



ENTITLEMENT SET  
MARCH 26TH, 2020

NOTES:  
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GENERAL NOTES:

KEY:



SEAL

SUBMISSION	DATE	DESCRIPTION
-	03.26.2020	ENTITLEMENT SET

FOR PERMIT ONLY

THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION  
AND IS SUBJECT TO REVIEW AND MODIFICATION BY AUTHORITY  
HAVING JURISDICTIONS

REV	DATE	DESCRIPTION

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CLIENT

JOB NO:	19-007
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BLDG DEPT. NO.

SCALE:

STATUS:	ENTITLEMENT
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DATE:	03.26.2020
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DRAWING NAME:

COVER

PROJECT NAME:

1899 GRAND AVENUE

DRAWING NO:

6000 / -

## ABBREVIATIONS

<b>A</b>		<b>M</b>	
ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MDF	MEDIUM DENSITY FIBERBOARD
ALT	ALTERNATE		
ALUM	ALUMINUM	MEP	MECHANICAL, ELECTRICAL, PLUMBING
ANCH	ANCHOR	MECH	MECHANICAL
ANOD	ANODIZED	MANUF	MANUFACTURER
ACP	ACOUSTICAL CEILING PANEL	MIN	MINIMUM
APPD	APPROVED	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MTD	MOUNTED
ARCH	ARCHITECTURAL	MTL	METAL
AV	AUDIO VISUAL		
<b>B</b>		<b>N</b>	
BD	BOARD	N	NORTH
BLDG	BUILDING	NA	NOT APPLICABLE
BOH	BACK OF HOUSE	NIC	NOT IN CONTRACT
BOTM	BOTTOM	NOM	NOMINAL
BSMT	BASEMENT	NTS	NOT TO SCALE
<b>C</b>		<b>O</b>	
CAB	CABINET	OC	ON CENTER
CG	CORNER GUARD	OH	OVER HEAD
CH	CHILLER	OPH	OPPOSITE HAND
CIP	CASTINPLACE	OPP	OPPOSITE
		OPPHD	OPPOSITE HAND
		ORD	OVERFLOW ROOF DRAIN
CJ	CONTROL JOINT /...	<b>P</b>	
CL	CENTER LINE	P	PAINT
CLG	CEILING	PL	PLATE
CLR	CLEAR		
CONC	CONCRETE	PNL	PANEL
CONT	CONTINUOUS	POL	POLISHED
COORD	COORDINATE	PSF	POUNDS PER SQUARE FOOT
CORR	CORRIDOR	PT	POINT / PRESSURETREATED
CT	CERAMIC TILE	PT	PAPER TOWEL DISPENSER / PAINTED
CW	COLD WATER (PIPING)	<b>R</b>	
<b>D</b>		RA	RETURN AIR
DEG	DEGREE	RCP	REFLECTED CEILING PLAN
DEMO	DEMOLITION	RD	ROOF DRAIN
DEPT	DEPARTMENT	REF	REFERENCE
DIA	DIAMETER	REQ	REQUIRE / REQUIRED
DIFF	DIFFUSER	REV	REVISION / REVISED
DIM	DIMENSION	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DR	DOOR	RTD	RATED
DW	DISHWASHER	RTG	RATING
DWG	DRAWING	<b>S</b>	
<b>E</b>		S	SOUTH
(E)	EXISTING	SA	SUPPLY AIR
E	EAST	SAF	SELFADHERED FLASHING
EA	EACH	SAM	SELFADHERED MEMBRANE
EJ	EXPANSION JOINT	SAN	SANITARY AIR
EL	ELEVATION	SC	SOLID CORE
ELEC	ELECTRICAL	SD	STORM DRAIN / SOAP DISPENSER
ELEV	ELEVATOR	SF	SQUARE FEET/FOOT
EQU	EQUAL	SM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
<b>F</b>		STD	STANDARD
F	FIRE ALARM	STL	STEEL
F	FLOOR DRAIN	STOR	STORAGE
FDC	FIRE DEPARTMENT CONNECTION	STRUCT	STRUCTURAL
FE	FIRE EXTINGUISHER	<b>T</b>	
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE AND GROOVE
		T	TREAD / THERMOSTAT
FF&E	FURNITURE, FINISHES...	TC	TOP OF CURB
FO	FACE OF	TEMP	TEMPERATURE
FP	FIRE PROTECTION	THK	THICKNESS
FT	FEET	TO	TOP OF (SEE OTHER WORD)
FRT	FIRE RETARDANT TREATED	TOS	TOP OF SLAB, TOP OF STRUCT
<b>G</b>		TP	TOP OF PAVEMENT
GA	GAUGE / GAGE	TV	TELEVISION
GALV	GALVANIZED	TW	TOP OF WALL
GC	GENERAL CONTRACT(OR)	TYP	TYPICAL
GL	GLASS	<b>U</b>	
GWB	GYPSON WALLBOARD	UON	UNLESS OTHERWISE NOTED
<b>H</b>		<b>V</b>	
HB	HOSE BIB	VERT	VERTICAL
		VEST	VESTIBULE
HM	HOLLOW METAL...	VIF	VERIFY IN FIELD
HO	HOLDOPEN	VR	VAPOR RETARDER
HORIZ	HORIZONTAL	VT	VINYL TILE
<b>HVAC</b>	HEATING, VENTILATION,...	<b>W</b>	
HW	HOT WATER	W/	WITH
<b>I</b>		W	WIDE, WIDTH/WEST
IN	INCH	WC	WATER CLOSET
INFO	INFORMATION	WD	WOOD
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WP	WATERPROOFING
INV	INVERT	WPT	WORK POINT
<b>L</b>		WR	WATER RESISTANT/REPELLANT
LAV	LAVATORY	WRB	WEATHER RESISTANT BARRIER
LB	POUND	WS	WEATHERSTRIPPING
LF	LINEAR FOOT	WT	WEIGHT
LT	LIGHT		

## PROJECT INFORMATION

PROJECT ADDRESS	1099 S GRAND AVENUE, LOS ANGELES, CA 90015		
	COUNTY: LOS ANGELES COUNTY		
ASSESSOR'S PARCEL NUMBERS (2 LOTS)	5139008001		
PARCEL AREA (2 LOTS)	13,766.8 SF (SOURCE: ZIMAS)		
PROJECT DESCRIPTION	CONSTRUCTION OF A 13 STORY, 160 ROOM HOTEL. • FLOOR P1-P2 - TWO SUBTERRANEAN PARKING LEVELS • GROUND FLOOR – RESTAURANT, BAR, AND HOTEL LOBBY/RECEPTION • SECOND FLOOR - (5) MEETING/ASSEMBLY ROOMS • FLOORS 3-12 – HOTEL ROOMS • FLOOR 13 - GYM, POOL, BAR, MEETING ROOM		
LEGAL DESCRIPTION	LOTS	BLOCK	TRACT
	FR1-FR2	NONE	SUBDIVISION OF BLOCK 71 ORD'S SURVEY
MAP REFERENCE NUMBER FOR TRACT RECORDATION	M R 10-27		
PARCEL IDENTIFICATION NO. (2 LOTS)	127-5A207 (271, 265)		

## BUILDING & SAFETY

BUILDING OCC: SUMMARY <ul style="list-style-type: none"><li>• ASSEMBLY GROUP A-2</li><li>• ASSEMBLY GROUP A-3</li><li>• BUSINESS GROUP B</li><li>• RESIDENTIAL GROUP R-2</li><li>• STORAGE GROUP S-1</li><li>• STORAGE GROUP S-2</li></ul>	RESTAURANT, BAR, & KITCHEN MEETING ROOM, BANQUET HALL ADMINISTRATION OFFICES HOTEL FACILITY MAINTENANCE FOOD PRODUCT, PARKING GARAGE, LAUNDRY
TYPE OF CONSTRUCTION & ALLOWABLE AREAS / HEIGHTS	TYPE I-A  UNLIMITED HEIGHT UNLIMITED STORIES UNLIMITED AREA
FIRE PROTECTION	SPRINKLERED PER NFPA 13

**APPLICABLE CODES**

- LOS ANGELES MUNICIPAL CODE
- 2019 CALIFORNIA BUILDING CODE\*
- 2019 CALIFORNIA FIRE CODE\*
- 2019 CALIFORNIA MECHANICAL CODE\*
- 2019 CALIFORNIA PLUMBING CODE\*
- 2019 CALIFORNIA ELECTRICAL CODE\*
- 2019 GREEN BUILDING STANDARDS

\*WITH 2017 CITY OF LOS ANGELES BUILDING CODE AMENDMENTS

## PROJECT TEAM

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CONTACT: ANDY MEYERS

## ZONING INFORMATION

ZONING - SUMMARY	
ZONE	(Q)R5-4D-O
LAND USE	HIGH DENSITY RESIDENTIAL
ZONING OVERLAYS	<ul style="list-style-type: none"><li>• ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE</li><li>• ZI-2450 DOWNTOWN STREETCAR</li><li>• ZI-2385 GREATER DOWNTOWN HOUSING INCENTIVE AREA</li><li>• ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES - TIER 3</li></ul>
GUIDELINES	<ul style="list-style-type: none"><li>• CITYWIDE DESIGN GUIDELINES</li><li>• DOWNTOWN STREET STANDARDS - LOS ANGELES</li><li>• DOWNTOWN DESIGN GUIDE - LOS ANGELES</li><li>• COMMUNITY REDEVELOPMENT AGENCY (CRA) - CITY CENTER REDEVELOPMENT PROJECT &amp; CENTRAL CITY COMMUNITY PLAN</li></ul>

ZONING - DETAIL	
FLOOR AREA	<div>ALLOWABLE<ul style="list-style-type: none"><li>• FAR: 6:1 (PER CENTRAL CITY COMMUNITY PLAN)</li><li>• LOT SIZE: 13,766.8 SF (PER ZIMAS)</li><li>• SETBACKS (PER ZI-2385)<ul style="list-style-type: none"><li>1. FRONT (GRAND): 0'</li><li>2. SIDE 1 (11TH): 0'</li><li>3. SIDE 2: 0'</li><li>4. REAR (ALLEY): 0'</li></ul></li><li>• BUILDABLE AREA (NO SETBACKS PER ZI-2385): 13,766.8 SF</li></ul><div>82,600.8 SF</div></div> <div>PROPOSED109497 SF</div>
DENSITY	<div>ALLOWABLEUNLIMITED (PER ZI-2385)</div> <div>PROPOSED160 GUEST ROOMS</div>
HEIGHT/STORIES	<div>ALLOWABLEUNLIMITED</div> <div>PROPOSED178' HEIGHT ABOVE GRADE / 13 STORIES</div>

## PARKING INFORMATION

OFF STEET PARKING STALL REQUIREMENTS - PER LAMC 12.21.A.4

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5

REGULATIONS	<div>1. GUEST ROOMS (PER LAMC 12.21.A.4.P(2))<ul style="list-style-type: none"><li>16 GUEST ROOMS/FLOOR &amp; 10 FLOORS = 160 GUEST ROOMS</li><li>1 SPACE PER 2 ROOMS FOR FIRST 20 = 10 SPACES (20 / 2) (160 -20 = 140 REMAINING ROOMS)</li><li>1 SPACE PER 4 FOR NEXT 20 = 5 SPACES (20/4) (140-20 = 120 REMAINING ROOMS)</li><li>1 SPACE PER 4 FOR NEXT 20 = 5 SPACES (20/4) (140-20 = 120 REMAINING ROOMS)</li><li>1 SPACE PER 6 IN EXCESS OF 40 = 20 SPACES (120 / 6) (120 – 120 = 0 REMAINING ROOMS)</li></ul><b>TOTAL GUEST ROOM PARKING STALLS: 35</b></div> <div>2. ASSEMBLY SPACES (PER LAMC 12.21.A.4.I.(1)) (NET AREA)<ul style="list-style-type: none"><li>1 SPACE PER 100 SF OF ASSEMBLY ROOM</li></ul><table><tr><td>LEVEL_2</td><td>LEVEL_13</td><td>TOTAL</td></tr><tr><td>4598 SF</td><td>722 SF</td><td>5320 SF</td></tr></table><b>TOTAL ASSEMBLY PARKING STALLS: 53</b></div> <div>3. RESTAURANT (PER LAMC 12.21.A.4.I.(3)) (GROSS AREA)<ul style="list-style-type: none"><li>RESTAURANT/BAR/KITCHEN FOH + BOH : 5,197 SF</li><li>5,197 SF &lt; 7,500 SF</li><li>TOTAL PARKING STALLS: 0</li></ul><b>TOTAL COMMERCIAL PARKING STALLS: 0</b></div>	LEVEL_2	LEVEL_13	TOTAL	4598 SF	722 SF	5320 SF	
LEVEL_2	LEVEL_13	TOTAL						
4598 SF	722 SF	5320 SF						
REQUIRED	35 + 53 + 0 = 88							

COMPACT PARKING (PER LAMC 12.21.A.5.C)

REGULATIONS	IN EACH PARKING AREA OR GARAGE CONTAINING 10 OR MORE PARKING STALLS FOR OTHER THAN DWELLING USES, NOT MORE THAN 40 PERCENT OF THE REQUIRED STALLS MAY BE DESIGNED AS COMPACT STALLS TO ACCOMMODATE COMPACT CARS.
ALLOWABLE	88 x 0.4 = 35 COMPACT STALLS (MAXIMUM)

BICYCLE PARKING (PER LAMC 12.21.A.4)

REGULATIONS	<div>1. 160 GUEST ROOMS / 10 = 16 BICYCLE PARKING SPACES<ul style="list-style-type: none"><li>TOTAL SHORT TERM STALLS: 16</li><li>TOTAL LONG TERM STALLS: 16</li></ul><b>TOTAL GUEST ROOM STALLS: 32</b></div> <div>2. RESTAURANT/BAR/KITCHEN FOH + BOH : 5,197 SF A. 5,197 SF / 2,000 = 3 STALLS<ul style="list-style-type: none"><li>TOTAL SHORT TERM STALLS: 3</li><li>TOTAL LONG TERM STALLS: 3</li></ul><b>TOTAL RESTAURANT STALLS: 6</b></div> <div>3. TOTAL BICYCLE STALLS (PER LAMC 12.21.A.P(3)) A. 88 PARKING SPACES X .15 = 13 (ROUNDED DOWN FROM 13.2) B. 13 X 4 = 52 STALLS</div>	
REQUIRED	<ul style="list-style-type: none"><li>TOTAL SHORT TERM STALLS: 24</li><li>TOTAL LONG TERM STALLS: 28</li></ul> <b>TOTAL BICYCLE STALLS STALLS: 52 (INCLUSIVE OF 32 + 6 = 38)</b>	

AUTOMOBILE STALL REDUCTION (PER LAMC 12.21.A.4.P(3))

REGULATIONS	<div>1. 15% REDUCTION IN AUTOMOBILE PARKING STALLS<ul style="list-style-type: none"><li>88 PARKING SPACES X .85 = 75 (ROUNDED UP FROM 74.8)</li></ul></div>	
REQUIRED	<b>TOTAL PARKING STALLS: 75</b>	

ACCESSIBLE PARKING (PER CBC 2019 11B-208.2)

REQUIRED	3 (1 VAN)
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ELECTRIC VEHICLE PARKING (PER LAMC 99.04.106.4.3.1 AND 99.04.106.4.4)

REQUIRED	<ul style="list-style-type: none"><li>23 OF 75 PARKING SPACES ARE TO BE EV CHARGING SPACES</li><li>3 EV CHARGING STATIONS ARE REQUIRED</li></ul>
----------	--

PARKING : TOTALS

C : COMPACT	<div>PARKING</div> <table><tr><th></th><th>TYPE</th><th>QUANTITY</th></tr><tr><td rowspan="4">PARKING - LEVEL 2</td><td>EV</td><td>2</td></tr><tr><td>C</td><td>5</td></tr><tr><td>S</td><td>8</td></tr><tr><td>ST</td><td>31</td></tr><tr><td rowspan="5">PARKING - LEVEL 1</td><td>AS</td><td>1</td></tr><tr><td>AV</td><td>1</td></tr><tr><td>C</td><td>3</td></tr><tr><td>EV</td><td>18</td></tr><tr><td>S</td><td>2</td></tr><tr><td rowspan="3">LEVEL_1</td><td>AS</td><td>1</td></tr><tr><td>AV</td><td>1</td></tr><tr><td>S</td><td>2</td></tr><tr><td colspan="2">TOTAL: 75</td></tr></table>		TYPE	QUANTITY	PARKING - LEVEL 2	EV	2	C	5	S	8	ST	31	PARKING - LEVEL 1	AS	1	AV	1	C	3	EV	18	S	2	LEVEL_1	AS	1	AV	1	S	2	TOTAL: 75	
		TYPE	QUANTITY																														
PARKING - LEVEL 2		EV	2																														
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TOTAL: 75																																	
S : STANDARD																																	
ST : STACKER																																	
EV : ELECTRIC VEHICLE																																	
AS : ACCESSIBLE - STANDARD																																	
AV: ACCESSIBLE - VAN																																	

## SHEET INDEX

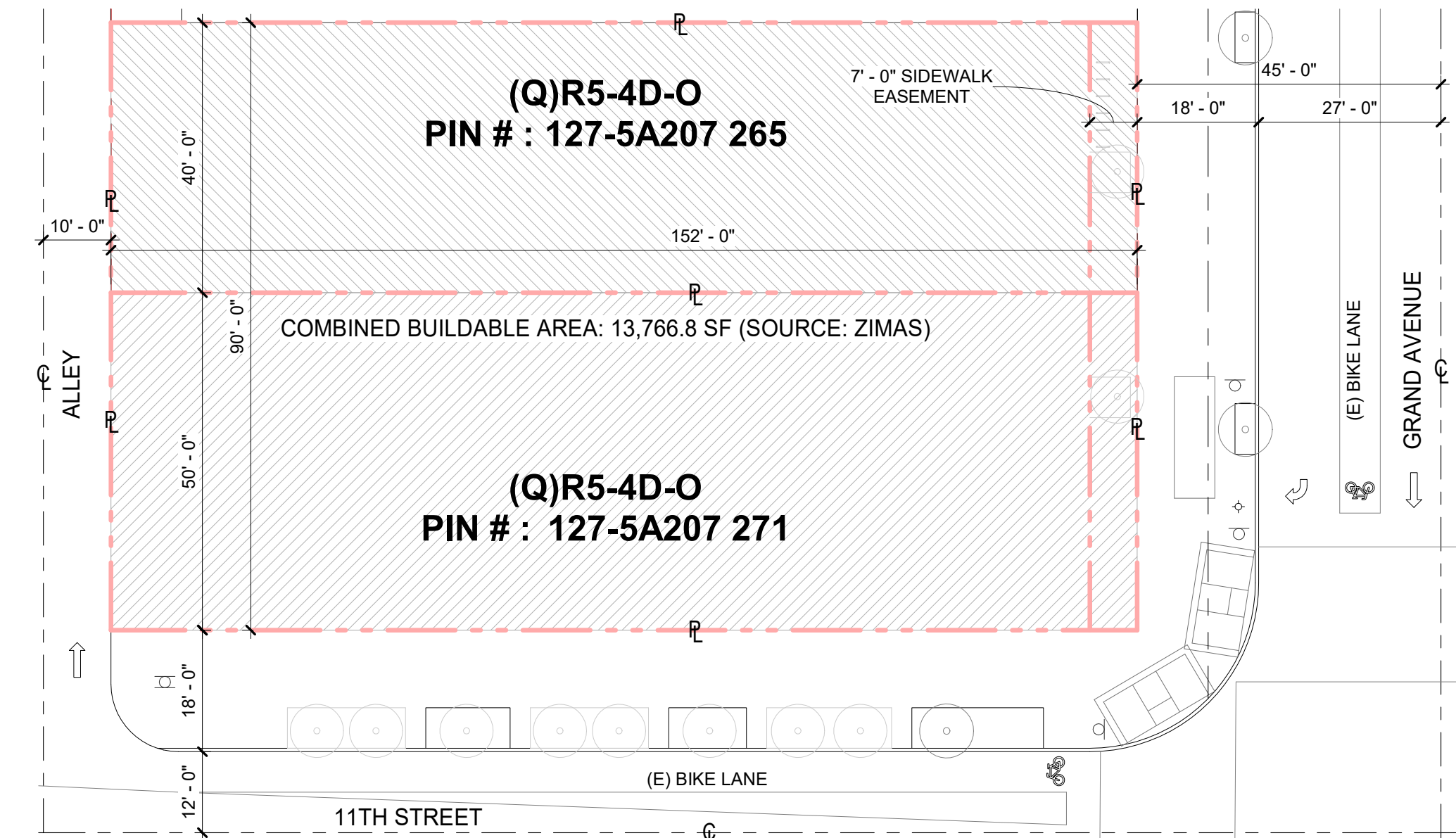
SHEET NO.		SHEET NAME
GENERAL		
G000	-	COVER
G001	-	PROJECT INFORMATION
G002	-	ZONING DIAGRAMS
G301	-	AREA PLANS
ARCHITECTURAL		
A001	-	SITE PLAN
A002	-	ENLARGED SITE
A003	-	SITE PHOTOS
A198	-	PARKING LEVEL 2
A199	-	PARKING LEVEL 1
A201	-	FLOOR 1
A202	-	FLOOR 2
A203	-	FLOORS 3-12
A213	-	FLOOR 13
A214	-	ROOF PLAN
A215	-	SIGNAGE
A216	-	GROUND LANDSCAPE PLAN
A217	-	ROOFTOP LANDSCAPE PLAN
A400	-	SOUTH ELEVATION
A401	-	NORTH ELEVATION
A402	-	EAST ELEVATION
A403	-	WEST ELEVATION
A404	-	SITE CONTEXT DIAGRAMS
A500	-	BUILDING SECTION
A501	-	BUILDING SECTION

