101.25).
- Overall Dimensions:** Total height is 50'-0". Floor-to-floor heights are 9'-6" for the first four floors and 10'-4" for the ground floor.
- Elevation:** The drawing is labeled "ELEVATION" and "BUILD. GRADE EL. 101.56".
- Notes:** The drawing includes various notes and dimensions, such as "MAX. EL. 151.00 T.O.P." and "LOWEST POINT EL. 101.00".

A NORTH WEST ELEVATION
1/8" = 1'-0"

W.A. $102' - 9 \times 9' - 4 = \underline{959.5F}$
A. OF OPNGS $120 \text{ SF}(W) + 0 \text{ SF}(D) =$
120 SF/12.5%

W.A. $102' - 9 \times 9' - 6 = \underline{976.5F}$
 A. OF OPNGS $104 \text{ SF(W)} + 81 \text{ SF(D)} =$
 $\underline{185.5F/19.0\%}$

W.A. $102' - 9 \times 9' - 6 = \underline{976 \text{ SF}}$
A. OF OPNGS $104 \text{ SF(W)} + 81 \text{ SF(D)} =$
185 SF/19.0%

W.A. $102' - 9 \times 12' = \underline{1233 \text{ SF}}$
 A. OF OPNGS $120 \text{ SF(W)} + 0 \text{ SF(D)} =$
 $\underline{120 \text{ SF}/9.7\%}$

SANTA MONICA BOULEVARD

[illegible]

(B) SOUTH WEST ELEVATION
1/8"=1'-0"

	URIU & ASSOCIATES ARCHITECTURE, PLANNING 520 S. GLENDALE AVENUE GLENDALE, CA 91205 (818) 242-2300			DATE	ISSUED FOR	DATE	REVISIONS
	SHEET TITLE ELEVATIONS	JOB TITLE 10608 SANTA MONICA BOULEVARD		12/7/15	ZONE CHANGE	-	△
DRAWN	CHECKED	JOB 1523	1/16/17	DENSITY BONUS	-	△	
SHEET A6							

- 1 BUILT-UP ROOF-GLASS 'A'
- 2 EXTERIOR FINISH, SEE COLORED ELEVATIONS ON A000 - A002 FOR SPECIFIC COLOR & MATERIAL LOCATIONS
- 3 PARAPET WALL
- 4 LINE OF ANCHOR GRADE
- 5 PLANTER
- 6 6' HIGH CMU WALL
- 7 42" HIGH GUARDRAIL
- 8 6' HIGH W.I. GATE
- 9 STAIR TOWER BEYOND
- 10 ELEVATOR TOWER BEYOND
- 11 ENTRY GATE
- 12 METAL AWNING
- 13 42" HIGH GLASS GUARDRAIL
- 14 ROOF-UP DOOR
- 15 WALL OPENING W/ METAL GRILL
- 16 BRICK VENEER
- 17 WOOD TILE
- 18 12" STEEL NUMBERS
- 19 ALUMINUM STOREFRONT WINDOWS SYSTEM - DOUBLE GLAZED
- 20 EXISTING POWER POLE (P.P.)

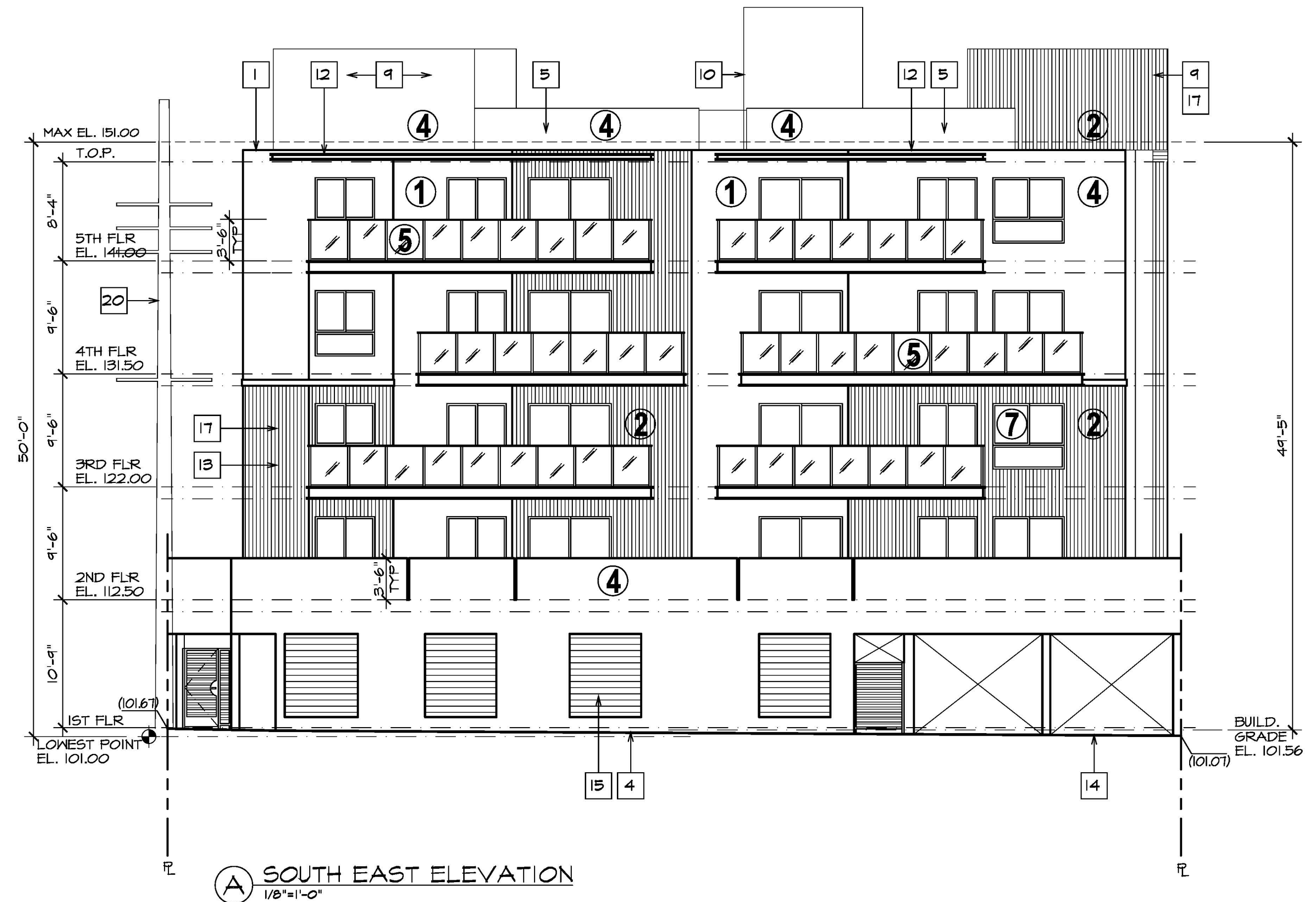
- ① STUCCO, SMOOTH TROWEL,
COLOR: WHISPER WHITE (DE W340)
- ② WOOD TILE
- ③ BRICK VENEER
- ④ STUCCO, SMOOTH TROWEL,
COLOR: TBD (GRAY TO MATCH BRICK)
- ⑤ GLASS GUARDRAIL
- ⑥ METAL GUARDRAIL
- ⑦ WINDOWS: CLEAR ANODIED ALUMINUM
- ⑧ 12" TALL CUT STEEL LETTERS, 3/4" THICK,
FONT: BOOKMAN OLD STYLE,
COLOR: BROWN TO MATCH WOOD TILE (TBD)
- ⑨ FIGUS VINES

W.A. $74-2'-9 \times 4' = \underline{692 \text{ SF}}$
 A. OF OPNGS $82.5 \text{ SF(W)} + 257 \text{ SF(D)} =$
 $\underline{339.5 \text{ SF/49.0\%}}$

W.A. $74' - 2 \times 9' - 6 = \underline{70.5 \text{ SF}}$
 A. OF OPNGS $82.5 \text{ SF(W)} + 257 \text{ SF(D)} =$
 $\underline{339.5 \text{ SF/48.1\%}}$

W.A. $74' - 2 \times 9' - 6 = \underline{70.5 \text{ SF}}$
 A. OF OPNGS $82.5 \text{ SF(W)} + 257 \text{ SF(D)} =$
 $\underline{339.5 \text{ SF/48.1\%}}$

W.A. $74' \cdot 2 \times 10' \cdot 6 = \underline{779 \text{ SF}}$
 A. OF OPNGS $82.5 \text{ SF(W)} + 257 \text{ SF(D)} =$
 $\underline{339.5 \text{ SF/43.6\%}}$

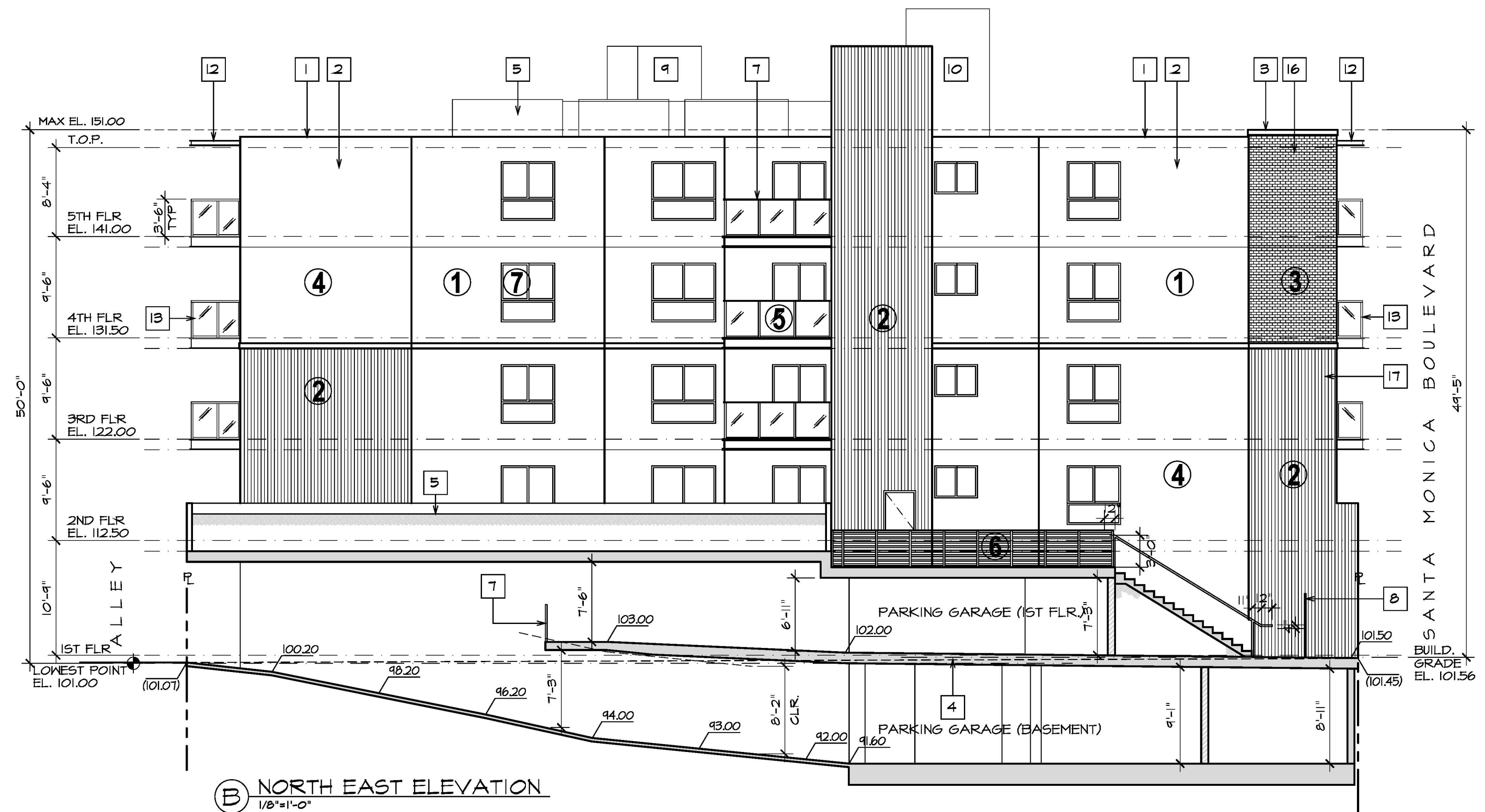


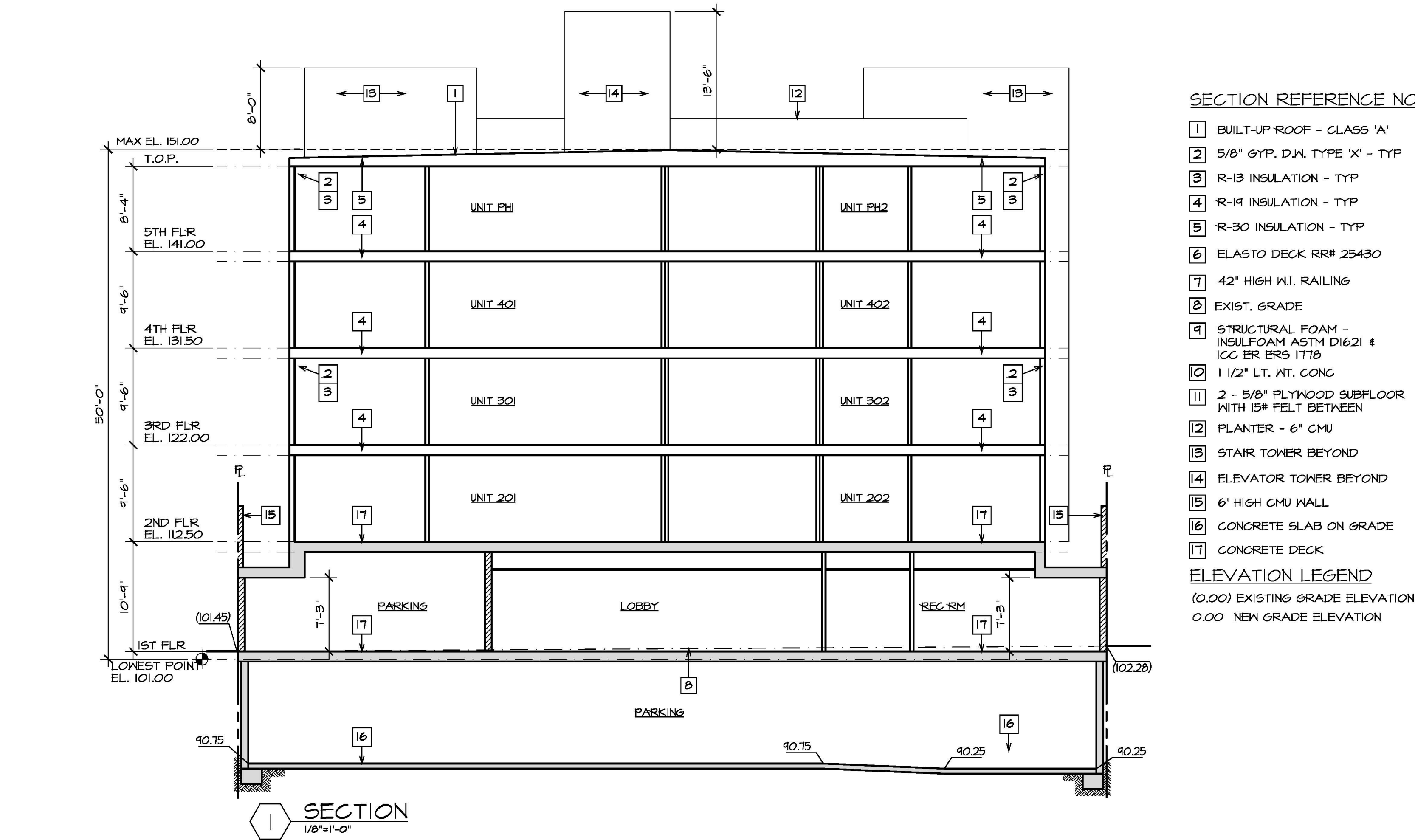
W.A. $102' - 9 \times 9' - 4 = 959 \text{ SF}$
 A. OF OPNGS $115.5 \text{ SF(W)} + 97 \text{ SF(D)} =$
 $212.5 \text{ SF} / 22.2\%$

