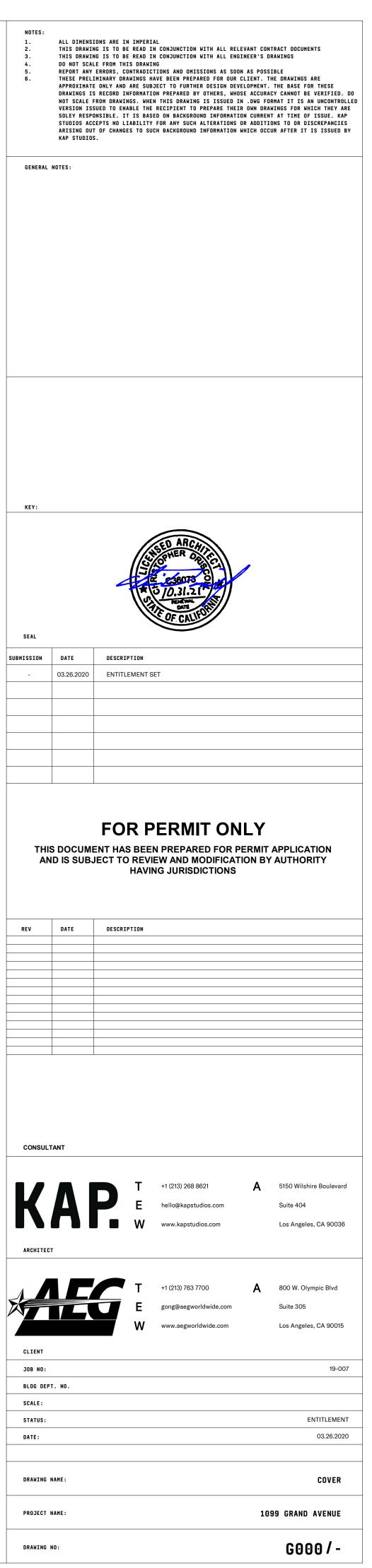


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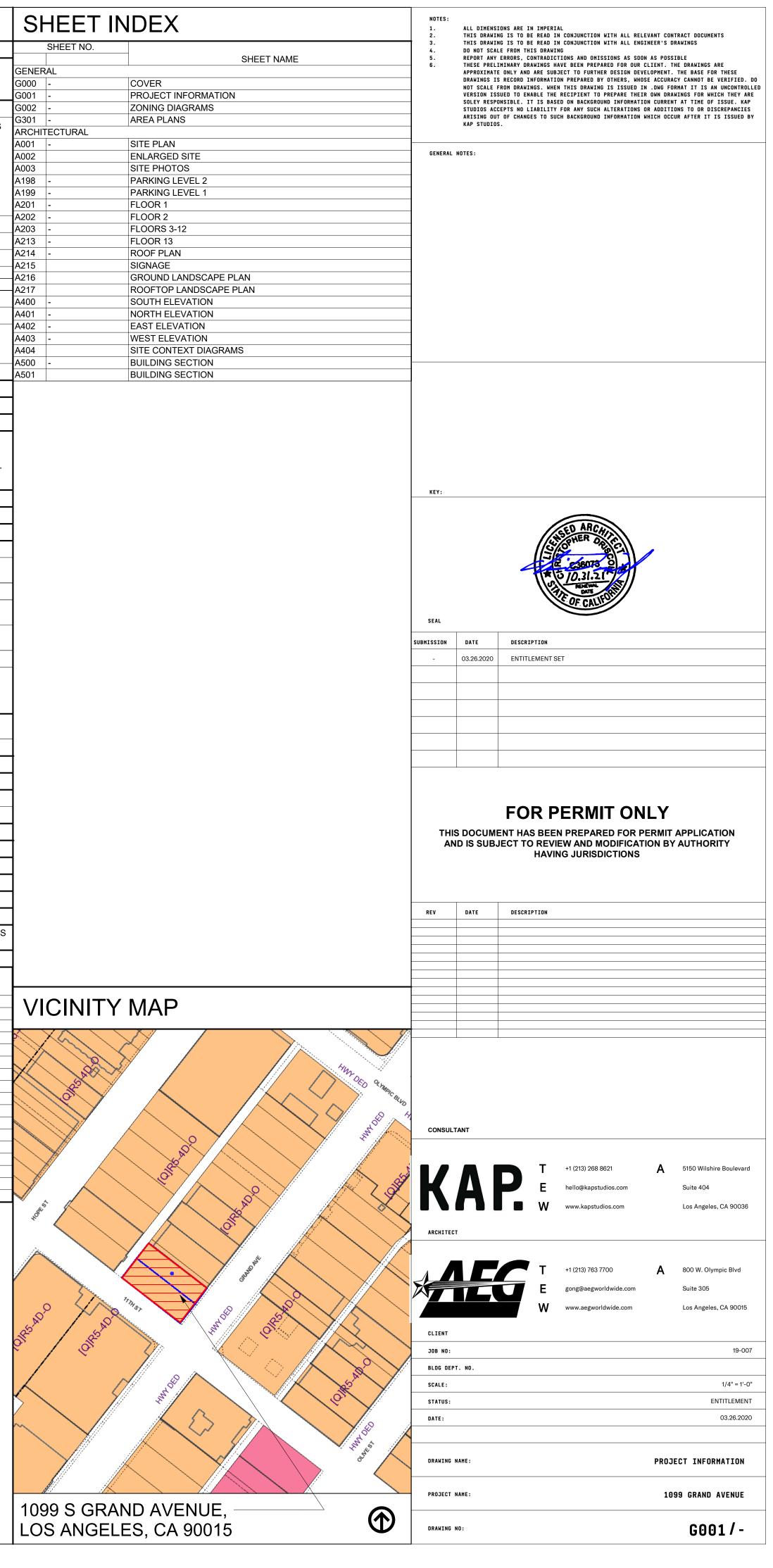