## VICINITY MAP

1099 S GRAND AVENUE,  
LOS ANGELES, CA 90015

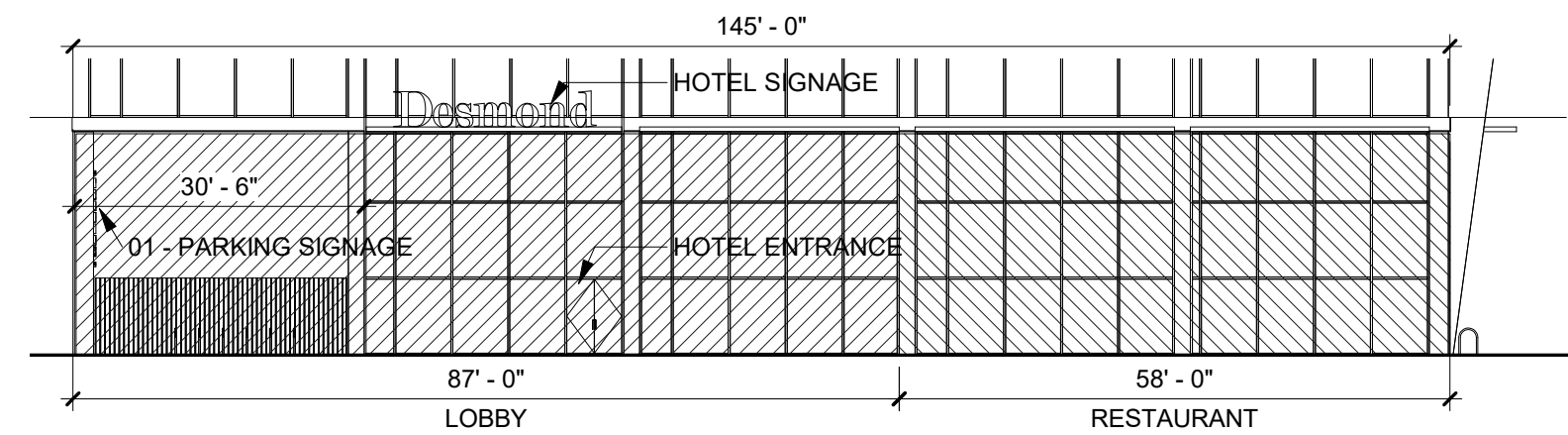
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CONSULTANT					
<div>KAP.<div>T+1 (213) 268 8621A5150 Wilshire Boulevard</div><div>Ehello@kapstudios.comSuite 404</div><div>Wwww.kapstudios.comLos Angeles, CA 90036</div></div>					
ARCHITECT					
<div>AEG<div>T+1 (213) 763 7700A800 W. Olympic Blvd</div><div>Egong@aegworldwide.comSuite 305</div><div>Wwww.aegworldwide.comLos Angeles, CA 90015</div></div>					
CLIENT					
JOB NO: 19-007					
BLOG DEPT. NO.					
SCALE: 1/4" = 1'-0"					
STATUS: ENTITLEMENT					
DATE: 03.26.2020					
DRAWING NAME: PROJECT INFORMATION					
PROJECT NAME: 1099 GRAND AVENUE					
DRAWING NO: G001 / -					

## ZONING DIAGRAMS



G002	<b>ZONING + DENSITY/FAR DIAGRAM</b>
<b>5</b>	1" = 20'-0"

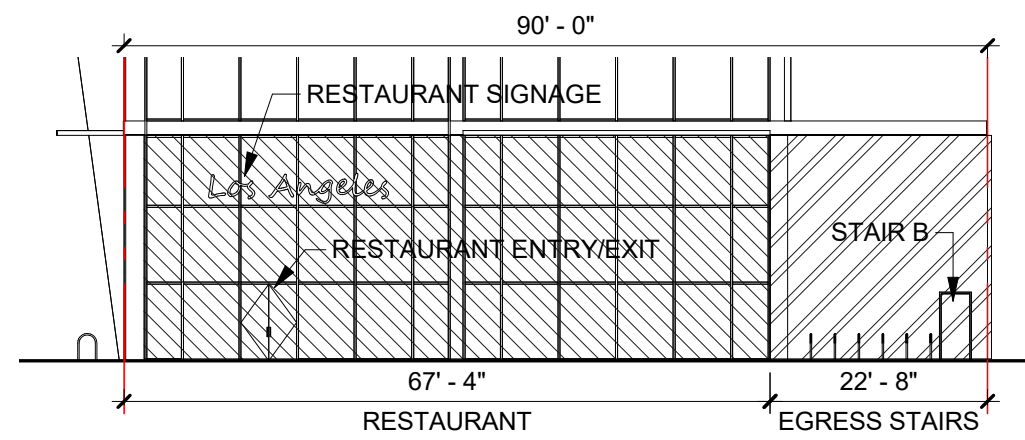
## STREET FRONTAGE DIAGRAMS



G002
<b>6</b>

## SOUTH ELEVATION - STREETFRONT DIAGRAM

1" = 20'-0"



G002
<b>7</b>

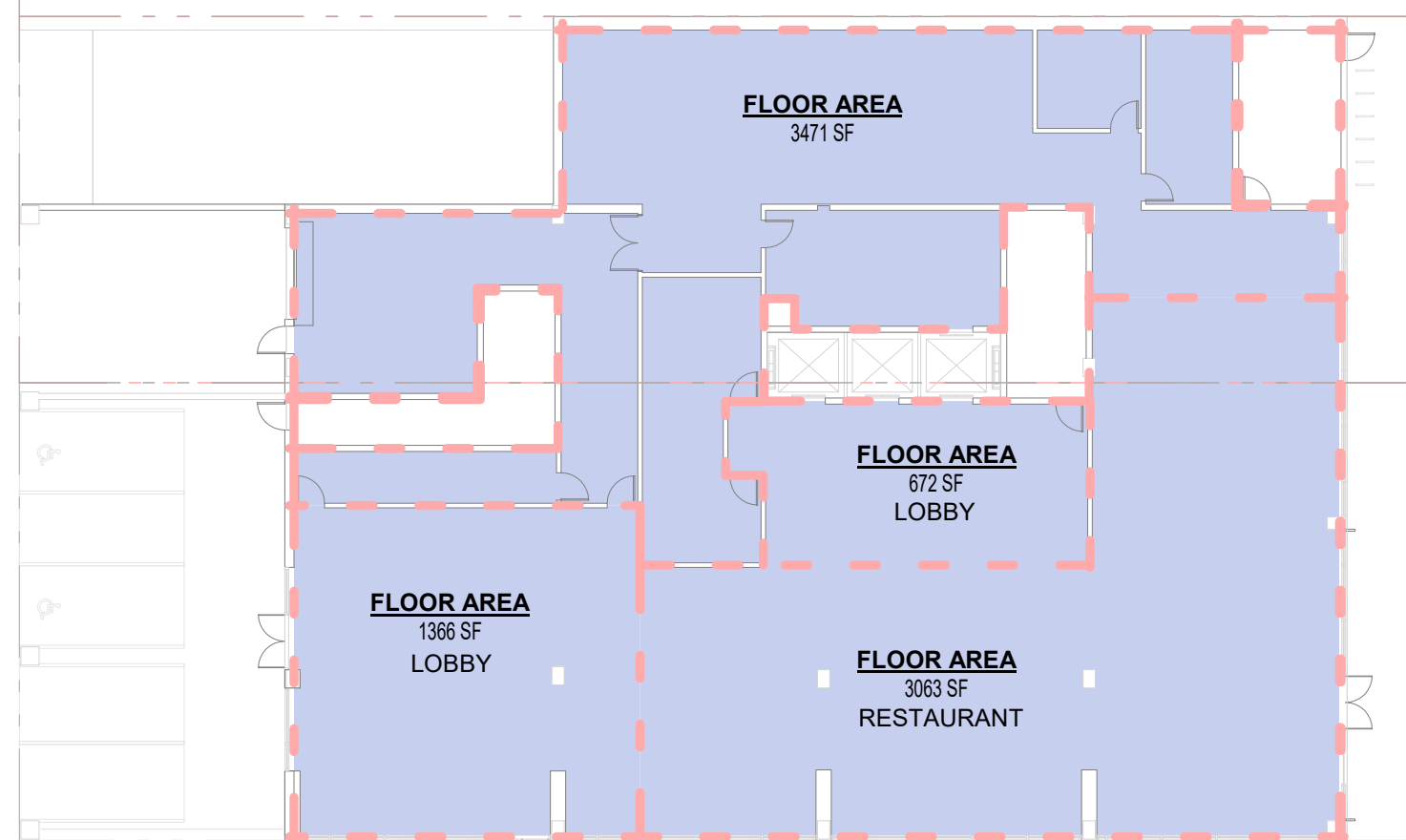
## EAST ELEVATION - STREETFRONT DIAGRAM

1" = 20'-0"

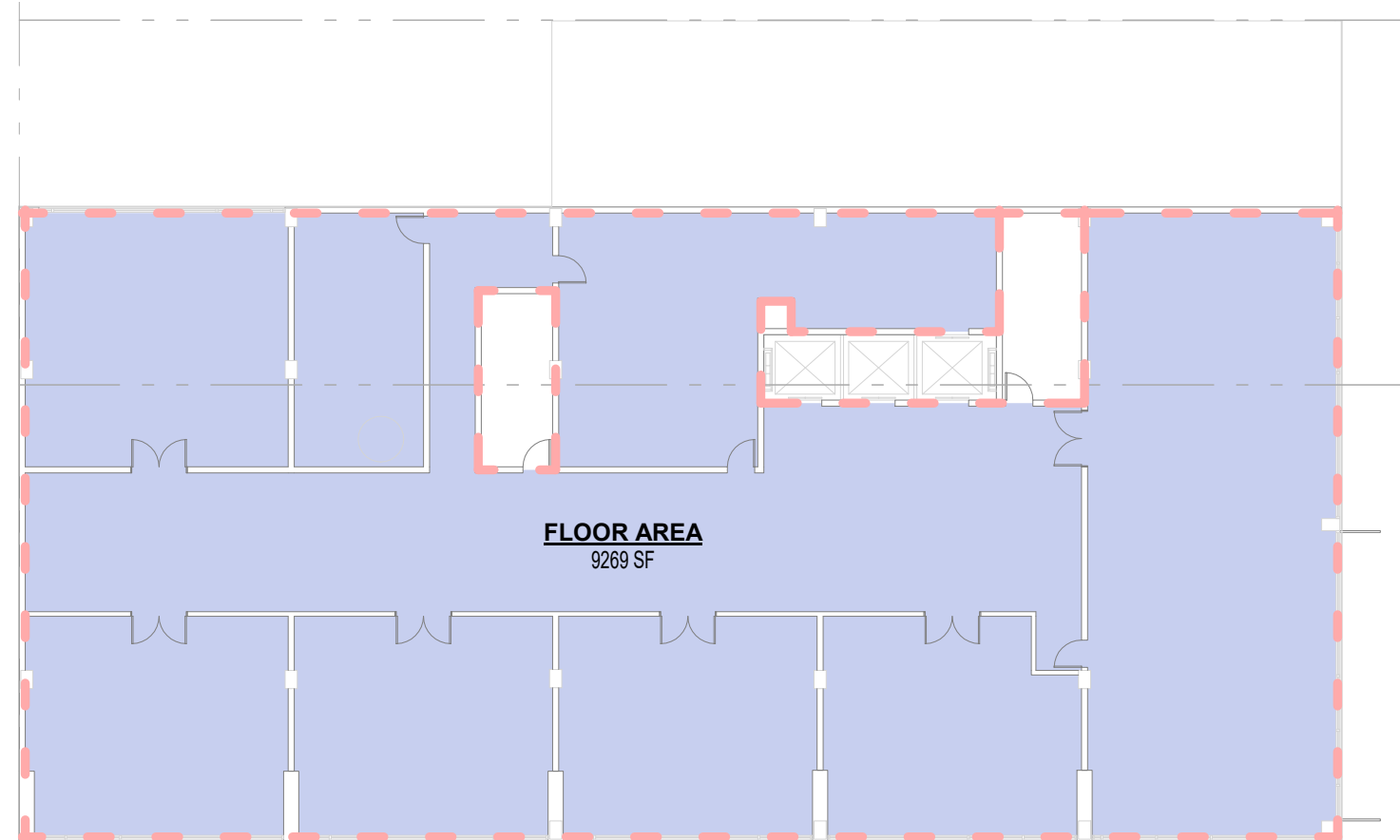
## STREET FRONT INFORMATION

SECTION 4.2 OF DOWNTOWN DESIGN GUIDE		SECTION 4.10 OF DOWNTOWN DESIGN GUIDE	
<ul style="list-style-type: none"> <li>• 235'-0" = TOTAL LENGTH OF STREET FRONT FACADE</li> <li>• 145'-0" (61.7%)(11TH STREET) + 90'-0" (38.3%)(GRAND AVENUE)</li> </ul>		<ul style="list-style-type: none"> <li>• 235'-0" = TOTAL LENGTH OF STREET FRONT FACADE</li> <li>• 145'-0" (61.7%)(11TH STREET) + 90'-0" (38.3%)(GRAND AVENUE)</li> </ul>	
11TH STREET	LOBBY = 87'-0" = 37.0%	11TH STREET	WALL OPENINGS = 114'-6" = 48.7.0%
	RESTAURANT = 58'-0" = 24.7%		NO OPENINGS = 30'-6" = 13%
GRAND AVENUE	RESTAURANT = 67'-4" = 28.7%	GRAND AVENUE	WALL OPENINGS = 67'-4" = 28.7%
	EGRESS STAIRS = 22'-8" = 9.6%		NO OPENINGS = 22'-8" = 9.6%
TOTALS	LOBBY + RESTAURANT = 212'-0" = 90.4%	TOTALS	WALL OPENINGS = 212'-0" = 77.4%
	EGRESS STAIRS = 22'-8" = 9.6%		NO OPENINGS = 22'-8" = 22.6%

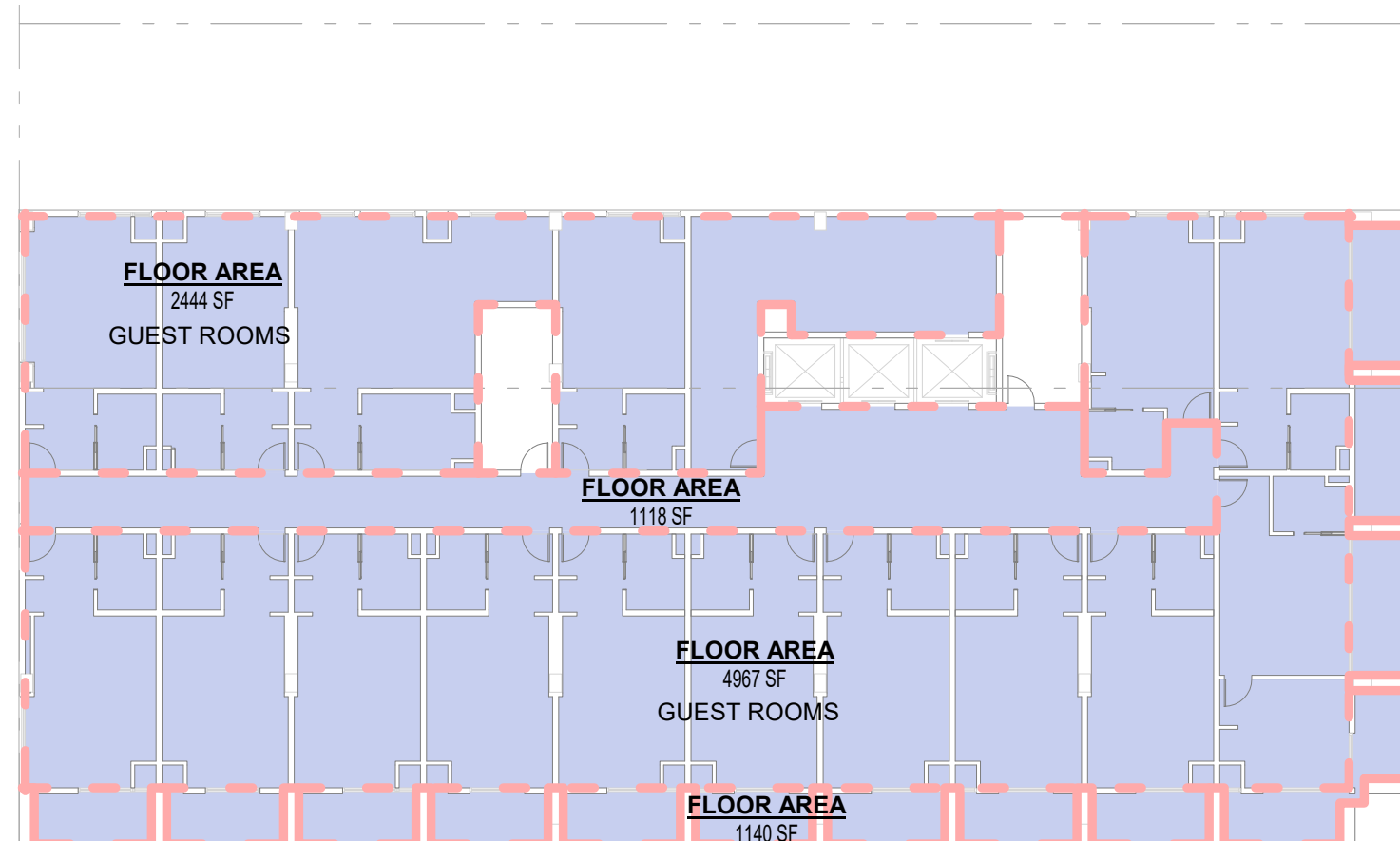
## FAR DIAGRAMS



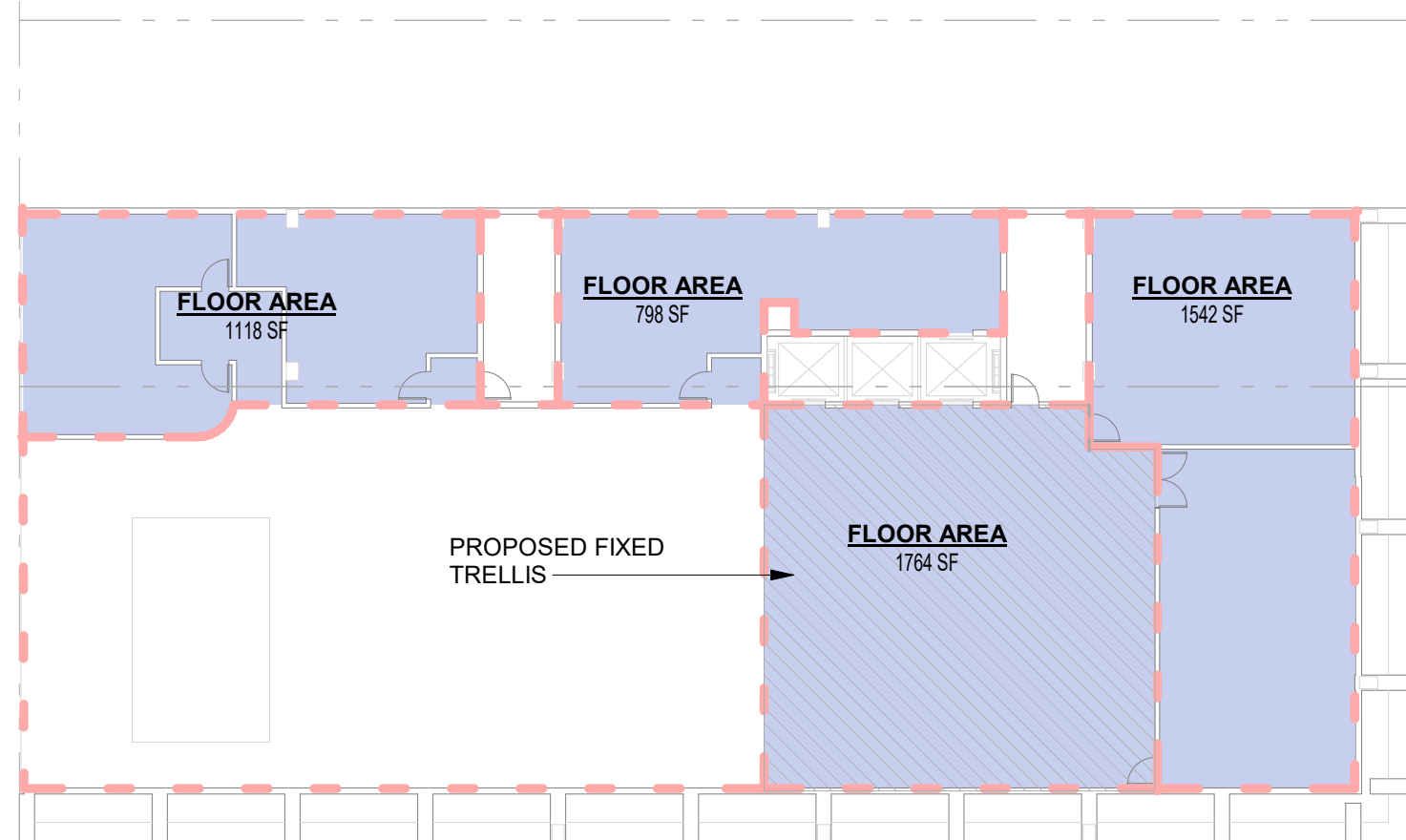
**1ST FLOOR - FLOOR AREA DIAGRAM (LAMC)**



G002	<b>2ND FLOOR - FLOOR AREA DIAGRAM (LAMC)</b>
<b>2</b>	1" = 20'-0"



**3RD-12TH FLOOR - FLOOR AREA DIAGRAM (LAMC)**



**13TH FLOOR - FLOOR AREA DIAGRAM (LAMC)**

## ZONING & PLANING NOTES

DENSITY & FLOOR AREA		
PROPOSED DENSITY		
GUEST ROOMS	160	
FLOOR AREA*	FLOOR	AREA (LAMC)
*EXCLUDING PARKING PER LAMC 12.21.1(B)(4)	LEVEL_1	8573 SF
	LEVEL_2	9269 SF
	LEVEL_3	9669 SF
	LEVEL_4	8529 SF
	LEVEL_5	8529 SF
	LEVEL_6	8529 SF
	LEVEL_7	8529 SF
	LEVEL_8	8529 SF
	LEVEL_9	8529 SF
	LEVEL_10	8529 SF
	LEVEL_11	8529 SF
	LEVEL_12	8529 SF
	LEVEL_13	5222 SF
	TOTAL PROPOSED FLOOR AREA	109497 SF

NOTES:

- 1. ALL DIMENSIONS ARE IN IMPERIAL.
- 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
- 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S REPORTS
- 4. DO NOT SCALE FROM THIS DRAWING
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GENERAL NOTES:

**KEY:**



SEAL

SUBMISSION	DATE	DESCRIPTION
-	03.26.2020	ENTITLEMENT SET

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	E	<a href="mailto:gong@aegworldwide.com">gong@aegworldwide.com</a>		Suite 305
	W	<a href="http://www.aegworldwide.com">www.aegworldwide.com</a>		Los Angeles, CA 90015

**CLIENT**

JOB NO:	19-007
BLOG DEPT. NO.	
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME:

## ZONING DIAGRAMS

PROJECT NAME:

1099 GRAND AVENUE

DRAWING NO:

G002 / -

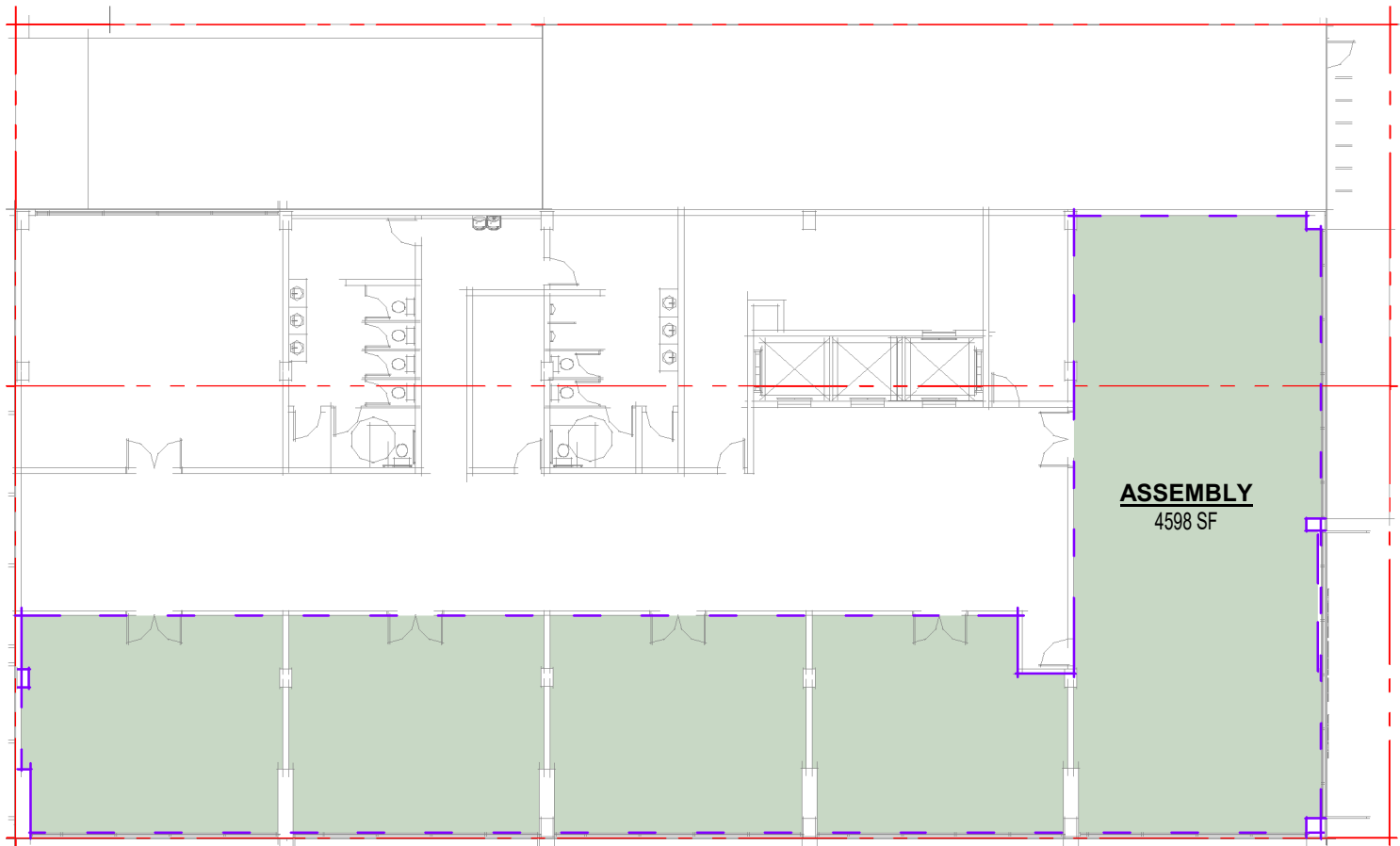
NET AREA PLANS			
ASSEMBLY ROOM - NET AREAS (PER LAMC 12.21.A.4.I(1))		UNIT MIX & ASSEMBLY LEGEND	
NAME	AREA	ASSEMBLY	HOTEL BOH
LEVEL_2		CIRCULATION	KING
ASSEMBLY	4598 SF	DOUBLE	KING / ADA
LEVEL_13		GYM	KING / SUITE
ASSEMBLY	722 SF		
	5320 SF		
GUEST ROOM MIX & NET AREAS			
NAME	COUNT	AREA	TOTAL AREA
LEVEL_3			
DOUBLE	4 (40 TOTAL)	1653 SF	16530 SF
KING	10 (100 TOTAL)	4093 SF	40931 SF
KING / ADA	1 (10 TOTAL)	660 SF	6596 SF
KING / SUITE	1 (10 TOTAL)	505 SF	5051 SF
16	16 (160 TOTAL)	6911 SF	69108 SF

NAME	COUNT	AREA	TOTAL AREA
LEVEL_3			
DOUBLE	4 (40 TOTAL)	1653 SF	16530 SF
KING	10 (100 TOTAL)	4093 SF	40931 SF
KING / ADA	1 (10 TOTAL)	660 SF	6596 SF
KING / SUITE	1 (10 TOTAL)	505 SF	5051 SF
16	16 (160 TOTAL)	6911 SF	69108 SF

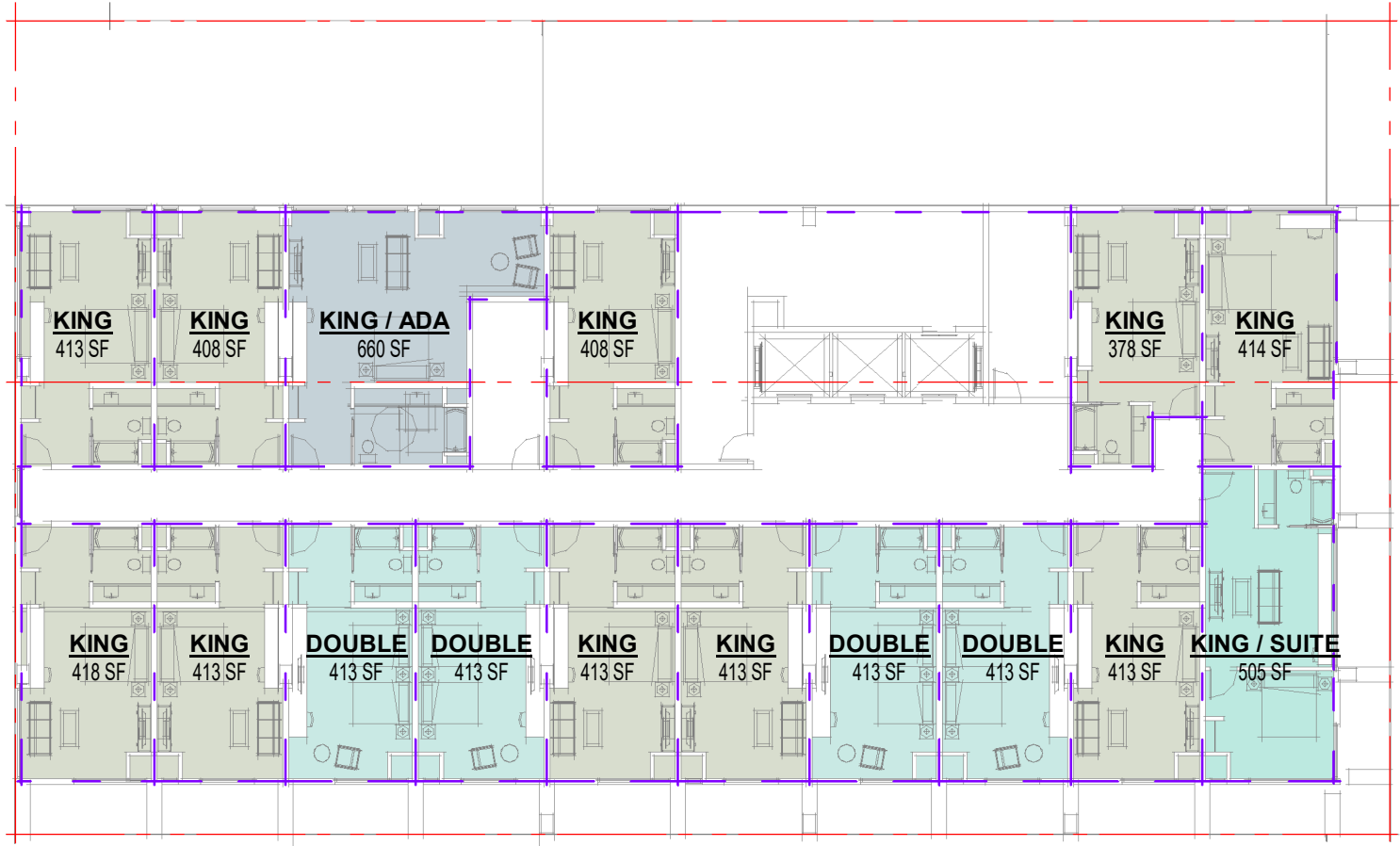
BUILDABLE GROSS AREA PLANS			
BUILDABLE GROSS FLOOR AREA		NAME	
NAME	AREA	NAME	AREA
LEVEL_2		LEVEL_3	
PARKING - LEVEL 2		BOH	577 SF
CIRCULATION	481 SF	CIRCULATION	1666 SF
MECH	394 SF	GUEST ROOMS	7133 SF
PARKING	12086 SF		
STORAGE	719 SF	LEVEL_4	
		BOH	577 SF
PARKING - LEVEL 1		CIRCULATION	1666 SF
CIRCULATION	556 SF	GUEST ROOMS	7133 SF
PARKING	12191 SF		
STORAGE	933 SF	LEVEL_5	
		BOH	577 SF
LEVEL_1		CIRCULATION	1666 SF
BOH	1809 SF	GUEST ROOMS	7133 SF
CIRCULATION	927 SF		
KITCHEN	1716 SF	LEVEL_6	
LOBBY	1826 SF	BOH	577 SF
RESTAURANT	3121 SF	CIRCULATION	1666 SF
RESTROOM	394 SF	GUEST ROOMS	7133 SF
		LEVEL_7	
LEVEL_2		BOH	577 SF
ASSEMBLY	4754 SF	CIRCULATION	1666 SF
BOH	1428 SF	GUEST ROOMS	7133 SF
CIRCULATION	2727 SF		
RESTROOM	1097 SF		

GFA LEGEND			
AMENITY - ROOF DECK	LOBBY	MECH	
ASSEMBLY	MECH	PARKING	
BOH	RESTAURANT	RESTROOM	
CIRCULATION	RESTROOM	STORAGE	
GUEST ROOMS			
GYM			
RESTROOM			
TOTAL			

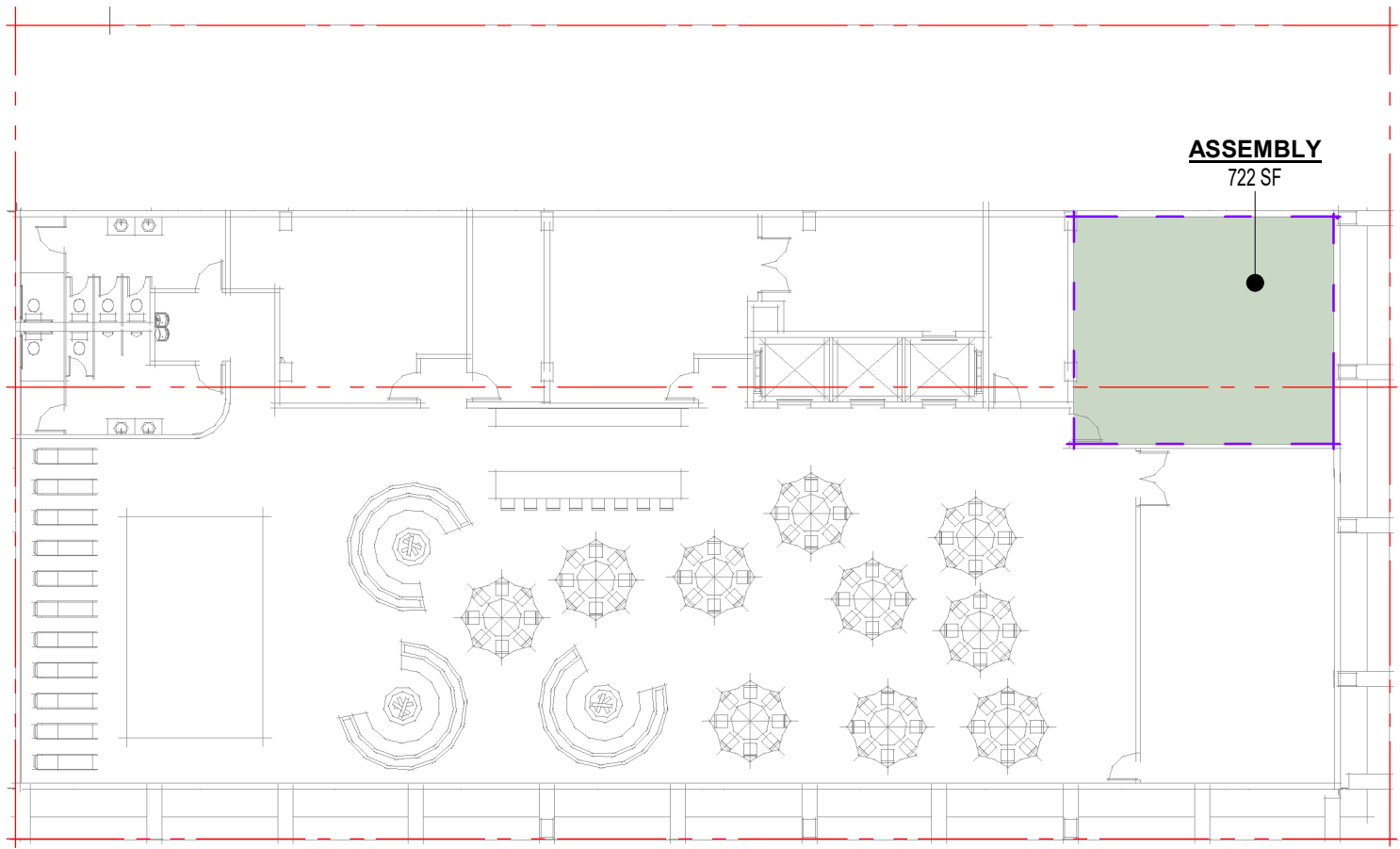
NOTES:	
1.	ALL DIMENSIONS ARE IN IMPERIAL.
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3.	THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS.
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6.	
GENERAL NOTES:	



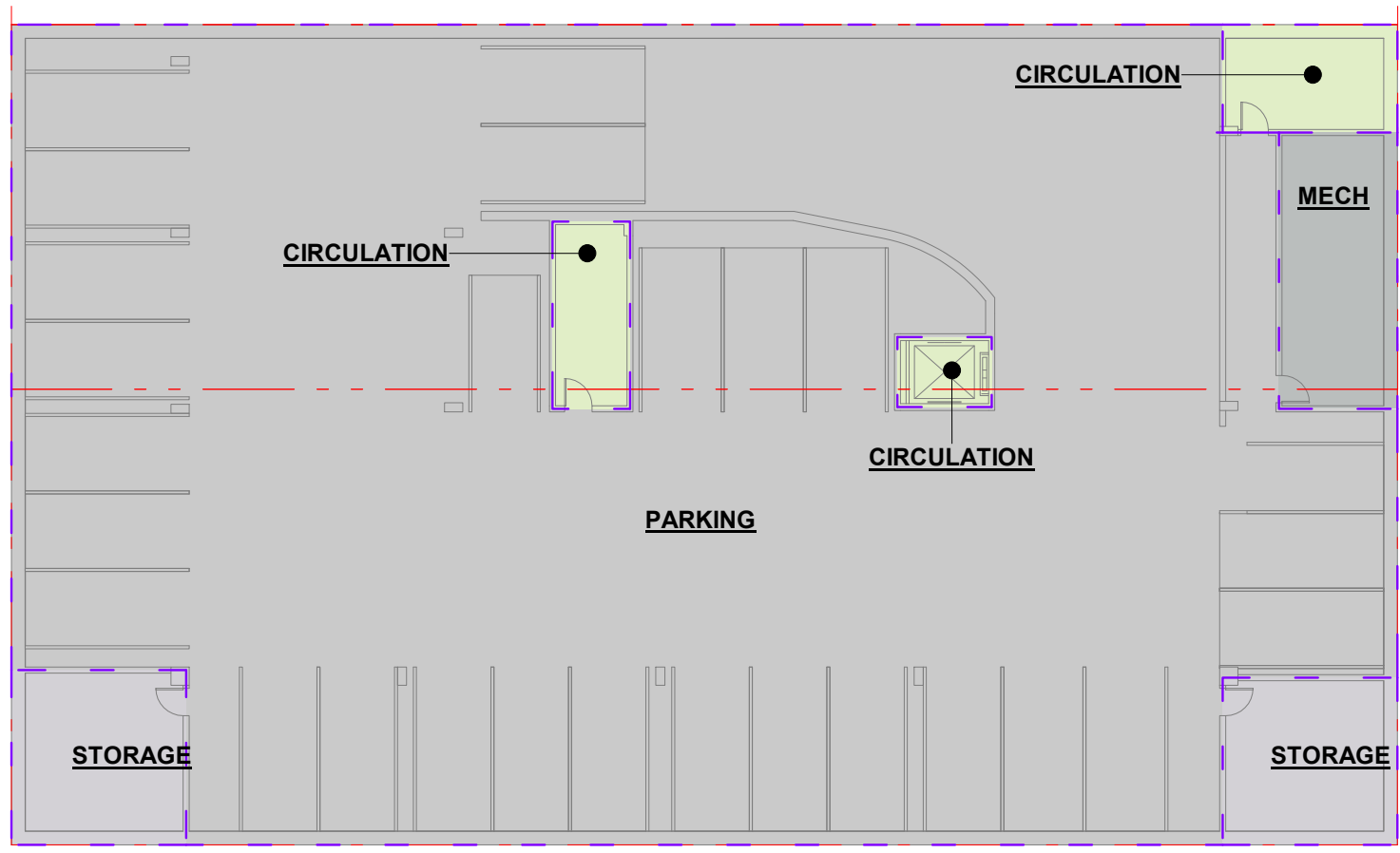
G301  
5  
2ND FLOOR - AREA PLAN (NET)  
1" = 20'-0"



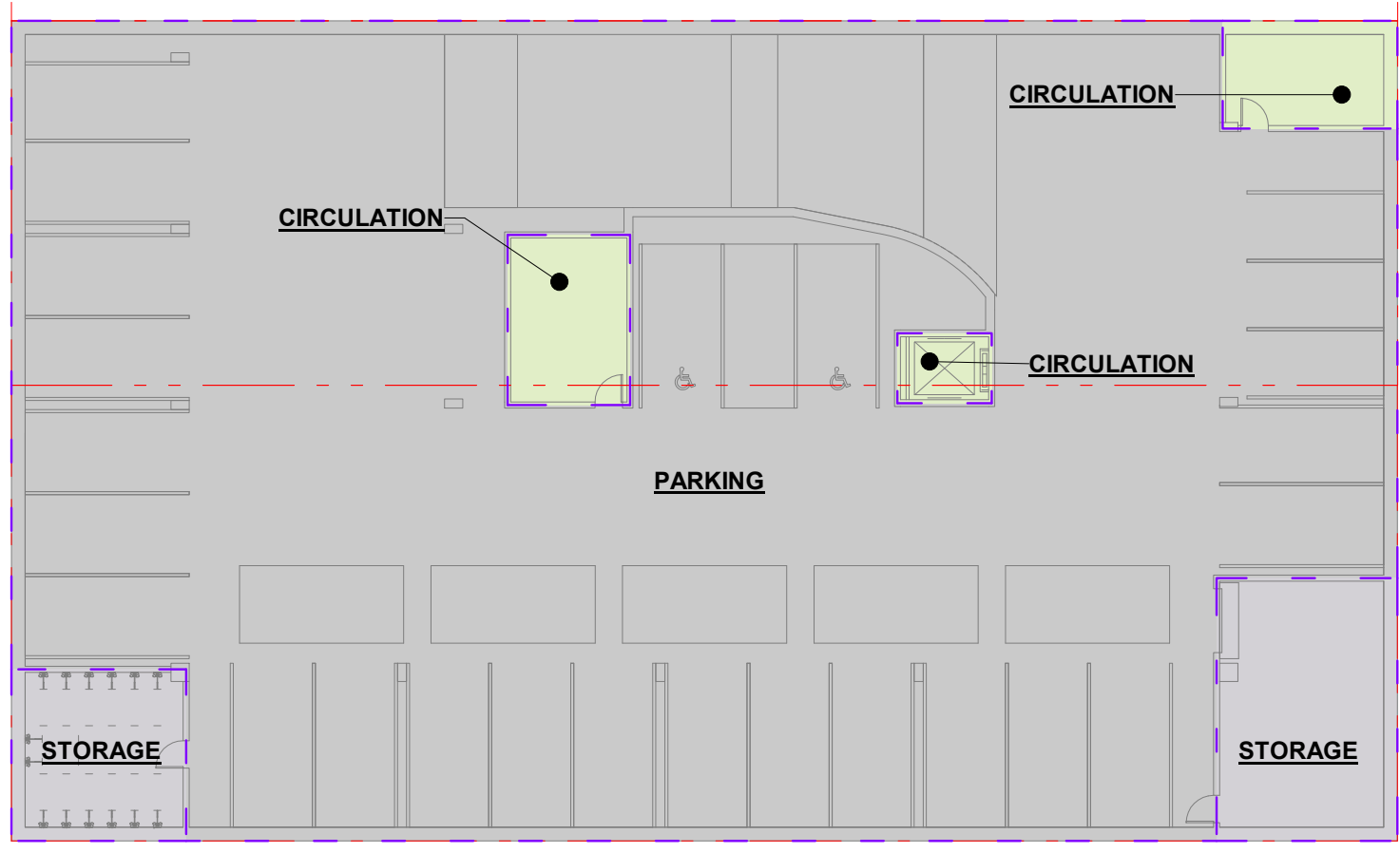
G301  
6  
3RD-12TH FLOOR - AREA PLAN (NET)  
1" = 20'-0"