W.A. $102' - 9 \times 9' - 6 = \underline{976 \text{ SF}}$
 A. OF OPNGS $148.5 \text{ SF(W)} + 0 \text{ SF(D)} =$
148.5 SF/15.2%

W.A. $102' - 9 \times 9' - 6 = \underline{976 \text{ SF}}$
 A. OF OPNGS $148.5 \text{ SF(W)} + 0 \text{ SF(D)} =$
 $\underline{148.5 \text{ SF/15.2\%}}$

W.A. $(55' - 5 \times 10' - 6) +$
 $(47' - 4 \times 12') = 1150 \text{ SF}$
 A. OF OPNGS $115.5 \text{ SF(W)} + 97 \text{ SF(D)} =$
 212.5 SF/18.5\%



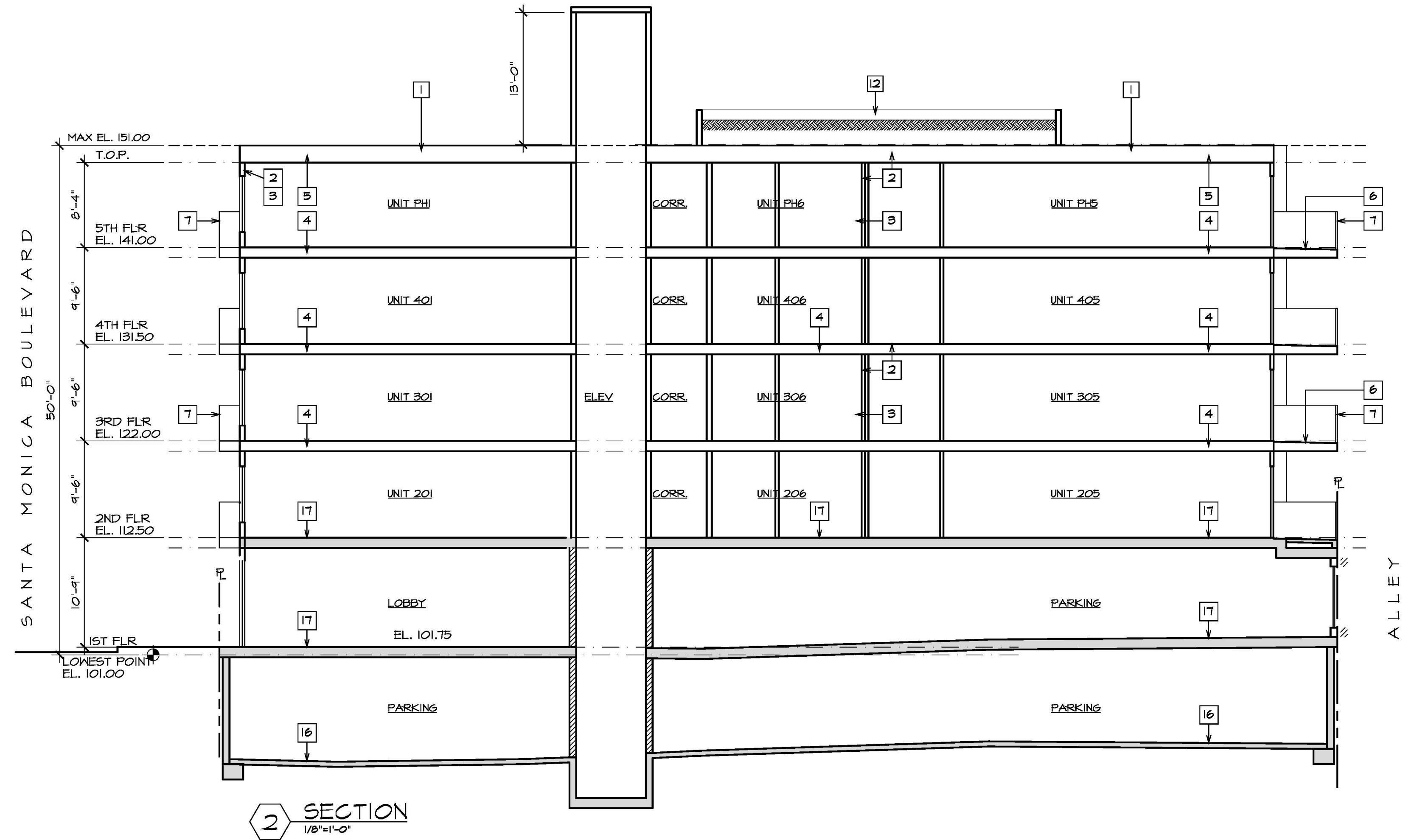


SECTION REFERENCE NOTES:

- 1 BUILT-UP ROOF - CLASS 'A'
- 2 5/8" GYP. D.W. TYPE 'X' - TYP
- 3 R-13 INSULATION - TYP
- 4 R-19 INSULATION - TYP
- 5 R-30 INSULATION - TYP
- 6 ELASTO DECK RR# 25430
- 7 42" HIGH W.I. RAILING
- 8 EXIST. GRADE
- 9 STRUCTURAL FOAM - INSULFOAM ASTM D1621 & IGO ER ERS 1718
- 10 1 1/2" LT. WT. CONC
- 11 2 - 5/8" PLYWOOD SUBFLOOR WITH 15# FELT BETWEEN
- 12 PLANTER - 6" CMU
- 13 STAIR TOWER BEYOND
- 14 ELEVATOR TOWER BEYOND
- 15 6' HIGH CMU WALL
- 16 CONCRETE SLAB ON GRADE
- 17 CONCRETE DECK

ELEVATION LEGEND

(0.00) EXISTING GRADE ELEVATION
0.00 NEW GRADE ELEVATION



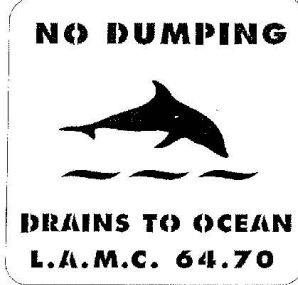
SHEET TITLE	SECTIONS	JOB TITLE	JOB	SHEET	DATE	ISSUED FOR	DATE	REVISIONS
10608 SANTA MONICA BOULEVARD	A8	10608 SANTA MONICA BOULEVARD	1523	A8	12/7/15	ZONE CHANGE	12/7/15	1
					1/18/17	DENSITY BONUS	1/18/17	2
								3
								4

LEGEND:

- 1 4" C.I. PIPE UNDER SLAB
- 2 2" C.I. PIPE UNDER SLAB
- 3 2" C.I. PIPE RISER
- 4 4" C.I. PIPE BELOW DECK
- 5 4" PVC PIPE
- 6 4" PERFORATED PIPE
- 7 4" PIPE DOWN
- 8 6" AD - TYP
- 9 6" TRENCH DRAIN
- 10 2" HOODED OVERFLOW
- 11 PLANTER DRAIN - TYP
- 12 SPLASH BLOCK
- 13 G.I. GUTTER
- 14 EXIST. GRADE
- 15 FINISHED FLOOR
- 16 STRUCTURAL FOAM
- 17 NON-FILTRATION PLANTER

ABBREVIATIONS:

- FS-----FINISH SURFACE
TC-----TOP OF CURB
FL-----FLOW LINE
FF-----FINISH FLOOR
AD-----AREA DRAIN
FD-----FLOOR DRAIN
TP-----TOP OF PIPE
INV-----INVERT ELEVATION
TG-----TOP OF GRATE
TMH-----TOP OF MANHOLE
DS-----DOWN SPOUT
RD-----ROOF DRAIN
GS-----GUTTER SLOPE
PAR-----PLANTER AREA REQ'D



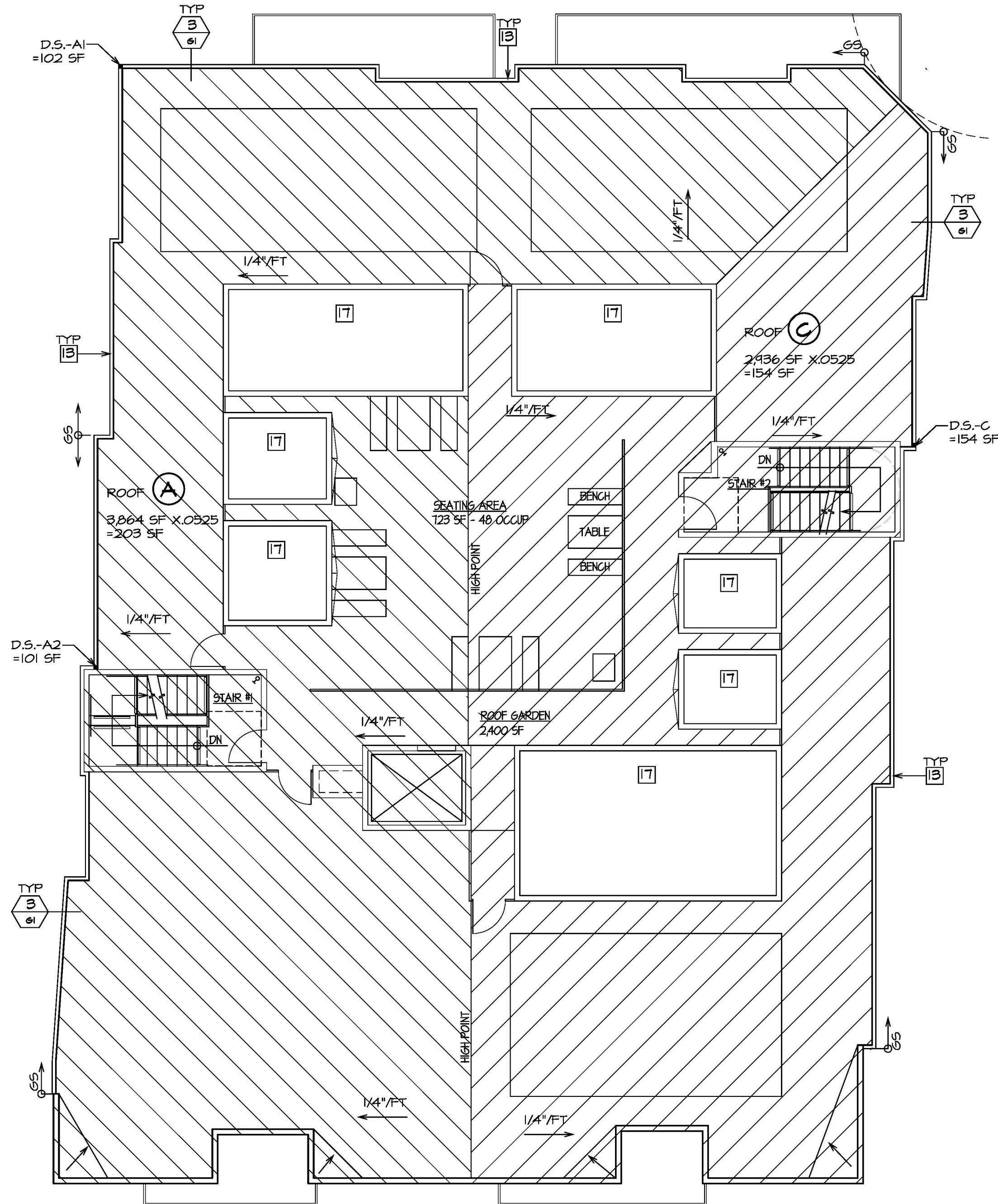
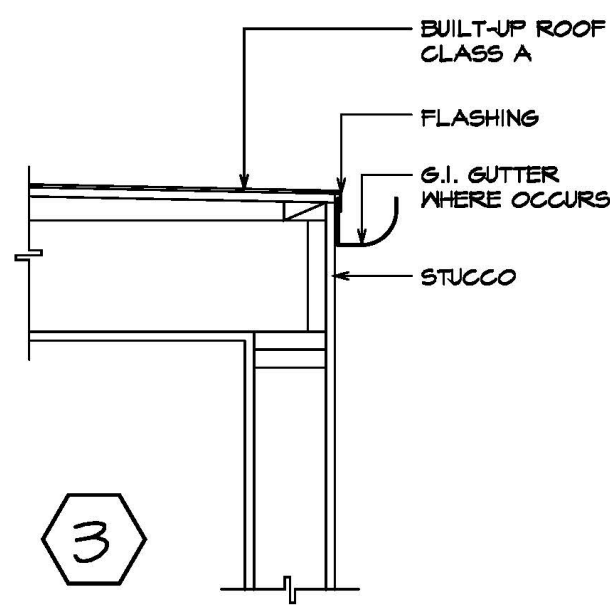
NOTE: ALL CATCH BASINS & TRENCH DRAINS SHALL BE STENCILED "NO DUMPING - DRAINS TO OCEAN" PER LOGO ICON