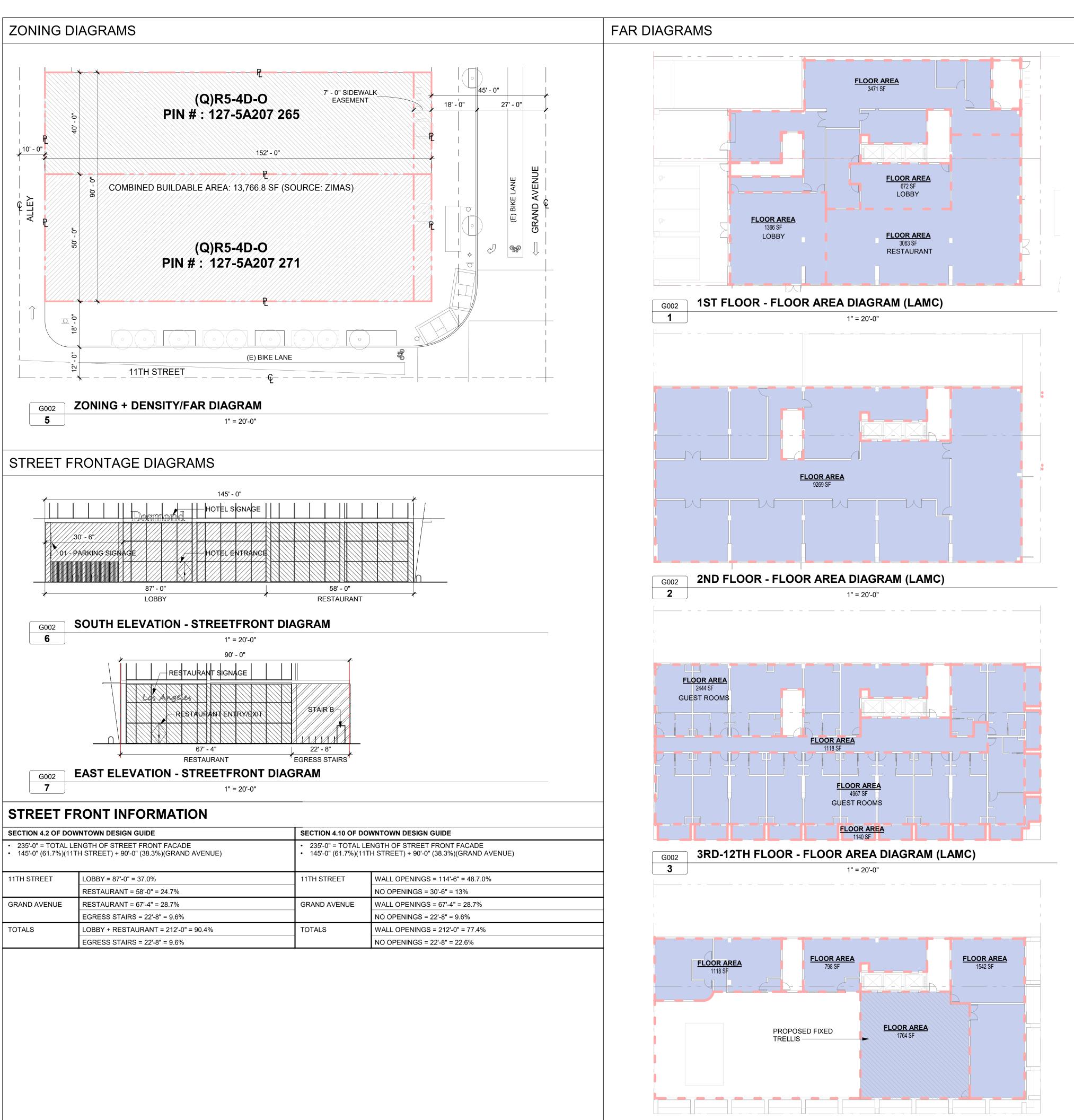
ENTITLEMENT SET MARCH 26TH, 2020



AB	BREVIATIONS			PROJECT II	NFORMATION		INFORMATION		NG INFORMATION	
		М		PROJECT ADDRESS	1099 S GRAND AVENUE,	ZONING - SUMMARY	-		NG STALL REQUIREMENTS - PER LAMC 12.21.A.4	SHEET
	ADJUSTABLE ABOVE FINISH FLOOR	MAX MDF	MAXIMUM MEDIUM DENSITY FIBERBOARD		LOS ANGELES, CA 90015	ZONE	(Q)R5-4D-O		NG OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5,	GENERAL
Т	ALTERNATE			ASSESSOR'S PARCEL	COUNTY: LOS ANGELES COUNTY 5139008001	LAND USE ZONING OVERLAYS	HIGH DENSITY RESIDENTIALZI-2374 LOS ANGELES STATE ENTERPRISE ZONE	CHART NO. 5		G000 - G001 -
	ALUMINUM ANCHOR	MEP MECH	MECHANICAL, ELECTRICAL, PLUMBING MECHANICAL	NUMBERS (2 LOTS)			 ZI-2450 DOWNTOWN STREETCAR ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE AREA 	REGULATIONS	1. GUEST ROOMS (PER LAMC 12.21.A.4.P(2))	G002 - G301 -
DD	ANODIZED	MANUF	MANUFACTURER	PARCEL AREA (2 LOTS) PROJECT DESCRIPTION	13,766.8 SF (SOURCE: ZIMAS) CONSTRUCTION OF A 13 STORY, 160	-	 ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES - TIER 3 		 16 GUEST ROOMS/FLOOR & 10 FLOORS = 160 GUEST ROOMS 1 SPACE PER 2 ROOMS FOR FIRST 20 = 10 SPACES (20 / 2) 	ARCHITECTUR A001 -
	ACOUSTICAL CEILING PANEL APPROVED	MIN MISC	MINIMUM MISCELLANEOUS		ROOM HOTEL. • FLOOR P1-P2 - TWO SUBTERRANEAN	GUIDELINES	CITYWIDE DESIGN GUIDELINES		(160 -20 = 140 REMAINING ROOMS) • 1 SPACE PER 4 FOR NEXT 20 = 5 SPACES (20/4) (140-20 = 120	A002
OX	APPROXIMATE	MTD	MOUNTED		PARKING LEVELSGROUND FLOOR – RESTAURANT, BAR,		 DOWNTOWN STREET STANDARDS - LOS ANGELES DOWNTOWN DESIGN GUIDE - LOS ANGELES 		REMAINING ROOMS) • 1 SPACE PER 4 FOR NEXT 20 = 5 SPACES (20/4) (140-20 = 120	A003 A198 -
	ARCHITECTURAL AUDIO VISUAL	MTL	METAL		AND HOTEL LOBBY/RECEPTION SECOND FLOOR - (5) 		 COMMUNITY REDEVELOPMENT AGENCY (CRA) - CITY CENTE REDEVELOPMENT PROJECT & CENTRAL CITY COMMUNITY 	R	REMAINING ROOMS) • 1 SPACE PER 6 IN EXCESS OF 40 = 20 SPACES (120 / 6) (120 –	A199 - A201 -
	AUDIO VISUAL	N			MEETING/ASSEMBLY ROOMS • FLOORS 3-12 - HOTEL ROOMS		PLAN		120 = 0 REMAINING ROOMS) TOTAL GUEST ROOM PARKING STALLS: 35	A202 -
		N	NORTH		 FLOOR 13 - GYM, POOL, BAR, MEETING ROOM 			_	2. ASSEMBLY SPACES (PER LAMC 12.21.A.4.I(1)) (NET AREA)	A203 - A213 -
	BOARD BUILDING	NA NIC	NOT APPLICABLE NOT IN CONTRACT	LEGAL DESCRIPTION	LOTS BLOCK TRACT	ZONING - DETAIL		-	1 SPACE PER 100 SF OF ASSEMBLY ROOM	A214 - A215
	BACK OF HOUSE	NOM	NOMINAL		FR1-FR2 NONE SUBDIVISION OF	FLOOR AREA	ALLOWABLE		LEVEL_2 LEVEL_13 TOTAL 4598 SF 722 SF 5320 SF	A216
	BOTTOM	NTS	NOT TO SCALE		BLOCK 71 ORD'S SURVEY		 FAR: 6:1 (PER CENTRAL CITY COMMUNITY PLAN) LOT SIZE: 13,766.8 SF (PER ZIMAS) 		TOTAL ASSEMBLY PARKING STALLS: 53	A217 A400 -
	BASEMENT	ο		MAP REFERENCE NUMBER FOR TRACT RECORDATION	M R 10-27		 SETBACKS (PER ZI-2385) 1. FRONT (GRAND): 0' 		3. RESTAURANT (PER LAMC 12.21.A.4.I (3)) (GROSS AREA)	A401 - A402 -
		OC	ON CENTER	PARCEL IDENTIFICATION NO. (2 LOTS)	127-5A207 (271, 265)	1	2. SIDE 1 (11TH): 0' 3. SIDE 2: 0'		 RESTAURANT/BAR/KITCHEN FOH + BOH : 5,197 SF 5.197 SF < 7.500 SF 	A403 -
	CABINET CORNER GUARD	OH OPH	OVER HEAD OPPOSITE HAND			-	 4. REAR (ALLEY): 0' • BUILDABLE AREA (NO SETBACKS PER ZI-2385): 13,766.8 SF 		TOTAL PARKING STALLS: 0	A404 A500 -
	CHILLER	OPP	OPPOSITE			1			TOTAL COMMERCIAL PARKING STALLS: 0	A501
	CASTINPLACE	OPPHD		BUILDING 8	AJAFEIT		82,600.8 SF PROPOSED	REQUIRED	35 + 53 + 0 = 88	-
	CONTROL JOINT /	ORD	OVERFLOW ROOF DRAIN	BUILDING OCC. SUMMARYASSEMBLY GROUP A-2	RESTAURANT, BAR, & KITCHEN		109497 SF	COMPACT PARKIN	IG (PER LAMC 12.21.A.5.C)	-
	CENTER LINE	Р		ASSEMBLY GROUP A-3 BUSINESS GROUP B	MEETING ROOM, BANQUET HALL ADMINISTRATION OFFICES	DENSITY	ALLOWABLE	REGULATIONS	IN EACH PARKING AREA OR GARAGE CONTAINING 10 OR MORE	1
	CEILING	P	PAINT	RESIDENTIAL GROUP R-2 STORAGE GROUP S-1	HOTEL FACILITY MAINTENANCE		UNLIMITED (PER ZI-2385)		PARKING STALLS FOR OTHER THAN DWELLING USES, NOT MORE THAN 40 PERCENT OF THE REQUIRED STALLS MAY BE	
	CLEAR CONCRETE		PLATE PANEL	STORAGE GROUP S-1 STORAGE GROUP S-2	FOOD PRODUCT, PARKING GARAGE, LAUNDRY		PROPOSED	_	DESIGNED AS COMPACT STALLS TO ACCOMMODATE COMPACT CARS.	
	CONTINUOUS	POL	PANEL POLISHED	TYPE OF CONSTRUCTION &	TYPE I-A		160 GUEST ROOMS	ALLOWABLE	88 x 0.4 = 35 COMPACT STALLS (MAXIMUM)	1
	COORDINATE CORRIDOR	PSF	POUNDS PER SQUARE FOOT POINT / PRESSURETREATED	ALLOWABLE AREAS / HEIGHT	S	HEIGHT/STORIES	ALLOWABLE UNLIMITED		·	
	CERAMIC TILE		POINT / PRESSURETREATED PAPER TOWEL DISPENSER / PAINTED		UNLIMITED HEIGHT UNLIMITED STORIES		PROPOSED		6 (PER LAMC 12.21.A.4)	4
	COLD WATER (PIPING)	R		FIRE PROTECTION	UNLIMITED AREA SPRINKLERED PER NFPA 13	-	178' HEIGHT ABOVE GRADE / 13 STORIES	REGULATIONS	1. 160 GUEST ROOMS / 10 = 16 BICYCLE PARKING SPACES	_
		RA	RETURN AIR	FIRE PROTECTION	SPRINKLERED PER NFPA 15	-			 TOTAL SHORT TERM STALLS: 16 TOTAL LONG TERM STALLS: 16 	
	DEGREE	RCP RD	REFLECTED CEILING PLAN ROOF DRAIN	APPLICABLE CODES		1			TOTAL GUEST ROOM STALLS: 32	_
	DEMOLITION	REF	REFERENCE	 LOS ANGELES MUNICAL C 2019 CALIFORNIA BUILDING 		1			 RESTAURANT/BAR/KITCHEN FOH + BOH : 5,197 SF A. 5,197 SF / 2,000 = 3 STALLS 	
	DEPARTMENT DIAMETER	REQ	REQUIRE / REQUIRED	 2019 CALIFORNIA BOILDING 2019 CALIFORNIA FIRE CO 2019 CALIFORNIA MECHAN 	DE*				 TOTAL SHORT TERM STALLS: 3 TOTAL LONG TERM STALLS: 3 	
	DIFFUSER	REV RM	REVISION / REVISED ROOM	2019 CALIFORNIA PLUMBIN	NG CODE*				TOTAL RESTAURANT STALLS: 6	_
	DIMENSION DOWN	RO	ROUGH OPENING	2019 CALIFORNIA ELECTRI 2019 GREEN BUILDING STA					3. TOTAL BICYCLE STALLS (PER LAMC 12.21.A.P(3)	-
	DOOR	RTD RTG	RATED RATING	*WITH 2017 CITY OF LOS ANG	ELES BUILDING CODE AMENDMENTS				A. 88 PARKING SPACES X .15 = 13 (ROUNDED DOWN FROM 13.2)	
	DISHWASHER	KIG	NATING					REQUIRED	 B. 13 X 4 = 52 STALLS TOTAL SHORT TERM STALLS: 24 	-
	DRAWING	S		PROJECT 1	FAM			REGUILED	TOTAL LONG TERM STALLS: 28	_
		S SA	SOUTH SUPPLY AIR			4			TOTAL BICYCLE STALLS STALLS: 52 (INCLUSIVE OF 32 + 6 = 38)	4
	EXISTING	SAF	SELFADHERED FLASHING	OWNER					LL REDUCTION (PER LAMC 12.21.A.4.P(3))	-
	EAST EACH	SAM	SELFADHERED MEMBRANE	AEG Desmond, LLC				REGULATIONS	1. 15% REDUCTION IN AUTOMOBILE PARKING STALLS	-
	EXPANSION JOINT	SAN	SANITARY AIR SOLID CORE	800 W. OLYMPIC BLVD - SU	JITE 305				• 88 PARKING SPACES X .85 = 75 (ROUNDED UP FROM 74.8)	_
	ELEVATION ELECTRICAL	SD	STORM DRAIN / SOAP DISPENSER	LOS ANGELES, CA 90015 PHONE: 213.763.7700				REQUIRED	TOTAL PARKING STALLS: 75	
	ELEVATOR	SF	SQUARE FEET/FOOT SIMILAR	EMAIL: GONG@AEGWO	RLDWIDE.COM					
	EQUAL	SIM	SPECIFICATION	CONTACT: GENE ONG					KING (PER CBC 2019 11B-208.2)	
	EQUIPMENT EXTERIOR	SQ	SQUARE	LAND-USE CONSULTANT				REQUIRED	3 (1 VAN)	-
		STD	STANDARD STEEL	ARMBRUSTER GOLD	SMITH & DELVAC				E PARKING (PER LAMC 99.04.106.4.3.1 AND 99.04.106.4.4)	-
		STOR	STORAGE	12100 WILSHIRE BLVD, #16				REQUIRED	• 23 OF 75 PARKING SPACES ARE TO BE EV CHARGING SPACES	;
	FIRE ALARM FLOOR DRAIN	STRUCT	T STRUCTURAL	LOS ANGELES, CA 90025 PHONE: 310.209.8800				PARKING : TOTALS	3 EV CHARGING STATIONS ARE REQUIRED	-
	FIRE DEPARTMENT CONNECTION	Т		EMAIL: DAVID@AGD-LAI CONTACT: DAVID GOLDBEF				C : COMPACT		1
	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	T&G	TONGUE AND GROOVE					S : STANDARD		
		T TC	TREAD / THERMOSTAT TOP OF CURB	ARCHITECT				ST : STACKER	TYPE QUANTITY PARKING - LEVEL 2	
	FURNITURE, FINISHES	TEMP	TEMPERATURE	KAP STUDIOS				EV : ELECTRIC	C 2 EV 5	
	FACE OF FIRE PROTECTION	THK		5150 WILSHIRE BLVD, SUI	TE 404			VEHICLE	S 8	N/ m
	FEET	TOS	TOP OF (SEE OTHER WORD) TOP OF SLAB, TOP OF STRUCT	LOS ANGELES, CA 90036 PHONE: 412.818.6780				AS : ACCESSIBLE - STANDARD	ST 31 PARKING - LEVEL 1	\times
	FIRE RETARDANT TREATED	TP	TOP OF PAVEMENT	EMAIL: CHRISDRISCOLL CONTACT: CHRIS DRISCOL	.@KAPSTUDIOS.COM I			AV: ACCESSIBLE -	AS 1 AV 1	
		TV TW	TELEVISION TOP OF WALL		_			VAN	C 3	1/14
	GAUGE / GAGE	TYP	TYPICAL	CEQA CONSULTANT					EV 18 S 2	
	GALVANIZED GENERAL CONTRACT(OR)			CAJA ENVIRONMENT	AL ENGINEERS				LEVEL_1	
	GLASS	U UON	UNLESS OTHERWISE NOTED	15350 SHERMAN WAY, #31					AS 1 AV 1	
	GYPSUM WALLBOARD			VAN NUYS, CA 91406 PHONE: 310.469.6700					S 2 TOTAL: 75	
		V		EMAIL: CHRIS@CEQA-N CONTACT: CHRIS JOSEPH	EPA.COM					JOR ST
	HOSE BIB	VERT VEST	VERTICAL VESTIBULE							
	HOLLOW METAL	VIF	VERIFY IN FIELD	TRAFFIC CONSULTANT						
	HOLDOPEN HORIZONTAL	VR	VAPOR RETARDER VINYL TILE	THE MOBILITY GROU	P					
			VIIVIE EE	18301 VON KARMAN IRVINE, CA 92612						
	HEATING, VENTILATION,	W		PHONE: 949.474.1591						0.0
	HOT WATER	W/	WITH WIDE, WIDTH/WEST	EMAIL: MBATES@MOBIL CONTACT: MICHAEL BATES						125 AV
		WC	WIDE, WIDTH/WEST WATER CLOSET							er /
		WD	WOOD	CONTRACTOR						
	INFORMATION INSULATION	W/O WP	WITHOUT WATERPROOFING	SHANGRI-LA CONSTI	RUCTION					\wedge
	INTERIOR	WPT	WORK POINT	660 S FIGUEROA STREET,						\geq
	INVERT	WR	WATER RESISTANT/REPELLANT	LOS ANGELES, CA 90017 PHONE: 213.797.4255						\sim
		WRB WS	WEATHER RESISTANT BARRIER WEATHERSTRIPPING	EMAIL: AMEYERS@SHA CONTACT: ANDY MEYERS	NGRILA.US					
	LAVATORY	WT	WEIGHT	UUNTAUT: ANDT WETERS						
	POUND LINEAR FOOT									
	LIGHT									1099 S
				1		1		1		LOS A

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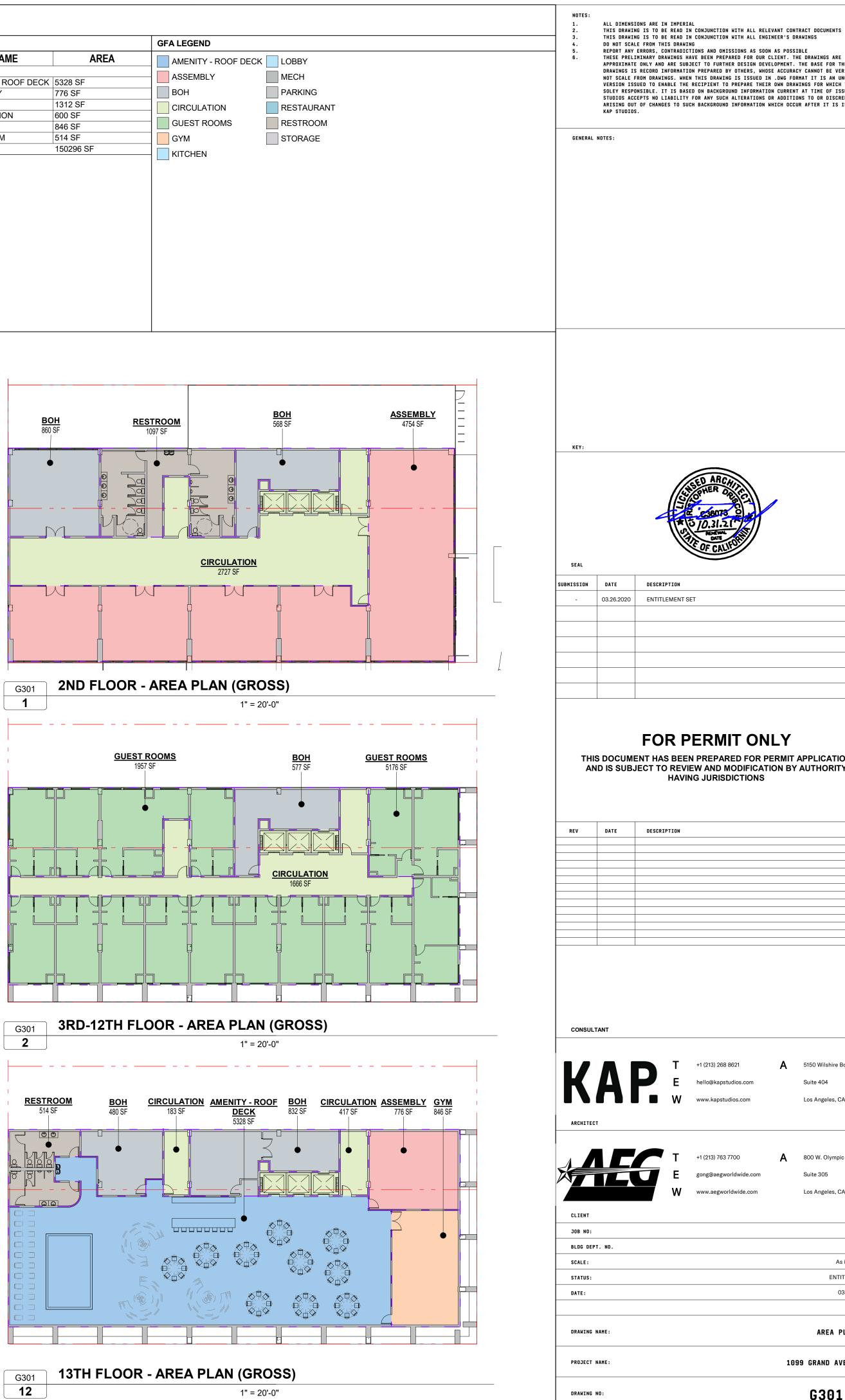
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13TH FLOOR - FLOOR AREA DIAGRAM (LAMC)