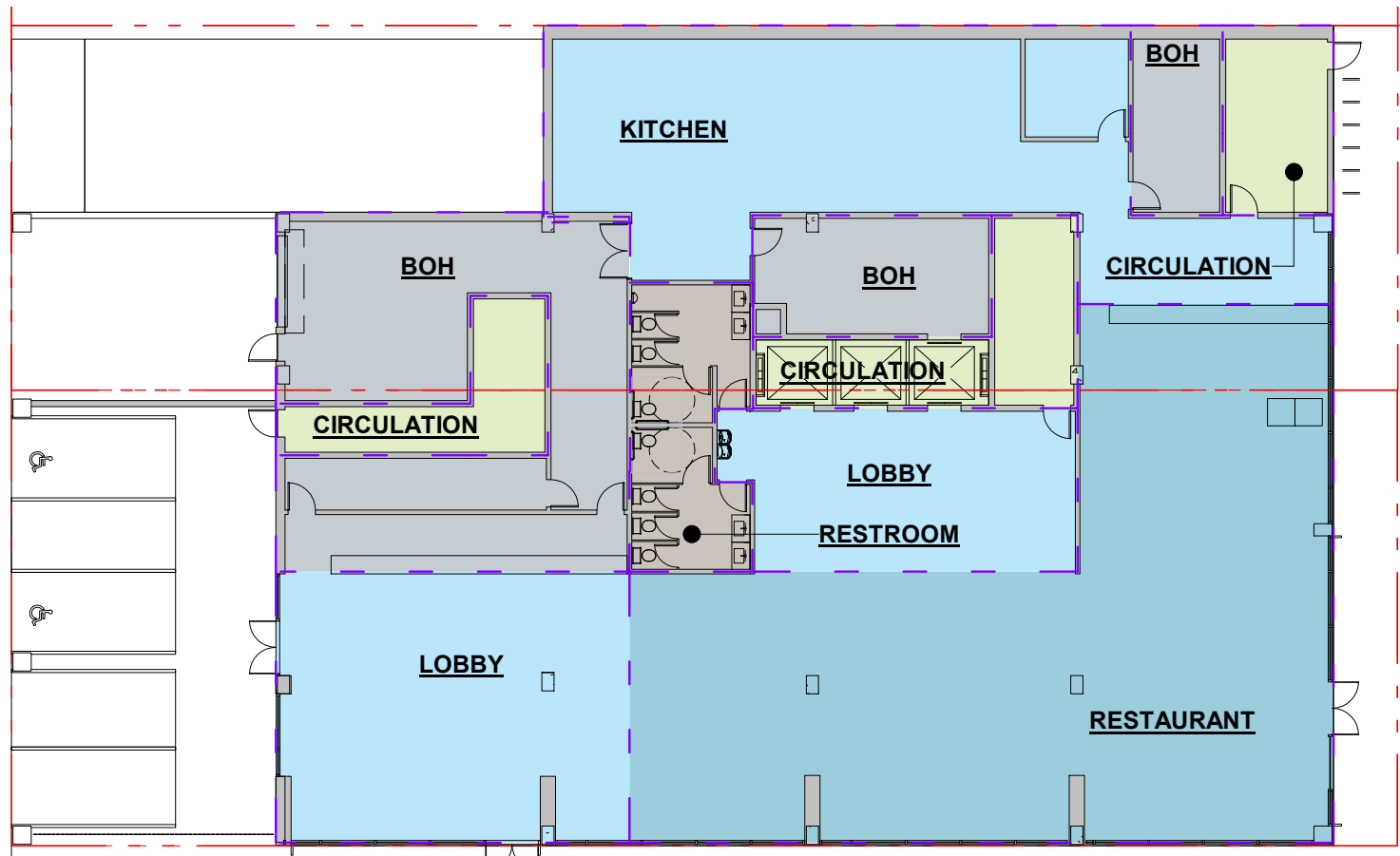
G301  
7  
13TH FLOOR - AREA PLAN (NET)  
1" = 20'-0"



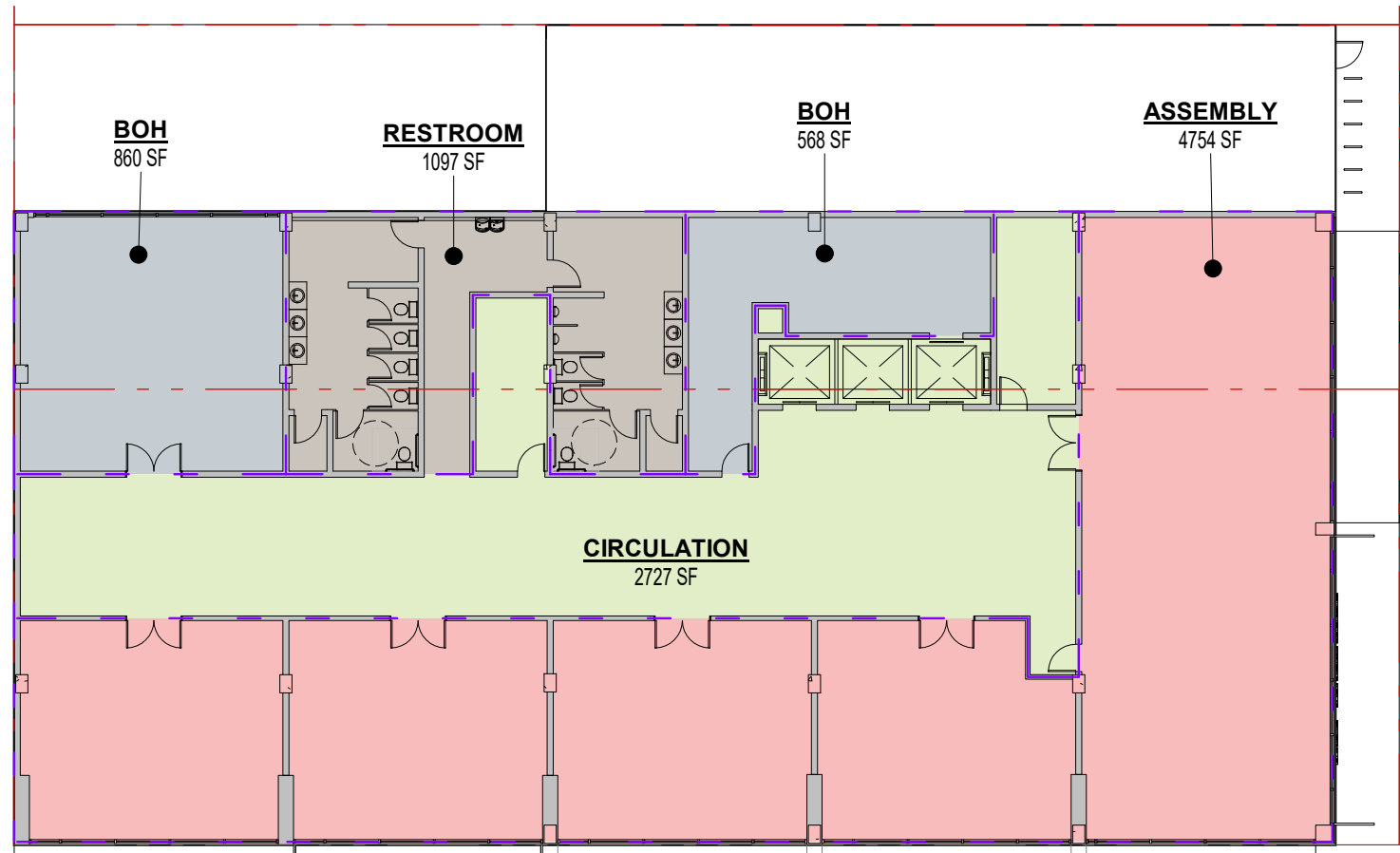
G301  
4  
PARKING FLOOR 2 - AREA PLAN (GROSS)  
1" = 20'-0"



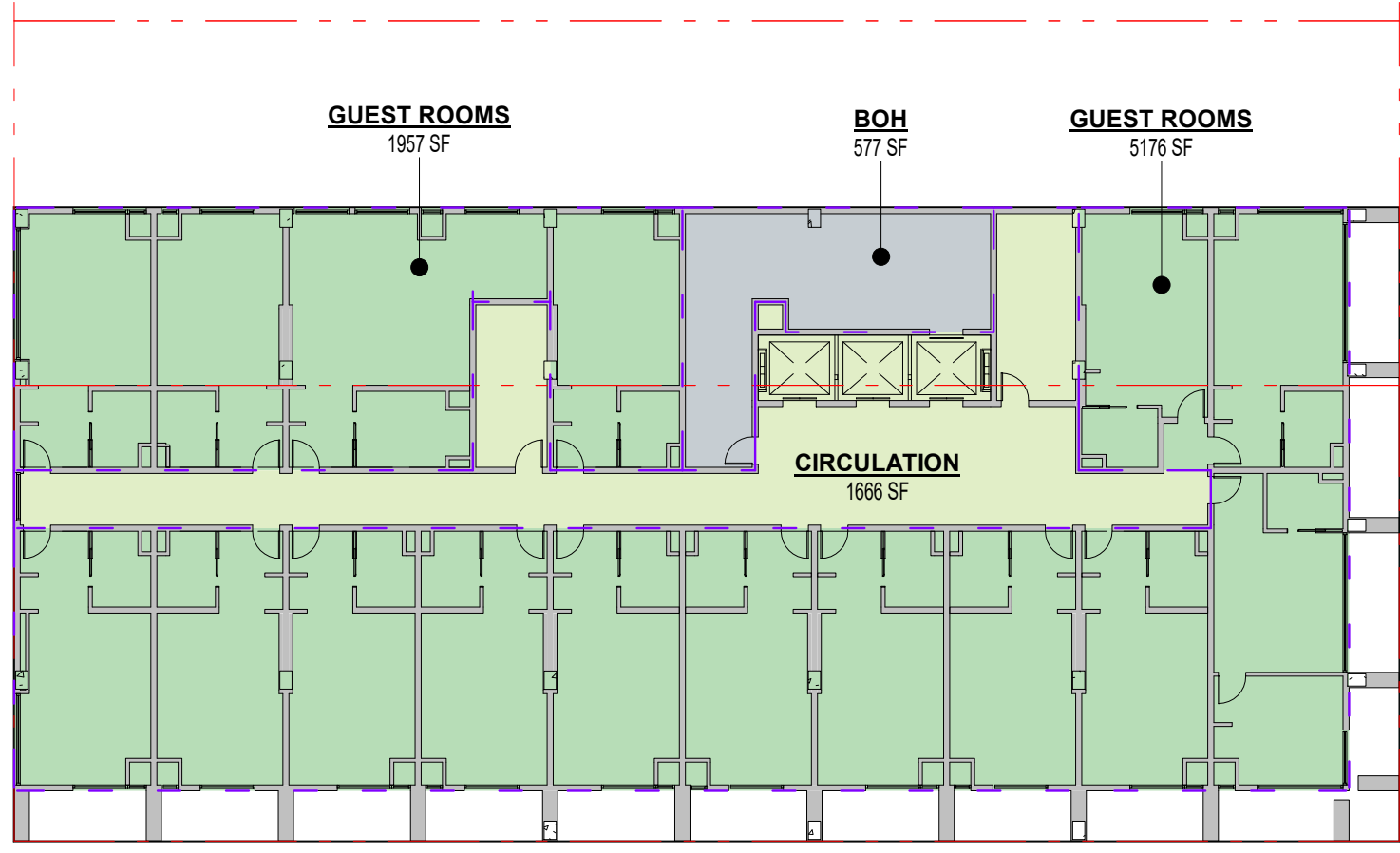
G301  
3  
PARKING FLOOR 1 - AREA PLAN (GROSS)  
1" = 20'-0"



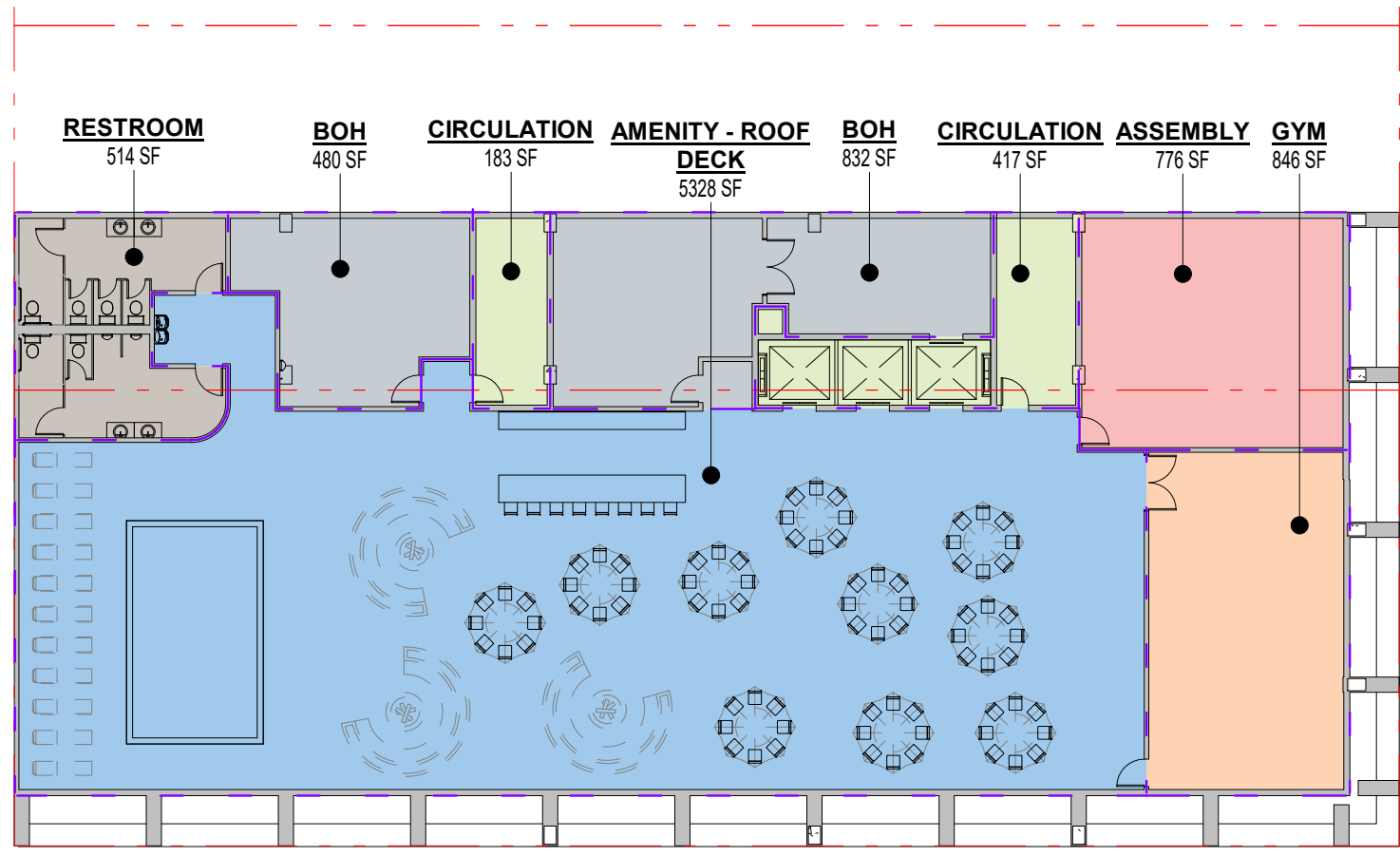
G301  
13  
1ST FLOOR - AREA PLAN (GROSS)  
1" = 20'-0"



G301  
1  
2ND FLOOR - AREA PLAN (GROSS)  
1" = 20'-0"



G301  
2  
3RD-12TH FLOOR - AREA PLAN (GROSS)  
1" = 20'-0"



G301  
12  
13TH FLOOR - AREA PLAN (GROSS)  
1" = 20'-0"

KEY:

SEAL

SUBMISSION DATE DESCRIPTION

03.26.2020 ENTITLEMENT SET

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REV DATE DESCRIPTION

CONSULTANT

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ARCHITECT

AEG T E W

CLIENT

JOB NO:

BLDG DEPT. NO.

SCALE:

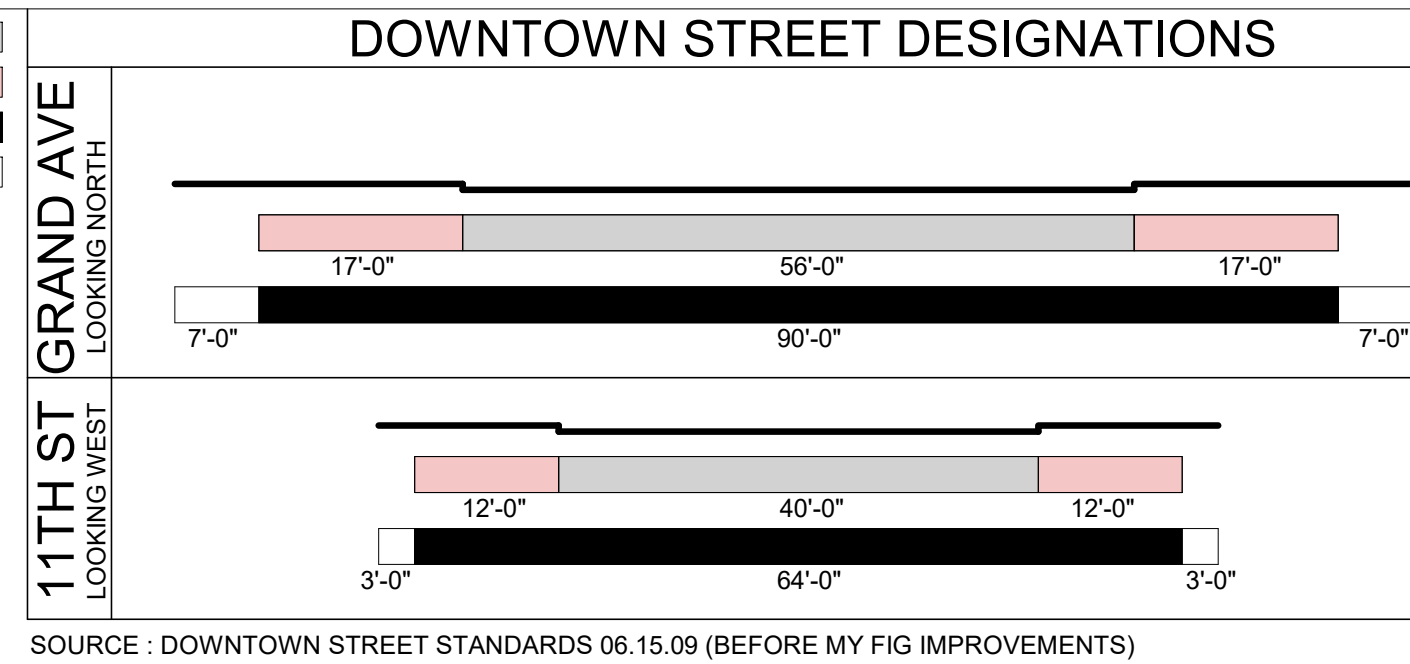
STATUS:

DATE:

DRAWING NAME:

PROJECT NAME:

DRAWING NO:



PROJECT SUMMARY	
SIZE	152'-0" x 90'-0"
ZONE	(Q)R5-4D-O
AREAS	GROSS BUILDABLE AREA - 150296 SF LAMC FLOOR AREA - 109497 SF
DENSITY	160 GUEST ROOMS
HEIGHT	178'-0" - 13 STORIES
PARKING	AUTOMOBILE : 75 TOTAL (35 COMPACT) BICYCLE : 52 (24 SHORT-TERM)
SIDEWALK EASEMENTS	GRAND AVENUE : 7'-0" 11TH STREET : N/A

NOTES:

ALL DIMENSIONS ARE IN IMPERIAL

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS

THESE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS

DO NOT SCALE FROM THIS DRAWING

DON'T PUT ANY ERRORS, COMMENTS AND OBSERVATIONS AS SOON AS POSSIBLE

THESE PRELIMINARY DRAWINGS HAVE BEEN PREPARED FOR OUR CLIENT. THE DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FURTHER DESIGN DEVELOPMENT. THE BASE FOR THESE DRAWINGS IS RECORD DRAWING NO. \_\_\_\_\_ OF DATE \_\_\_\_\_. IF CHANGED, IT MUST BE CONFIRMED, DO NOT SCALE FROM DRAWINGS. WHEN THIS DRAWING IS ISSUED IN .DWG FORMAT IT IS AN UNCONTROLLED VERSION ISSUED TO ENABLE THE recipient TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON INFORMATION BY OTHER SOURCES CURRENT AT TIME OF ISSUE. JAR STUDIOS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY JAR STUDIOS.