WATER MITIGATION TABLE

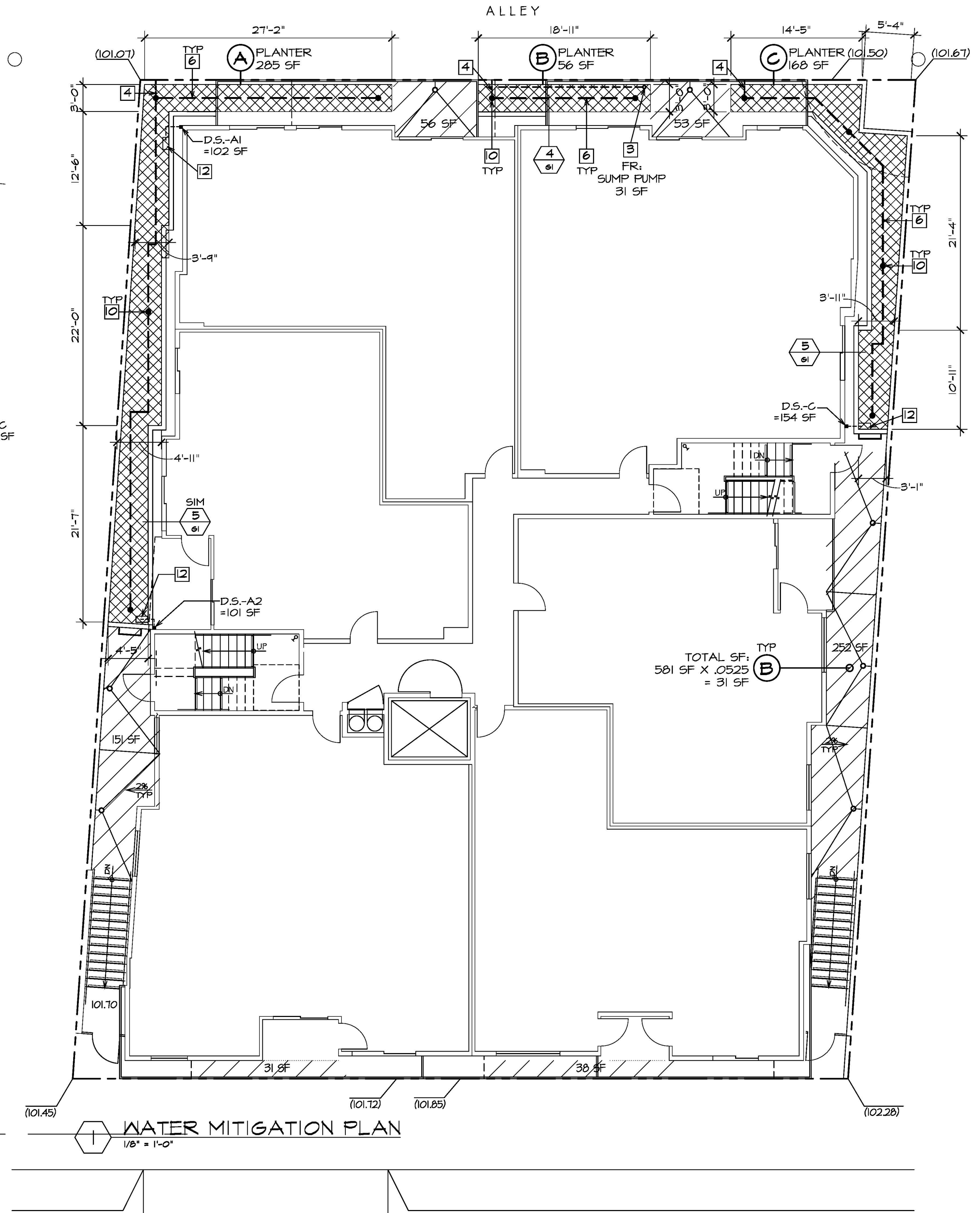
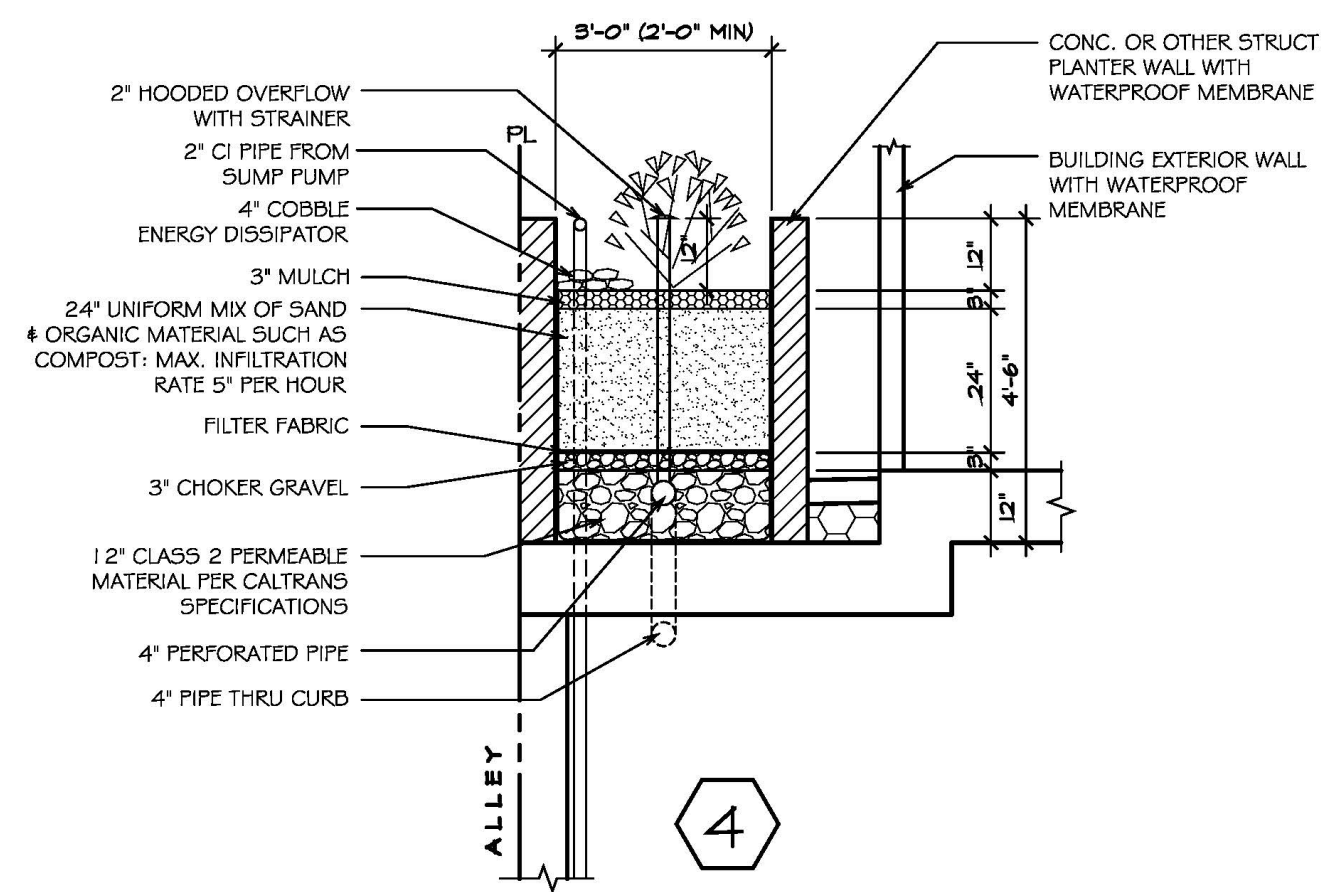
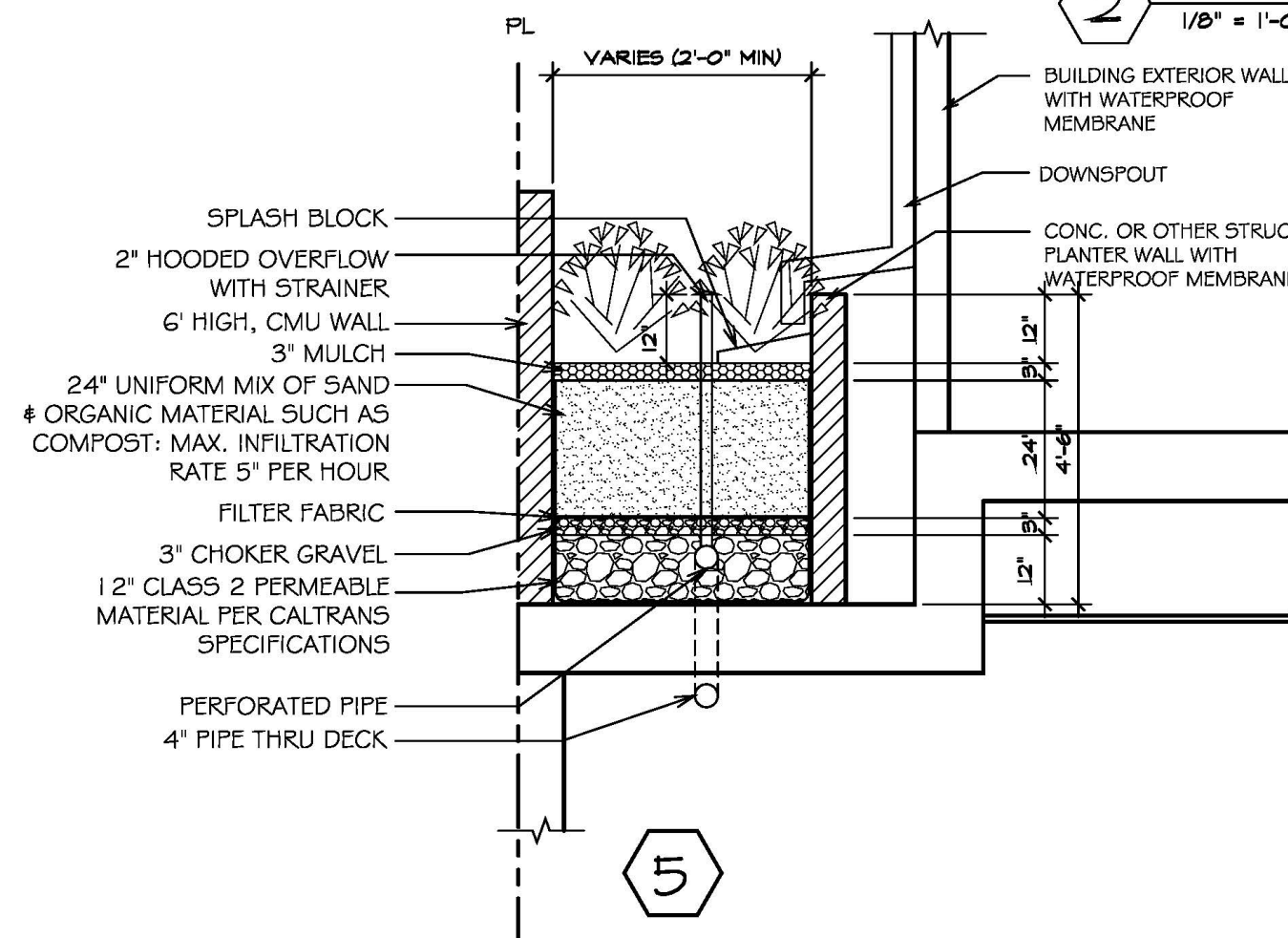
IMPERVIOUS AREA		PLANTER AREA REQ'D (P.A.R.)	PLANTER AREA PROV'D
A ROOF	3,864 SF	203 SF	A 285 SF
B WALKWAYS & 2ND FLR BALCONIES	581 SF	31 SF	B 56 SF
C ROOF	2,936 SF	154 SF	C 168 SF
TOTAL	7,381 SF	388 SF	504 SF

NOTES:

1. ALL ROOF DRAINS TO FLOW TO STORMWATER PLANTERS.
2. ALL STORM WATER PLANTER SIZES ARE INSIDE DIMENSIONS.



2 ROOF DRAINAGE PLAN
1/8" = 1'-0"



1 WATER MITIGATION PLAN
1/8" = 1'-0"

SANTA MONICA BOULEVARD

REVISIONS		DATE		ISSUED FOR	
1	DATE	12/7/15	ZONE CHANGE	12/7/15	12/7/15
2	DATE	1/18/17	DENSITY BONUS	1/18/17	1/18/17
<p>ARCHITECT: GIOVANNI URIU, C-7487, EXP. 1/31/19, STATE OF CALIFORNIA</p> <p>URIU & ASSOCIATES ARCHITECTURE, PLANNING 830 S. GLENDALE AVENUE, GLENDALE, CA 91205</p>					
SHEET TITLE ROOF DRAINAGE & WATER MITIGATION PLAN			JOB TITLE 10608 SANTA MONICA BOULEVARD		
DRAWN			CHECKED		
JOB 1523			SHEET G2		



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10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17
REFERENCE:

SCALE:

NOT FOR
CONSTRUCTION

SHEET TITLE:
COVER

SHEET NUMBER:
A000
SHEET REFERENCE:



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Google Earth

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17
REFERENCE:

SCALE:

NOT FOR
CONSTRUCTION

SHEET TITLE:
PERSPECTIVE

SHEET NUMBER:
A001
SHEET REFERENCE:



© 2017 Google

Google Earth

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17
REFERENCE:

SCALE:

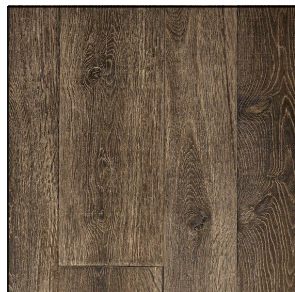
NOT FOR
CONSTRUCTION

SHEET TITLE:
PERSPECTIVE

SHEET NUMBER:
A002
SHEET REFERENCE:

FINISH MATERIALS LEGEND

- ① STUCCO, SMOOTH TROWEL, COLOR: WHISPER WHITE (DE W340)
- ② WOOD TILE
- ③ BRICK VENEER
- ④ STUCCO, SMOOTH TROWEL, COLOR: TBD (GRAY TO MATCH BRICK)
- ⑤ GLASS GUARDRAIL
- ⑥ METAL GUARDRAIL
- ⑦ WINDOWS: CLEAR ANODIED ALUMINUM
- ⑧ 12" TALL CUT STEEL LETTERS, 3/4" THICK, FONT: BOOKMAN OLD STYLE, COLOR: BROWN TO MATCH WOOD TILE (TBD)
- ⑨ FICUS VINES



②



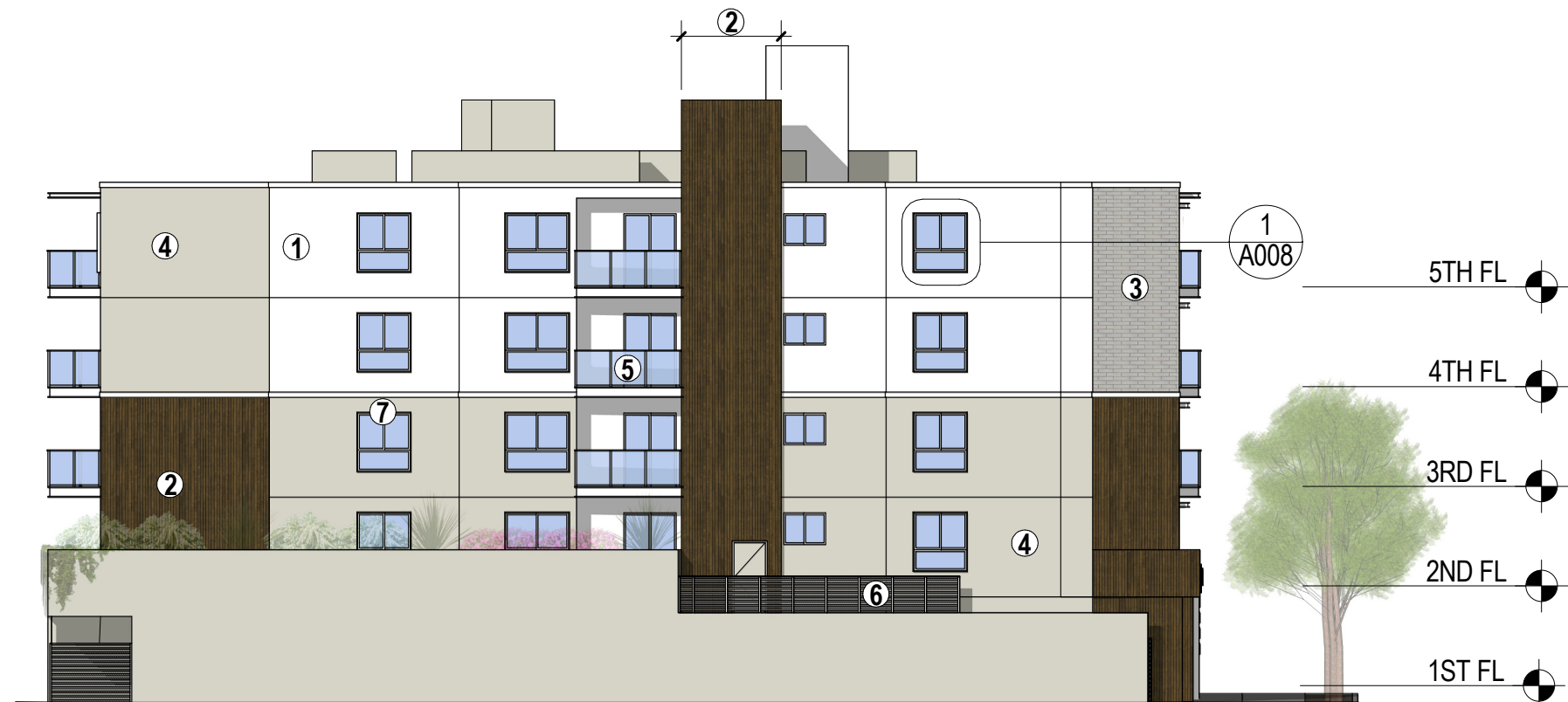
③



NORTH WEST ELEVATION (SANTA MONICA BLVD VIEW)

1/16" = 1'-0"

1



NORTH EAST ELEVATION

1/16" = 1'-0"

2

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17

REFERENCE:

SCALE:
1/16" = 1'-0"

NOT FOR
CONSTRUCTION

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A003

SHEET REFERENCE:

FINISH MATERIALS LEGEND

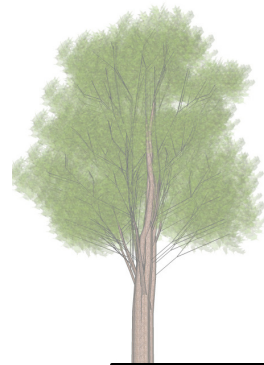
- ① STUCCO, SMOOTH TROWEL, COLOR: WHISPER WHITE (DE W340)
- ② WOOD TILE
- ③ BRICK VENEER
- ④ STUCCO, SMOOTH TROWEL, COLOR: TBD (GRAY TO MATCH BRICK)
- ⑤ GLASS GUARDRAIL
- ⑥ METAL GUARDRAIL
- ⑦ WINDOWS: CLEAR ANODIED ALUMINUM
- ⑧ 12" TALL CUT STEEL LETTERS, 3/4" THICK, FONT: BOOKMAN OLD STYLE, COLOR: BROWN TO MATCH WOOD TILE (TBD)
- ⑨ FICUS VINES



②



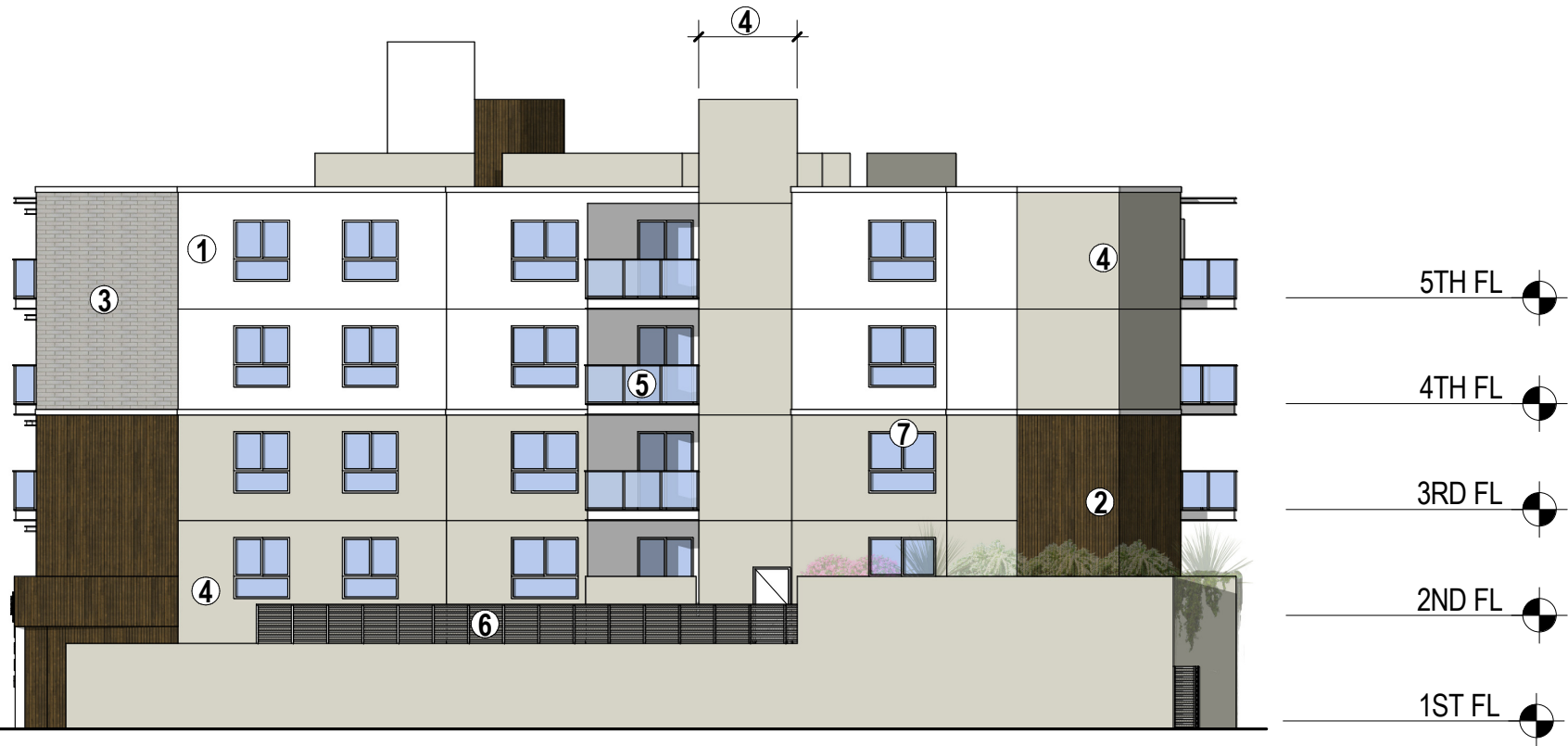
③



SOUTH EAST ELEVATION (BACK)

1/16" = 1'-0"

1



SOUTH WEST ELEVATION

1/16" = 1'-0"

2

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17

REFERENCE:

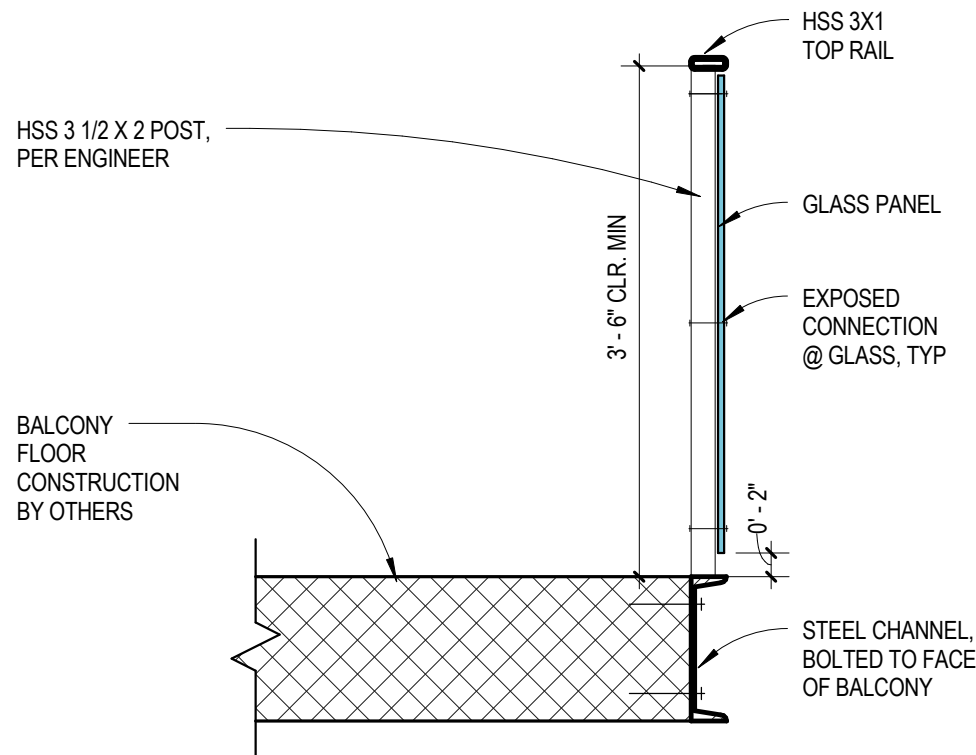
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1/16" = 1'-0"

NOT FOR
CONSTRUCTION

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A004

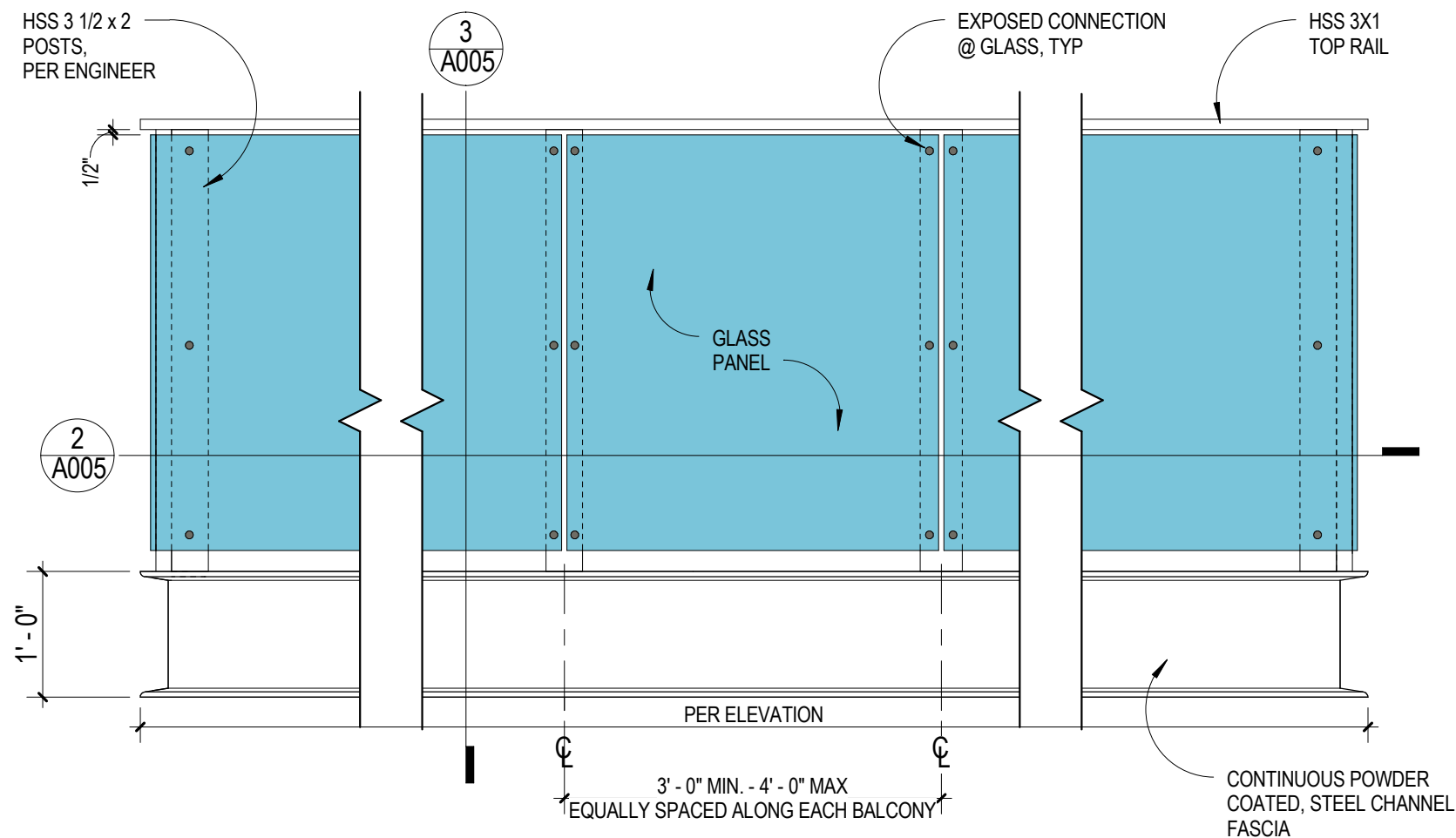
SHEET REFERENCE:



GLASS GUARDRAIL SECTION

3/4" = 1'-0"

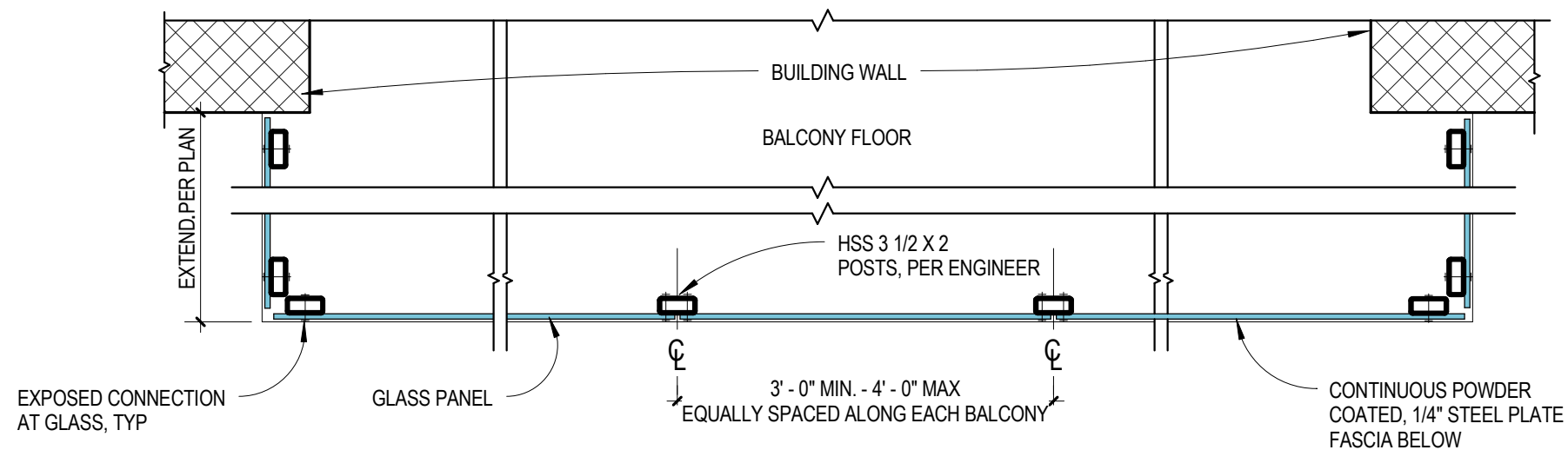
3



GLASS GUARDRAIL ELEVATION

3/4" = 1'-0"

1



GLASS GUARDRAIL PLAN

3/4" = 1'-0"

2

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

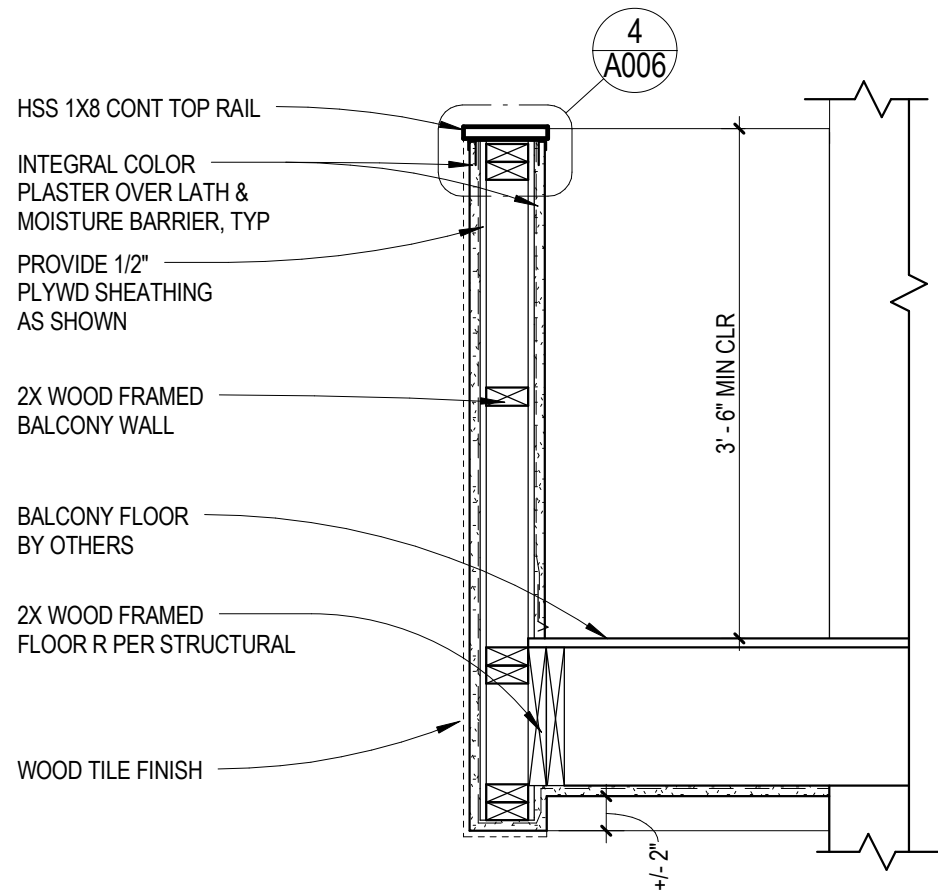
ISSUE DATE:
07/31/17
REFERENCE:

SCALE:
3/4" = 1'-0"

NOT FOR
CONSTRUCTION

SHEET TITLE:
GLASS GUARDRAIL
DETAILS

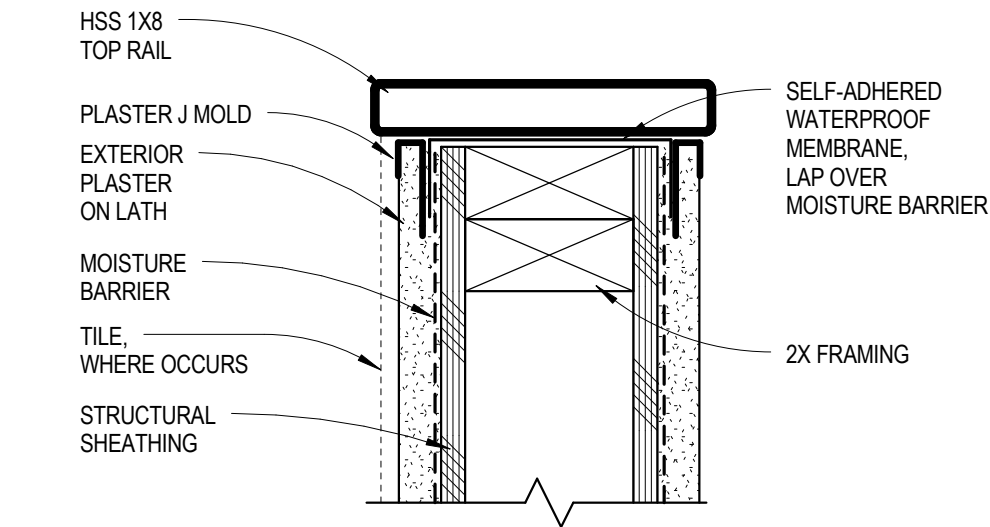
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A005
SHEET REFERENCE:



WOOD TILE STUCCO GUARDRAIL SECTION

3/4" = 1'-0"

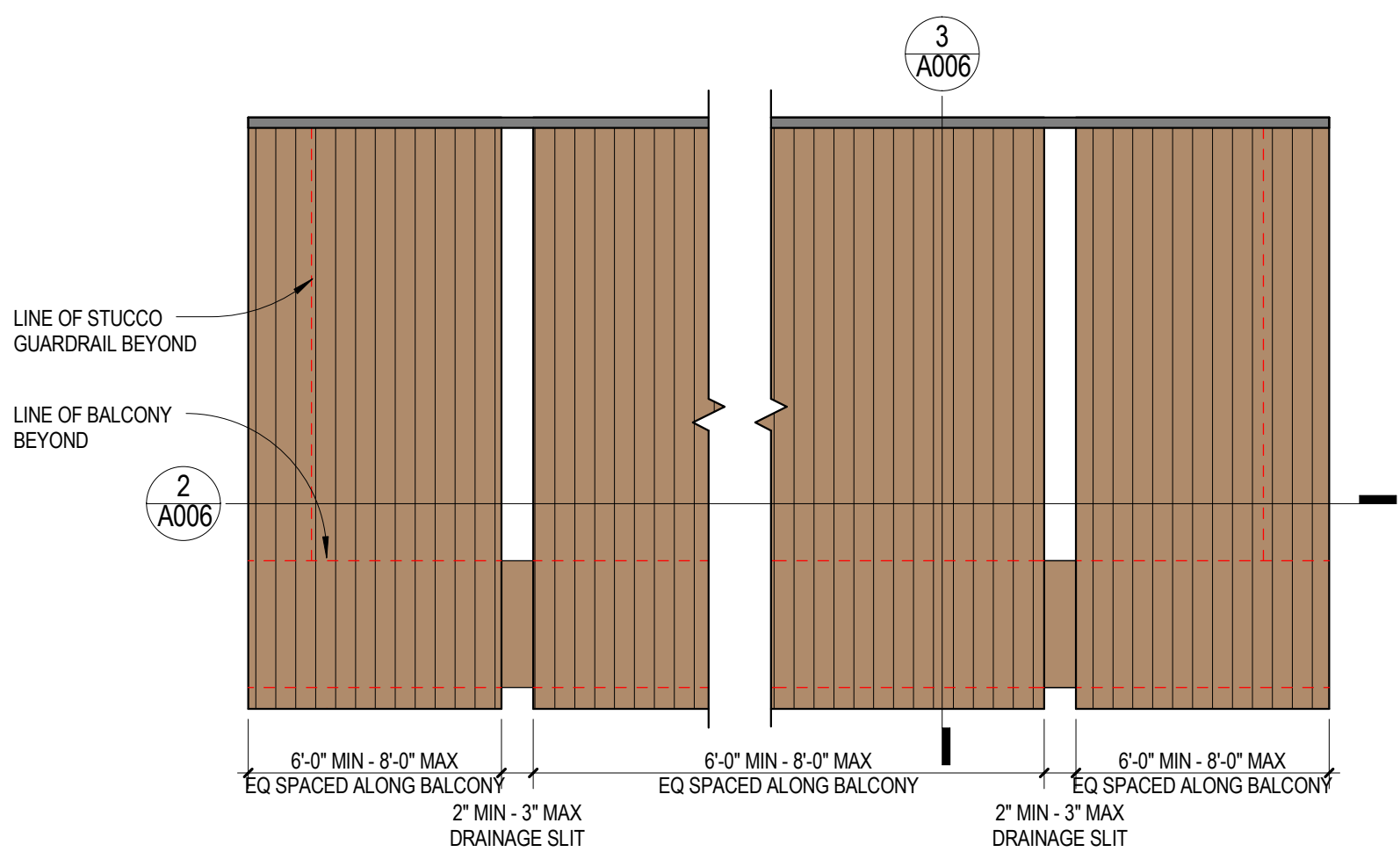
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TOP RAIL @ WOOD TILE STUCCO BALCONY

3" = 1'-0"

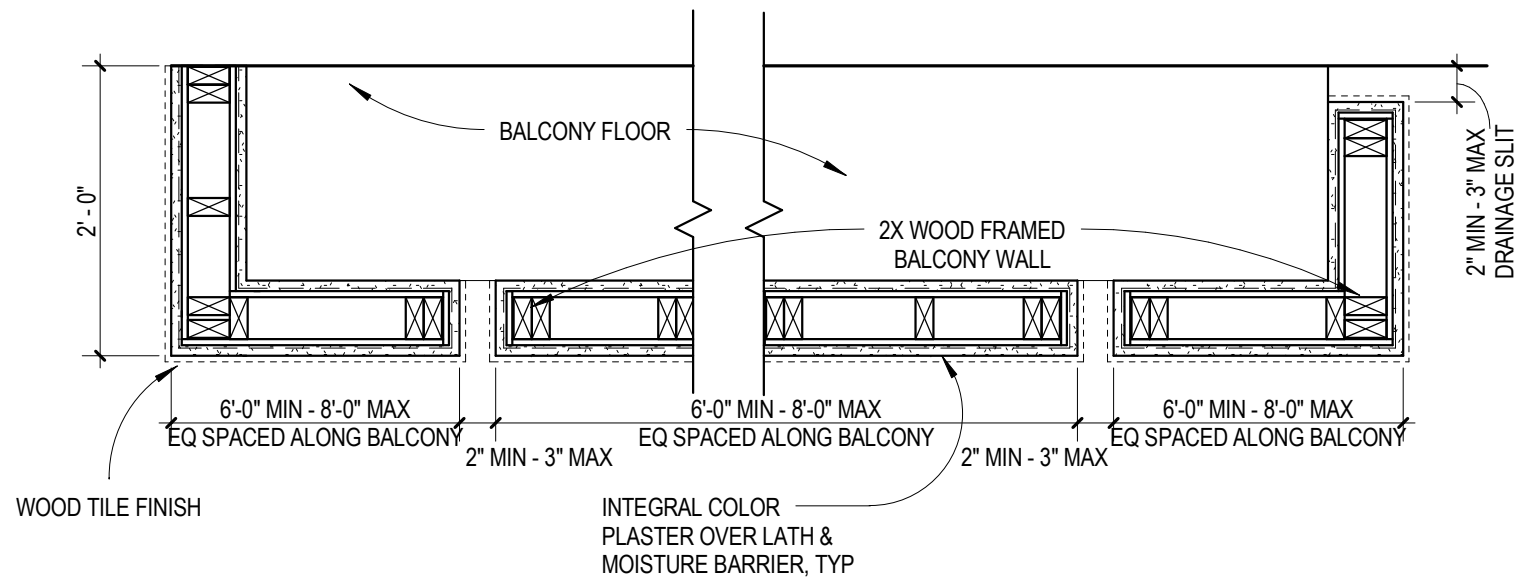
4



WOOD TILE STUCCO GUARDRAIL ELEVATION

3/4" = 1'-0"

1



WOOD TILE STUCCO GUARDRAIL PLAN

3/4" = 1'-0"

2

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:

07/31/17

REFERENCE:

SCALE:

As indicated

NOT FOR
CONSTRUCTION

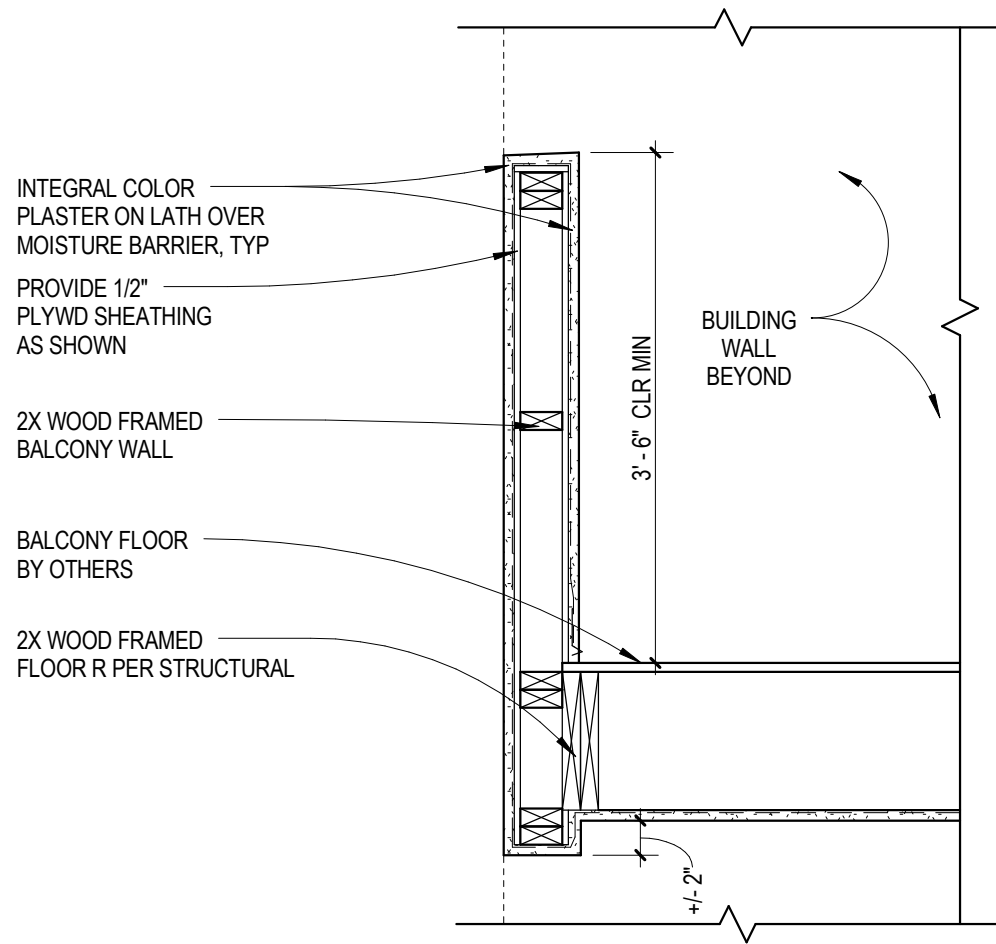
SHEET TITLE:

WOOD TILE AND
STUCCO
GUARDRAIL

SHEET NUMBER:

A006

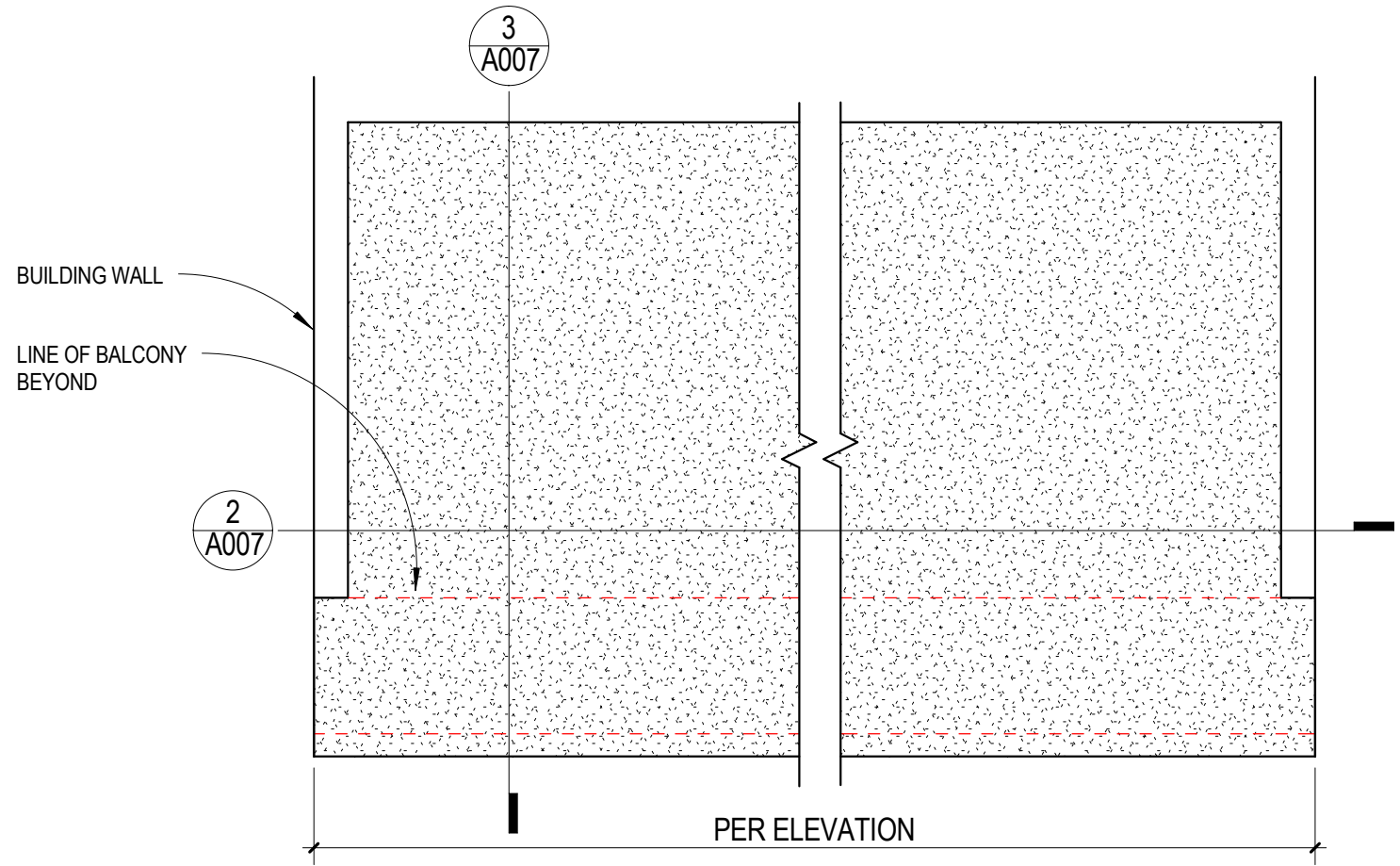
SHEET REFERENCE:



STUCCO GUARDRAIL SECTION

3/4" = 1'-0"

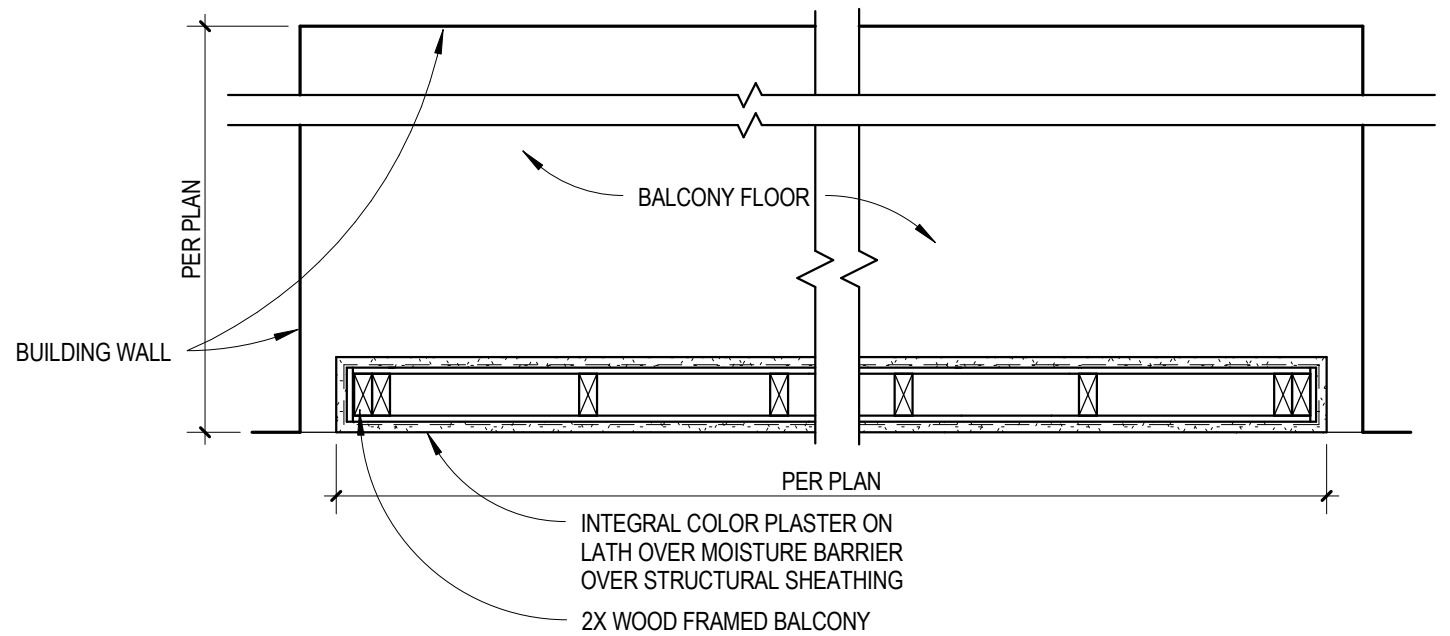
3



STUCCO GUARDRAIL ELEVATION

3/4" = 1'-0"

1



STUCCO GUARDRAIL PLAN

3/4" = 1'-0"

2

10608 SANTA MONICA BLVD

LOS ANGELES, CA 90025

JOB NUMBER:

ISSUE DATE:
07/31/17

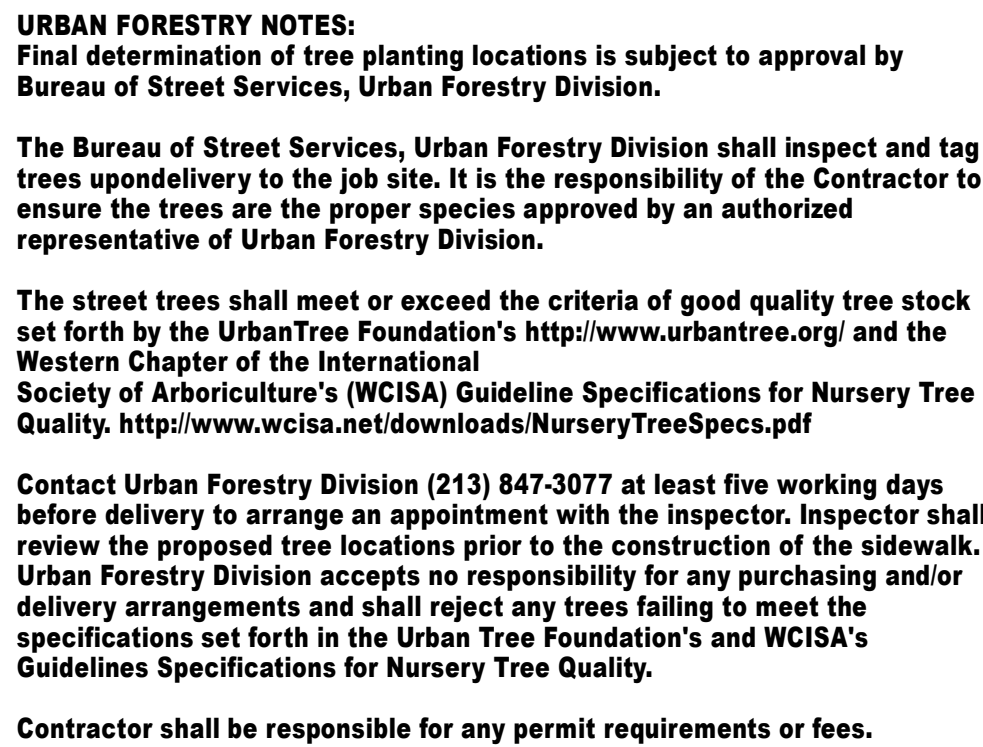
REFERENCE:










SCALE:
3/4" = 1'-0"

NOT FOR
CONSTRUCTION

SHEET TITLE:
STUCCO
GUARDRAIL

SHEET NUMBER:
A007
SHEET REFERENCE:



Botanical Name		Common Name	Qty	Size	WUCOLS	REPLACEMENT TYPE
1	 <i>Convolvulus cneorum</i>	Bush Morning Glory	36	5 Gal.	Low	
2	  New street tree, size and species TBD by city	Urban Forestry Division	2	24" box	Low	Yes
3	 <i>Dietes irioides</i>	Butterfly Iris	11	5 Gal.	Low	
4	 <i>Agonis flexuosa</i> 'Jervis Bay Afterdark'	Afterdark Pepper	9	24" box	Low	
5	 <i>Muhlenbergia dumosa</i>	Bamboo Mulhy	34	5 Gal.	Low	Yes
6	 <i>Prunus ilcifolia</i> 'Lyoni'	Catalina Cherry	10	15 Gal.	Low	
7	 <i>Rhaphiolepis indica</i> 'Pink Lady'	Pink Lady Indian Hawthorn	25	5 Gal.	Low	
8	 <i>Dymondia margaratae</i>	Silver Carpet @ 12" o.c.	4	Flats	Low	

		Maximum Applied Water Allowance (MAWA)							
		MAWA=		(Eto) x 0.62 x [(0.55 x LA)+(1 - 0.55 x SLA)]					
		(Eto)	LANDSCAPE AREA (LA)	ETAF		SLA		MAWA	
		50.1	1802	0.55		0.00		33433.58	
								GAL/YR	
		Estimated Total Water Use (ETWU)							
		ETWU=(Eto)*(.62)*(PF*HA/E+SLA)							
		(Eto)	PF	HA		IE		SLA	
		50.1	0.30	1802.00		0.81		0.00	
								ETWU	
								32364.67	
								GAL/YR	
		Hydzone Table for Calculating ETWU							
Zone	Planting Description	Water Needs	PF	Irrigation Method	IE	ETAF (PF/IE)	Hydzone Area (HA)	ETAF x	
1	Trees	Low	0.3	Drip	0.81	0.37	100	37	
2	Groundcover	Low	0.3	Drip	0.81	0.37	253	94	
3	Shrubs	Low	0.3	Drip	0.81	0.37	393	146	
4	Trees	Low	0.3	Drip	0.81	0.37	120	44	
5	Shrubs	Low	0.3	Drip	0.81	0.37	275	102	
6	Shrubs	Low	0.3	Drip	0.81	0.37	346	128	
7	Shrubs	Low	0.3	Drip	0.81	0.37	315	117	
Sum			0.30		0.81	0.37	1802.00	667.41	
								A	
								B	
Special Landscape Areas									
						1.00	0	0	
Sum						1.00	0.00	0.00	
								C	
								D	
ETAF CALCULATIONS									
Regular Landscape Areas									
Total ETAF x Area		(B)	667.41			All Landscape Areas			
Total ETAF x Area		(B)	667.41			Total ETAF x Area		(B+D)	667.41
Total Area		(A)	1802.00			Total Area		(A+C)	1802.00
Average ETAF		(B / A)	0.37			Average ETAF		(B+D / C + A)	0.37

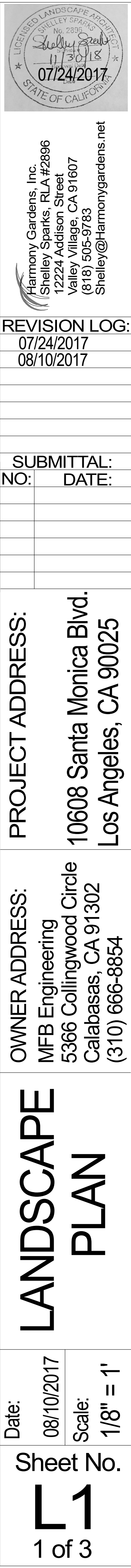
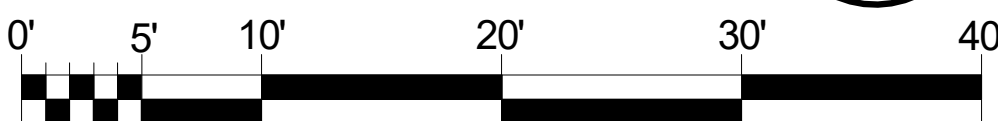
Potential Landscape Area (Lot Area minus Building Footprint)				
LOT AREA:	10202 SF			
BUILDING FOOTPRINT	7,126 SF			
TOTAL POTENTIAL LANDSCAPE AREA:	3,076 SF			
Open Space Required				
UNITS W/2 HABITABLE ROOMS @125 SF:	16	2000 SF		
UNITS W/3 HABITABLE ROOMS @175 SF:	8	1,400 SF		
TOTAL		3,400 SF		
Open Space Provided				
PRIVATE OPEN SPACE (50 SF/UNIT)	24	1200 SF		
ROOF GARDEN		2,400 SF		
TOTAL		3,600 SF		
Total points required per Guidelines O- 15 (Lot area 10202 SF)				
DETAIL OF POINTS	POINTS PER ITEM	QTY.	POINTS CLAIMED	CALLOUT/ SHEET
Soil amended w Class I Mulch	3	1	3	Note B - L-1
Parkway planting- no lawn	3/50 sf	5	15	A - L-1
TOTAL POINTS:			18	
Total points required for Guidelines AA: 200 (Lot area 10202 SF)				
Sensor for rain	1	1	1	D - L-2
Landscape meter(25% of required points)	25%	1	50	E - L-2
Automatic irrigation Controller	5	1	5	C - L-2
Drip Irrigation	5/circuit	7	35	
No Lawn	10	1	10	Legend L-1
Plants requiring monthly summer water after established for 3 years	2/pt.	124	248	Legend L-1
Ficus/2000 sf	3pts/flat	4	12	Legend L-1
TOTAL POINTS:			361	
The subdivider shall record a covenant and agreement satisfactory to the Advisory Agency guaranteeing that:				
a. The planting and irrigation system shall be completed by the developer/builder prior to the dose of escrow of 50 percent of the units of the project or phase.				
b. Sixty days after landscape and irrigation installation, the landscape professional shall submit to the homeowners / property owners association a Certified of Substantial Completion (12.40 G LANC).				
c. The developer / builder shall maintain the landscaping and irrigation for 60 days after completion of the landscape and irrigation installation.				
d. The developer/builder shall guarantee all trees and irrigation for a period of six months and all other plants for a period of 60 days after landscape and irrigation installation.				

Summary of Existing Trees			
Tree	Botanical Name	Common Name	Replace Tree
1	<i>Koeberlinia bipinnata</i> *	Chinese Flame Tree	No
2	<i>Koeberlinia bipinnata</i> *	Chinese Flame Tree	Yes
3	<i>Koeberlinia bipinnata</i> *	Chinese Flame Tree	No
4	<i>Koeberlinia bipinnata</i> *	Chinese Flame Tree	No
5	<i>Albizia julibrissin</i>	Silk Tree	No
6	<i>Arcauthia heterophylla</i>	Norfolk Island Cypress	Yes
7	<i>Cupressus sempervirens</i>	Italian Cypress	Yes
8	<i>Cupressus sempervirens</i>	Italian Cypress	Yes
9	<i>Citrus x limon</i> 'Meyer'	Meyer Lemon	Yes
10	<i>Juniperus procumbens</i>	Japanese Privet	Yes

* 'Street Tree. Contact the Urban Forestry Division, Bureau of Street Services for the city of Los Angeles at (213) 847-3007 if this tree requires removal.











REQUIRED AND PROVIDED TREES TABLE			
TREES	NUMBER	RATIO	REQ.
EXISTING ON SITE (Excluding extg. Parkway trees)	6	1 to 1	6
EXISTING PARKWAY TREES TO BE REMOVED*	1	2 to 1	2
TOTAL ON SITE TREES TO BE REPLACED			8
PER UNIT	28	1 TREE/4 UNITS	7
MIN. NO. TREES REQ. (6>7)			8
TREES PROVIDED			
LOCATION	SHEET	SIZE	QTY
PLANTERS	L1	24" BOX	6
PARKWAY (NEW)	L1	24" BOX	2
PARKWAY (EXTG)	L1	24" BOX	3
TOTAL TREES		24" BOX	11

LEGAL DESCRIPTION:
APN: 4321-003-005
PIN: 129B157
TRACT: 5609
LOTS: 2 & 3 BLK: 117
M B 76-68-71 LOS ANGELES COUNTY

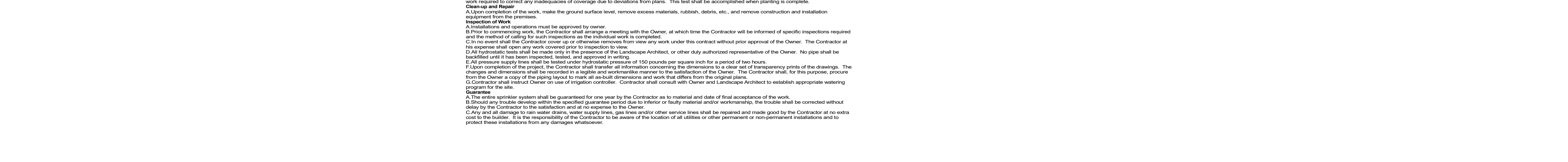




STATIC PRESSURE AT METER: 81 - 72 PSI PER KEVIN CUN, LADWP 213-367-0973

IRRIGATION LEGEND		
SYMBOL	DESCRIPTION	PART NO
	DEDICATED IRRIGATION SUB-METER	1"
	FEBCO BACKFLOW PREVENTER	MODEL 825Y
	WILKINS PRESSURE REDUCING VALVE	600
	HUNTER CONTROL ZONE VALVE KIT	PCZ-10-25
	HUNTER RAIN SENSOR, CONDUIT MOUNT	SOLAR-SYNC
	HUNTER I-CORE CONTROLLER	IC-600-M, six station w/ one ICM-600 exp. module
	HOSE BIB - OWNER TO SELECT LOCATION	
	NIBCO GATE VALVE	SIZE PER LINE
	SCHED. 40 PVC LATERAL LINE	3/4"
	SCHED. 40 PVC MAIN LINE	