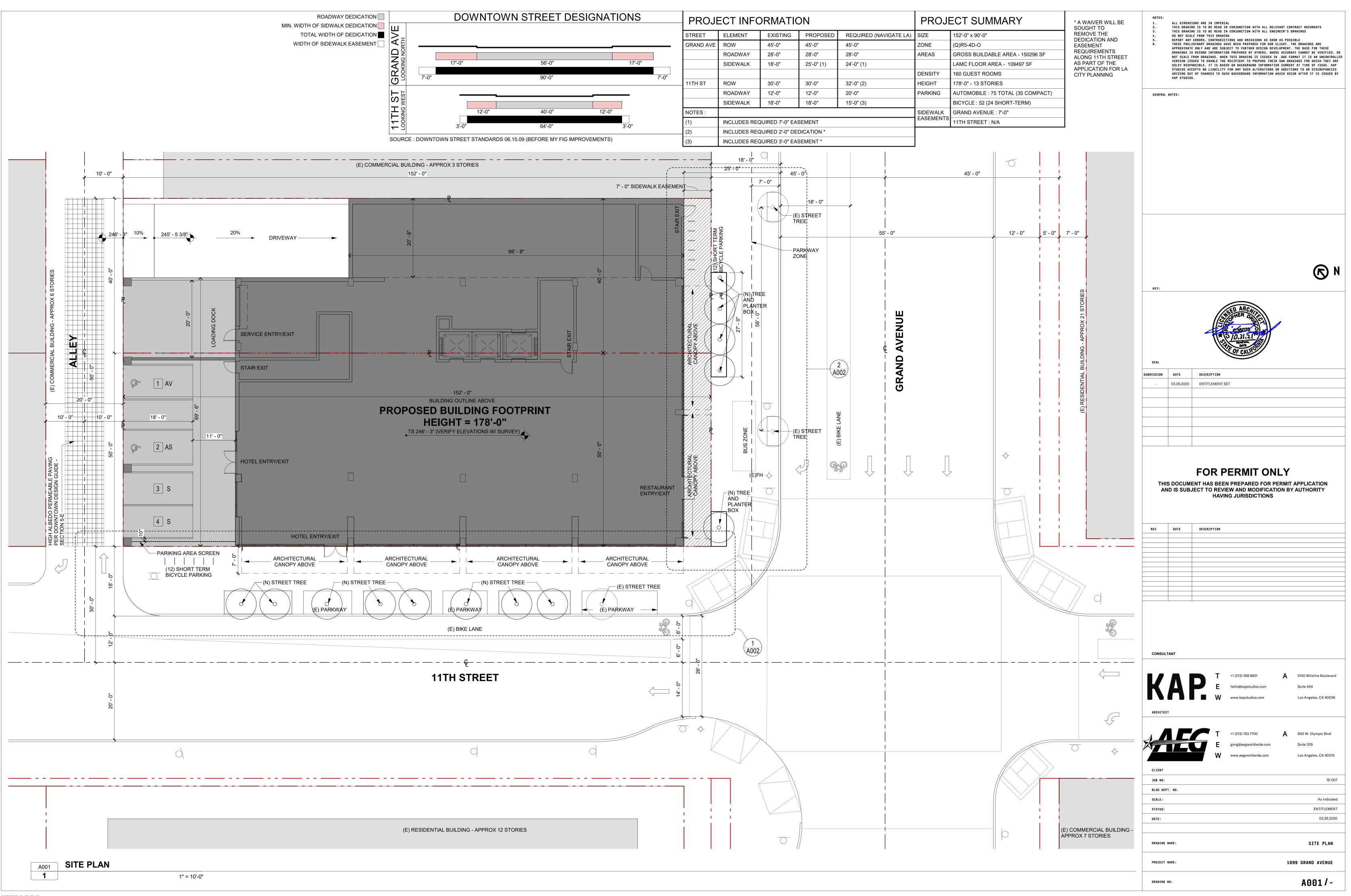
ZONING & PLANING NOTES			1. 2. 3. 4.	THIS DRAWI This drawi Do not sca	NG IS TO BE READ Le from this draw	IN CONJUNCTION WITH ALL RE In Conjunction with all en Ing	GINEER'S DI	RAWINGS
ENSITY & FLOOR A			5. 6.	THESE PREL Approximat	IMINARY DRAWINGS E ONLY AND ARE SU	CTIONS AND OMISSIONS AS SO Have been prepared for our Bject to further design de	CLIENT. TI VELOPMENT.	HE DRAWINGS ARE The base for these
JEST ROOMS	160			NOT SCALE	FROM DRAWINGS. WH	ION PREPARED BY OTHERS, WH EN THIS DRAWING IS ISSUED E RECIPIENT TO PREPARE THE	IN .DWG FO	RMAT IT IS AN UNCONTRO
OOR AREA*	FLOOR LEVEL_1	AREA (LAMC) 8573 SF		SOLEY RESP Studios Ac	ONSIBLE. IT IS BA CEPTS NO LIABILIT	SED ON BACKGROUND INFORMAT: Y FOR ANY SUCH ALTERATIONS UCH BACKGROUND INFORMATION	ION CURREN OR ADDITI	T AT TIME OF ISSUE. KA DNS TO OR DISCREPANCIE
CLUDING RKING PER LAMC	LEVEL_2	9269 SF		ARISING OU Kap studio		JAGAGAGUNU INFURMATION		IN IN IN ISSUED
21.1(B)(4)	LEVEL_3 LEVEL_4	9669 SF 8529 SF	GENERAL	NOTES:				
	LEVEL_5	8529 SF						
	LEVEL_6 LEVEL_7	8529 SF 8529 SF						
	LEVEL_8	8529 SF						
	LEVEL_9 LEVEL_10	8529 SF 8529 SF						
	LEVEL_11 LEVEL_12	8529 SF 8529 SF						
	LEVEL_13	5222 SF						
	TOTAL PROPOSED FLOOR AREA	109497 SF						
			KEY: SEAL SUBMISSION -	DATE 03.26.2020	DESCRIPTION	SET		
					ENT HAS BEE JECT TO REV	PERMIT ON EN PREPARED FOR F IEW AND MODIFICAT ING JURISDICTIONS	PERMIT	
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			REV REV CONSUL CONSUL CONSUL CLIENT JOB NO: BLDG DEP SCALE: STATUS: DATE:			EN PREPARED FOR F IEW AND MODIFICAT ING JURISDICTIONS		AUTHORITY



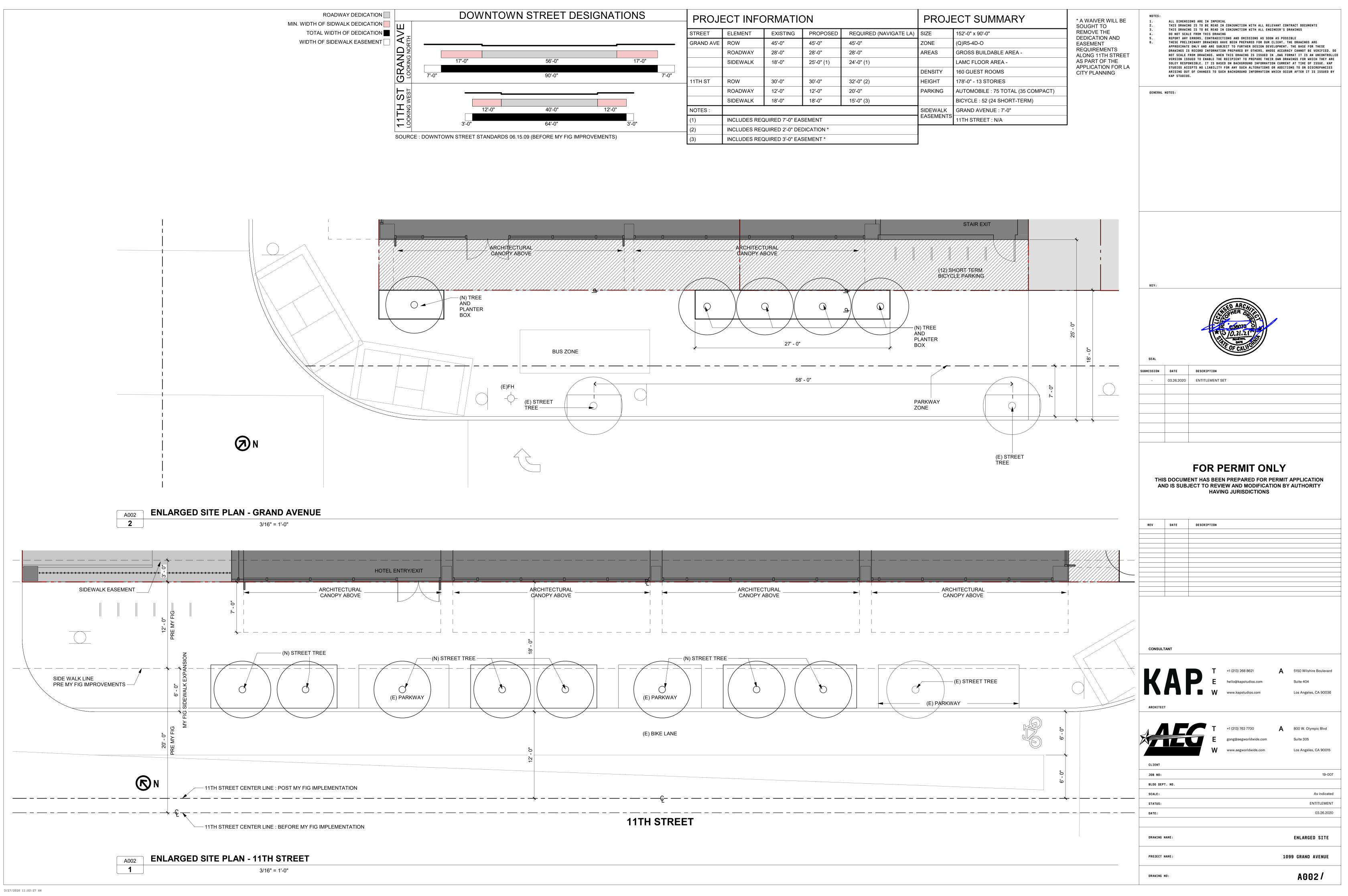
LOOR AREA						
AREA	NAME	AREA	NAME	AREA	NAME	AREA
	LEVEL_3		LEVEL_8		LEVEL_13	
481 SF	ВОН	577 SF	ВОН	577 SF	AMENITY - ROOF DI	ECK 5328 SF
394 SF	CIRCULATION	1666 SF	CIRCULATION	1666 SF	ASSEMBLY	776 SF
12086 SF	GUEST ROOMS	7133 SF	GUEST ROOMS	7133 SF	ВОН	1312 SF
719 SF		I		1	CIRCULATION	600 SF
	LEVEL_4		LEVEL_9		GYM	846 SF
	ВОН	577 SF	ВОН	577 SF	RESTROOM	514 SF
556 SF	CIRCULATION	1666 SF	CIRCULATION	1666 SF	TOTAL	150296 SF
12191 SF	GUEST ROOMS	7133 SF	GUEST ROOMS	7133 SF		
933 SF						
	LEVEL_5		LEVEL_10			
	ВОН	577 SF	ВОН	577 SF		
1809 SF	CIRCULATION	1666 SF	CIRCULATION	1666 SF		
927 SF	GUEST ROOMS	7133 SF	GUEST ROOMS	7133 SF		
1716 SF		I				
1826 SF	LEVEL_6		LEVEL_11			
3121 SF	ВОН	577 SF	ВОН	577 SF		
394 SF	CIRCULATION	1666 SF	CIRCULATION	1666 SF		
	GUEST ROOMS	7133 SF	GUEST ROOMS	7133 SF		
4754 SF	LEVEL_7		LEVEL_12			
1428 SF	BOH	577 SF	BOH	577 SF		
2727 SF	CIRCULATION	1666 SF	CIRCULATION	1666 SF		
1097 SF	GUEST ROOMS	7133 SF	GUEST ROOMS	7133 SF		



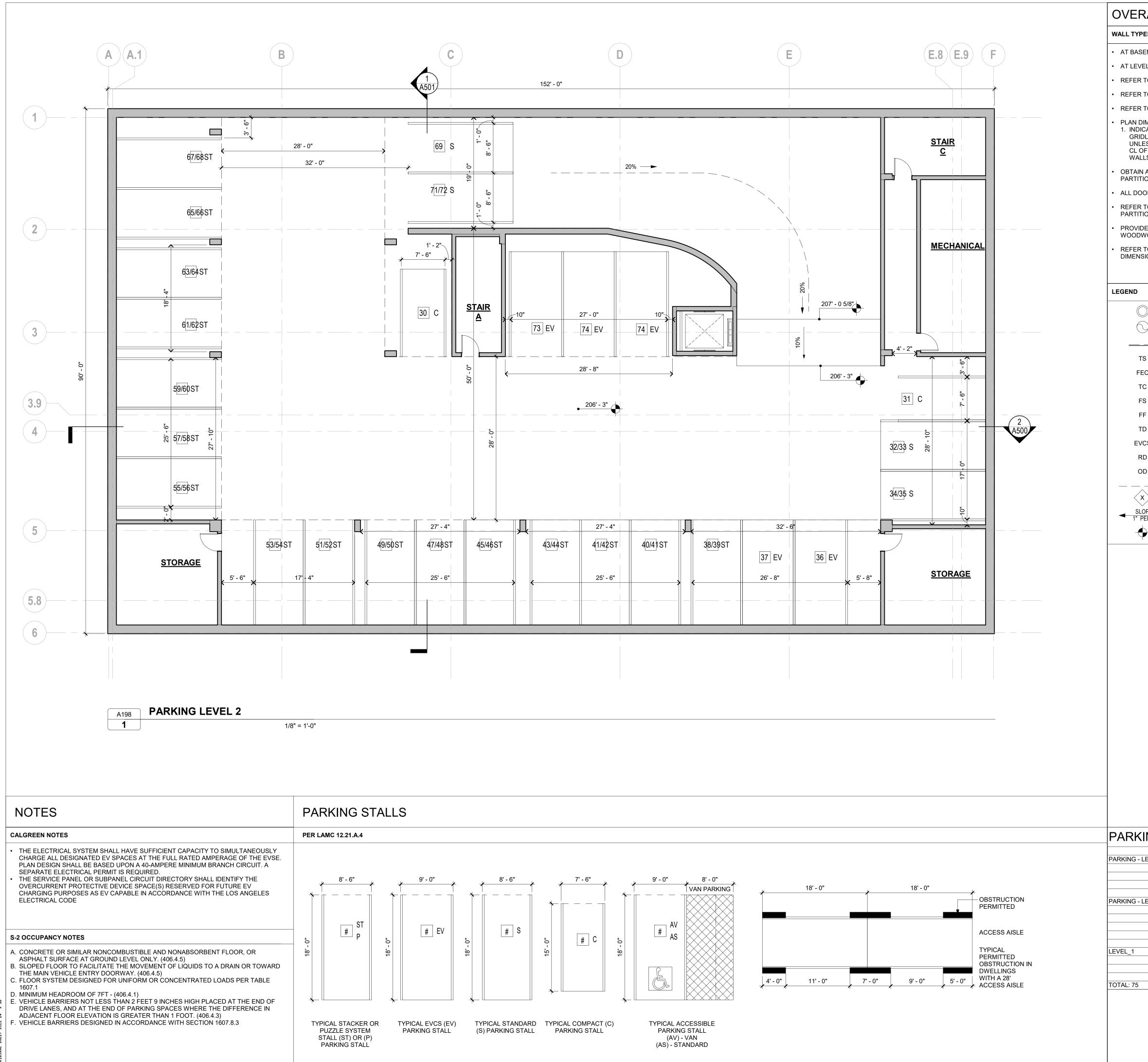
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-					-
PROJE	ECT INFC	RMATIC	DN		PRO
STREET	ELEMENT	EXISTING	PROPOSED	REQUIRED (NAVIGATE LA)	SIZE
GRAND AVE	ROW	45'-0"	45'-0"	45'-0"	ZONE
	ROADWAY	28'-0"	28'-0"	28'-0"	AREAS
	SIDEWALK	18'-0"	25'-0" (1)	24'-0" (1)	
					DENSITY
11TH ST	ROW	30'-0"	30'-0"	32'-0" (2)	HEIGHT
	ROADWAY	12'-0"	12'-0"	20'-0"	PARKING
	SIDEWALK	18'-0"	18'-0"	15'-0" (3)	
NOTES :					SIDEWAL
(1)	INCLUDES REG	UIRED 7'-0" EAS	SEMENT		EASEMEN
(2)	INCLUDES REG	UIRED 2'-0" DEI	DICATION *		
(3)	INCLUDES REG	UIRED 3'-0" EAS	SEMENT *		
					-