**KEY**



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SUBMISSION	DATE	DESCRIPTION
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E hello@kapstudios.com Suite 404  
W www.kapstudios.com Los Angeles, CA 90036

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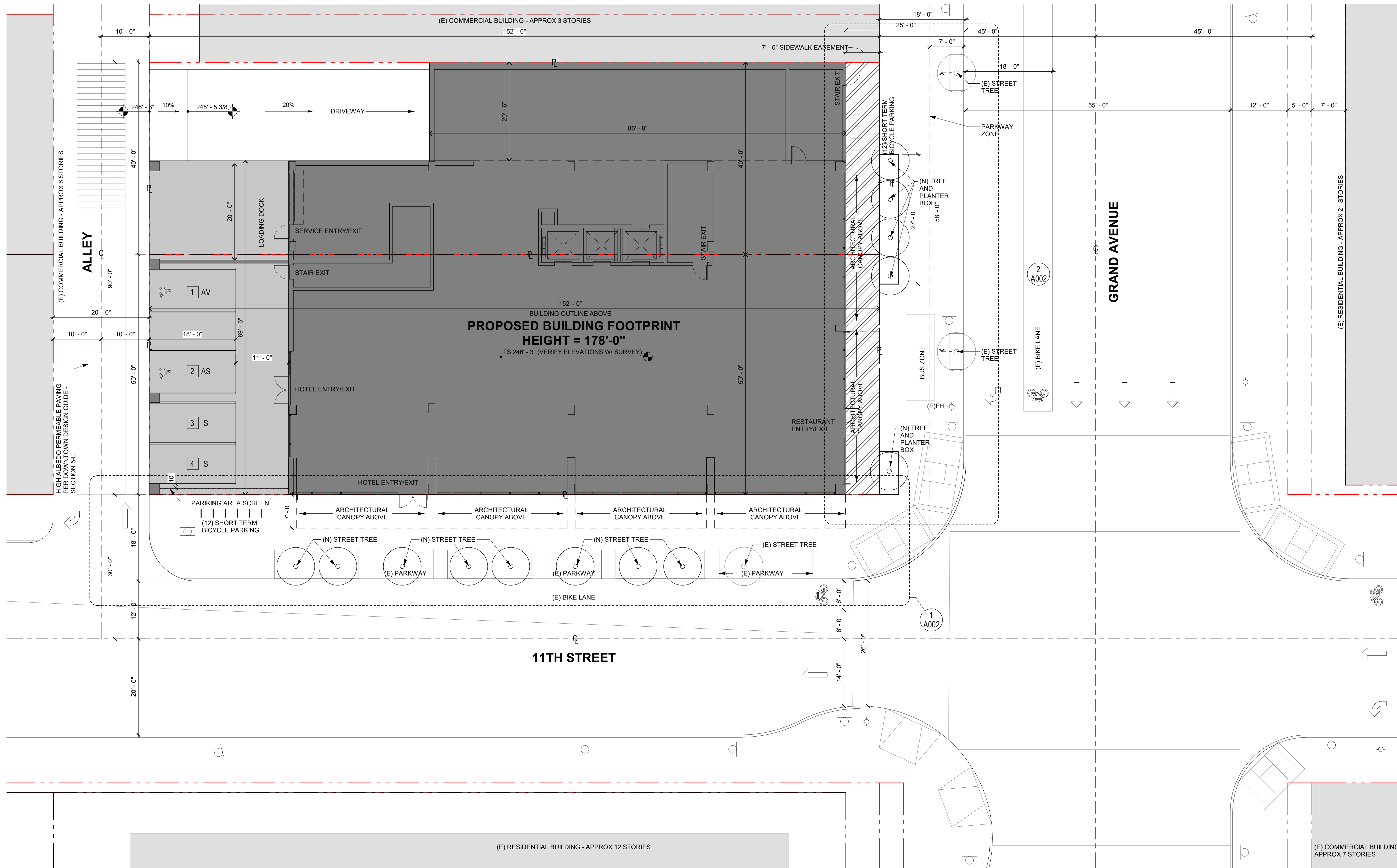
	T	+1 (213) 763 7700	A	800 W. Olympic Blvd
	E	<a href="mailto:gong@aegworldwide.com">gong@aegworldwide.com</a>		Suite 305
	W	<a href="http://www.aegworldwide.com">www.aegworldwide.com</a>		Los Angeles, CA 90015

CLIENT	
JOB NO:	19-007
BLOG DEPT. NO.	
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME: SITE PLAN

PROJECT NAME: 1099 GRAND AVENUE

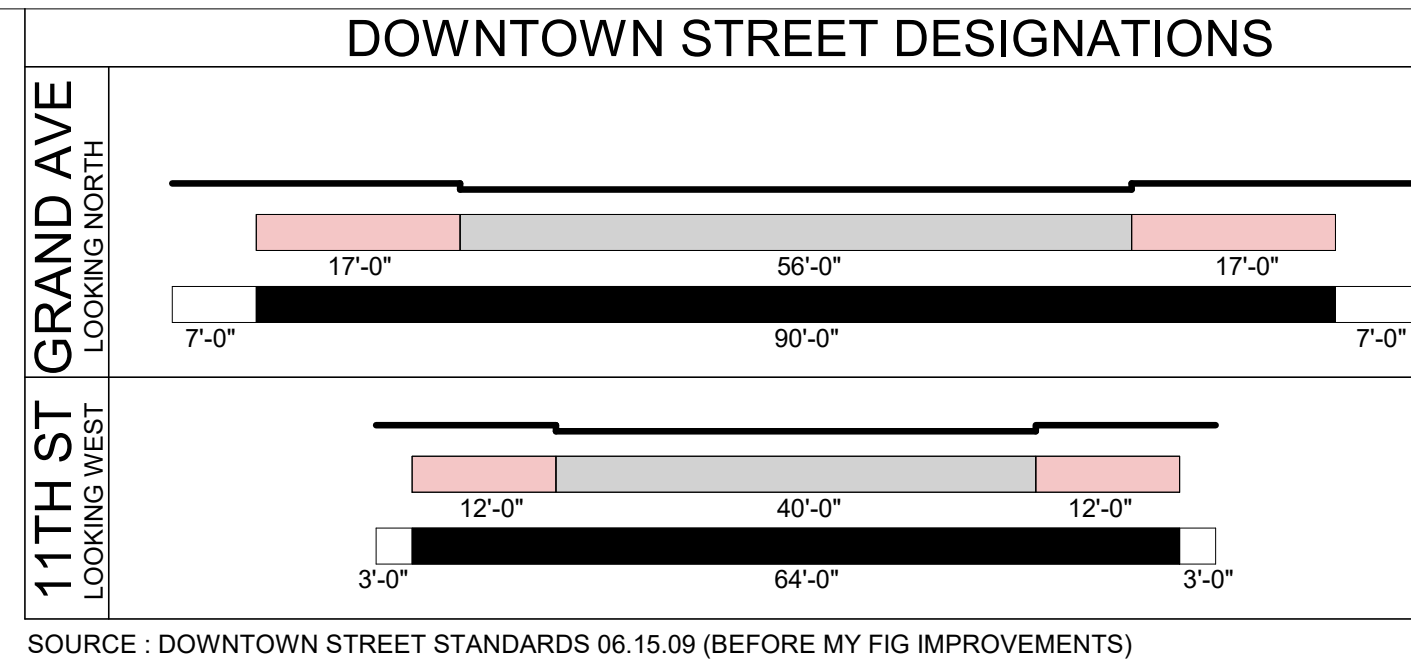
DRAWING NO: A0001 / -



A001	<b>SITE PLAN</b>
<b>1</b>	

---

1" = 10'-0"



PROJECT SUMMARY	
SIZE	152'-0" x 90'-0"
ZONE	(Q)R5-4D-Q
AREAS	GROSS BUILDABLE AREA - LAMC FLOOR AREA -
DENSITY	160 GUEST ROOMS
HEIGHT	178'-0" - 13 STORIES
PARKING	AUTOMOBILE : 75 TOTAL (35 COMPACT) BICYCLE : 52 (24 SHORT-TERM)
SIDEWALK EASEMENTS	GRAND AVENUE : 7'-0" 11TH STREET : N/A

NOTES:

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7. IN THE EVENT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY KAP STUDIOS.

**KEY:**




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	<b>W</b>	www.kapstudios.com		Los Angeles, CA 90036

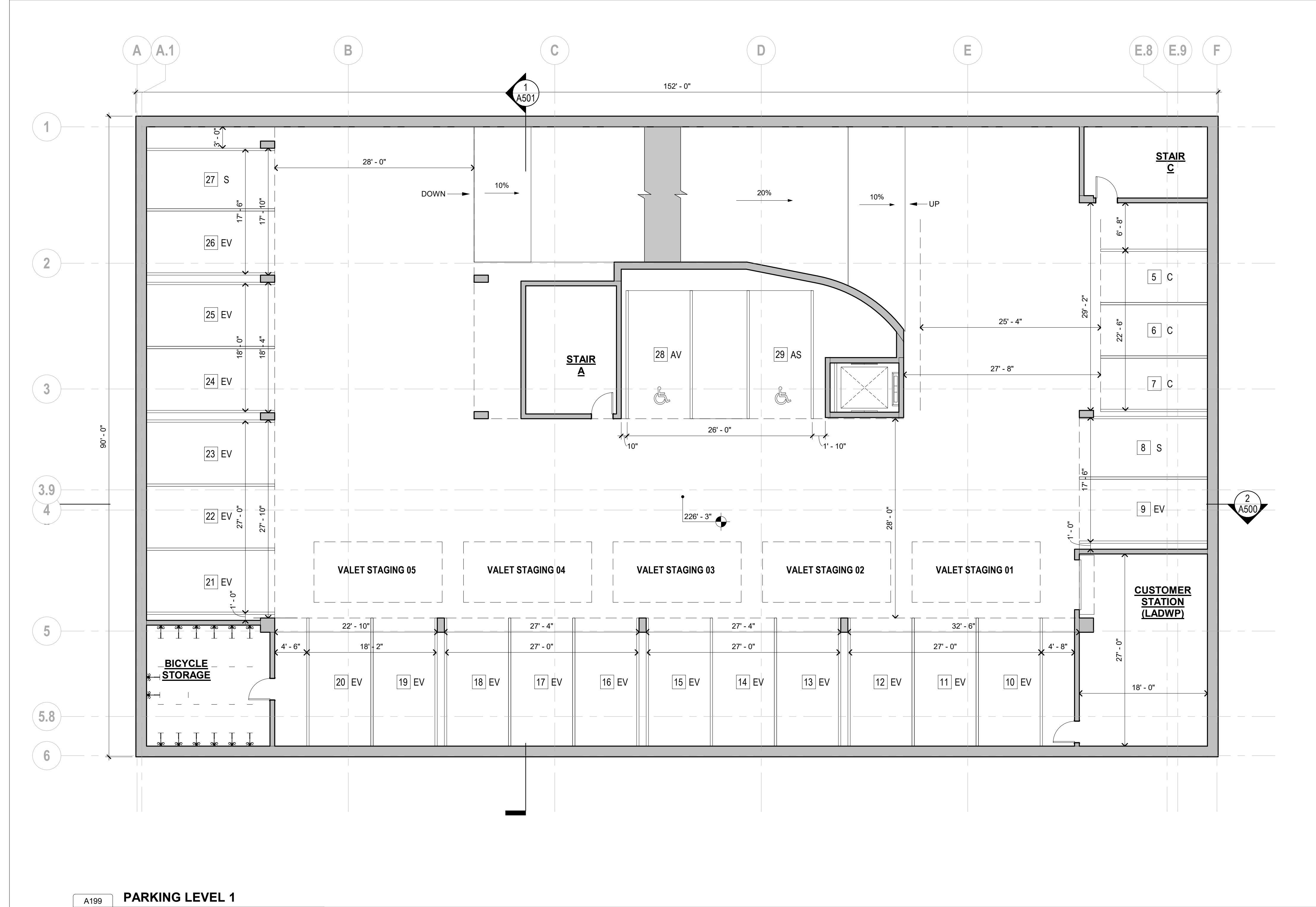
	T	+1(213) 763 7700	A	800 W. Olympic Blvd
	E	<a href="mailto:gong@aegworldwide.com">gong@aegworldwide.com</a>		Suite 305
	W	<a href="http://www.aegworldwide.com">www.aegworldwide.com</a>		Los Angeles, CA 90015

CLIENT:	
JOB NO:	19-007
BLDG DEPT. NO.	
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NO: A002 /







A199  
1  
1/8" = 1'-0"

## OVERALL PLANS - NOTES

### WALL TYPES & GENERAL INFORMATION

- AT BASEMENT: ALL WALLS ARE TYPE 71 U.O.N.
- AT LEVELS 1-4: ALL INTERIOR UNIT WALLS ARE TYPE 01A U.O.N.
- REFER TO A900 SERIES FOR WALL AND FLOOR ASSEMBLIES
- REFER TO A300 SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFORMATION
- REFER TO G100 SERIES FOR ACCESSIBILITY REQUIREMENTS
- PLAN DIMENSIONS SHOWN:
  - INDICATE FACE OF (F.O.) CONCRETE, F.O. STUD, CENTERLINE OF STRUCTURAL GRIDLINE, CENTERLINE OF WINDOW/DOOR, CENTERLINE OF DEMISING WALL - UNLESS OTHERWISE NOTED. DIMENSIONS WITHIN UNITS ARE F.O. STUD FROM CL OF DEMISING WALLS OR INTERIOR F.O. STUD FROM CORRIDOR OR EXTERIOR WALLS.
- OBTAIN AND FULLY CONFORM TO DESIGN REQUIREMENTS FOR ALL FIRE RATED PARTITION ASSEMBLIES.
- ALL DOOR OPENINGS ARE TO BE 4" FROM ADJACENT WALL U.N.O.
- REFER TO LIFE SAFETY DRAWINGS FOR LOCATIONS AND EXTENT OF FIRE RATED PARTITIONS.
- PROVIDE BLOCKING FOR WALL OR CEILING MOUNTED EQUIPMENT, CASEWORK, WOODWORK, LIGHTING OR OTHER MISCELLANEOUS ITEMS.
- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.

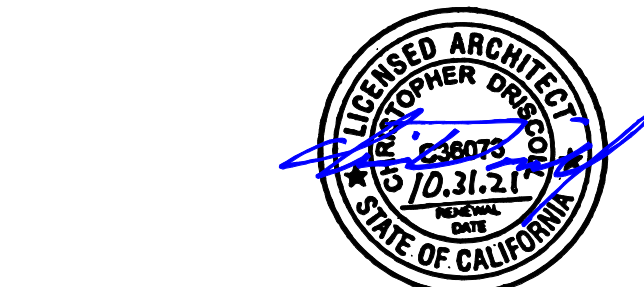
### LEGEND

	SMOKE/CO DETECTOR
	50 CFM FAN MIN AT BATH & LAUNDRY
	100 CFM FAN MIN AT KITCHEN HANGING ROD AND SHELF
	HANGING ROD & SHELF AT UNIT CLOSETS
	TOP OF SLAB
	FIRE EXTINGUISHER CABINET
	TOP OF CURB
	FINISH SURFACE
	FINISH FLOOR
	TRENCH DRAIN
	EV CAR CHARGING STATION
	ROOF DRAIN
	OVERFLOW DRAIN
	AUTO PATH
	WALL TAG
	SLOPE OF FLOOR OR SLAB
	SPOT ELEVATION

NOTES:  
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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS.  
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### GENERAL NOTES:

### KEY:



### SEAL

SUBMISSION	DATE	DESCRIPTION
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REV	DATE	DESCRIPTION

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<b>AEG</b>	T E W	+1 (213) 763 7700 gong@aegworldwide.com www.aegworldwide.com	A 800 W. Olympic Blvd Suite 305 Los Angeles, CA 90015
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### CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As Indicated
SCALE:	As Indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

### DRAWING NAME:

PARKING LEVEL 1

### PROJECT NAME:

1899 GRAND AVENUE

### DRAWING NO:

A199/-

## NOTES

### CALGREEN NOTES

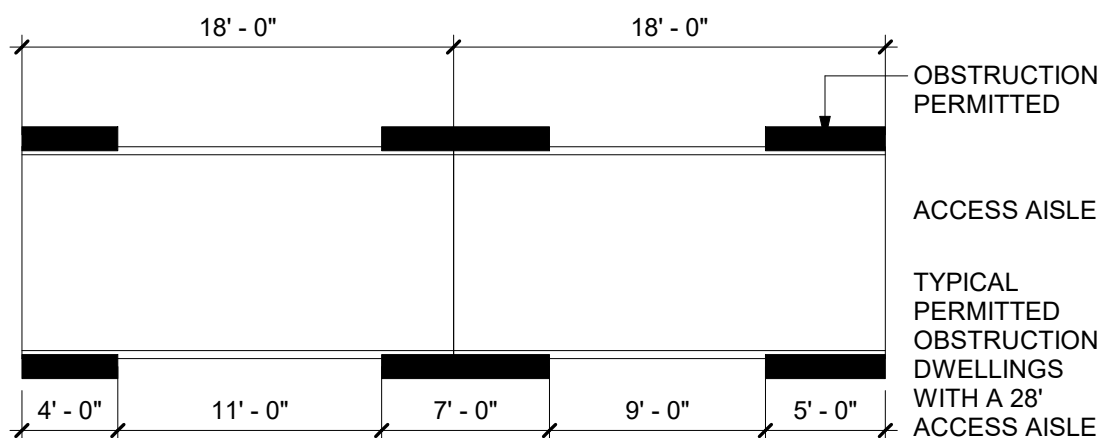
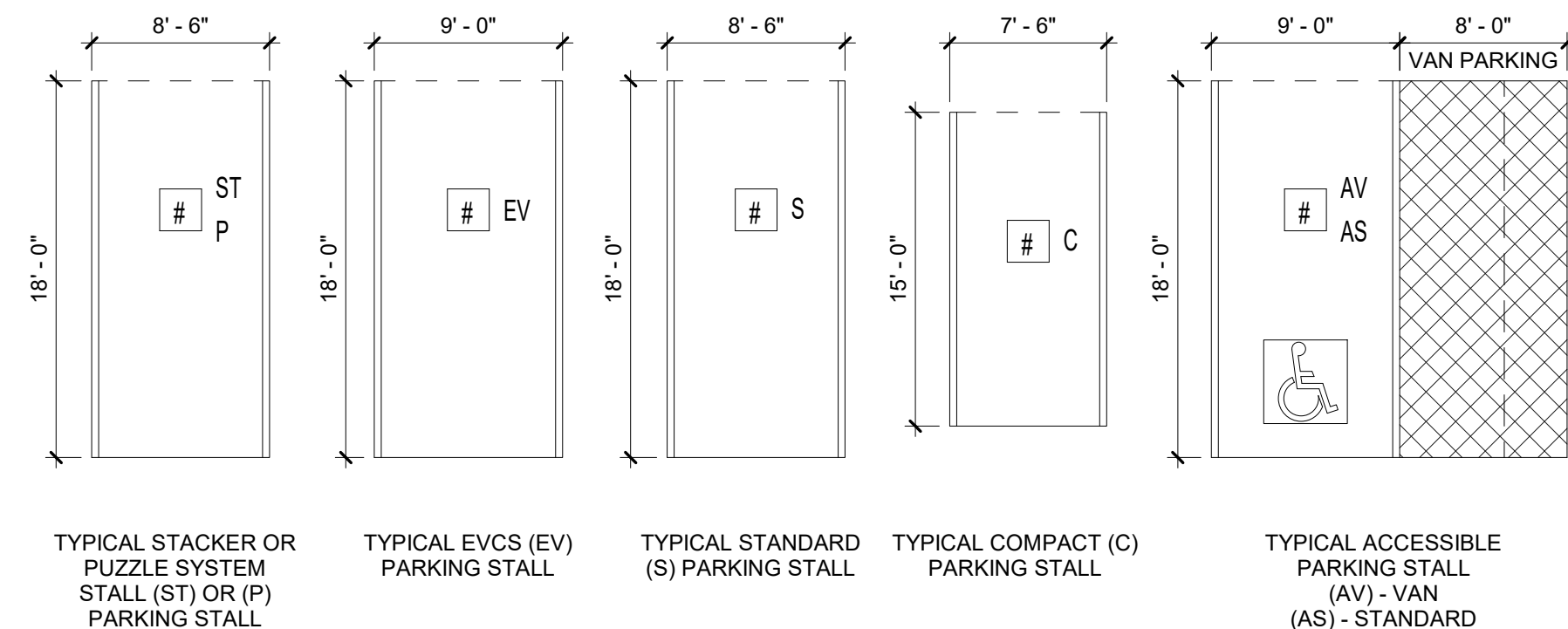
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE

### S-2 OCCUPANCY NOTES

- A. CONCRETE OR SIMILAR NONCOMBUSTIBLE AND NONABSORBENT FLOOR, OR ASPHALT SURFACE AT GROUND LEVEL ONLY. (406.4.5)
- B. SLOPED FLOOR TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (406.4.5)
- C. FLOOR SYSTEM DESIGNED FOR UNIFORM OR CONCENTRATED LOADS PER TABLE 1607.1
- D. MINIMUM HEADROOM OF 7 FT. (406.4.1)
- E. VEHICLE BARRIERS NOT LESS THAN 2 FEET 9 INCHES HIGH PLACED AT THE END OF DRIVE LANES, AND AT THE END OF PARKING SPACES WHERE THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS GREATER THAN 1 FOOT. (406.4.3)
- F. VEHICLE BARRIERS DESIGNED IN ACCORDANCE WITH SECTION 1607.8.3

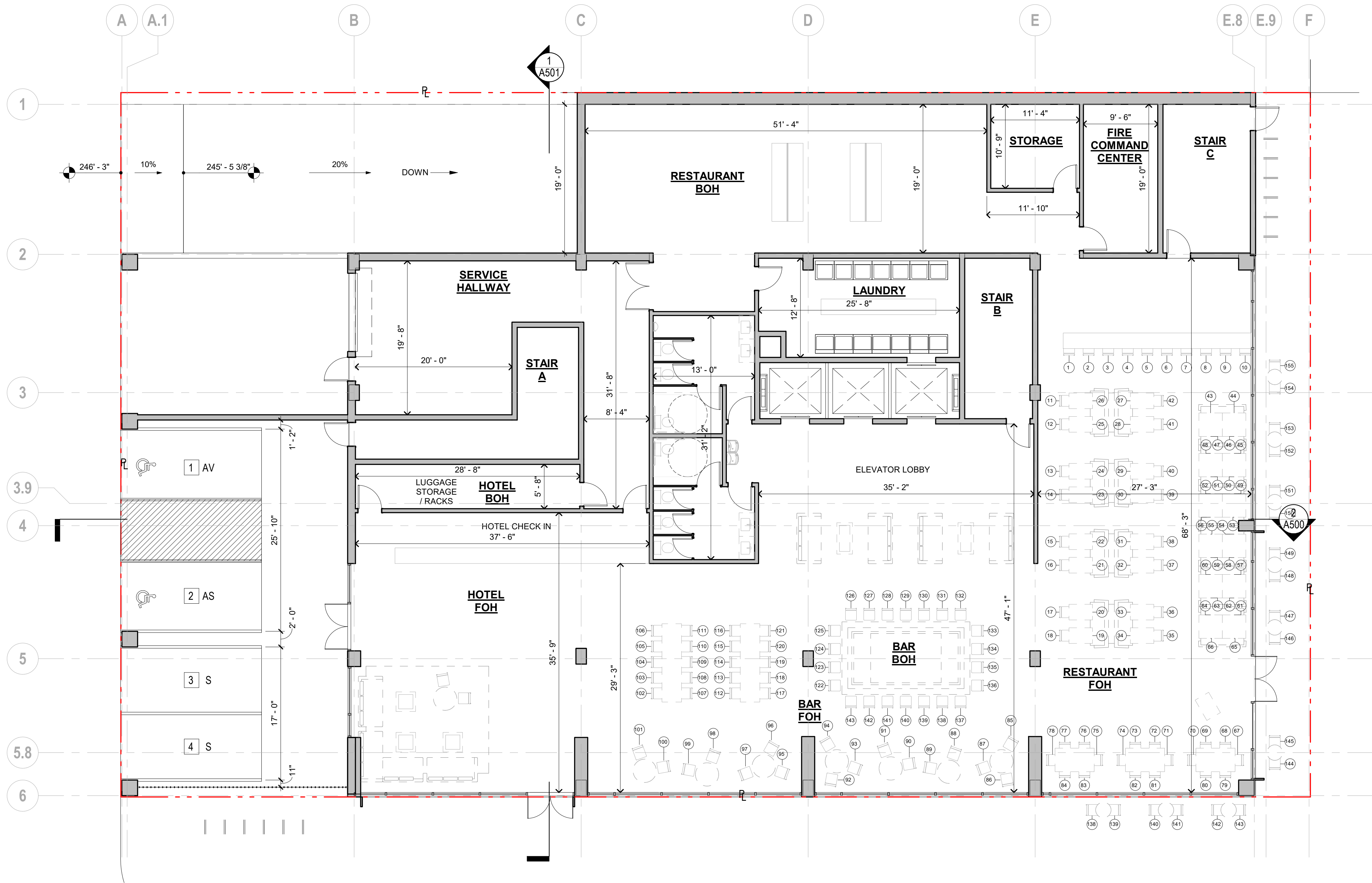
## PARKING STALLS

### PER LAMC 12.21.A.4



## PARKING

TYPE	QUANTITY
PARKING - LEVEL 2	
C	2
EV	5
S	8
ST	31
PARKING - LEVEL 1	
AS	1
AV	1
C	3
EV	18
S	2
LEVEL_1	
AS	1
AV	1
S	2
TOTAL: 75	



A201  
1  
LEVEL 1  
1/8" = 1'-0"

## OVERALL PLANS - NOTES

### WALL TYPES & GENERAL INFORMATION

- AT BASEMENT: ALL WALLS ARE TYPE \_U.O.N.
- AT LEVELS 1-13: ALL INTERIOR UNIT WALLS ARE TYPE \_U.O.N.
- REFER TO A900 SERIES FOR WALL AND FLOOR ASSEMBLIES
- REFER TO A300 SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFORMATION
- REFER TO G100 SERIES FOR ACCESSIBILITY REQUIREMENTS
- PLAN DIMENSIONS SHOWN:  
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- REFER TO ENLARGED PLANS FOR ADDITIONAL WALL TYPE CALL-OUTS, DIMENSIONS, DOOR TAGS, AND DETAIL.