NOTES:
Plumbing contractor to install stub line for rooftop and second floor courtyard irrigation
Locks shall be installed on all publicly accessible exterior faucets and hose bibs



LANDSCAPE DETAILS AND SPECS.		OWNER ADDRESS: MFB Engineering 5366 Collingwood Circle Calabasas, CA 91302 (310) 666-8854		PROJECT ADDRESS: 10608 Santa Monica Blvd. Los Angeles, CA 90025	
Date: 02/15/2017		NOT TO SCALE		Sheet No. L3 3 of 3	

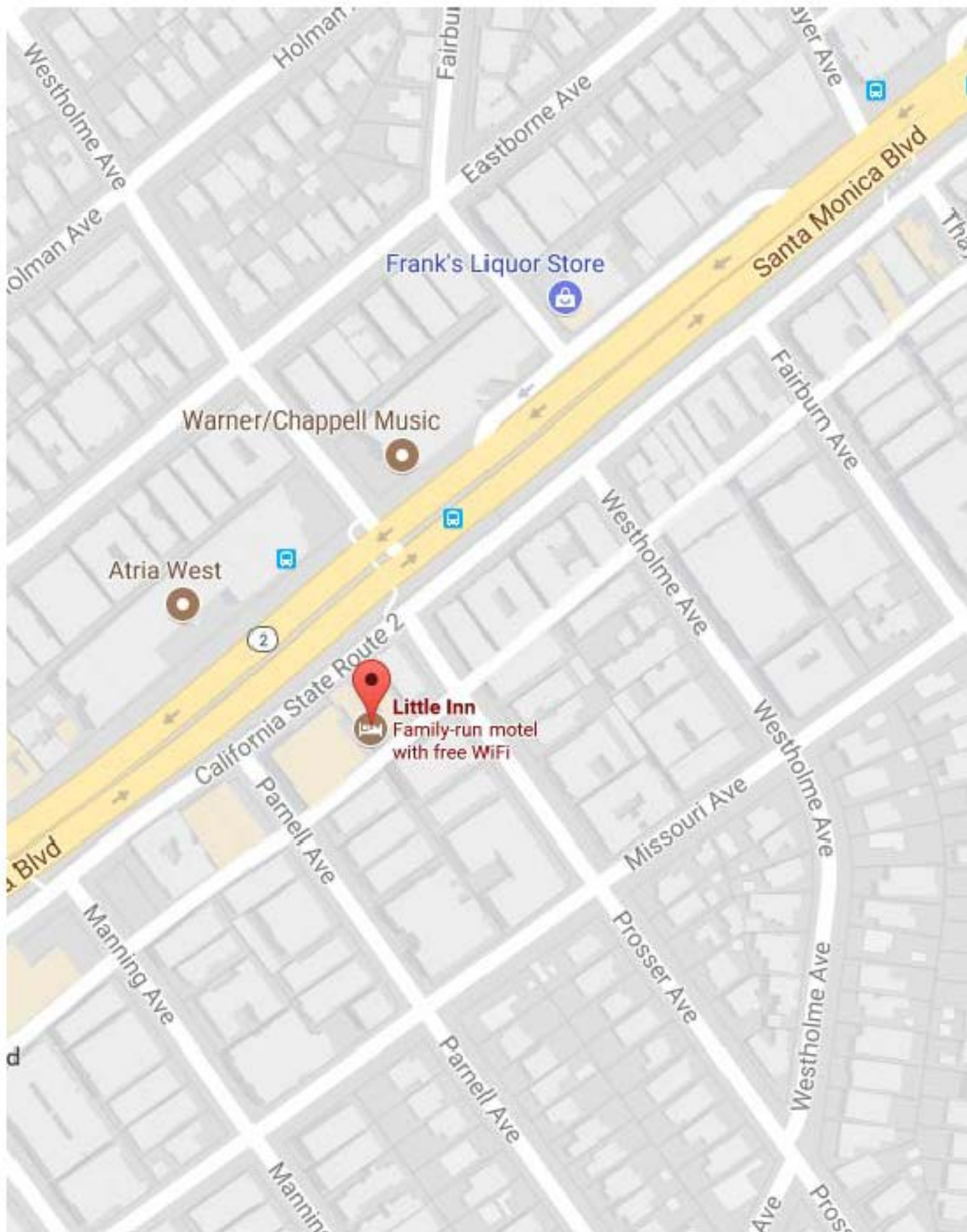
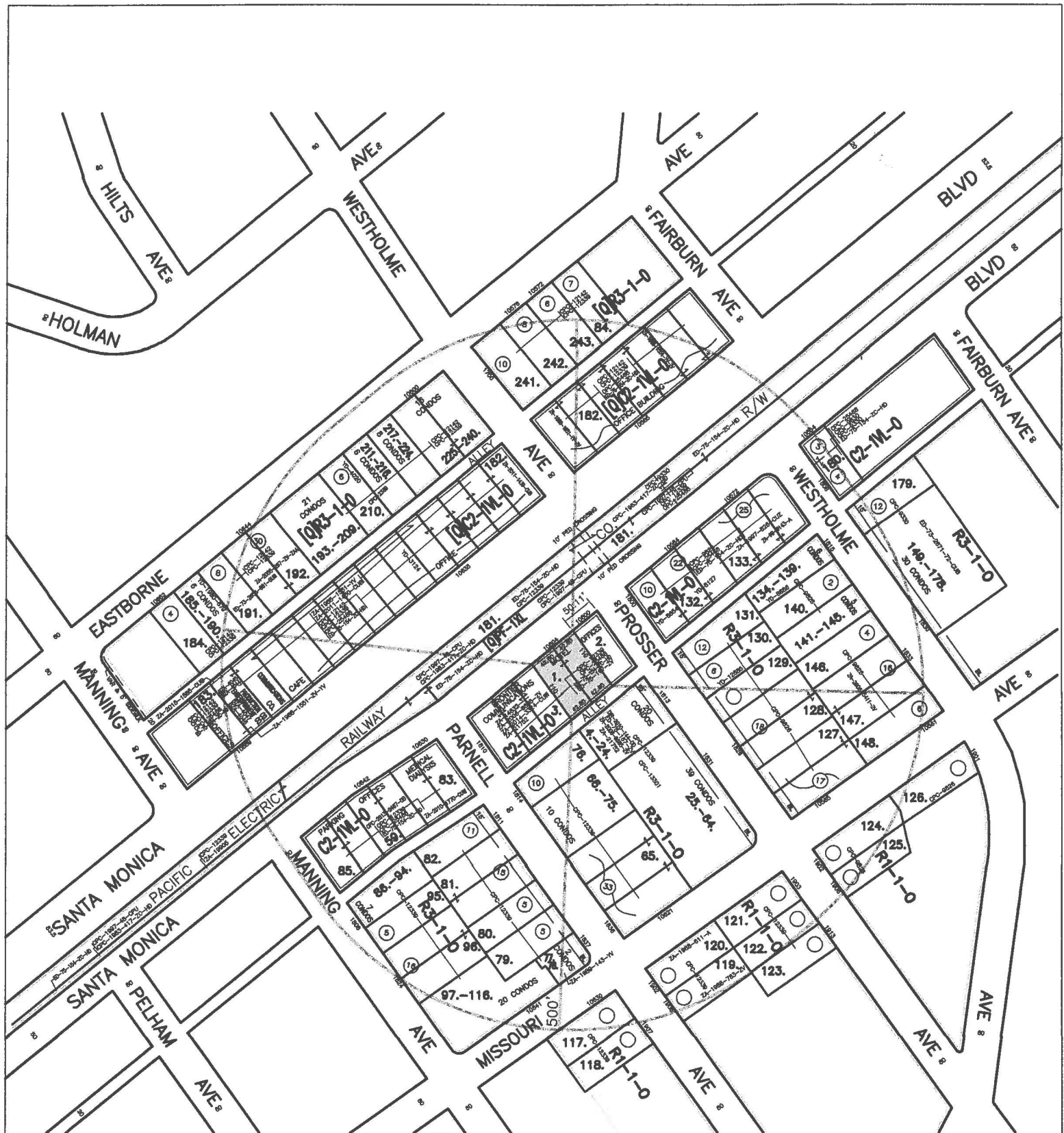


Exhibit B



CPC 2017-0699-DB

LEGAL: LOTS 2 & 3, BLOCK 117, TRACT 5609, M.B. 76-88/71

NEW T.B.
PAGE 632
GRID C-4

C.D. 5 - KORETZ
C.T. 2671.00
P.A. WEST LOS ANGELES

DENSITY BONUS



CAD GRAPHICS BY
JPL Zoning Services
6257 Van Nuys Blvd, #101
Van Nuys, CA 91401
(818)781-0016

CASE NO:
DATE: 02-07-2017
DRAWN BY: JPL ZONING SERVICES
D.M. OR CAD: 129B157

SCALE: 1"=100'
USES: FIELD
CONTACT PERSON: Hayden Planning
PHONE NO: 310-614-2964

NET ACRES
= 0.215 Acres



JPL-7765RM

COUNTY CLERK'S USE

CITY OF LOS ANGELES

CITY CLERK'S USE

OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 360
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(California Environmental Quality Act Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). Pursuant to Public Resources Code Section 21167 (d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project. Failure to file this notice with the County Clerk results in the statute of limitations being extended to 180 days.

LEAD CITY AGENCY City of Los Angeles Department of City Planning	COUNCIL DISTRICT 5 - Koretz
--	---------------------------------------

PROJECT TITLE CPC-2017-699-DB	LOG REFERENCE ENV-2017-700-CE
---	---

PROJECT LOCATION 10604 – 10612 West Santa Monica Boulevard
--

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT:
The demolition of an existing 14-unit motel and removal of up to four (4) trees located within the public right-of-way for the construction, use, and maintenance of a new five-story mixed-use building consisting of 24 residential dwelling units, with three units set aside as restricted affordable housing, and 625 square feet of ground floor commercial. The proposed building will have approximately 28,050 square feet of floor area and one level of subterranean parking.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT, IF OTHER THAN LEAD CITY AGENCY:
MFB Engineering

CONTACT PERSON Matthew Hayden, Hayden Planning	AREA CODE 310	TELEPHONE NUMBER 614-2964	EXT.
--	-------------------------	-------------------------------------	----------

EXEMPT STATUS: (Check One)

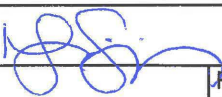
	STATE CEQA GUIDELINES	CITY CEQA GUIDELINES
<input type="checkbox"/> MINISTERIAL	Sec. 15268	Art. II, Sec. 2b
<input type="checkbox"/> DECLARED EMERGENCY	Sec. 15269	Art. II, Sec. 2a (1)
<input type="checkbox"/> EMERGENCY PROJECT	Sec. 15269 (b) & (c)	Art. II, Sec. 2a (2) & (3)
<input type="checkbox"/> CATEGORICAL EXEMPTION	Sec. 15300 <i>et seq.</i>	Art. III, Sec. 1

Class 32 Category _____ (City CEQA Guidelines)

☐ OTHER (See Public Resources Code Sec. 21080 (b) and set forth state and City guideline provision.)

JUSTIFICATION FOR PROJECT EXEMPTION: In-fill development meeting the conditions described in this section. (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. See attached narrative.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

SIGNATURE 	TITLE CITY PLANNER	DATE June 12, 2017
FEE: \$2,280	RECEIPT NO. 0104697383 (Invoice 35135)	REC'D. BY LADBS
		DATE February 22, 2017

DISTRIBUTION: (1) County Clerk, (2) City Clerk, (3) Agency Record
Rev. 11-1-03 Rev. 1-31-06 Word

IF FILED BY THE APPLICANT:

NAME (PRINTED) _____

SIGNATURE _____

DATE _____

Exhibit C

**DEPARTMENT OF
CITY PLANNING**

CITY PLANNING COMMISSION

DAVID H. J. AMBROZ
PRESIDENT

RENEE DAKE WILSON
VICE-PRESIDENT

CAROLINE CHOE
RICHARD KATZ
JOHN W. MACK
SAMANTHA MILLMAN
MARC MITCHELL
VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

ROCKY WILES
COMMISSION OFFICE MANAGER
(213) 978-1300

CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801

VINCENT P. BERTONI, AICP
DIRECTOR
(213) 978-1271

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER
(213) 978-1272

LISA M. WEBBER, AICP
DEPUTY DIRECTOR
(213) 978-1274

JAN ZATORSKI
DEPUTY DIRECTOR
(213) 978-1273

<http://planning.lacity.org>

June 12, 2017

Mahyar Barin (A)
MFB Engineering
5366 Collingwood Circle
Calabasas, CA 91302

Michael Weber (O)
10604 W. Santa Monica Blvd
Los Angeles, CA 90025

Matthew Hayden (R)
Hayden Planning
10008 W. National Blvd #229
Los Angeles, CA 90034

RE: Case No.: CPC-2017-699-DB
Related Cases: N/A
Address: 10604 – 10612 West Santa Monica
Boulevard
Community Plan: West Los Angeles
Zones: C2-1VL-O
Council District: 5 - Koretz
CEQA No.: ENV-2017-700-CE

RE: ENV-2017-700-CE (Categorical Exemption - Class 32)

The project site is located at 10604 – 10612 West Santa Monica Boulevard and is comprised of two parcels, with 9,350 square feet of lot area. The site is located along the eastern side of Santa Monica Boulevard and has approximately 84 feet of frontage along the service road of Santa Monica Boulevard. There is an improved 20-foot alley located to the rear of the site, which is accessible from Prosser Avenue to the north and Parnell Avenue to the south.

The project site is located within the West Los Angeles Community Plan, which designates the site with a land use designation of General Commercial. The project site is zoned C2-1VL-O and is located within the West Los Angeles Transportation Improvement Mitigation Specific Plan and within a designated Transit Priority Area.

The project site is developed with a fourteen unit motel that was constructed in the 1946. The project would remove the existing motel for the construction of the proposed five-story, 54-foot high, 28,050 square-foot mixed-use building. The project will include 625 square feet of ground floor commercial space and 24 residential dwelling units with three units set aside for Very-Low Income Households. The project proposes to provide parking on the ground level and one level of subterranean parking. There are approximately four trees located within the public right-of-way. Removal and replacement of street trees would be subject to the review and approval from the Bureau of Street Services, Urban Forestry Division.

The project site is located within a Methane Zone and within the Santa Monica Preliminary Fault Rupture Study Area. Prior to the issuance of a permit for grading or construction, the project would be required to comply with applicable Building and Fire Code regulations as it relates to the Methane. The Grading Division of the Department of Building and Safety reviewed the project as originally proposed as a six-story mixed-use building with a basement and a Geology/Soils Report prepared by Applied Earth Sciences. Although the project has been revised, the proposed building envelope and grading is substantially the same as the original project. The project would be subject to the conditions contained within the Geology and Soils Report Approval Letter, Log #91648, dated February 18, 2016.

The proposed project would not have a significant effect on the environment. A “significant effect on the environment” is defined as “a substantial, or potentially substantial, adverse change in the environment” (CEQA Guidelines, Public Resources Code Section 21068). The proposed project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the City’s L.A. CEQA Thresholds Guide. These two documents establish guidelines and thresholds of significant impact, and provide the data for determining whether or not the impacts of a proposed project reach or exceed those thresholds. Analysis of the proposed Project determined that it is Categorically Exempt from environmental review pursuant to Article III, Section I, and Class 32 of the CEQA Guidelines and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The proposed project qualifies for a Categorical Exemption because it conforms to the definition of “In-fill Projects” as follows:

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations:

The project site is located within the West Los Angeles Community Plan, one of 35 Community Plans that the Land Use Element of the General Plan is comprised of. The Community Plan contains goals, objectives, and policies relative to land use and is implemented through the Zoning Code. The Community Plan designates the site with a land use designation of General Commercial, which lists the C1.5, C2, CR, C4, RAS3, RAS4, and P Zones as corresponding zones. The project site is zoned C2-1VL-O, which is consistent with the land use designation.