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		NOTES:				
		1. 2. 3.	THIS DRAWI This drawi	NG IS TO BE READ I	IN CONJUNCTION WITH ALL RELEV In Conjunction with all engin	
		4. 5. 6.	REPORT ANY These prel	IMINARY DRAWINGS H	ING CTIONS AND OMISSIONS AS SOON Have been prepared for our cl Bject to further design devel	IENT. THE DRAWINGS ARE
	LL WALLS ARE TYPE 71 U.O.N.		DRAWINGS I Not scale Version is	S RECORD INFORMAT] From drawings. Whe Sued to enable the	LON PREPARED BY OTHERS, WHOSE En This drawing is issued in E recipient to prepare their	ACCURACY CANNOT BE VERIFIED. DO .DWG FORMAT IT IS AN UNCONTROLLE OWN DRAWINGS FOR WHICH THEY ARE
	ILL INTERIOR UNIT WALLS ARE TYPE 01A U.O.N. SERIES FOR WALL AND FLOOR ASSEMBLIES		SOLEY RESP Studios AC Arising Ou	ONSIBLE. IT IS BAS Cepts no liability T of changes to su	SED ON BACKGROUND INFORMATION Y FOR ANY SUCH ALTERATIONS OF	CURRENT AT TIME OF ISSUE. KAP Additions to or discrepancies Nich occur after it is issued by
	SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFOMATION		KAP STUDIO	S.		
ER TO G100 S	SERIES FOR ACCESSIBILITY REQUIREMENTS	GENERAL	NOTES:			
RIDLINE, CEN	NS SHOWN: CE OF (F.O.) CONCRETE, F.O. STUD, CENTERLINE OF STRUCTURAL NTERLINE OF WINDOW/DOOR, CENTERLINE OF DEMISING WALL - ERWISE NOTED. DIMENSIONS WITHIN UNITS ARE F.O. STUD FROM NG WALLS OR INTERIOR F.O. STUD FROM CORRIDOR OR EXTERIOR					
AIN AND FUL	LY CONFORM TO DESIGN REQUIREMENTS FOR ALL FIRE RATED					
-	INGS ARE TO BE 4" FROM ADJACENT WALL U.N.O.					
R TO LIFE S	SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED					
TITIONS.	ING FOR WALL OR CEILING MOUNTED EQUIPMENT, CASEWORK,					
	GHTING OR OTHER MISCELLANEOUS ITEMS.					
	RGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, OOR TAGS, AND DETAIL.					
)		-				
$\overline{\bigcirc}$	SMOKE/CO DETECTOR	_				
\bigcirc	50 CFM FAN MIN AT BATH & LAUNDRY					N 🔊
<u> </u>	100 CFM FAN MIN AT KITCHEN HANGING ROD AND SHELF	KEY:				
TS	HANGING ROD & SHELF AT UNIT CLOSETS					
FEC	FIRE EXTINGUISHER CABINET				SED ANCA	
тс	TOP OF CURB				601-4 536073 0	
FS	FINISH SURFACE					
FF	FINISH FLOOR				OF CALIFOR	
TD	TRENCH DRAIN	SEAL				
EVCS	EV CAR CHARGING STATION	SUBMISSION -	03.26.2020	DESCRIPTION ENTITLEMENT S	SET	
RD OD	ROOF DRAIN OVERFLOW DRAIN					
	AUTO PATH					
x	WALL TAG					
SLOPE " PER FT.	SLOPE OF FLOOR OR SLAB					
100'	SPOT ELEVATION					
				ENT HAS BEE JECT TO REV	PERMIT ON IN PREPARED FOR PE IEW AND MODIFICATION NG JURISDICTIONS	RMIT APPLICATION
		REV	DATE	DESCRIPTION		
		CONSUL	TANT			
					+1 (213) 268 8621	A 5150 Wilshire Boulevard
		K	Α		hello@kapstudios.com	Suite 404
KING				W 🔲	www.kapstudios.com	Los Angeles, CA 90036
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	C 2			-	.4 /040 700	A
;	EV 5 S 8				+1 (213) 763 7700 gong@aegworldwide.com	A 800 W. Olympic Blvd Suite 305
S - LEVEL 1	ST 31				www.aegworldwide.com	Los Angeles, CA 90015
A	AS 1 AV 1	CLIENT				
	C 3 EV 18	JOB NO:				19-007
	S 2	BLDG DEF	PT. NO.			
		SCALE:				As indicated

	CLIENT
	JOB NO:
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	DRAWING NAME:

PROJECT NAME:

DRAWING NO:

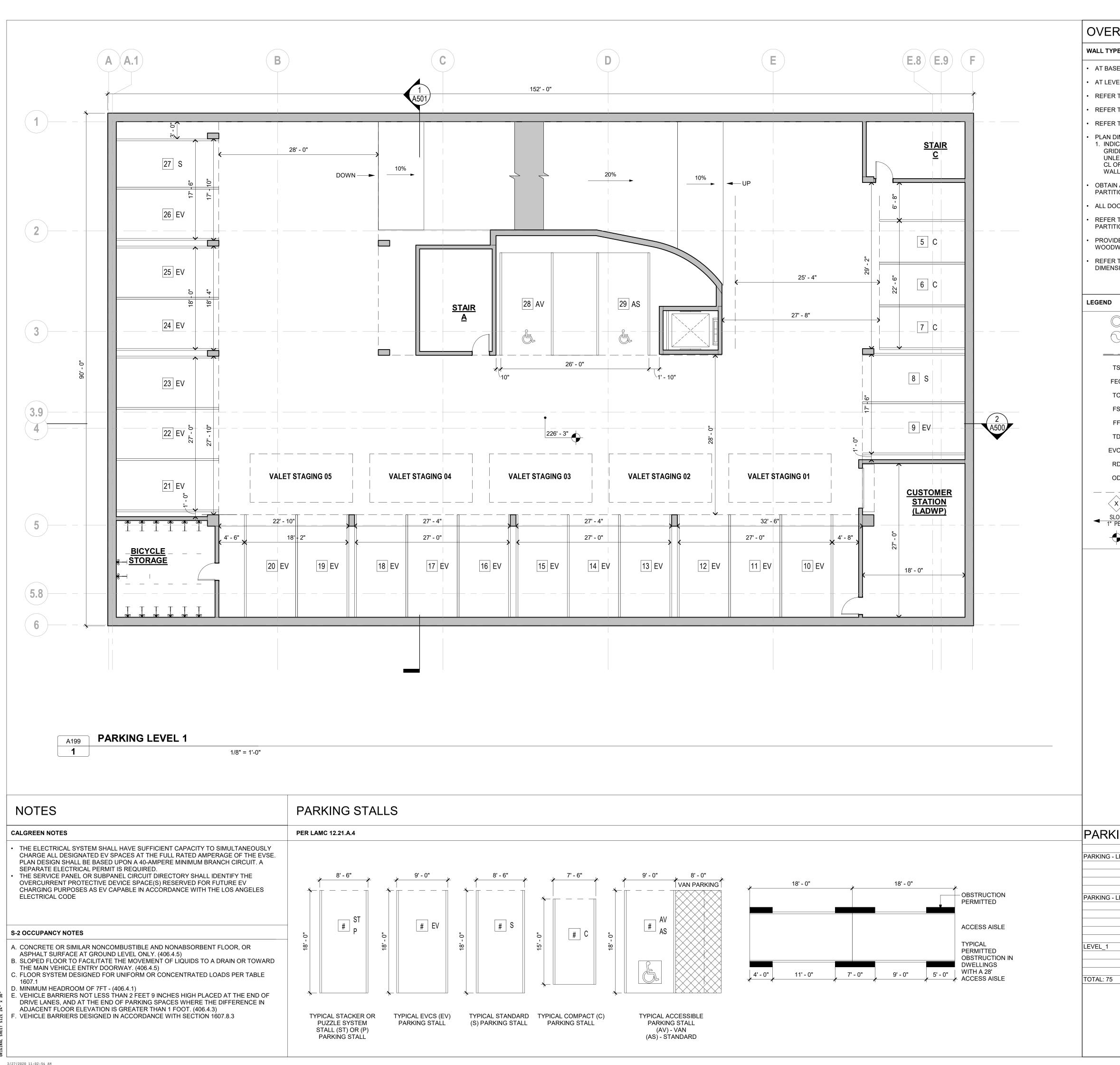
ENTITLEMENT

PARKING LEVEL 2

1099 GRAND AVENUE

A198/-

03.26.2020



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	OR TAGS, AND DETAIL.					
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D	TRENCH DRAIN	SEAL				
CS	EV CAR CHARGING STATION	SUBMISSION	DATE	DESCRIPTION		
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		CONSUL	TANT			
					+1 (213) 268 8621	A 5150 Wilshire Boulevard
		K	AI		hello@kapstudios.com	Suite 404
ING					www.kapstudios.com	Los Angeles, CA 90036
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	ST 31			E W	gong@aegworldwide.com www.aegworldwide.com	Suite 305 Los Angeles, CA 90015
A	NS 1			VV	acgwondwide.com	Lus Angeles, CA 30013
(NV 1 C 3	CLIENT				19-007
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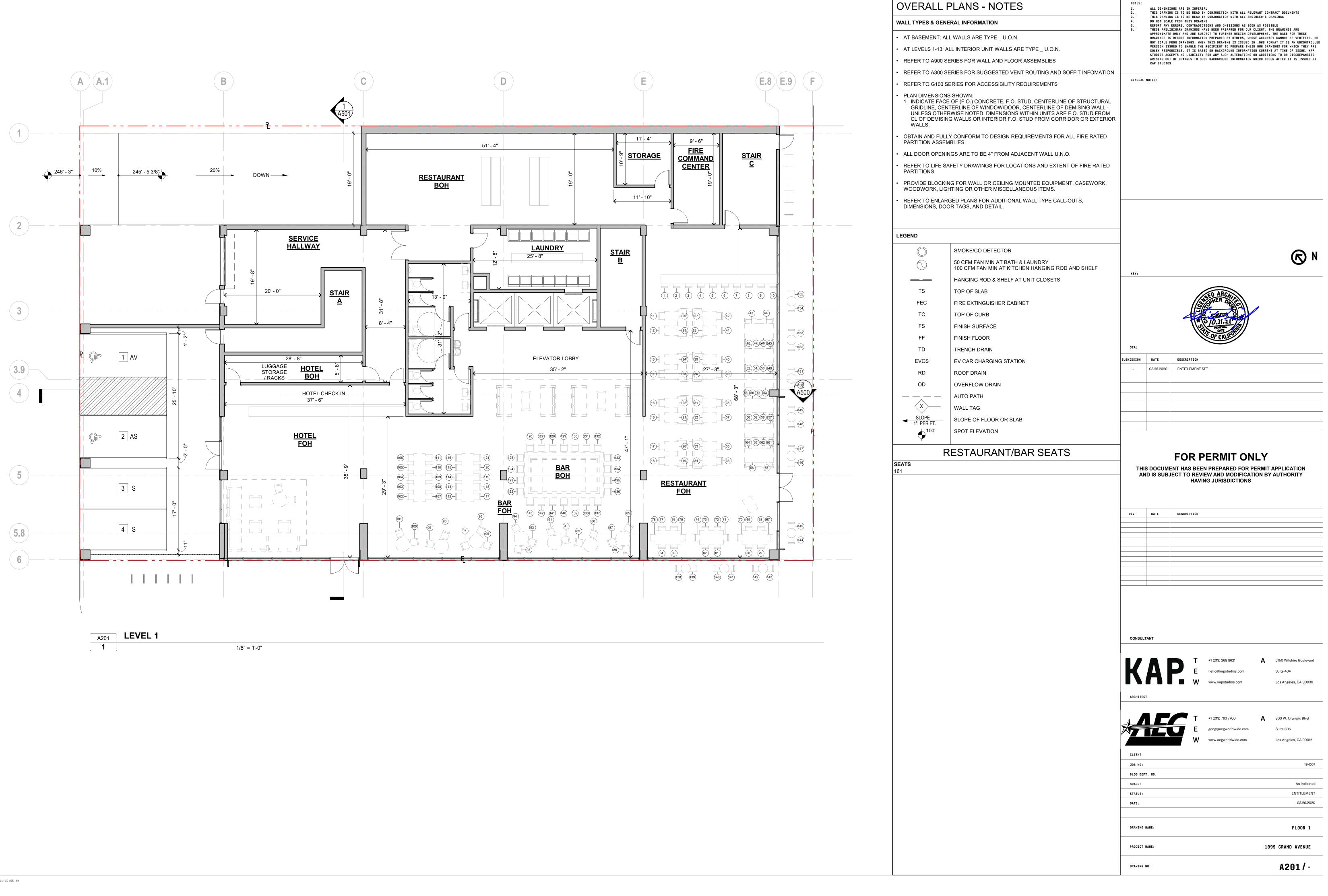
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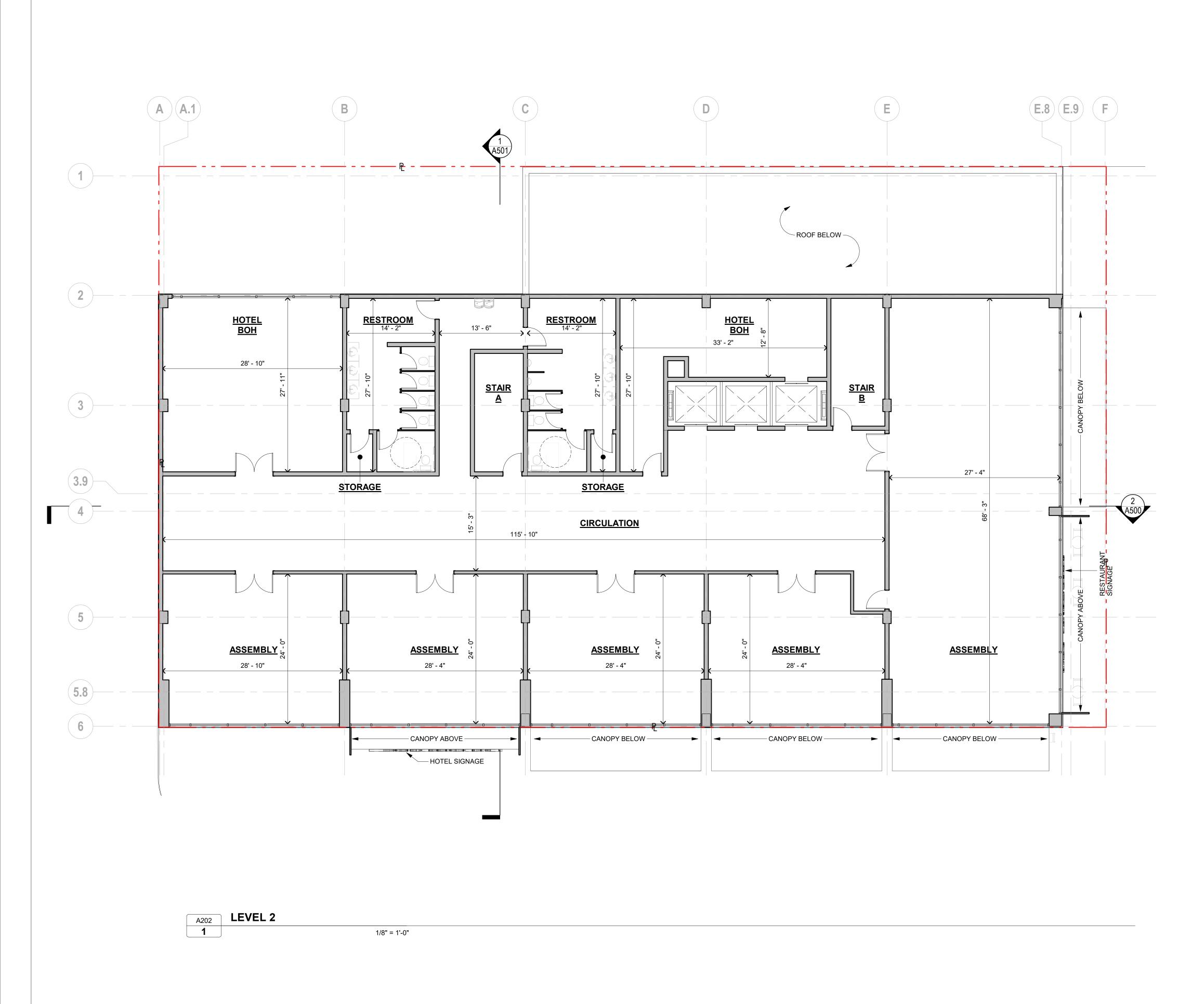
A199/-

1099 GRAND AVENUE

PARKING LEVEL 1

03.26.2020





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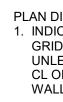