### LEGEND

	SMOKE/CO DETECTOR
	50 CFM FAN MIN AT BATH & LAUNDRY
	100 CFM FAN MIN AT KITCHEN HANGING ROD AND SHELF
	HANGING ROD & SHELF AT UNIT CLOSETS
	TOP OF SLAB
	FIRE EXTINGUISHER CABINET
	TOP OF CURB
	FINISH SURFACE
	FINISH FLOOR
	TRENCH DRAIN
	EV CAR CHARGING STATION
	ROOF DRAIN
	OVERFLOW DRAIN
	AUTO PATH
	WALL TAG
	SLOPE OF FLOOR OR SLAB
	SPOT ELEVATION

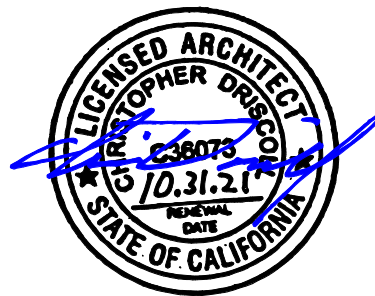
### RESTAURANT/BAR SEATS

SEATS  
161

NOTES:  
1. ALL DIMENSIONS ARE IN IMPERIAL.  
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### GENERAL NOTES:

KEY:



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W www.kapstudios.com Los Angeles, CA 90036

ARCHITECT

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E gong@aegworldwide.com Suite 305  
W www.aegworldwide.com Los Angeles, CA 90015

CLIENT

JOB NO: 19-007

BLDG DEPT. NO.

SCALE: As indicated

STATUS: ENTITLEMENT

DATE: 03.26.2020

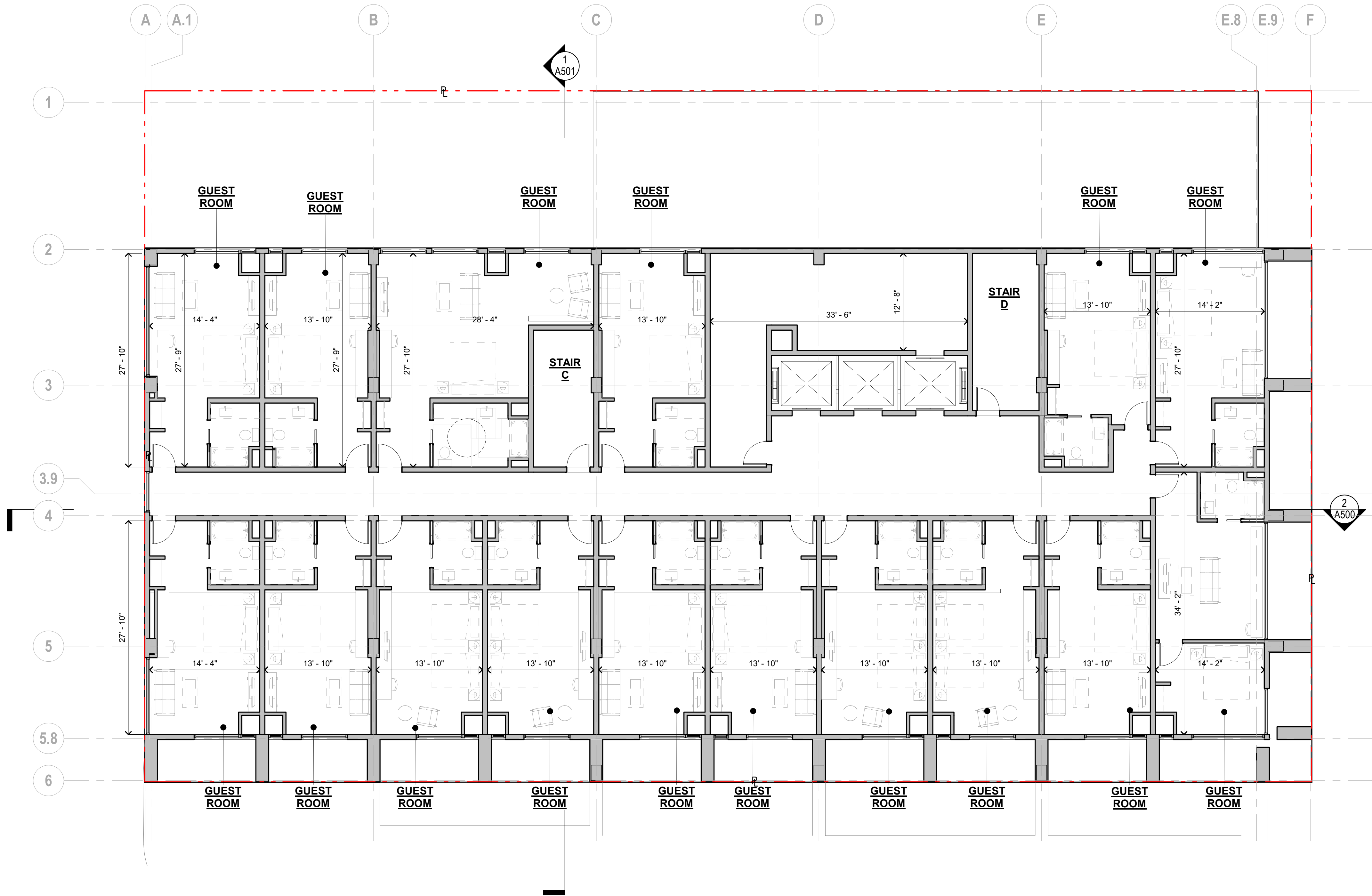
DRAWING NAME: FLOOR 1

PROJECT NAME: 1899 GRAND AVENUE

DRAWING NO: A201 / -



## DRAWING NO: A202/-



A203  
1  
TYPICAL HOTEL FLOOR

1/8" = 1'-0"

## OVERALL PLANS - NOTES

### WALL TYPES & GENERAL INFORMATION

- AT BASEMENT: ALL WALLS ARE TYPE \_ U.O.N.
- AT LEVELS 1-13: ALL INTERIOR UNIT WALLS ARE TYPE \_ U.O.N.
- REFER TO A900 SERIES FOR WALL AND FLOOR ASSEMBLIES
- REFER TO A300 SERIES FOR SUGGESTED VENT ROUTING AND SOFFIT INFORMATION
- REFER TO G100 SERIES FOR ACCESSIBILITY REQUIREMENTS
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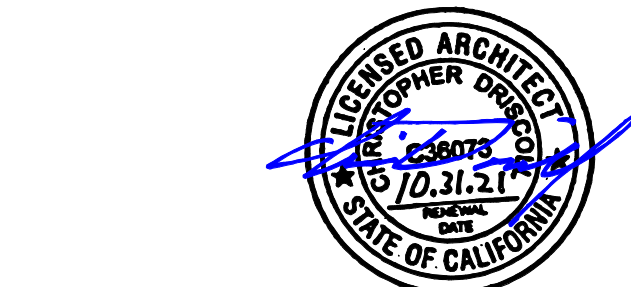
### LEGEND

	SMOKE/CO DETECTOR
	50 CFM FAN MIN AT BATH & LAUNDRY
	100 CFM FAN MIN AT KITCHEN HANGING ROD AND SHELF
	HANGING ROD & SHELF AT UNIT CLOSETS
	TOP OF SLAB
	FIRE EXTINGUISHER CABINET
	TOP OF CURB
	FINISH SURFACE
	FINISH FLOOR
	TRENCH DRAIN
	EV CAR CHARGING STATION
	ROOF DRAIN
	OVERFLOW DRAIN
	AUTO PATH
	WALL TAG
	SLOPE OF FLOOR OR SLAB
	SPOT ELEVATION

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  - 6.

### GENERAL NOTES:

### KEY:



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	W	www.kapstudios.com		Los Angeles, CA 90036

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	E	gong@aegworldwide.com		Suite 305
	W	www.aegworldwide.com		Los Angeles, CA 90015

### CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As indicated
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

### DRAWING NAME:

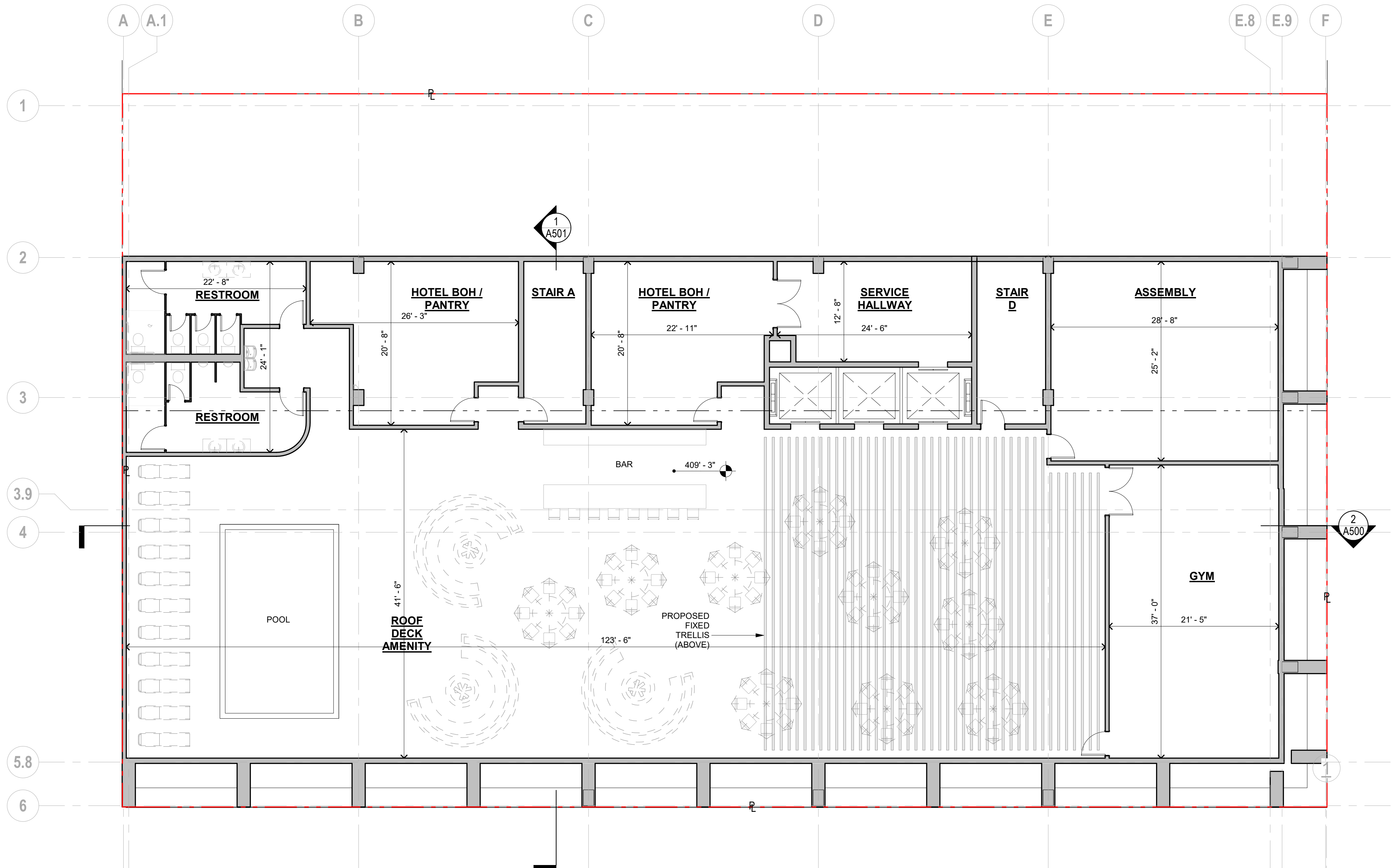
FLOORS 3-12

### PROJECT NAME:

1899 GRAND AVENUE

### DRAWING NO:

A203 / -



A213 FLOOR 13  
1 1/8" = 1'-0"

OVERALL PLANS - NOTES

WALL TYPES & GENERAL INFORMATION

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	HANGING ROD & SHELF AT UNIT CLOSETS
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	FIRE EXTINGUISHER CABINET
	TOP OF CURB
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	FINISH FLOOR
	TRENCH DRAIN
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SCALE:	As indicated
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DATE:	03.26.2020

DRAWING NAME:

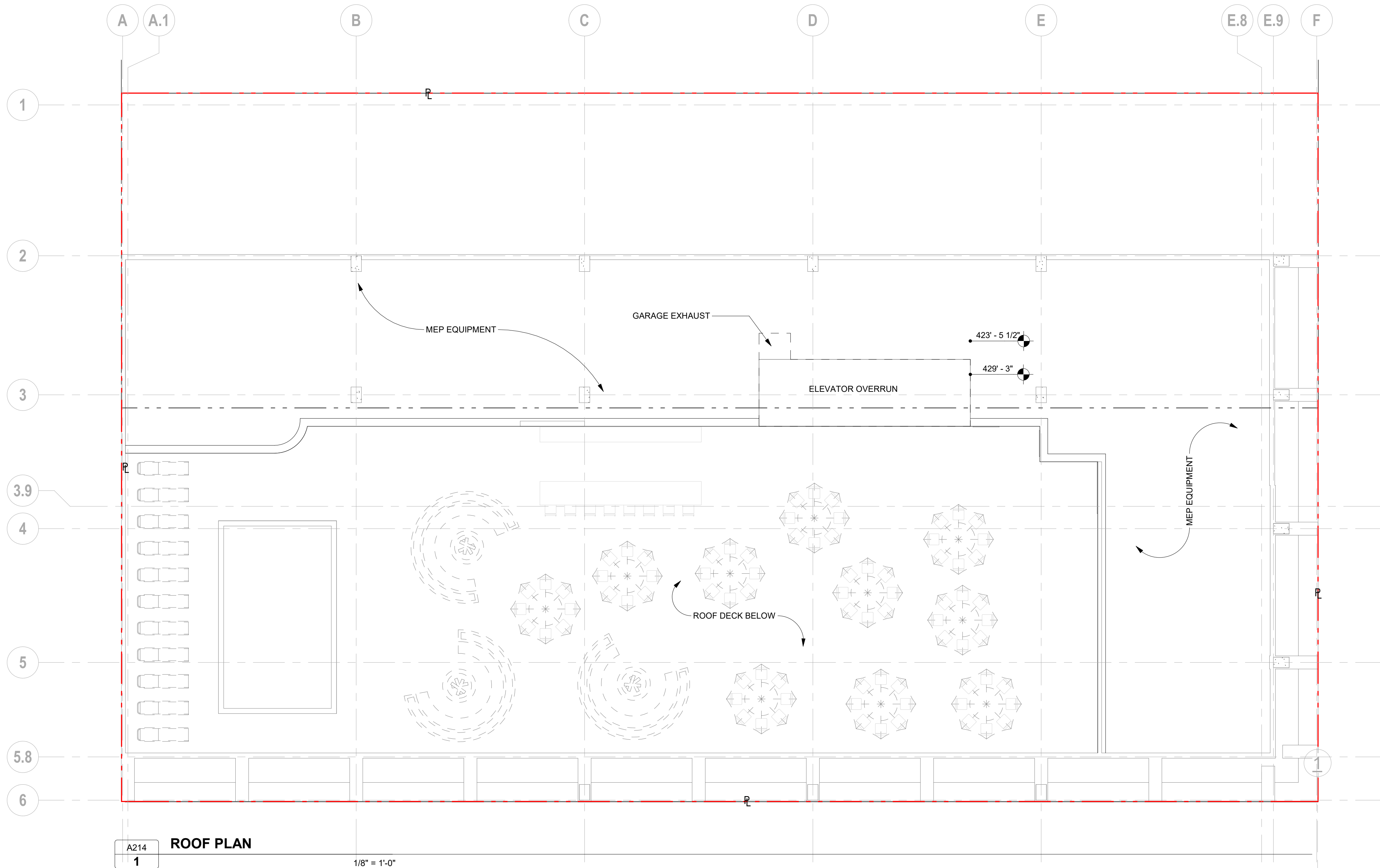
FLOOR 13

PROJECT NAME:

1899 GRAND AVENUE

DRAWING NO:

A213 / -



OVERALL PLANS - NOTES

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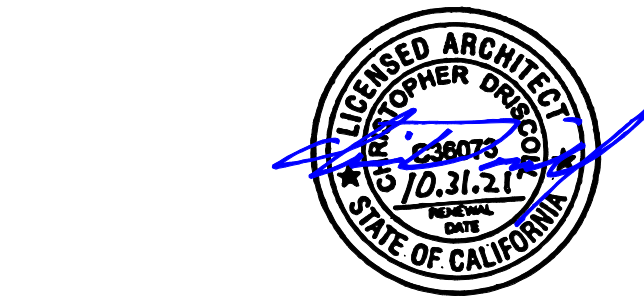
LEGEND

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	HANGING ROD & SHELF AT UNIT CLOSETS
	TOP OF SLAB
	FIRE EXTINGUISHER CABINET
	TOP OF CURB
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	FINISH FLOOR
	TRENCH DRAIN
	EV CAR CHARGING STATION
	ROOF DRAIN
	OVERFLOW DRAIN
	AUTO PATH
	WALL TAG
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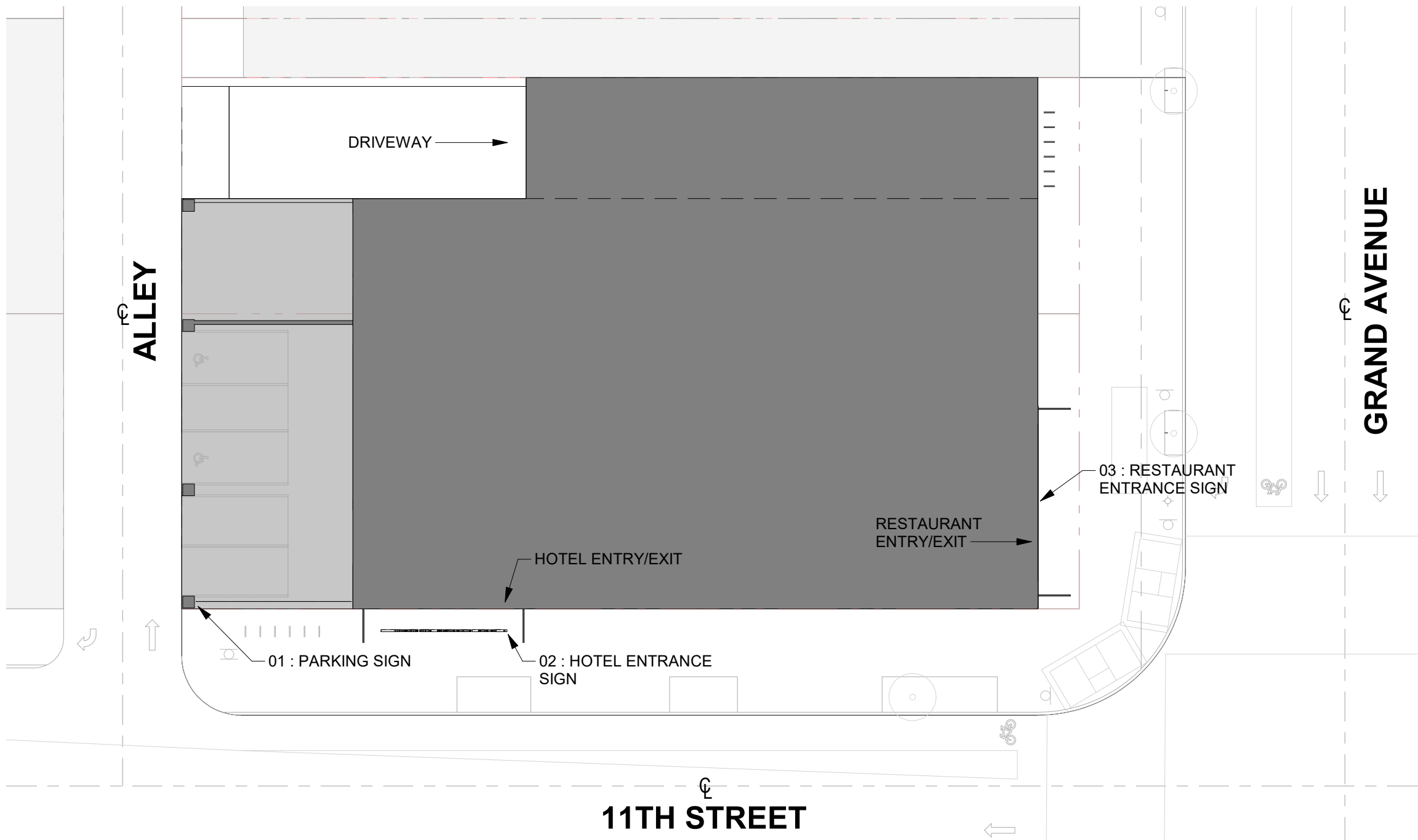
CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