The project site is comprised of two parcels and consists of 9,350 square feet of lot area, which would permit a maximum of 24 dwelling units. As the project proposes the construction of 24 dwelling units, the proposed density is consistent with the zone and the land use designation. With the approval of the requested on- and off-menu incentives in conjunction with the set aside of three dwelling units for Very-Low Income households, the project would be consistent with the goals, objectives, and policies of the Community Plan and with the applicable zoning regulations.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:

The project site is comprised of two parcels, with approximately 9,350 square feet (0.2 acres) of lot area on the eastern side of Santa Monica Boulevard. As stated previously, the site is located within the West Los Angeles Community Plan, which is an urbanized

area of the City of Los Angeles. Properties located along the eastern and western side of Santa Monica Boulevard are commercially zoned and are developed with commercial and multi-family uses. Properties to the east of the site are zoned for and developed with multi-family residential uses. As such, the project site is located within an area developed with urban uses and is less than five acres.

(c) The project site has no value as habitat for endangered, rare or threatened species:

The Project Site is located within an established, fully developed, urban area and not adjacent to any habitat for endangered, rare or threatened species. The project site has been commercially developed since 1946 and has no value as a habitat for endangered, rare or threatened species.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality:

The proposed project involves the demolition of a fourteen unit motel and the construction of a new five-story, approximately 28,050 gross square-foot structure consisting of 24 residential units and approximately 625 square feet of ground floor commercial space. In a Department of Transportation (LADOT) Referral Form dated February 3, 2017, LADOT reviewed a proposed mixed-use building with 21 residential units and 340 square feet of commercial space and determined that impacts would be less than significant and a traffic study would not be required for the additional two peak hour trips. The project has been revised for a maximum of 24 residential dwelling units and 625 square feet of commercial space. The additional three dwelling units and 285 square feet of commercial space is not anticipated to create any greater impacts, as stated in a referral form dated August 14, 2017, than the original proposed project reviewed by LADOT.

The project would be required to comply with the adopted City of Los Angeles Noise Ordinances Nos. 144,331 and 161,574, as well as any subsequent Ordinances, which prohibit the emission or creation of noise beyond certain levels. These Ordinances cover both operational noise levels (i.e., post-construction), and any construction noise impacts. As a result of this mandatory compliance, the proposed project will not result in any significant noise impacts.

The building construction phase includes the construction of the proposed building on the subject property, grading for subterranean parking, connection of utilities, laying irrigation for landscaping, architectural coatings, paving, and landscaping the subject property. These construction activities would temporarily create emissions of dusts, fumes, equipment exhaust, and other air contaminants. Construction activities involving grading and foundation preparation would primarily generate PM_{2.5} and PM₁₀ emissions. Mobile sources (such as diesel-fueled equipment onsite and traveling to and from the project site) would primarily generate NO_x emissions. The application of architectural coatings would result primarily in the release of ROG emissions. The amount of emissions generated on a daily basis would vary, depending on the amount and types of construction activities occurring at the same time.

Nevertheless, appropriate dust control measures would be implemented as part of the proposed project during each phase of development, as required by SCAQMD Rule 403 - Fugitive Dust. Specifically, Rule 403 control requirements include, but are not limited to, applying water in sufficient quantities to prevent the generation of visible dust plumes,

applying soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system to remove bulk material from tires and vehicle undercarriages before vehicles exit the Project Site, and maintaining effective cover over exposed areas.

Best Management Practices (BMP) will be implemented that would include (but not be limited to) the following:

- Unpaved demolition and construction areas shall be wetted at least three times daily during excavation and construction, and temporary dust covers shall be used to reduce emissions and meets SCAQMD Rule 403;
- All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust;
- General contractors shall maintain and operate construction equipment to minimize exhaust emissions; and
- Trucks shall not idle but be turned off.

The project would replace a fourteen unit motel with a new five-story, mixed-use building with one level of subterranean parking. Possible project-related air quality concerns will derive from the mobile source emissions generated from the proposed residential and commercial uses for the project site. Operational emissions for project-related traffic will be less than significant. In addition to mobile sources from vehicles, general development causes smaller amounts of "area source" air pollution to be generated from on-site energy consumption (natural gas combustion) and from off-site electrical generation. These sources represent a small percentage of the total pollutants. The inclusion of such emissions adds negligibly to the total significant project-related emissions burden generated by the proposed project. The proposed project will not cause the SCAQMD's recommended threshold levels to be exceeded. Operational emission impacts will be at a less-than-significant level.

The development of the project would not result in any significant effects relating to water quality. The project is not adjacent to any water sources and construction of the project will not create any impact to water quality. Furthermore, the project will comply with the City's stormwater management provisions per LAMC 64.70.

(e) The site can be adequately served by all required utilities and public services:

The site is currently and adequately served by the City's Department of Water and Power, the City's Bureau of Sanitation, the Southern California (SoCal) Gas Company, the Los Angeles Police Department, the Los Angeles Fire Department, Los Angeles Unified School District, Los Angeles Public Library, and other public services. These utilities and public services have continuously served the neighborhood for more than 50 years. In addition, the California Green Code requires new construction to meet stringent efficiency standards for both water and power, such as high-efficiency toilets, dual-flush water closets, minimum irrigation standards, LED lighting, etc. As a result of these new building codes, which are required of all projects, it can be anticipated that the proposed project will not create any impact on existing utilities and public services.

The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption as a result of meeting the five conditions listed above.



REFERRAL FORMS:

DEPARTMENT OF TRANSPORTATION REFERRAL FORM: TRAFFIC STUDY ASSESSMENT

The Department of Transportation (DOT) Referral Form serves as an initial assessment to determine whether a project requires a traffic Study.

Prior to the submittal of a referral form with DOT, a Planning case must have been filed with the Department of City Planning, and:

- ☐ The referral form must be accompanied by a proof of filing of an Environmental Assessment Form (EAF) or Environmental Impact Report (EIR) for a project with new floor area, change of use, new construction; and
- ☐ Project exceeds a threshold as listed in the "Traffic Study Exemption Thresholds"

NOTES:

1. All new school projects, including by-right projects, must contact DOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
2. Unless exempted, projects located within a transportation specific plan area may be required to pay a traffic impact assessment fee regardless of the need to prepare a traffic study.
3. Pursuant to LAMC Section 19.15, a review fee payable to DOT may be required to process this form. The applicant should contact the appropriate DOT Development Services Office to arrange payment.
4. DOT's Traffic Study Policies and Procedures can be found at <http://ladot.lacity.org>, under "B-Permit & Traffic Studies."

RELATED CODE SECTION/ORDINANCE: LAMC Section 16.05; various ordinances

SPECIALIZED REQUIREMENTS: When submitting this referral form to DOT, include the documents listed below:

- ☐ Copy of completed Planning Department Master Land Use Permit Application (CP-7771)
- ☐ Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation.
- ☐ If filing for purposes of Site Plan Review, a copy of the completed Site Plan Review Supplemental Application (CP-2150)

DOT DEVELOPMENT SERVICES DIVISION OFFICES: Please route this form for processing to the appropriate DOT Office as follows:

Metro

213-972-8482
100 S Main St, 9th Floor
Los Angeles, CA 90012

West LA

213-485-1062
7166 W Manchester Blvd
Los Angeles, CA 90045

Valley

818-374-4699
6262 Van Nuys Blvd, 3rd Floor
Van Nuys, CA 91401

TO BE VERIFIED BY CITY PLANNING STAFF PRIOR TO DOT REVIEW
PROJECT INFORMATION

Case Number: WLA16-103994 (REVISED - 8/14/17)

Project Address: 10604 Santa Monica Bl

Project Description: 24 D.U. Apartment Complex & 640 SF Other Retail

TO BE COMPLETED BY DOT STAFF:

TRIP GENERATION CALCULATION

	Land Use (list each use)	Size / Unit	Daily Trips	AM Peak Hour Trips	PM Peak Hour Trips
Proposed	Apartment	24 DU	160	12	12 12
	Other Retail	650 S.F	28	1	6
	(Shopping Ctr - 820)				
	Total new trips:		188	13	18
Existing	Motel	14 DU	128	9	11
	Total existing trips:		128	9	11
	Net Increase / Decrease (+ or -)		60	4	7

DOT
 Comments: Revised from Original due to increase # of D.U. & increased Retail SF

Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by DOT.

Transportation Specific Plan Area: Yes ☒ No ☐

Fee Calculation:

Traffic Study Required: Yes ☐ No ☒

Prepared by DOT Staff: Name: Bhuvan Bajaj Phone: 213 485 1062

Signature:  Date: 8/14/17

DOT Case No.

DEPARTMENT OF TRANSPORTATION REFERRAL FORM

NOTE: Submit this form to the Department of Transportation (DOT) for their review and analysis of traffic, access and circulation of the proposed project. The referral form is a required attachment to any application, except Tract Map or Parcel Map applications, that includes one of the following (please check the box for the application the referral form is intended for):

- ☐ A project that requires Site Plan Review (unless the Traffic Study or Technical Memorandum process with DOT has already begun)
- ☒ A project with new floor area or a change of use that requires the filing of an Environmental Assessment Form (EAF), this referral form replaces the previously used Initial Study Assessment Form (ISAF) (unless the Traffic Study or Technical Memorandum process with DOT has already begun)
- ☒ A project with new floor area and frontage along a Major or Secondary Highway
- ☐ A project that proposes bicycle parking in the public right-of-way
- ☒ A project in a Transportation Specific Plan area:
 - Central City West Specific Plan (*Downtown Planning Office*)
 - Coastal Transportation Corridor Specific Plan (*West LA Planning Office*)
 - Glencoe/Maxella Specific Plan (*West LA Planning Office*)
 - Warner Center Specific Plan (*Valley Planning Office*)
 - West Los Angeles Transportation Improvement and Mitigation Specific Plan (*West LA Planning Office*)
 - Venice Coastal Zone Specific Plan (*West LA Planning Office*)
 - Ventura-Cahuenga Boulevard Corridor Specific Plan (*Valley Planning Office*)
- ☐ All new school projects; by-right projects and not by-right projects (except not required for tenant improvement's with no additional floor area or change of use). Four months prior to opening the new school, the applicant should contact the appropriate DOT District Office to coordinate the installation of any necessary traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones. The DOT District Office, in consultation with the school, shall determine what signs, pavement markings, parking restrictions and loading zones, if any, should be installed by the applicant prior to the school's opening.

This form can also determine whether a change of use meets the definition of a Development Project as per LAMC Section 16.05 C1 (c) and (d).

Pursuant to LAMC Section 19.15, a review fee payable to DOT may be required to process this form. The applicant should contact the appropriate DOT Development Services Office to arrange payment.

DOT's Traffic Study Policies and Procedures can be found on ladot.lacity.org, under "B-PERMIT & TRAFFIC STUDIES".

RELATED CODE SECTION/ORDINANCE: LAMC Section 16.05; various ordinances

SPECIALIZED REQUIREMENTS: When submitting this referral form to DOT, include the documents listed below (unless the form is being used to determine whether a change of use meets the definition of a Development Project as per LAMC Section 16.05 C1 (c) and (d)).

- ☒ Copy of completed Master Land Use Permit Application
- ☒ Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation
- ☐ If filing for purposes of Site Plan Review, a copy of the completed Site Plan Review Supplemental Application

DEPARTMENT OF TRANSPORTATION DEVELOPMENT SERVICES DIVISION OFFICES

**Downtown
Planning Office**
213-972-8482
100 S Main St, 9th Floor
Los Angeles, CA 90012

**West Los Angeles
Planning Office**
213-485-1062
7166 W Manchester Blvd
Los Angeles, CA 90045

**Valley
Planning Office**
818-374-4699
6262 Van Nuys Blvd, 3rd Floor
Van Nuys, CA 91401

Project Name: _____
 Project Address: 10604-10610 Santa Monica Blvd, Los Angeles, CA 90025
 Project Description: A proposed 21 unit mixed use multi-family dwelling, with 47 parking spaces on grade and in the basement garage.
 Applicant Name: Steve Nazemi (DHS & Associates Inc.)
 Applicant E-mail: Steve@dhsengineering.com Applicant Phone: (714) 665-6569

TO BE COMPLETED BY DOT STAFF ONLY

TRIP GENERATION CALCULATION

	Uses (list each use)	Project (square feet or dwelling units)	Land Use ADT (trip generate rate)	Subtotal ADT (number of trips)	Total ADT (number of trips)
Existing	rental units (motel)	14 units	9.11 / DU		-128
Proposed	Apt./Condo	21 units	6.65 / DU		+140
	Other Retail	340 SF	42.7 / KSF		+15
Net Increase / Decrease (+ or -)					+27

POTENTIAL TRANSPORTATION & CIRCULATION IMPACTS

(to be completed only for projects with new floor area or a change of use that requires the filing of an Environmental Assessment Form (EAF))

Pursuant to CEQA Appendix G, part XVI – Transportation/Traffic, would the project:	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(the following two items are for informational purposes only and are not applicable to DOT; they pertain to the Los Angeles World Airports (LAWA))				
e) result in a change in air traffic patterns?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Peak Hour Trips: A.M. : +2 P.M. : +2

DOT Comments: The applicant should contact Bureau of Engineering for details about a possible dedication requirement. This determination does not include approval of the project's driveway & internal circulation or parking scheme.

Traffic Study Required?

Yes:

No: ☒

Prepared By:
(DOT Staff Name
Printed)

Sophia Feng

Phone: (213) 485-1062

Signature:

Sophia Feng

Date: 2/3/2016

DOT CASE # WLA 16-103994



May Sirinopwongsagon <may.sirinopwongsagon@lacity.org>

10604 Santa Monica Blvd, CPC 2017-699-DB

1 message

Faisal Alserri <faisal.alserri@lacity.org>

Thu, Jun 1, 2017 at 10:44 AM

To: May Sirinopwongsagon <may.sirinopwongsagon@lacity.org>

Hi May,

Please note we are joining the Westside Neighborhood Council in support of this project.

Thank you,



Faisal Alserri
Senior Planning Deputy
Office of Councilmember Paul Koretz
200 North Spring Street, Room 440
Los Angeles, CA 90012
(213) 473-7005 - Los Angeles City Hall
Email: Faisal.Alserrri@lacity.org

Exhibit D



WESTSIDE NEIGHBORHOOD COUNCIL

P.O. Box 64370 Los Angeles, CA 90064

www.wncla.org (310) 474-2326



OFFICERS

Terri Tippit, Chair
Steve Spector, Vice-Chair
Aaron Rosenfield, Recording
Secretary
Mary Kusnic, Corresponding
Secretary
Shannon Burns, Treasurer

January 13, 2017

BOARD MEMBERS

Stacy Antler
Francesca Beale-Rosano
Barbara Broide
Wendy Dox
Colleen Mason Heller
Brendan Kotler
Sean McMillan
Lisa Morocco
Eric Shabsis
Sarah Shaw
Lisa Tabor
Jae Wu

Jordan Turner
200 No. Spring
Los Angeles, CA 90012

Re: 24 Unit SB1818 10604 Santa Monica Blvd.

I am writing on behalf of the Westside Neighborhood Council (WNC) representing approximately 80,000 stakeholders in Century City, Rancho Park, Cheviot Hills.

At our January 12, 2017 Governing Board Meeting Mr. Manny Barin presented his proposed project for 10604 Santa Monica Blvd.

After a short discussion the WNC moved and passed:

"WNC moves to support a 16 (2) bedrooms and 8 (3) bedrooms) 50' High, 4 Story over commercial and parking condos or luxury rental project. The project will condition no Airbnb units be permitted, no billboards, and provide bicycle parking."

Mr. Barin will designate 1 (3) bedroom and 2 (2) bedroom for low income to meet the bonus density requirement.

It was a pleasure to work with Mr. Barin . He reached out to the community and proved to be very sensitive to their concerns. The architect design and circulation plan will be an improvement to the area. There are buildings taller directly behind the proposed project whose tenants would welcome a project that won't block their view.

We urge you to join the WNC and support this project as presented.

Sincerely,

Terri Tippit

Terri Tippit

Cc: Councilmember Paul Koretz