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WOERALL PLANS - NOTES ALL TYPES & GENERAL INFORMATION ALL TYPES & GENERAL INFORMATION AT BASEMENT: ALL WALLS ARE TYPE_U.O.N. AT LEVELS 1-13: ALL INTERIOR UNIT WALLS ARE TYPE_U.O.N. REFER TO A900 SERIES FOR WALL AND FLOOR ASSEMBLIES REFER TO A300 SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFOMATION 1. INDICATE FACE OF (F.O.) CONCRETE, F.O. STUD, CENTERLINE OF STRUCTURAL GRIDULES CONCRETES RO LIABLITY FOR ANY BUCH ALTERATORS OR ADDITIONS TO STRUCTURAL GRIDULES. OTHER STRUCTURAL GRIDULES, CONCRETE, F.O. STUD FROM CORRIGO RO EXTERIOR WILLS 0BTAIN AND FULLY CONFORM TO DESIGN REQUIREMENTS FOR ALL FIRE RATED PARTITION ASSEMBLIES. ALL DOOR OPENINGS ARE TO BE 4" FROM ADJACENT WALL U.N.O. REFER TO LIFE SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED PARTITION ASSEMBLIES. ALL DOOR OPENINGS FOR WALLS OR INTERIOR FOR LOCATIONS AND EXTENT OF FIRE RATED PARTITION ASSEMBLIES. REFER TO LIFE SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED PARTITION ASSEMBLIES. REFER TO LOPONON SHOWN: 1. INDICATE FACE OF (F.O.) CONCRETE, F.O. STUD FROM CORRIDOR OR EXTERIOR WALL-UNITY CONFORM TO DESIGN REQUIREMENTS FOR ALL FIRE RATED PARTITION ASSEMBLIES. ALL DOOR OPENINGS ARE TO BE 4" FROM ADJACENT WALL U.N.O. REFER TO LIFE SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED PARTITIONS. PROVIDE BLOCKING FOR WALL OR CELLING MOUNTED EQUIPMENT, CASEWORK, WOODWORK, LIGHTING OR OTHER MISCELLIANEOUS ITEMS. <th>SS AWINGS ARE BASE FOR THESE INOT BE VERIFIED. DO IT IS AN UNCONTROLLE FOR WHICH THEY ARE FOR WHICH THEY ARE I UNE OF ISSUE. KAP O OR DISCREPANCIES</th>	SS AWINGS ARE BASE FOR THESE INOT BE VERIFIED. DO IT IS AN UNCONTROLLE FOR WHICH THEY ARE FOR WHICH THEY ARE I UNE OF ISSUE. KAP O OR DISCREPANCIES
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FEC FIRE EXTINGUISHER CABINET	
TC TOP OF CURB	
FS FINISH SURFACE	
FF FINISH FLOOR	
TD TRENCH DRAIN	
EVCS EV CAR CHARGING STATION DATE DESCRIPTION	
RD ROOF DRAIN - 03.26.2020 ENTITLEMENT SET	
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CONSULTANT	



CLIENT

JOB NO:

SCALE: STATUS:

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DRAWING NAME:

PROJECT NAME:

BLDG DEPT. NO.

A 800 W. Olympic Blvd +1 (213) 763 7700 gong@aegworldwide.com www.aegworldwide.com

19-007

Los Angeles, CA 90015

A 5150 Wilshire Boulevard

Los Angeles, CA 90036

Suite 404

Suite 305

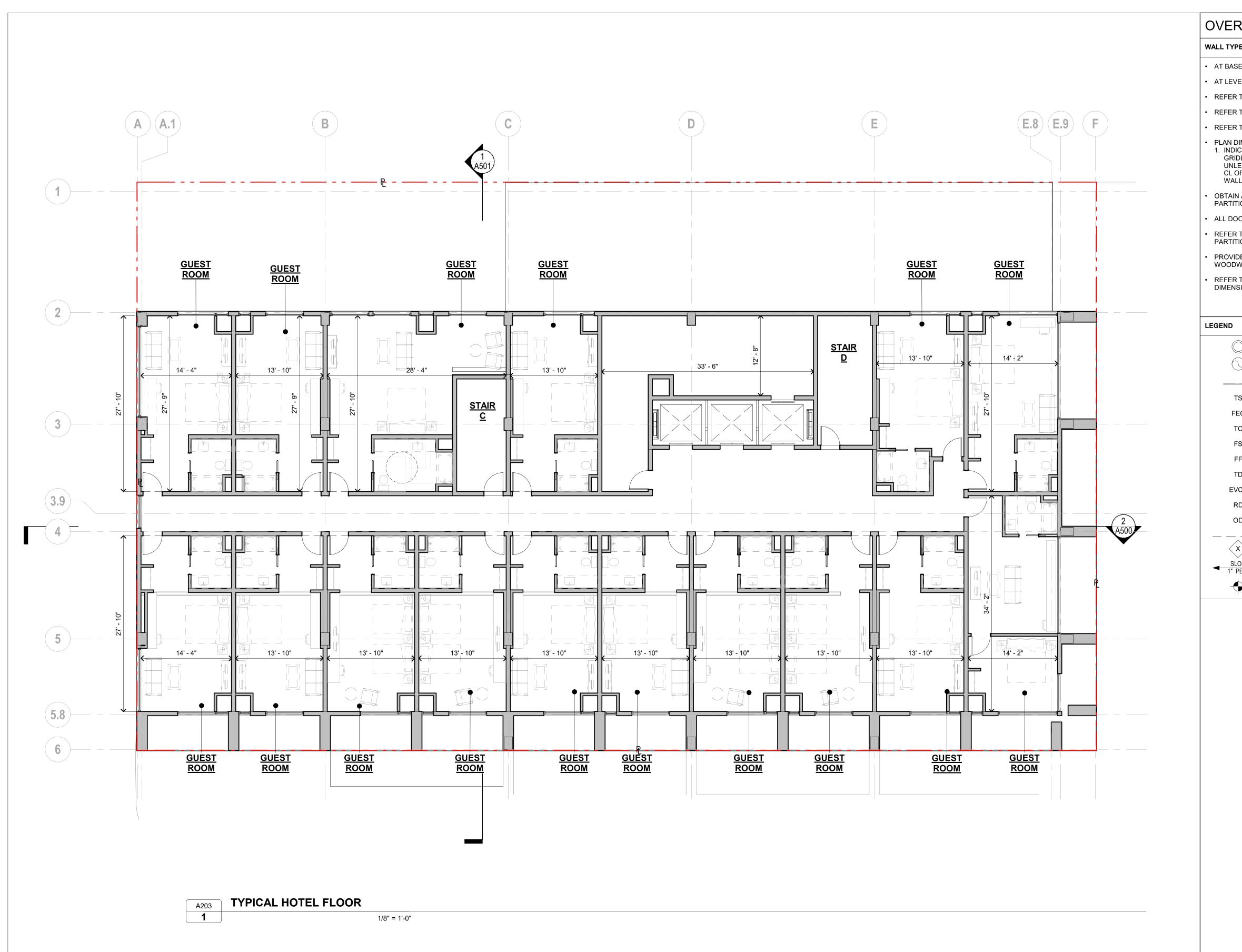
As indicated ENTITLEMENT 03.26.2020

FLOOR 2

1099 GRAND AVENUE

A202/-

DRAWING NO:



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Los Angeles, CA 90036

A 5150 Wilshire Boulevard

Suite 404

19-007

As indicated ENTITLEMENT

03.26.2020

FLOORS 3-12

A203/-

1099 GRAND AVENUE

DRAWING NO:

PROJECT NAME:

DRAWING NAME:

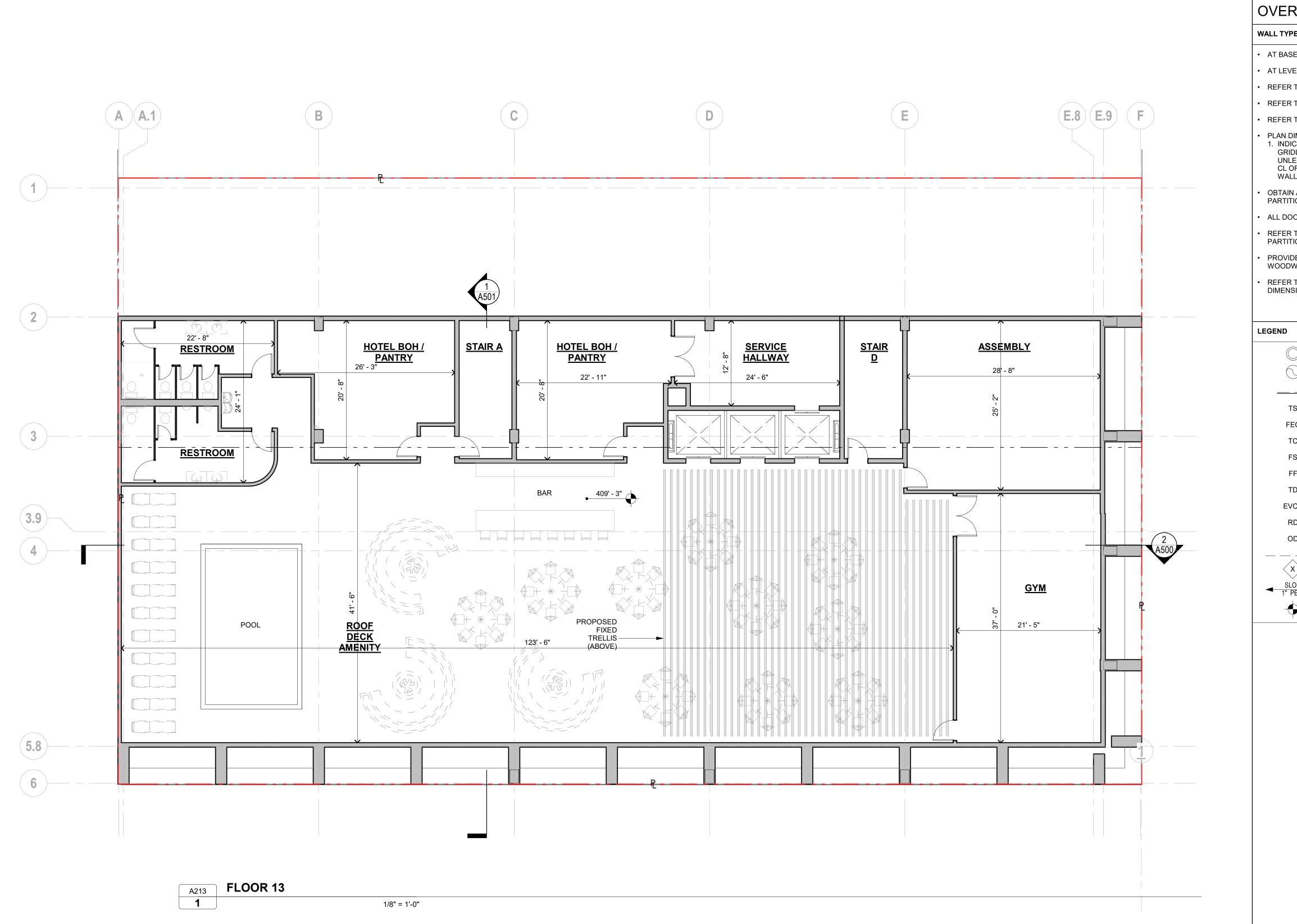
CLIENT JOB NO:

SCALE:

STATUS:

DATE:

BLDG DEPT. NO.



	PLANS - NOTES	NOTES: 1. 2.	THIS DRAWI	IONS ARE IN IMPERIAL NG IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
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TD	TRENCH DRAIN	SEAL		
VCS	EV CAR CHARGING STATION	SUBMISSION	DATE	DESCRIPTION
RD	ROOF DRAIN	-	03.26.2020	ENTITLEMENT SET
OD	OVERFLOW DRAIN			
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Suite 305 Los Angeles, CA 90015 19-007

A 5150 Wilshire Boulevard

Los Angeles, CA 90036

Suite 404

A 800 W. Olympic Blvd

As indicated ENTITLEMENT

03.26.2020

FLOOR 13

1099 GRAND AVENUE

A213/-

DRAWING NO:

DRAWING NAME:

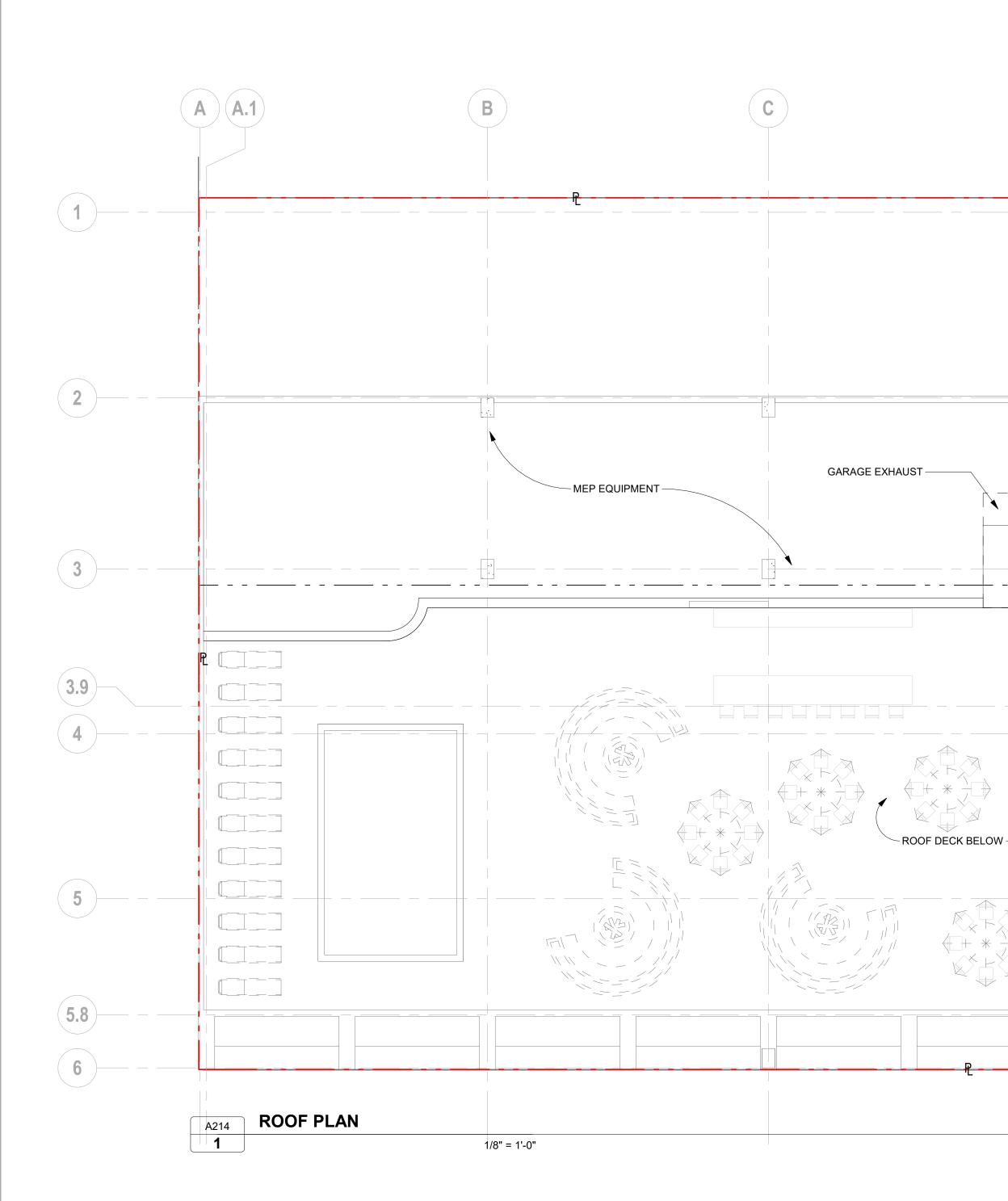
PROJECT NAME:

CLIENT JOB NO:

SCALE: STATUS:

DATE:

BLDG DEPT. NO.