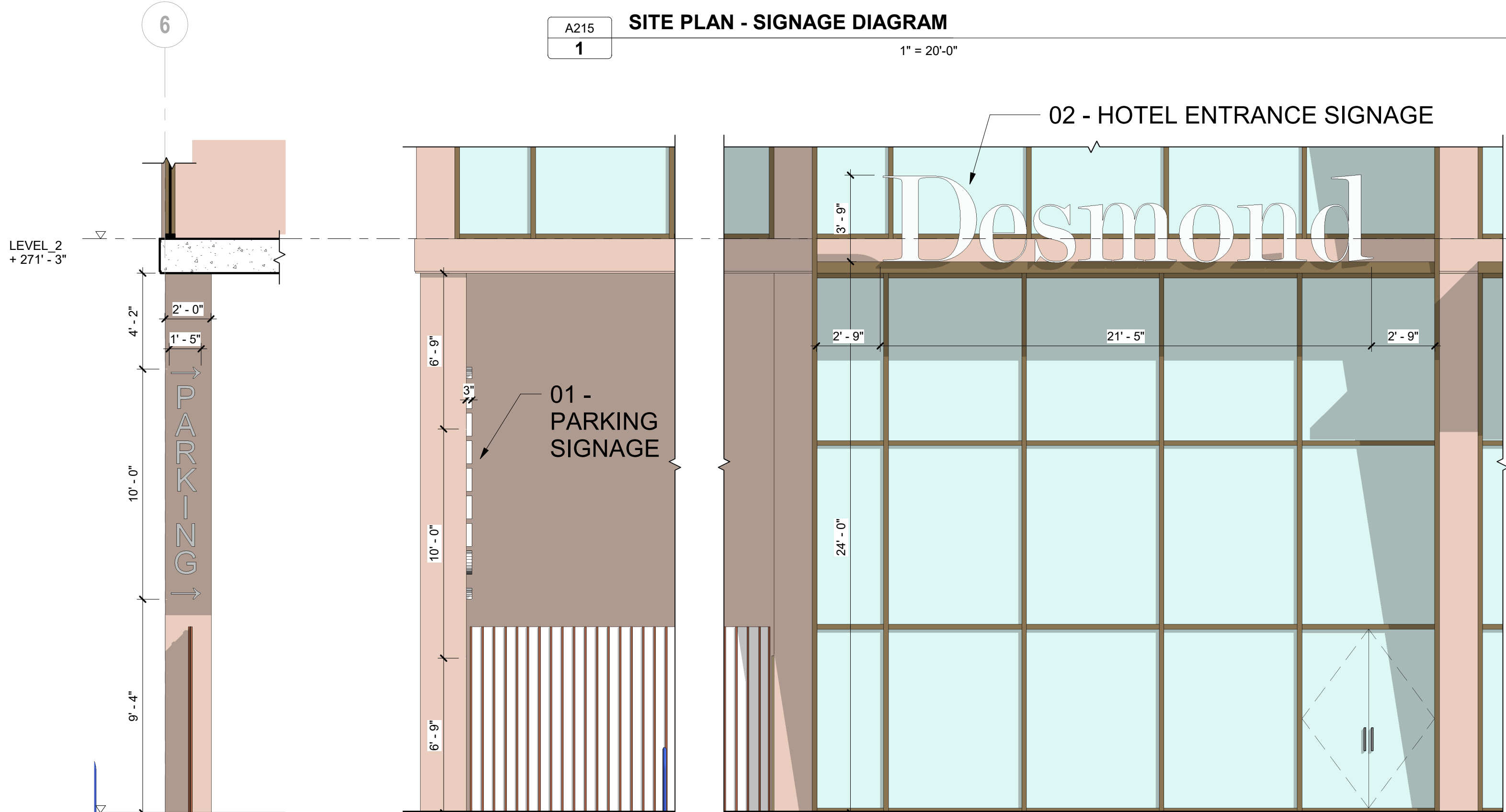
DRAWING NAME: ROOF PLAN

PROJECT NAME: 1899 GRAND AVENUE

DRAWING NO: A214 / -

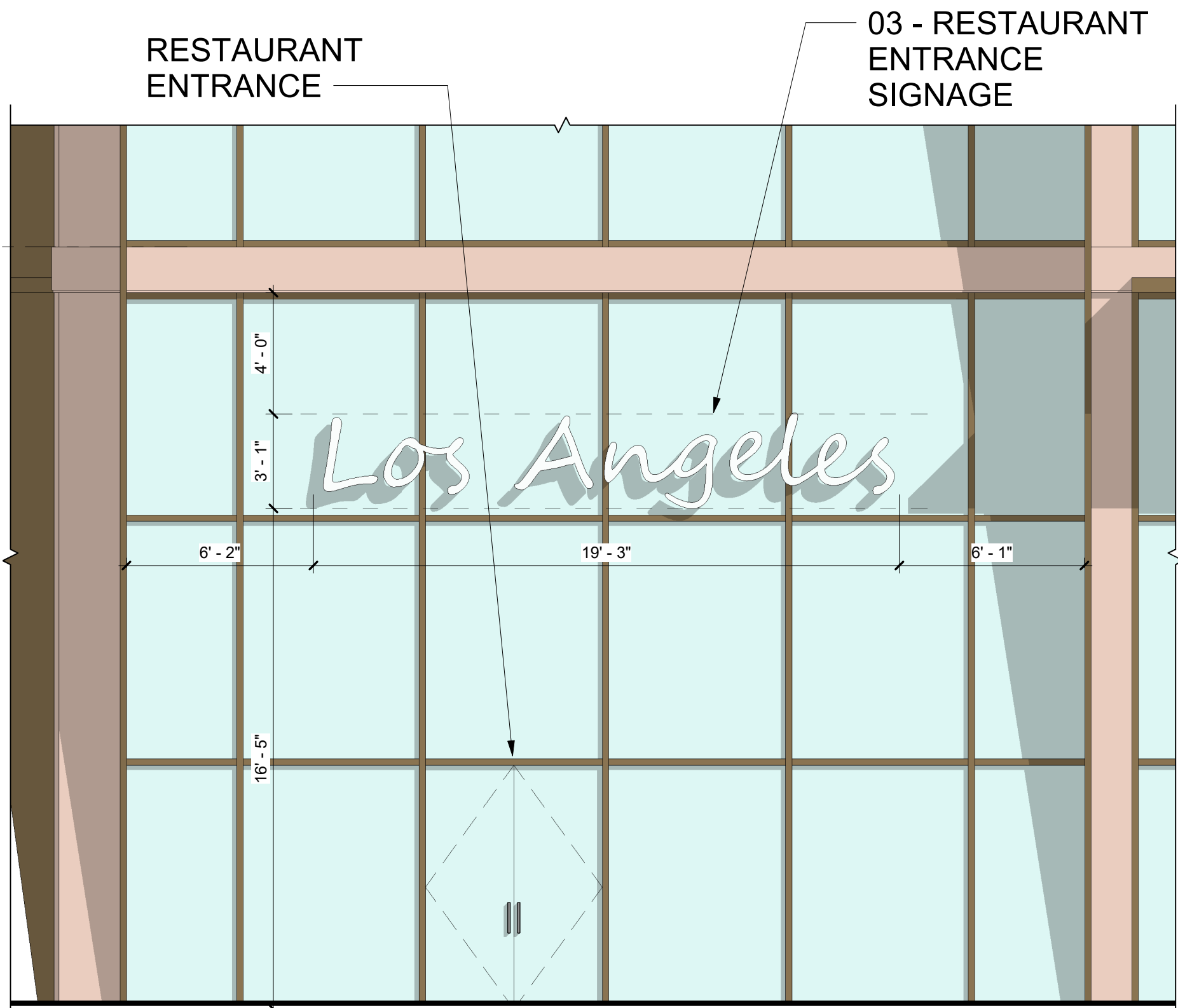


A215  
1 SITE PLAN - SIGNAGE DIAGRAM  
1" = 20'-0"



A215  
2 01 - PARKING SIGN  
1/4" = 1'-0"

A215  
4 02 - HOTEL ENTRANCE SIGNAGE  
1/4" = 1'-0"



A215  
3 03 - RESTAURANT ENTRANCE SIGNAGE  
1/4" = 1'-0"

## SIGNAGE INFORMATION

### 01 - PARKING SIGNAGE

LOCATION	11TH STREET	
STREET FRONTAGE	145'-0"	
QUANTITY	(1)	
TEXT	--PARKING--	
ILLUMINATION	BY SPOTLIGHT	
MATERIAL	UNCOATED BLACKENED STEEL	
OVERALL DIMENSIONS	1'-5" WIDE 10'-0" TALL	15 S.F.

### 02 - HOTEL ENTRANCE SIGNAGE

LOCATION	11TH STREET	
STREET FRONTAGE	90'-0"	
QUANTITY	(1)	
TEXT	DESMOND	
ILLUMINATION	BY SPOTLIGHT	
MATERIAL	UNCOATED BLACKENED STEEL	
OVERALL DIMENSIONS	21'-5" WIDE 3'-9" TALL	80.3 S.F.

### 03 - RESTAURANT SIGNAGE

LOCATION	GRAND AVENUE	
STREET FRONTAGE	145'-0"	
QUANTITY	(1)	
TEXT	TO BE DETERMINED	
ILLUMINATION	BY SPOTLIGHT	
MATERIAL	UNCOATED BLACKENED STEEL	
OVERALL DIMENSIONS	19'-3" WIDE 3'-1" TALL	59.4 S.F.

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CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As indicated
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME:

SIGNAGE

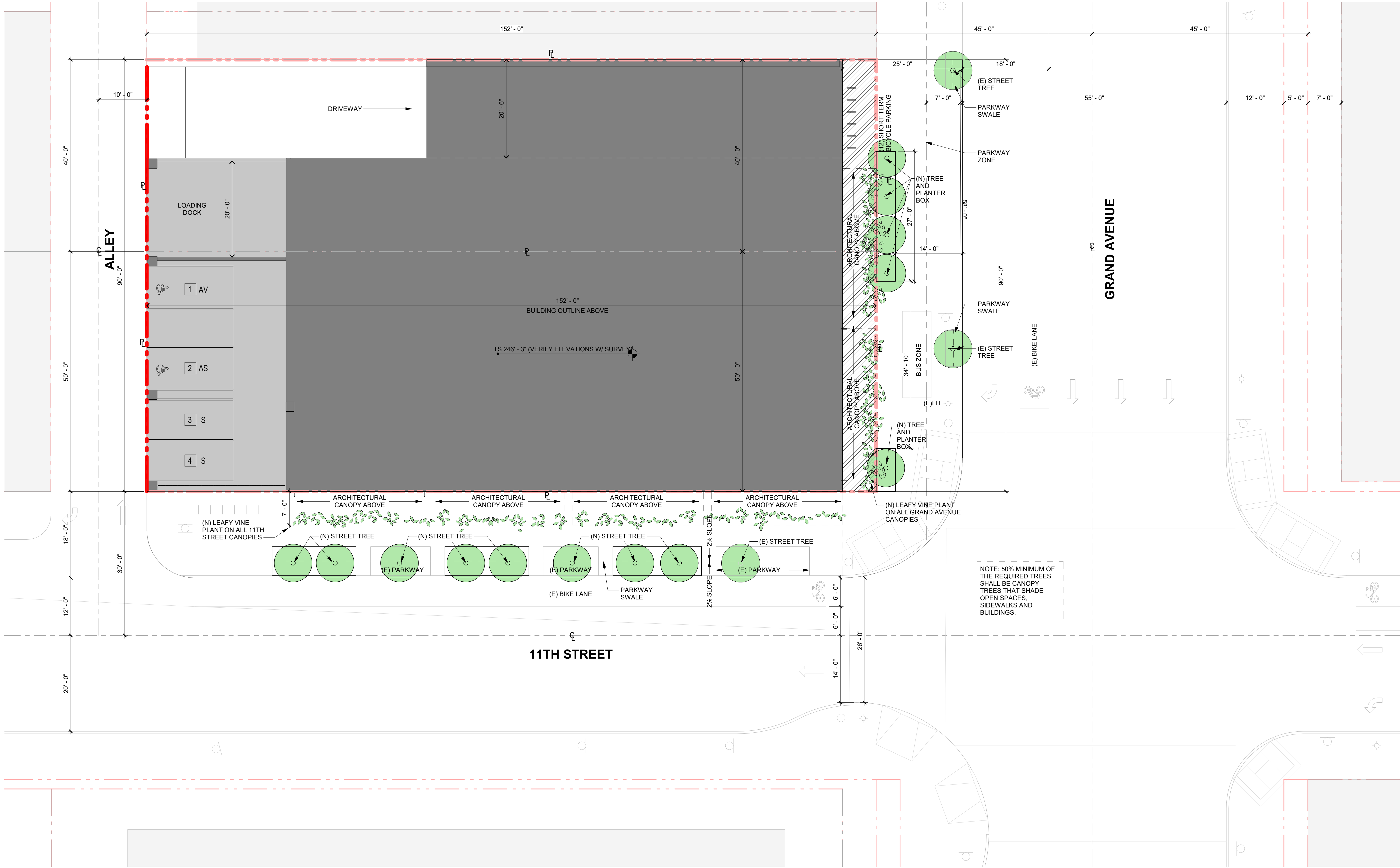
PROJECT NAME:

1899 GRAND AVENUE

DRAWING NO:

A215 /

ORIGINAL SHEET SIZE 24" x 36"



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CLIENT

JOB NO: 19-007

BLDG DEPT. NO.

SCALE: 1" = 10'-0"

STATUS:

DATE: 03.26.2020

DRAWING NAME:

GROUND LANDSCAPE PLAN

PROJECT NAME:

1899 GRAND AVENUE

DRAWING NO:

A216 /

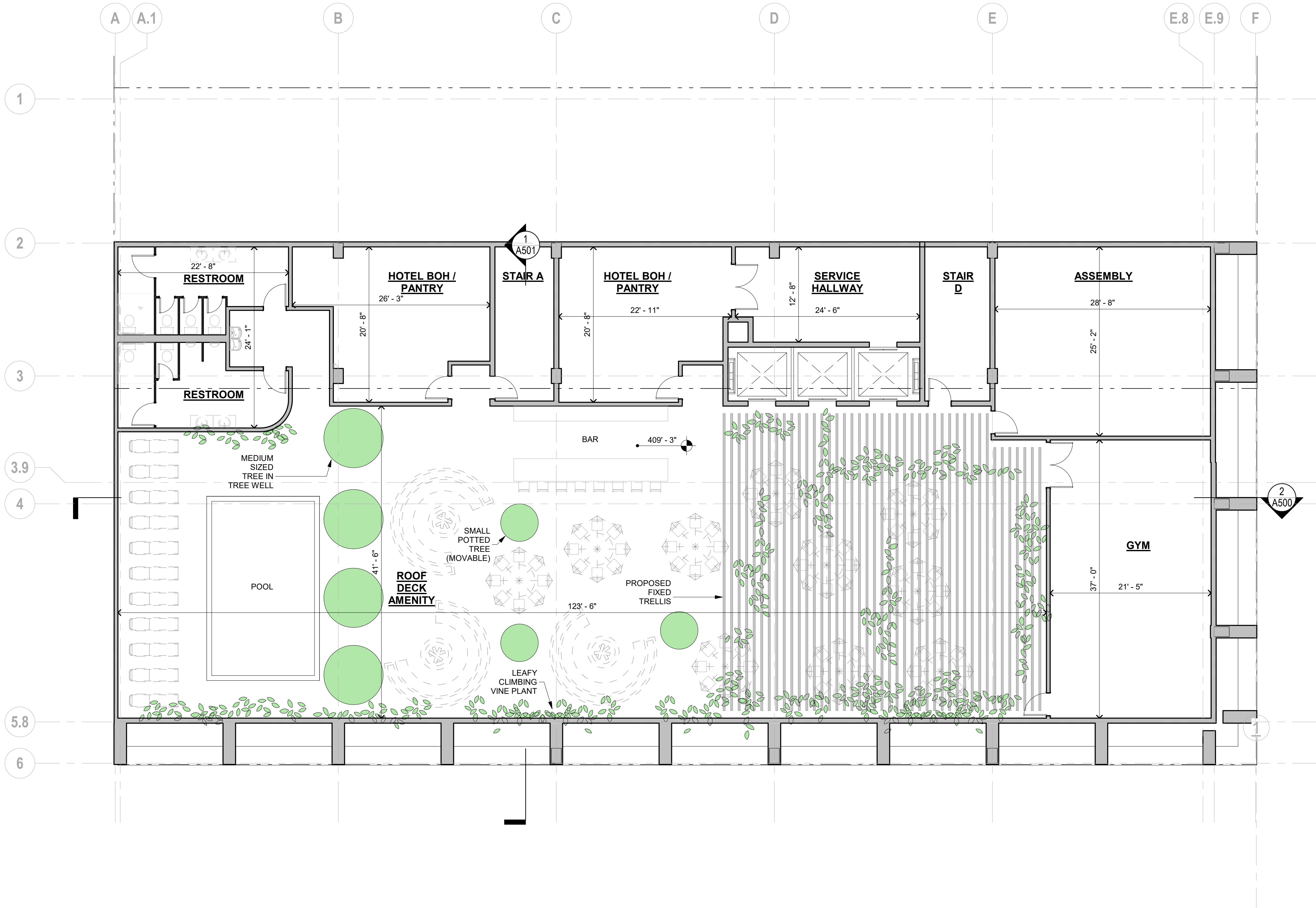
SITE - LANDSCAPE PLAN

A216

1

1" = 10'-0"

3/27/2020 11:03:08 AM



A217 FLOOR 13 LANDSCAPING  
1 1/8" = 1'-0"

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REV	DATE	DESCRIPTION

CONSULTANT

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E hello@kapstudios.com Suite 404  
W www.kapstudios.com Los Angeles, CA 90036

ARCHITECT

**AEG** T +1 (213) 763 7700 A 800 W. Olympic Blvd  
E gong@aegworldwide.com Suite 305  
W www.aegworldwide.com Los Angeles, CA 90015

CLIENT

JOB NO: 19-007

BLDG DEPT. NO.

SCALE: 1/8" = 1'-0"

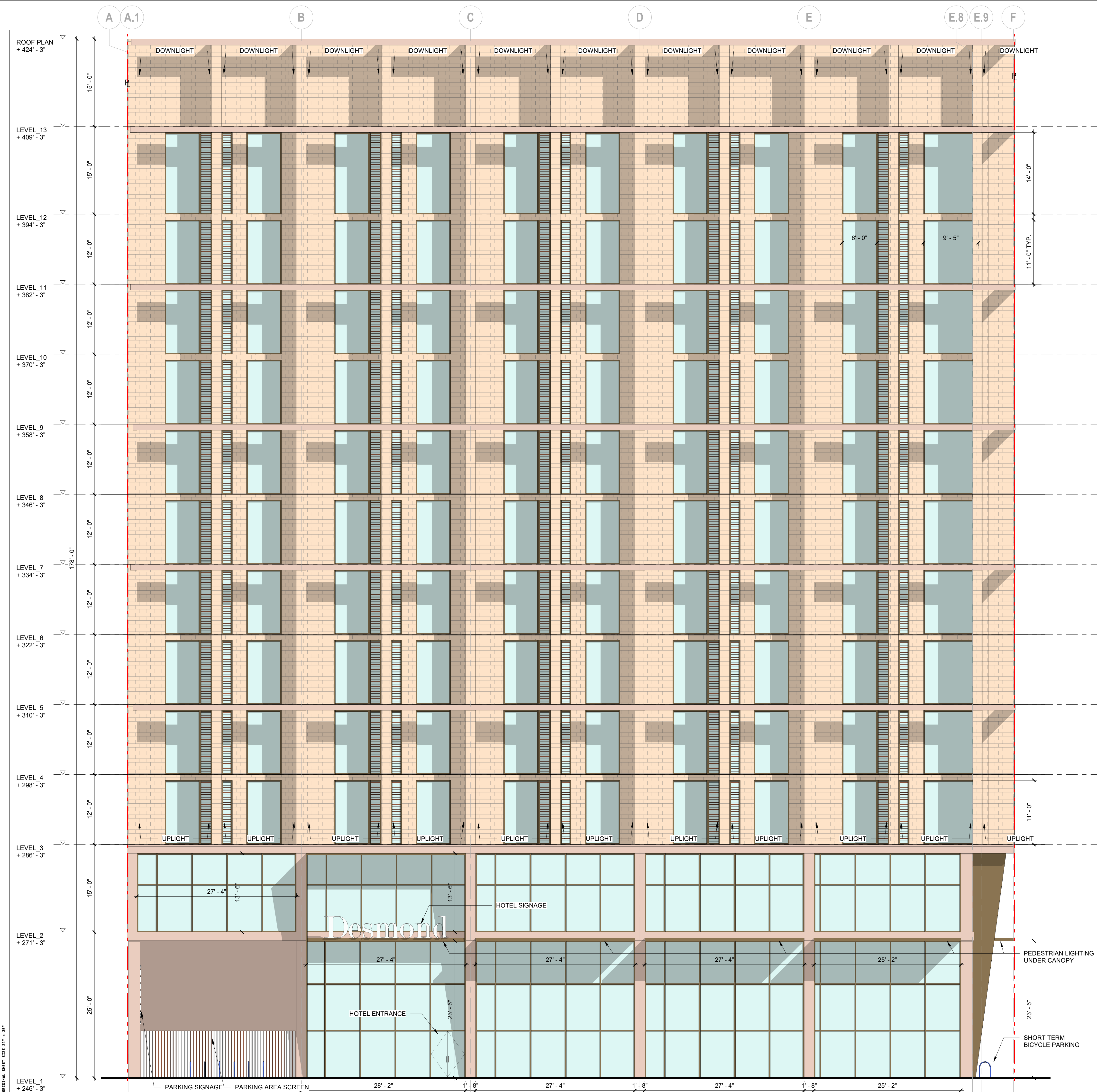
STATUS: ENTITLEMENT

DATE: 03.26.2020

DRAWING NAME: ROOFTOP LANDSCAPE PLAN

PROJECT NAME: 1899 GRAND AVENUE

DRAWING NO: A217 /



## OVERALL ELEVATIONS - NOTES

### NOTES

- EXTERIOR VENT SHOULDS, VENT GRILLS, AC PORTS, GUTTERS AND DRAIN SPOUTS ARE ALL TO BE FACTORY PRIMED, FIELD PAINTED, PAINT COLOUR TO MATCH THE ADJACENT MATERIALS. SEE COLOUR LIST ABOVE FOR ADDITIONAL NOTES.
- ALL EXTERIOR LIGHTING SHALL BE ENERGY EFFICIENT, ARCHITECTURALLY INTEGRATED, DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES, AND SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE
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- PROVIDE GRAFFITI RESISTANT FINISH AS REQUIRED
- ALL DOWNSPOUTS TO DRAIN TO LID FLOWTHROUGH PLANTER, TYP. REF CIVIL
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. (6306)

### LEGEND

	<b>B1</b> NATURALISTIC RUSTIC BRICK (PANEL)
	<b>P1</b> BEIGE STONE (PANEL)
	LOUVER
RD/OD	ROOF DRAIN & OVERFLOW - REF. PLUMBING
DS	DOWNSPOUT - REF. PLUMBING

### CHAPTER 10 - MEANS OF EGRESS

- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. (1030.1)
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NOTES:  
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2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS  
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### GENERAL NOTES:

### KEY:



### SEAL

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REV	DATE	DESCRIPTION

### CONSULTANT

<b>KAP.</b>	T E W	+1 (213) 268 8621 hello@kapstudios.com www.kapstudios.com	<b>A</b> 5150 Wilshire Boulevard Suite 404 Los Angeles, CA 90036
-------------	-------------	---	--

### ARCHITECT

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------------	-------------	--	--

### CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As Indicated
SCALE:	As Indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