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OVER WALL TYPE AT BASE • AT LEVE • REFER E.8 E.9 F REFER⁻ D Ε REFER⁻ PLAN DI 1. INDIC GRID UNLE CL OI WALL _____ OBTAIN PARTITI ALL DOC REFER ⁻ PARTITI PROVID WOODW REFER ⁻ DIMENS LEGEND 423' - 5 1/2" ____ 429' - 3" ELEVATOR OVERRUN _____ +--+ || -- || --X E (<u></u> XFX ____ SL 1" F + + + - \blacksquare

	PLANS - NOTES	NOTES: 1. 2.		IONS ARE IN IMPERIAL Ng is to be read in conjunction with all relevant contract documents
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	SERIES FOR WALL AND FLOOR ASSEMBLIES		STUDIOS ACC Arising out	ONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE. KAP Cepts no liability for any such alterations or additions to or discrepancies T of changes to such background information which occur after it is issued by
	SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFOMATION		KAP STUDIOS	S.
	SERIES FOR ACCESSIBILITY REQUIREMENTS	GENERAL	NOTES:	
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DICATE FAC RIDLINE, CE	CE OF (F.O.) CONCRETE, F.O. STUD, CENTERLINE OF STRUCTURAL ENTERLINE OF WINDOW/DOOR, CENTERLINE OF DEMISING WALL - ERWISE NOTED. DIMENSIONS WITHIN UNITS ARE F.O. STUD FROM ING WALLS OR INTERIOR F.O. STUD FROM CORRIDOR OR EXTERIOR			
IN AND FU TION ASSI	LLY CONFORM TO DESIGN REQUIREMENTS FOR ALL FIRE RATED EMBLIES.			
	NINGS ARE TO BE 4" FROM ADJACENT WALL U.N.O.			
R TO LIFE	SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED			
	KING FOR WALL OR CEILING MOUNTED EQUIPMENT, CASEWORK, GHTING OR OTHER MISCELLANEOUS ITEMS.			
	RGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DOR TAGS, AND DETAIL.			
		-		
\bigcirc	SMOKE/CO DETECTOR	-		
D	50 CFM FAN MIN AT BATH & LAUNDRY 100 CFM FAN MIN AT KITCHEN HANGING ROD AND SHELF			
	HANGING ROD & SHELF AT UNIT CLOSETS	KEY:		
TS	TOP OF SLAB			ED ARCH
EC	FIRE EXTINGUISHER CABINET			LANDOHER OF THE
тс	TOP OF CURB			2 236073 0
FS	FINISH SURFACE			1 0 10.31.21 Madewal
FF	FINISH FLOOR			OF CALIFOR
TD	TRENCH DRAIN	SEAL		
VCS	EV CAR CHARGING STATION	SUBMISSION	DATE	DESCRIPTION
RD	ROOF DRAIN	-	03.26.2020	ENTITLEMENT SET
DD	OVERFLOW DRAIN			
	AUTO PATH			
x	WALL TAG			
LOPE PER FT.	SLOPE OF FLOOR OR SLAB			
100'	SPOT ELEVATION			
<u> </u>		-		FOR PERMIT ONLY
				ENT HAS BEEN PREPARED FOR PERMIT APPLICATION JECT TO REVIEW AND MODIFICATION BY AUTHORITY HAVING JURISDICTIONS
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ROOF PLAN

A214/-

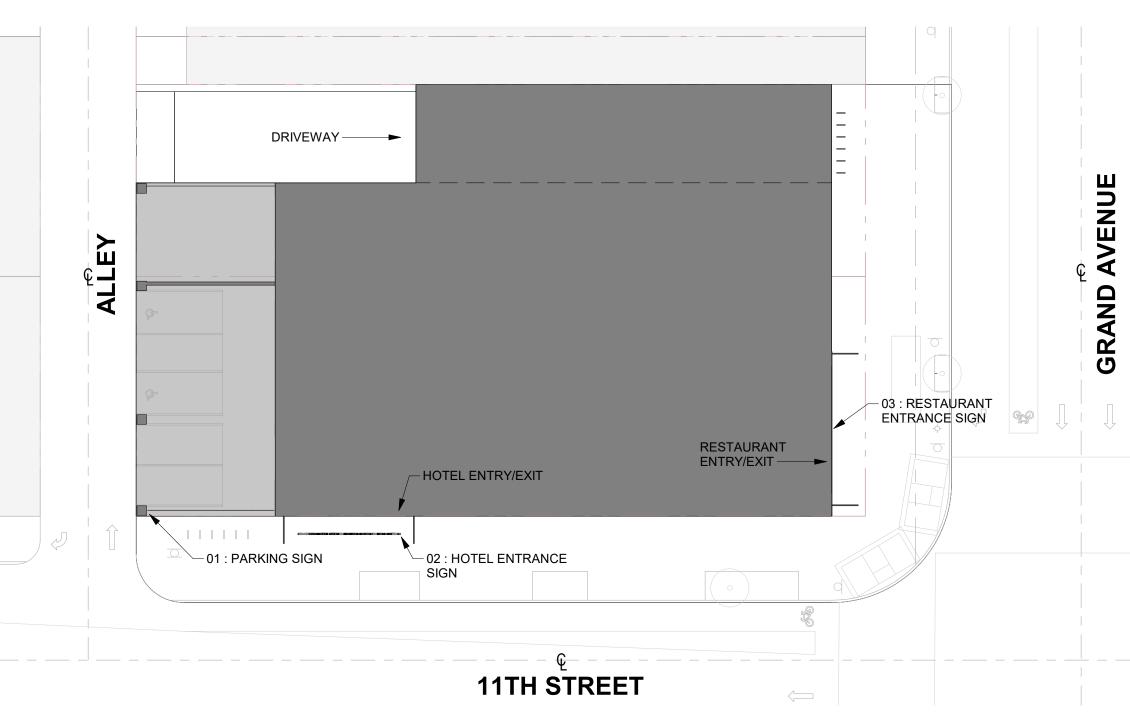
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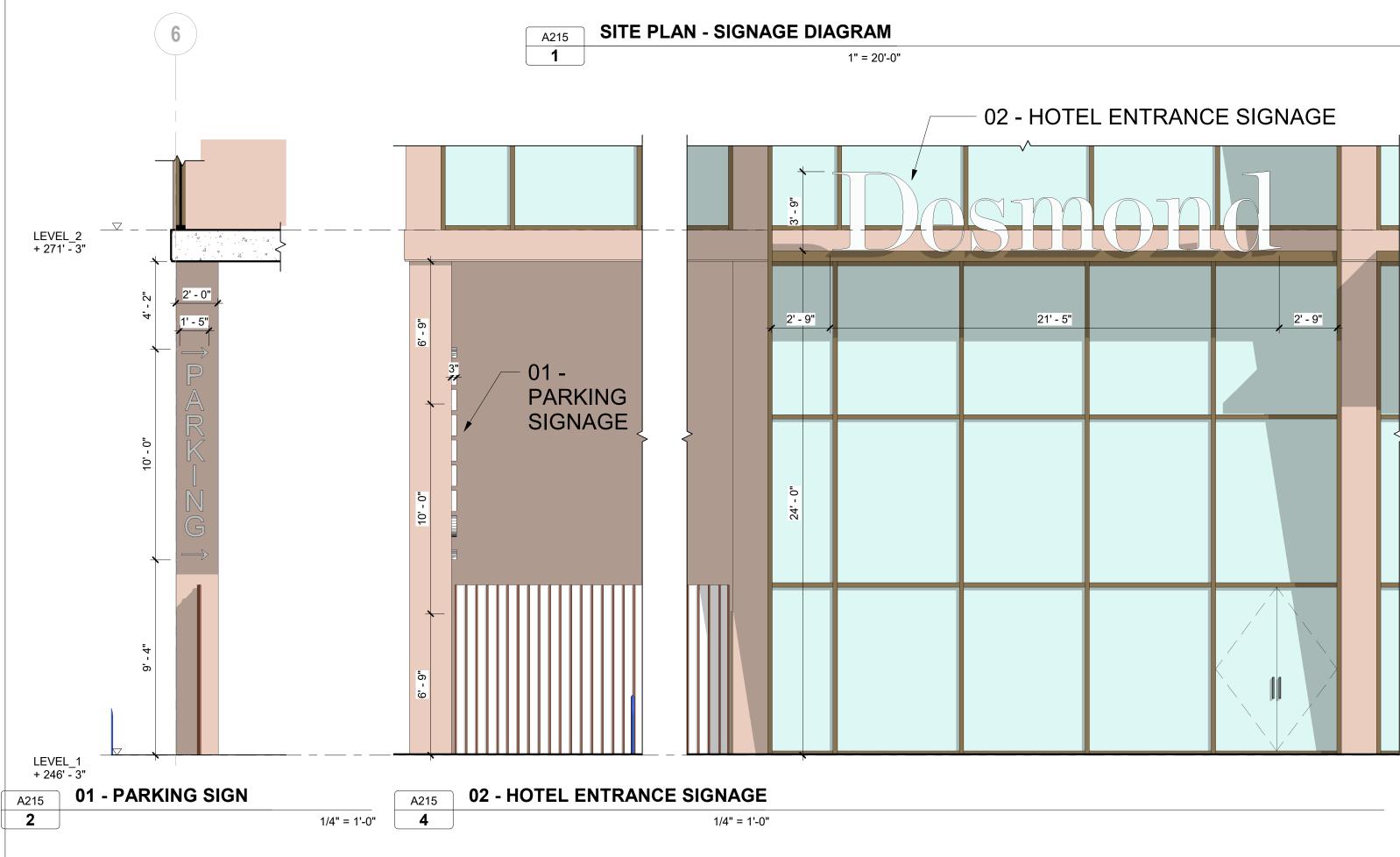
1099 GRAND AVENUE

DRAWING NO:

DRAWING NAME:

PROJECT NAME:

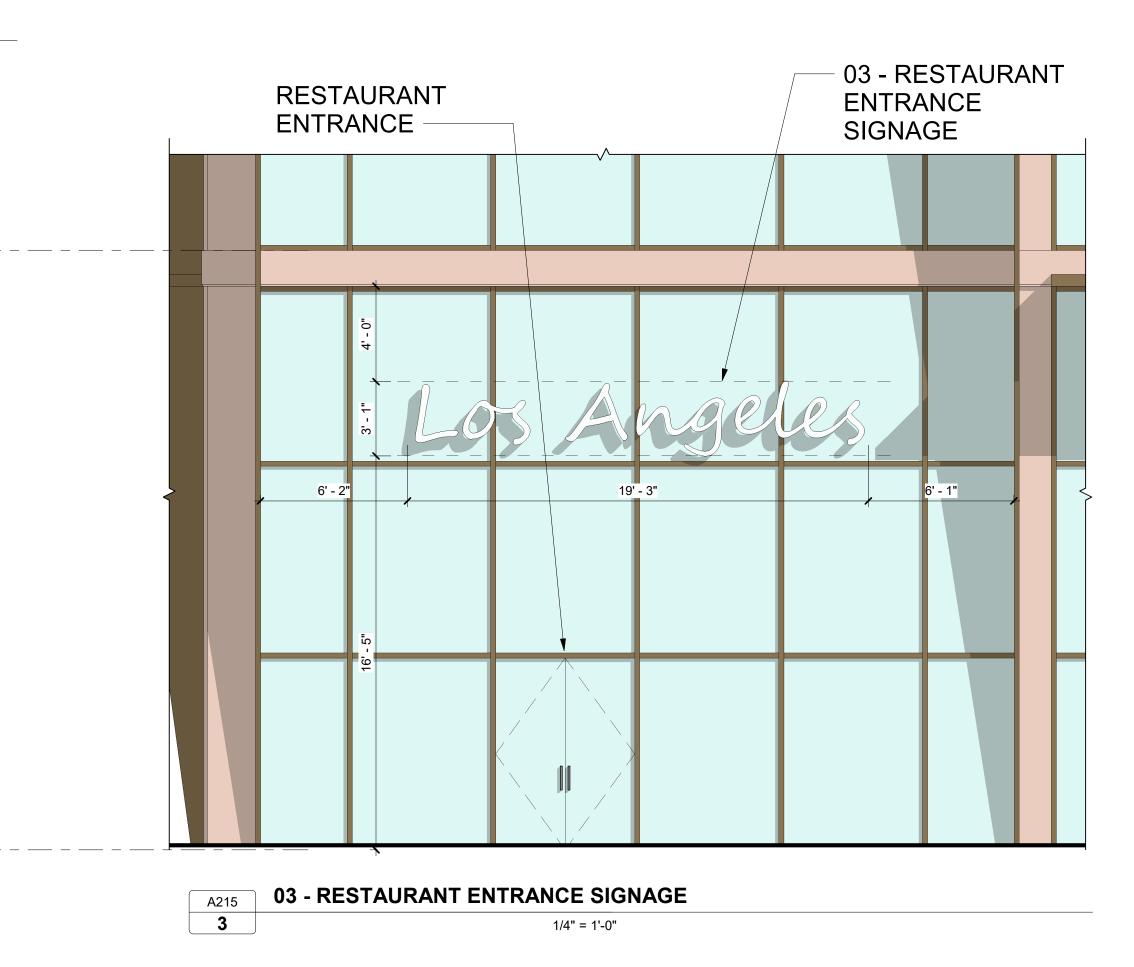




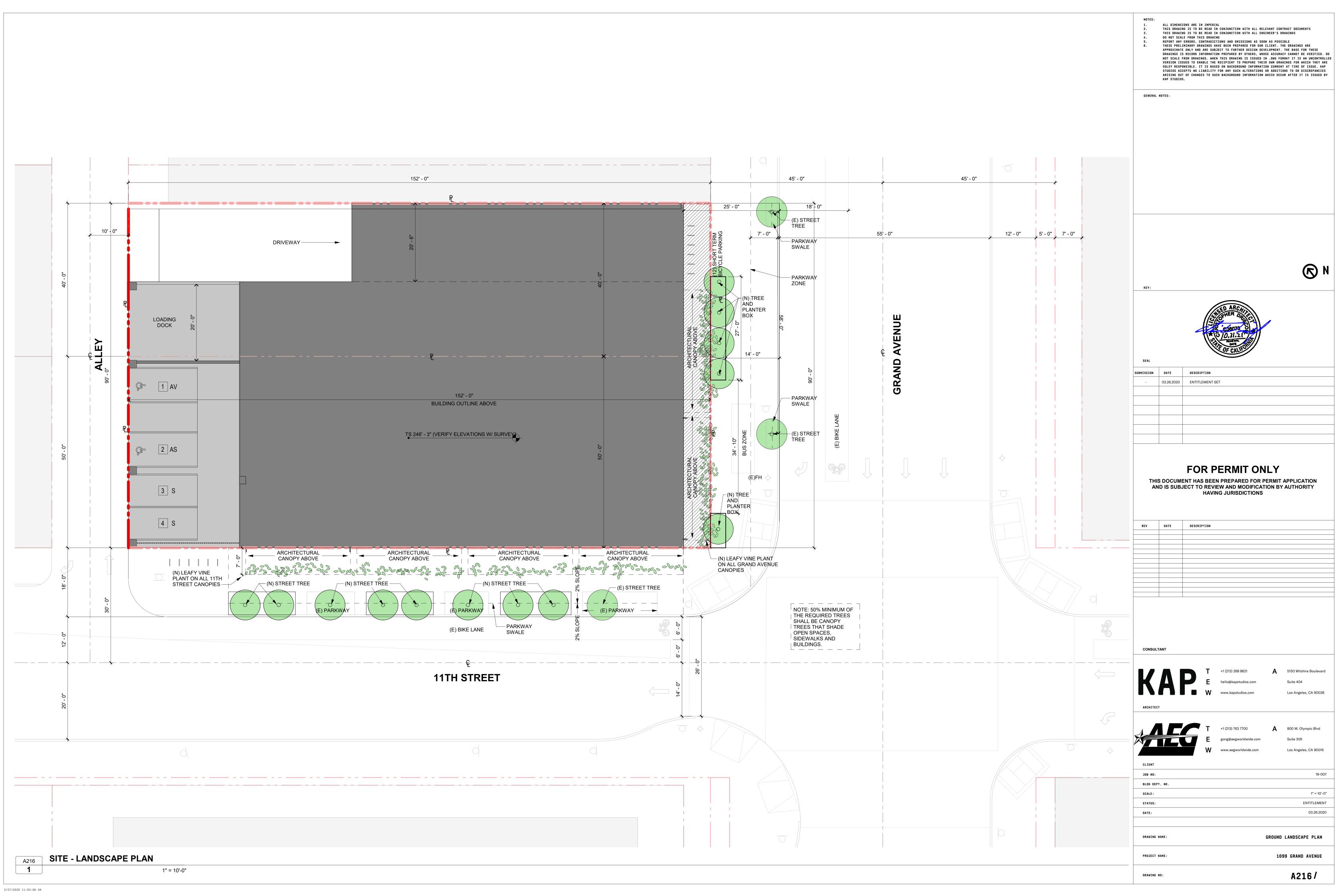
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SIGNAGE INFORMATION