### DRAWING NAME:

**SOUTH ELEVATION**

### PROJECT NAME:

**1899 GRAND AVENUE**

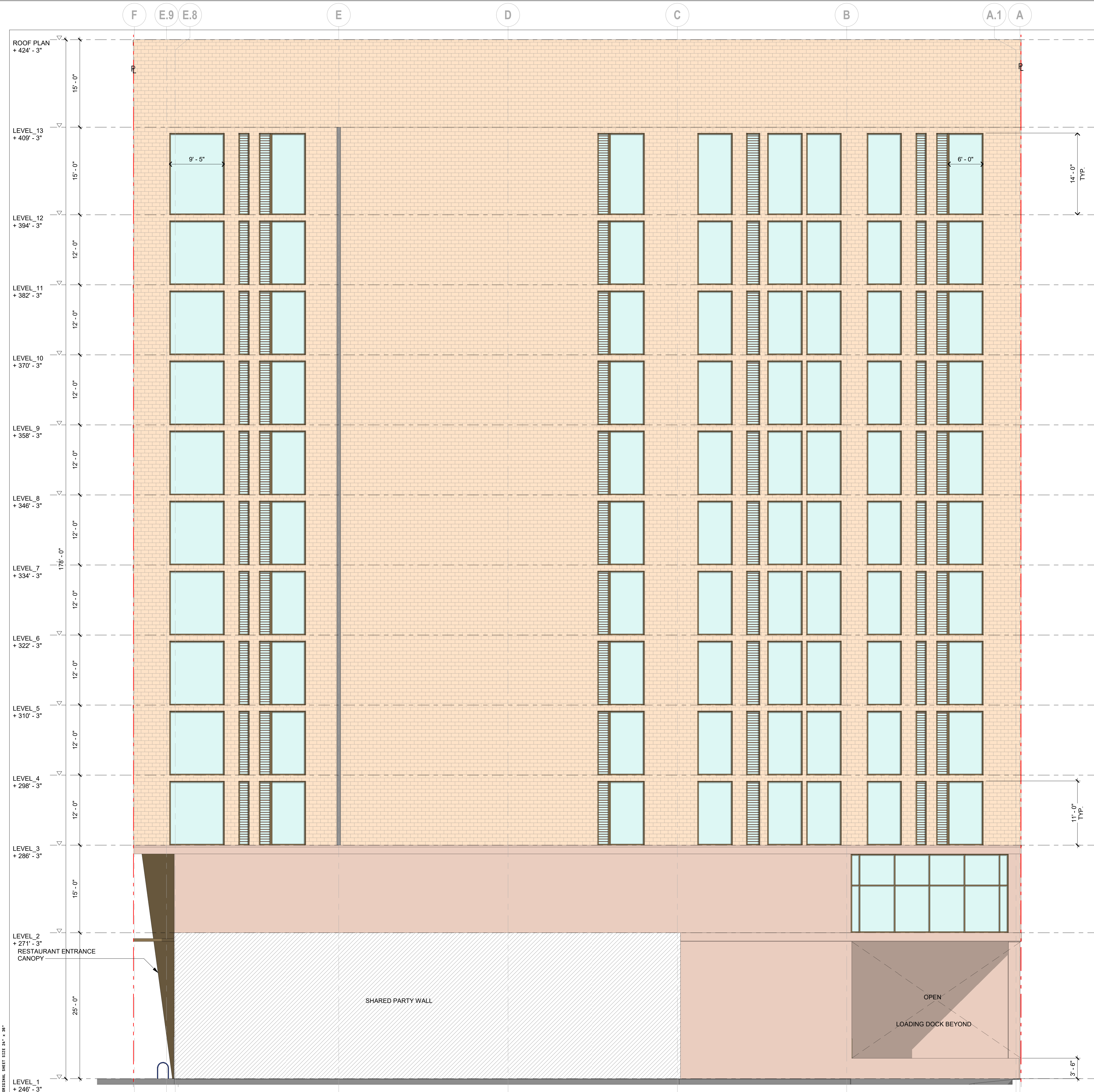
### DRAWING NO:

**A400 / -**

A400  
1

## SOUTH ELEVATION

1/8" = 1'-0"



OVERALL ELEVATIONS - NOTES

NOTES

- EXTERIOR VENT SHOULDS, VENT GRILLS, AC PORTS, GUTTERS AND DRAIN SPOUTS ARE ALL TO BE FACTORY PRIMED, FIELD PAINTED, PAINT COLOUR TO MATCH THE ADJACENT MATERIALS. SEE COLOUR LIST ABOVE FOR ADDITIONAL NOTES.
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- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. (6306)

LEGEND

	<b>B1</b> NATURALISTIC RUSTIC BRICK (PANEL)
	<b>P1</b> BEIGE STONE (PANEL)
	LOUVER
RD/OD	ROOF DRAIN & OVERFLOW - REF. PLUMBING
DS	DOWNSPOUT - REF. PLUMBING

CHAPTER 10 - MEANS OF EGRESS

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GENERAL NOTES:

KEY:



SEAL

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CONSULTANT

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ARCHITECT

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CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	
SCALE:	As indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME:

NORTH ELEVATION

PROJECT NAME:

1899 GRAND AVENUE

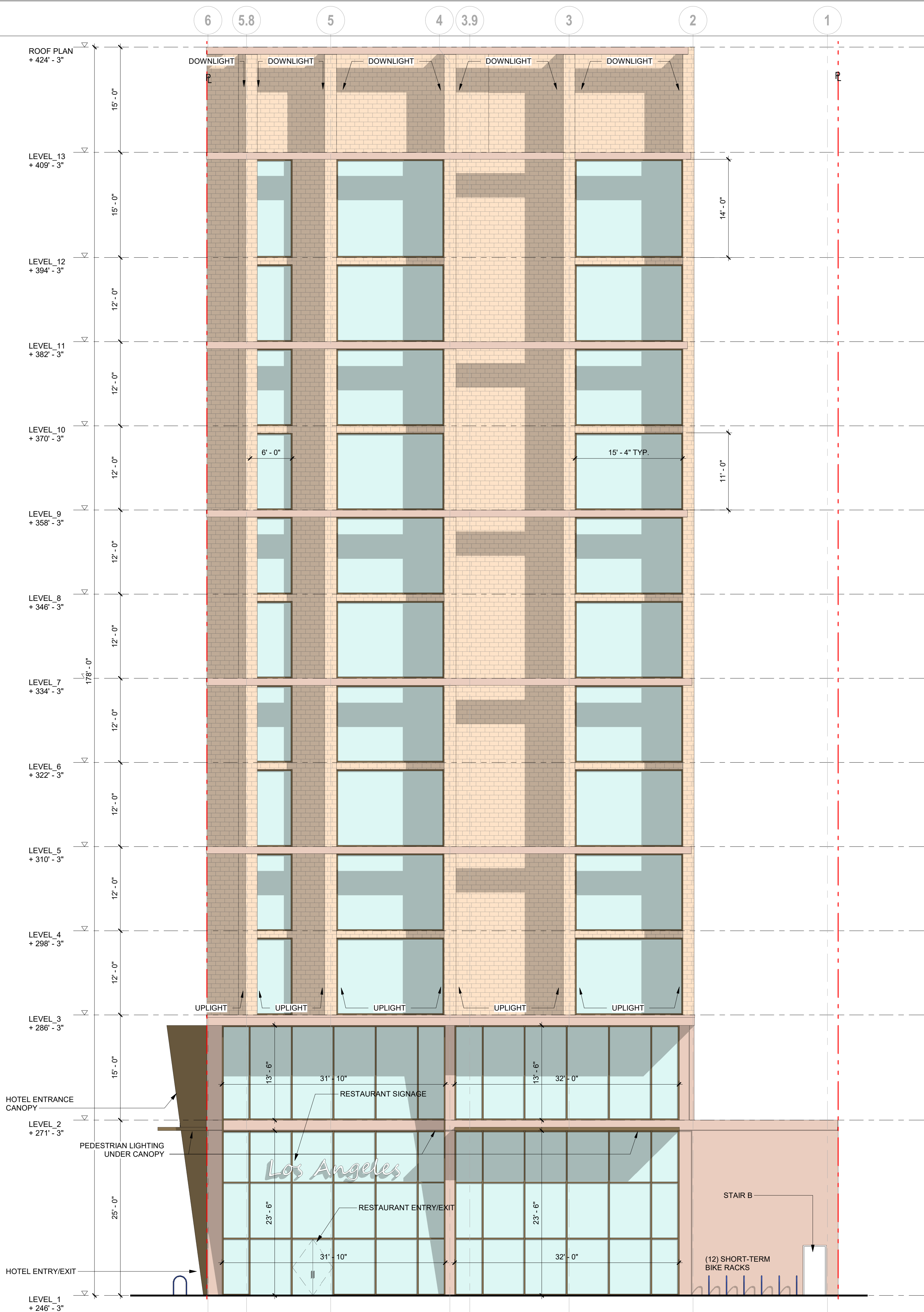
DRAWING NO:

A401 / -

A401
1

NORTH ELEVATION

1/8" = 1'-0"



## OVERALL ELEVATIONS - NOTES

### NOTES

- EXTERIOR VENT SHOULDS, VENT GRILLS, AC PORTS, GUTTERS AND DRAIN SPOUTS ARE ALL TO BE FACTORY PRIMED, FIELD PAINTED, PAINT COLOUR TO MATCH THE ADJACENT MATERIALS. SEE COLOUR LIST ABOVE FOR ADDITIONAL NOTES.
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### LEGEND

	<b>B1</b> NATURALISTIC RUSTIC BRICK (PANEL)
	<b>P1</b> BEIGE STONE (PANEL)
	LOUVER
RD/OD	ROOF DRAIN & OVERFLOW - REF. PLUMBING
DS	DOWNSPOUT - REF. PLUMBING

### CHAPTER 10 - MEANS OF EGRESS

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### GENERAL NOTES:

### KEY:



### SEAL

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### ARCHITECT

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### CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As Indicated
SCALE:	As Indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

### DRAWING NAME:

EAST ELEVATION

### PROJECT NAME:

1899 GRAND AVENUE

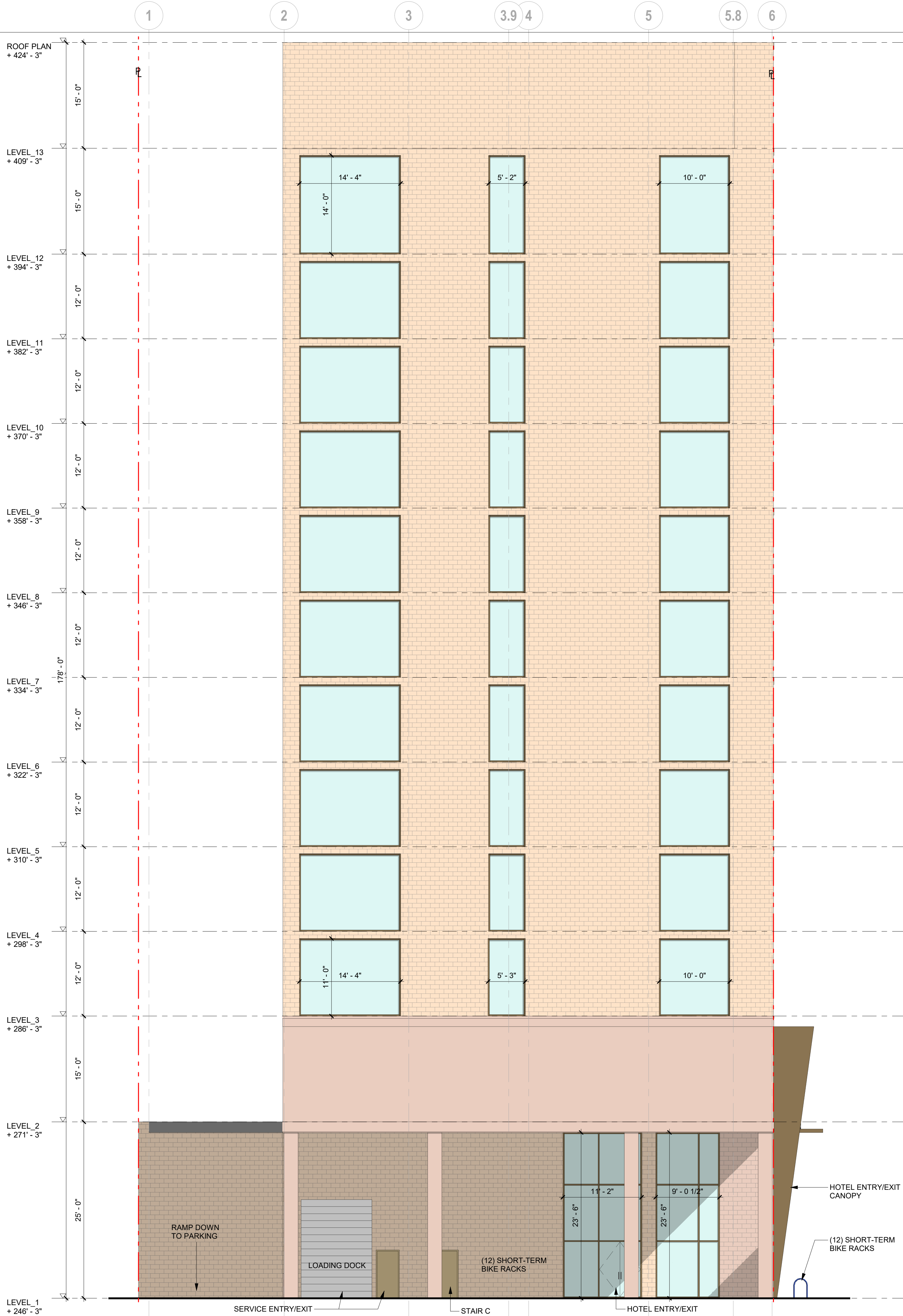
### DRAWING NO:

A402 / -

A402  
1

## EAST ELEVATION

1/8" = 1'-0"



## OVERALL ELEVATIONS - NOTES

### NOTES

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### LEGEND

	<b>B1</b> NATURALISTIC RUSTIC BRICK (PANEL)
	<b>P1</b> BEIGE STONE (PANEL)
	LOUVER
RD/OD	ROOF DRAIN & OVERFLOW - REF. PLUMBING
DS	DOWNSPOUT - REF. PLUMBING

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### CONSULTANT

<b>KAP.</b>	T E W	+1 (213) 268 8621 hello@kapstudios.com www.kapstudios.com	A 5150 Wilshire Boulevard Suite 404 Los Angeles, CA 90036
-------------	-------------	---	--

### ARCHITECT

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### CLIENT

JOB NO:	19-007
BLDG DEPT. NO.	As Indicated
SCALE:	As Indicated
STATUS:	ENTITLEMENT
DATE:	03.26.2020

### DRAWING NAME:

WEST ELEVATION

### PROJECT NAME:

1899 GRAND AVENUE

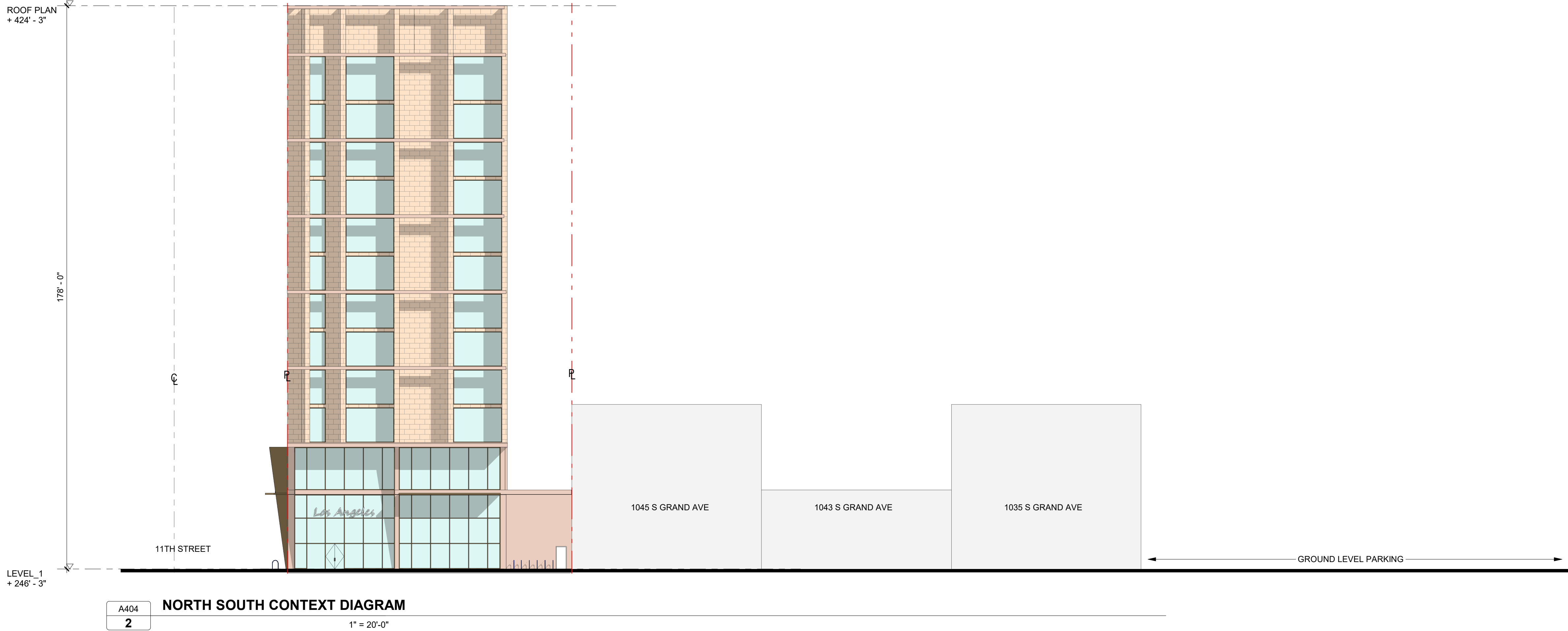
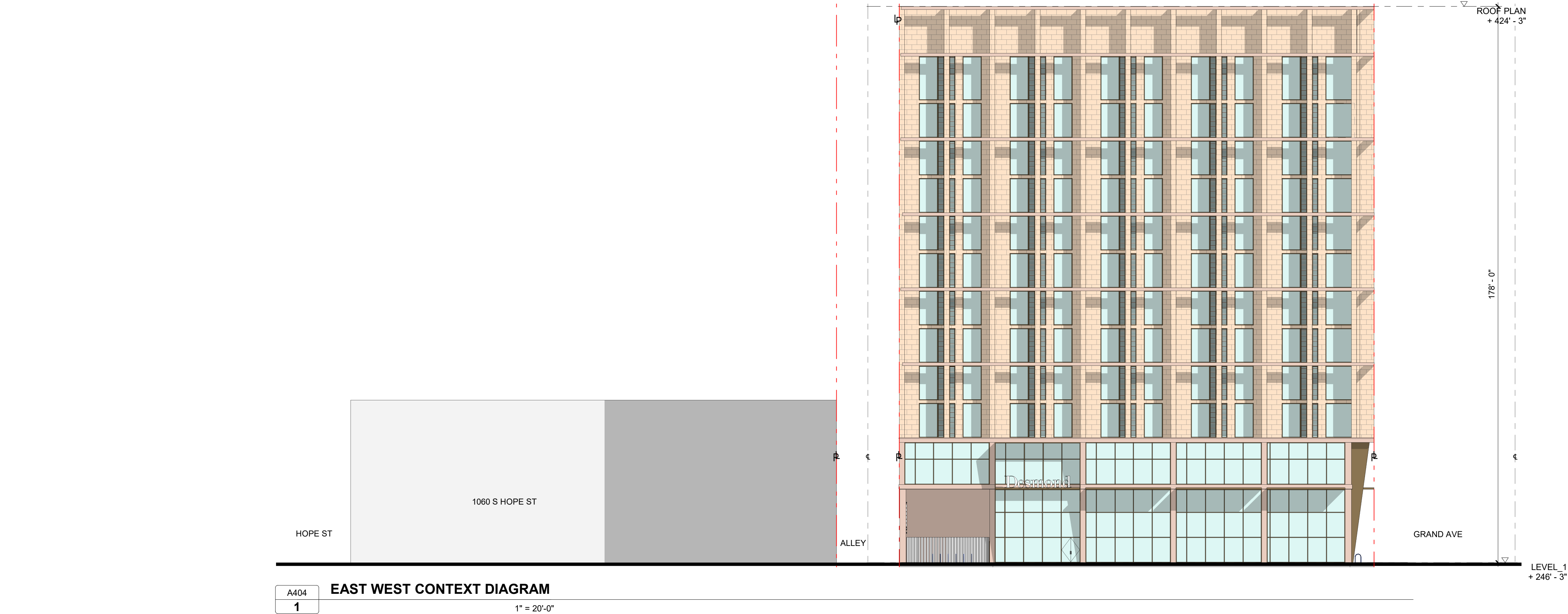
### DRAWING NO:

A403 / -

A403  
1

## WEST ELEVATION

1/8" = 1'-0"



NOTES:

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GENERAL NOTES:

KEY:



SEAL

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ARCHITECT

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W www.aegworldwide.com Los Angeles, CA 90015

CLIENT

JOB NO: 19-007

BLDG DEPT. NO.

SCALE: 1" = 20'-0"

STATUS: ENTITLEMENT

DATE: 03.26.2020

DRAWING NAME: SITE CONTEXT DIAGRAMS

PROJECT NAME: 1899 GRAND AVENUE

DRAWING NO: A404 /

GENERAL NOTES:

**KEY:**



## SEAL

SUBMISSION	DATE	DESCRIPTION
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**CONSULTANT**

ARCHITECT				
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	E	gong@aegworldwide.com		Suite 305
	W	www.aegworldwide.com		Los Angeles, CA 90015

**CLIENT**

JOB NO:	19-007
BLDG DEPT. NO.	
SCALE:	3/32" = 1'-0"
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME

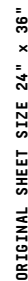
### BUILDING SECTION

PROJECT NAME

**899 GRAND AVENUE**

DRAWING NO.

**A500 / -**


$$3/32'' = 1'-0''$$

NOTES:

1. ALL DIMENSIONS ARE IN IMPERIAL.

2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS

3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS

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GENERAL NOTES:

**KEY:**



SEAL

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HAVING JURISDICTIONS

[illegible]

CONSULTANT

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	<b>E</b>	hello@kapstudios.com		Suite 404
	<b>W</b>	www.kapstudios.com		Los Angeles, CA 90036

ARCHITECT

	T	+1 (213) 763 7700	A	800 W. Olympic Blvd
	E	<a href="mailto:gong@aegworldwide.com">gong@aegworldwide.com</a>		Suite 305
	W	<a href="http://www.aegworldwide.com">www.aegworldwide.com</a>		Los Angeles, CA 90015

**CLIENT**

JOB NO:	19-007
BLOG DEPT. NO.	
SCALE:	3/32" = 1'-0"
STATUS:	ENTITLEMENT
DATE:	03.26.2020

DRAWING NAME:

BUILDING SECTION

PROJECT NAME:

1099 GRAND AVENUE

DRAWING NO:

**A501 /**