01 - PARKING SIGNAC	GE				
LOCATION	11TH STREET				
STREET FRONTAGE	145'-0"				
QUANTITY	(1)				
TEXT	→PARKING→				
ILLUMINATION	BY SPOTLIGHT				
MATERIAL	UNCOATED BLACKENED STEEL				
OVERALL DIMENSIONS	1'-5" WIDE 15 S.F. 10'-0" TALL				
02 - HOTEL ENTRANC	CE SIGNAGE				
LOCATION	11TH STREET				
STREET FRONTAGE	90'-0"				
QUANTITY	(1)				
TEXT	DESMOND				
ILLUMINATION	BY SPOTLIGHT				
MATERIAL	UNCOATED BLACKENED STEEL				
OVERALL DIMENSIONS	21'-5" WIDE 80.3 S.F. 3'-9" TALL				
03 - RESTAURANT SIG	GNAGE				
LOCATION	GRAND AVENUE				
STREET FRONTAGE	145'-0"				
QUANTITY	(1)				
TEXT	TO BE DETERMINED				
ILLUMINATION	BY SPOTLIGHT				
MATERIAL	UNCOATED BLACKENED STEEL				
OVERALL DIMENSIONS	19'-3" WIDE 59.4 S.F. 3'-1" TALL				







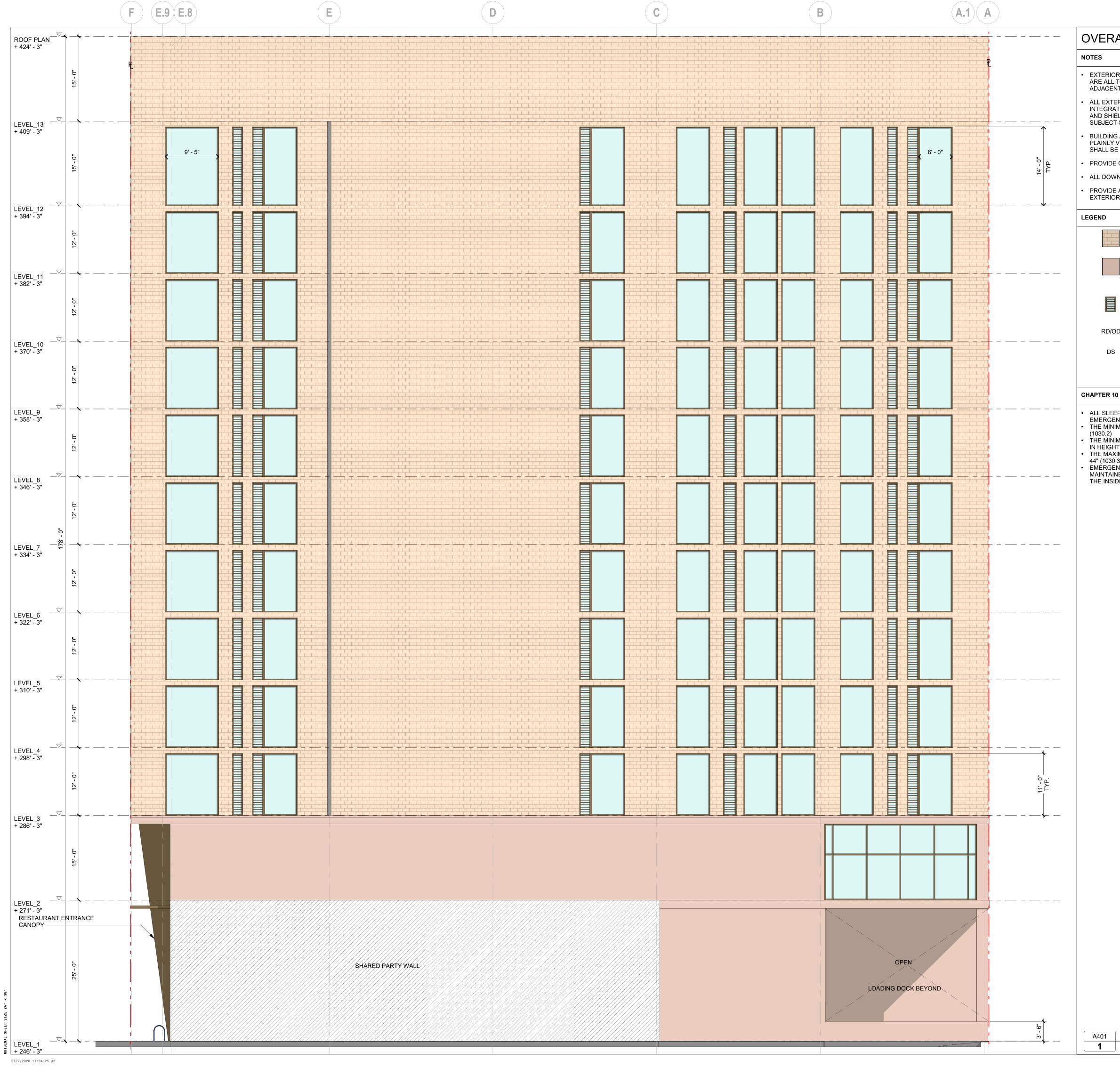


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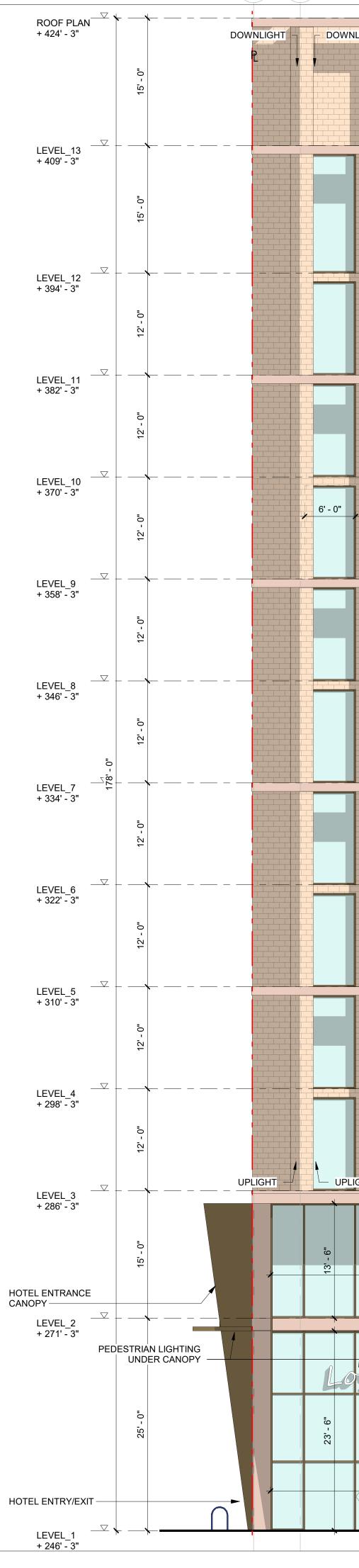


RALL ELEVATONS - NOTES	
	NOTES: 1. ALL DIMENSIONS ARE IN IMPERIAL 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS 4. DO NOT SCALE FROM THIS DRAWING 5. DEPORT ANY EDRORG CONTRACTIONIZATION AND DEFECTIONS AS DESCRIPTED
OR VENT SHOUDS, VENT GRILLS, AC PORTS, GUTTERS AND DRAIN SPOUTS L TO BE FACTORY PRIMED, FIELD PAINTED. PAINT COLOUR TO MATCH THE	5. REPORT ANY ERRORS, CONTRADICTIONS AND OMISSIONS AS SOON AS POSSIBLE 6. THESE PRELIMINARY DRAWINGS HAVE BEEN PREPARED FOR OUR CLIENT. THE DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FURTHER DESIGN DEVELOPMENT. THE BASE FOR THESE DRAWINGS IS RECORD INFORMATION PREPARED BY OTHERS, WHOSE ACCURACY CANNOT BE VERIFIED. DO NOT SCALE FROM DRAWINGS. WHEN THIS DRAWING IS ISSUED IN .DWG FORMAT IT IS AN UNCONTROLLED
ENT MATERIALS. SEE COLOUR LIST ABOVE FOR ADDITIONAL NOTES. TERIOR LIGHTING SHALL BE ENERGY EFFICIENT, ARCHITECTURALLY	VERSION ISSUED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE Soley responsible. It is based on background information current at time of issue. Kap Studios accepts no liability for any such alterations or additions to or discrepancies Arising out of changes to such background information which occur after it is issued by Kap studios.
ATED, DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES, IIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE CT SITE	GENERAL NOTES:
NG ADDRESS NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE Y VISIBLE AND LEGIBLE FROM THE STREET FRONTING PROPERTY. THEY BE ILLUMINATED AT NIGHT. (2016 CA FIRE CODE 505.1)	
E GRAFFITI RESISTANT FINISH AS REQUIRED	
WNSPOUTS TO DRAIN TO LID FLOWTHROUGH PLANTER, TYP. REF CIVIL DE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT OR WALLS AND DOORS. (6306)	
	-
B1 NATURALISTIC RUSTIC BRICK (PANEL)	
BEIGE STONE (PANEL)	
LOUVER	
OD ROOF DRAIN & OVERFLOW - REF. PLUMBING	
S DOWNSPOUT - REF. PLUMBING	KEY:
	LASED ARCHITC
10 - MEANS OF EGRESS	
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NIMUM DIMENSIONS OF THESE OPENINGS SHOULD NOT BE LESS THAN 24" HT AND 20" IN WIDTH. (1030.2.1) XIMUM HEIGHT OF THE BOTTOM EDGE OF THE CLEAR OPENING SHOULD BE	SEAL SUBMISSION DATE DESCRIPTION
iency escape and rescue openings and any exit doors shall be included free of any obstructions and shall be operational from	- 03.26.2020 ENTITLEMENT SET
SIDE OF THE ROOM. (1030.4)	
	FOR PERMIT ONLY
	THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY AUTHORITY HAVING JURISDICTIONS
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	JOB NO: 19-007 BLDG DEPT. NO.
	SCALE: As indicated STATUS: ENTITLEMENT
	DATE: 03.26.2020
	DRAWING NAME: SOUTH ELEVATION
	DRAWING NAME: SOUTH ELEVATION PROJECT NAME: 1099 GRAND AVENUE



ALL I	ELEVATONS - NOTES	NOTES: 1. ALL DIMENSIONS ARE IN IMPERIAL 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS 4. DO NOT SCALE FROM THIS DRAWING 5. REPORT ANY ERRORS, CONTRADICTIONS AND OMISSIONS AS SOON AS POSSIBLE
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1	BEIGE STONE (PANEL)	
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	IE ROOM. (1030.4)	
		FOR PERMIT ONLY THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY AUTHORITY HAVING JURISDICTIONS
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		CLIENT JOB NO: 19-007 BLDG DEPT. NO.
		SCALE: As indicated STATUS: ENTITLEMENT DATE: 03.26.2020
		DRAWING NAME: NORTH ELEVATION
NOF	RTH ELEVATION 1/8" = 1'-0"	PROJECT NAME: 1099 GRAND AVENUE Drawing NO: A401/-
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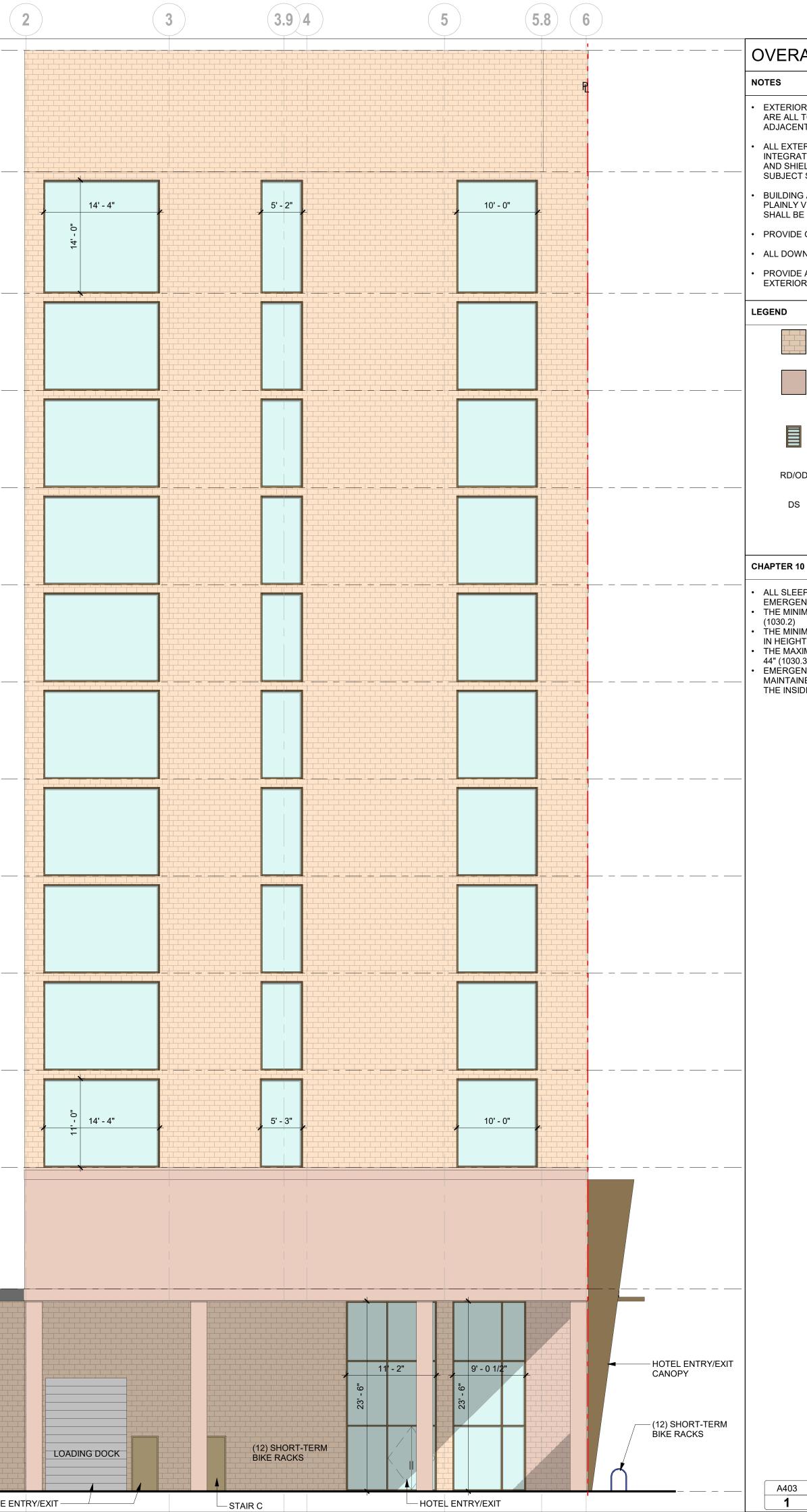




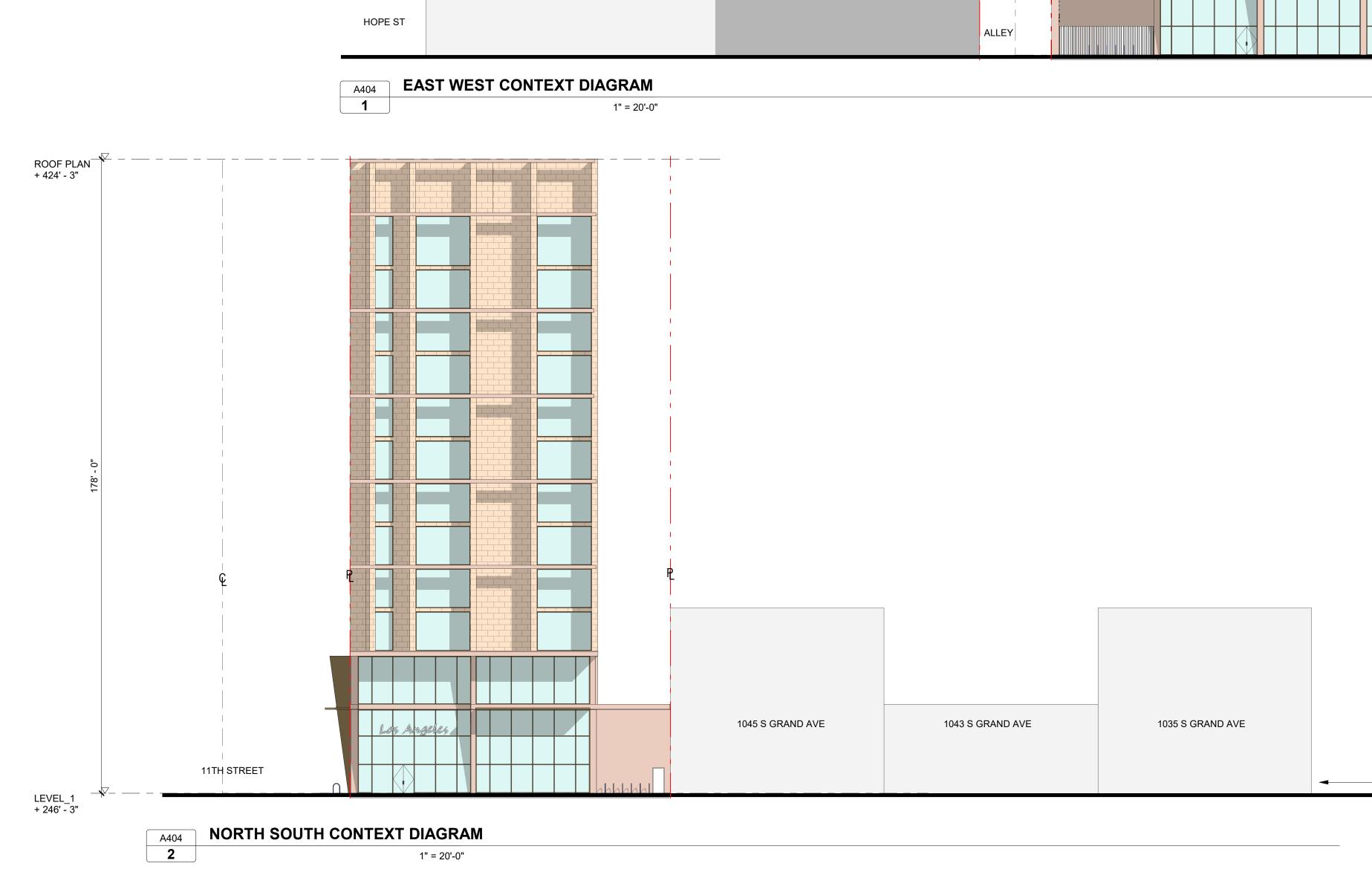
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os Angele					
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31' - 10"		32' - 0"	(12) SHORT-TI BIKE RACKS	ERM	
			hhhh		

Y VISIBLE AND LEGIBLE FROM THE STREET FRONTING PROPERTY. THEY BE ILLUMINATED AT NIGHT. (2016 CA FIRE CODE 505.1) DE GRAFFITI RESISTANT FINISH AS REQUIRED DWNSPOUTS TO DRAIN TO LID FLOWTHROUGH PLANTER, TYP. REF CIVIL DE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT IOR WALLS AND DOORS. (6306) B1	THESE ERIFIED. DO UNCONTROLLED H THEY ARE SSUE. KAP REPANCIES
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DE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT IOR WALLS AND DOORS. (6306) B1	
NATURALISTIC RUSTIC BRICK (PANEL)	
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JOB NO: BLDG DEPT. NO.	19-007
SCALE: A	As indicated
STATUS: ENT	TITLEMENT
	TITLEMENT 03.26.2020
	03.26.2020
DATE:	03.26.2020

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LE + ·	EVEL_13 409' - 3"	15' - 0"		
	EVEL_12 394' - 3"	12' - 0"		·
	EVEL_11 382' - 3"	12' - 0"		
	EVEL_10 370' - 3"	12'- 0"		
	EVEL_9 358' - 3"	12' - 0"		
	EVEL_8 346' - 3" EVEL_7	12' - 0"		
	334' - 3"	12' - 0"		
	EVEL_6 322' - 3"	12' - 0"		
	EVEL_5 310' - 3"	- 22		
	EVEL_4	12'- 0"		
LE + 3	EVEL_3 286' - 3"	15' - 0"		
LE + :	EVEL_2 271' - 3"			
		25' - 0"	RAMP DOWN TO PARKING	
LE + :	EVEL_1 246' - 3"	<- ↓	SEF	RVICE EN

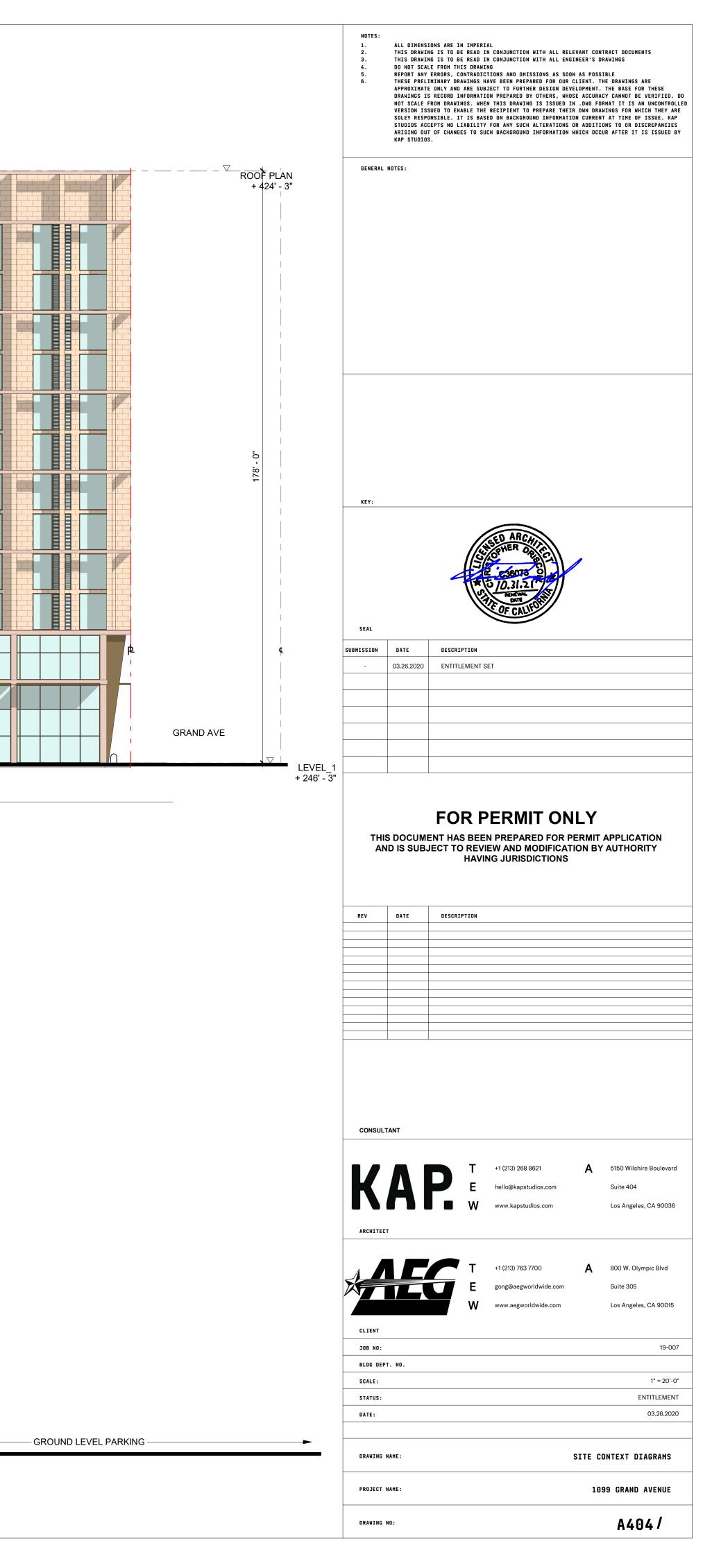


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				T +1 (213) 763 7700 E gong@aegworldwide.com W www.aegworldwide.com	 800 W. Olympic Blvd Suite 305 Los Angeles, CA 90015
		CLIENT JOB NO: BLDG DEP	T. NO.		19-007
		SCALE: STATUS: DATE:			As indicated ENTITLEMENT 03.26.2020
		DRAWING	NAME :		WEST ELEVATION
	ST ELEVATION	PROJECT	NAME :		1099 GRAND AVENUE
	1/8" = 1'-0"	DRAWING	NO:		A403/-

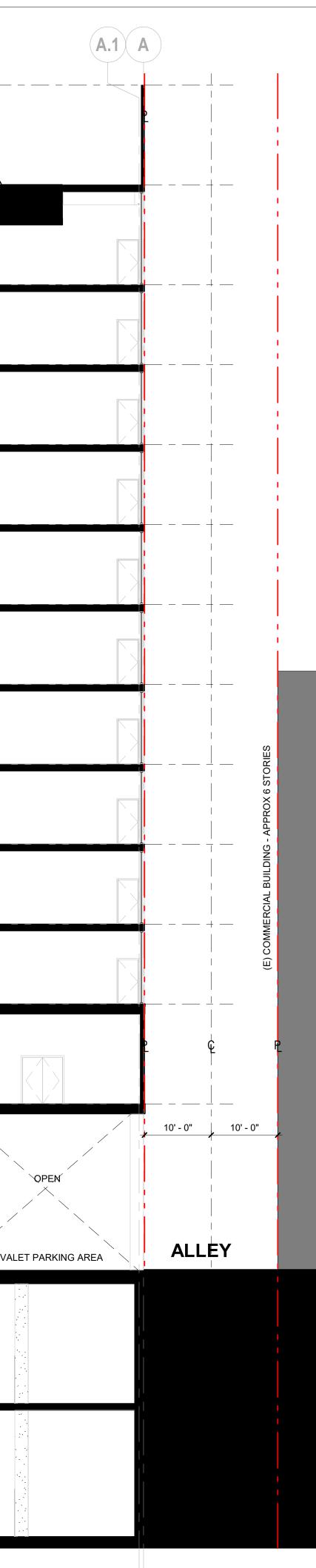


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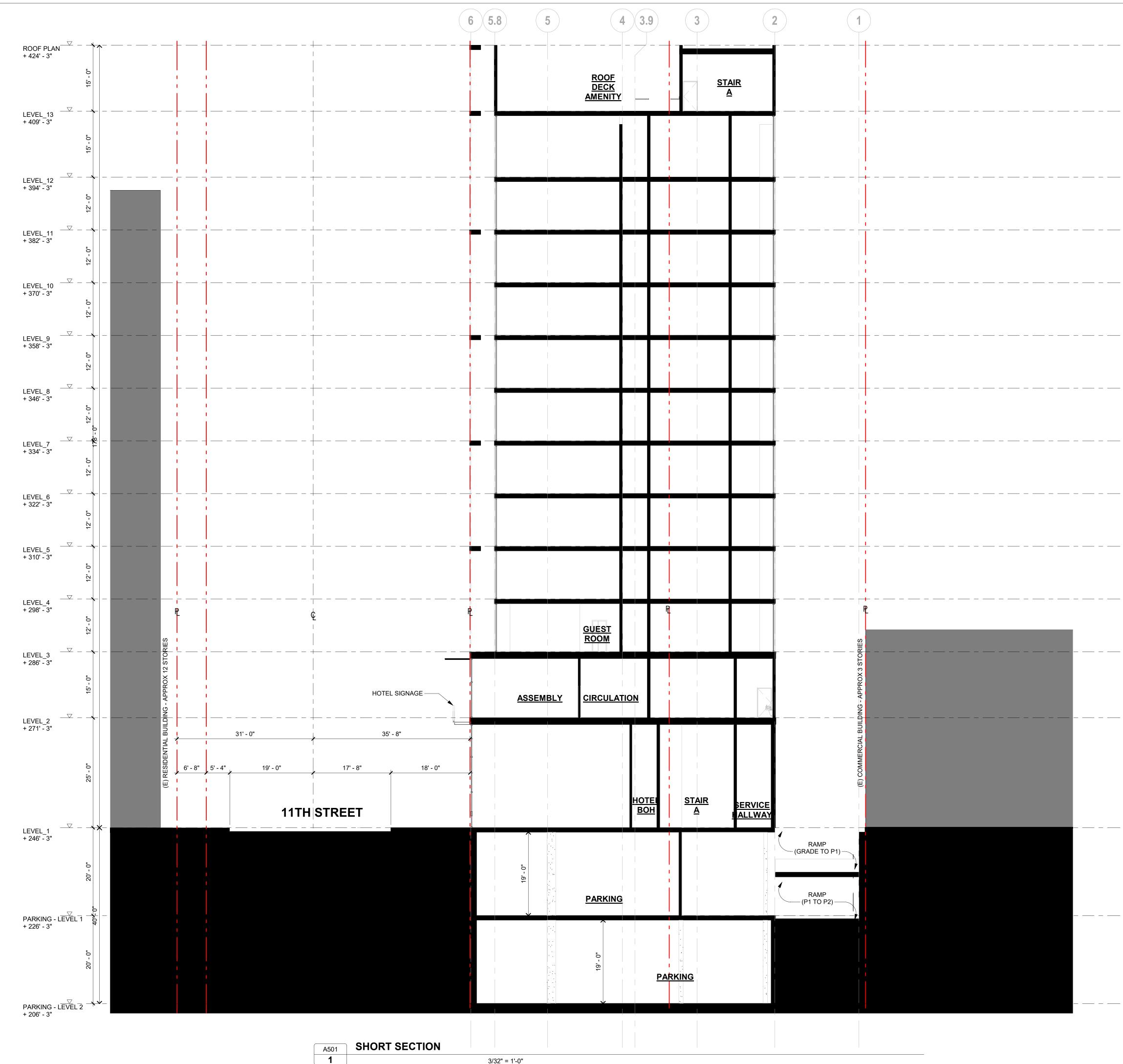
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_ \	20'- 0"									<u> </u>	ARKING			19' - 0"				
PARKING - LEVEL 2 + 206' - 3"								A500 2		ONG SE		3/32" = 1'-0"						



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