

**JARDINETTE APARTMENTS (HCM #390)**  
5128 West Marathon Street  
CHC-2017-2794-MAEX

Agenda packet includes:

1. [Staff Recommendation Report](#)
2. [ZIMAS Report](#)
3. [Mills Act Historical Property Contract Application](#)
4. [Historic Structure Report \(HSR\)](#)

Please click on each document to be directly taken to the corresponding page of the PDF.

# Los Angeles Department of City Planning

## RECOMMENDATION REPORT

### CULTURAL HERITAGE COMMISSION

**CASE NO.:** CHC-2017-2794-MAEX

**HEARING DATE:** August 17, 2017  
**TIME:** 10:00 AM  
**PLACE:** City Hall, Room 1010  
200 N. Spring Street  
Los Angeles, CA 90012

Location: 5128 West Marathon St  
Council District: 13  
Community Plan Area: Hollywood  
Area Planning Commission: Central  
Neighborhood Council: Hollywood Studio District  
Legal Description: Tract TR 3783, Lot 16

**PROJECT:** 5128 West Marathon Street  
Jardinette Apartments, Historic-Cultural Monument (HCM) #390

**APPLICANT & OWNER:** CIP Jardinette Holding LLC  
30012 Ivy Glenn Drive, Suite 200  
Laguna Niguel, CA 92677

**APPLICANT'S REPRESENTATIVES:** Barbara Lamprecht  
Modern Resources Research Rehabilitation and Restoration  
550 East Jackson Street  
Pasadena, CA 91104-3621

Corey Miller  
June Street Architecture  
8730 Santa Monica Blvd., Suite H  
West Hollywood, CA 90069

**REQUEST:** **APPROVAL OF EXEMPTION FROM LIMITATION OF ELIGIBILITY FOR HISTORICAL PROPERTY CONTRACT (MILLS ACT) APPLICATION**

**RECOMMENDATION:** **That the Cultural Heritage Commission:**

1. **FIND** the above-listed property meets the stated conditions for valuation exemption.
2. **APPROVE** the above-listed property for exemption from the valuation limit.

VINCENT P. BERTONI, AICP  
Director of Planning

**SIGNED ORIGINAL IN FILE**

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Ken Bernstein, AICP, Manager  
Office of Historic Resources

**SIGNED ORIGINAL IN FILE**

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Melissa Jones, Planning Assistant  
Office of Historic Resources

**SIGNED ORIGINAL IN FILE**

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Lambert M. Giessinger, Architect  
Historical Property Contracts Manager  
Office of Historic Resources

**ATTACHED EXHIBITS:**

- Attachment 1 – ZIMAS Report
- Attachment 2 - Mills Act Historical Property Contract Application
- Attachment 3 – Historic Structure Report (HSR)

## **BACKGROUND**

Economic incentives foster preservation of residential neighborhoods and revitalization of downtown commercial districts. The Mills Act is the single most important economic incentive program in California for preservation of qualified historic buildings by private property owners.

Enacted in 1972, Mills Act legislation grants participating local governments (cities and counties) authority to enter into contracts with owners of qualified historic properties who actively participate in rehabilitation, restoration, and maintenance work to receive property tax relief. The City of Los Angeles (City) adopted Mills Act legislation in 1996. Since then, 870 properties have benefited from the program.

A formal agreement, known as a Mills Act or Historical Property Contract (Mills Act Contract), is executed between the City and property owner for a revolving minimum ten-year term. Contracts are automatically renewed each year. Property owners agree to rehabilitate, restore, maintain, and protect the property in accordance with the *Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards)* and conditions identified in the Contract. Periodic inspections by City and County officials ensure proper adherence to the Contract. The City may impose penalties for breach of Contract or failure to protect the historic property. The Contract is binding to all successive owners.

The Mills Act is codified in Los Angeles Administrative Code Chapter 14. Section 19.142 identifies limitations on eligibility for the Mills Act. The current pre-contract assessed value limits are \$1,500,000 for single-family residential properties and \$3,000,000 for multi-family residential, commercial, or industrial properties. Properties located in the Greater Downtown Los Angeles Area, including the Figueroa Economic Strategy Area, and National Register of Historic Places-listed Hollywood Boulevard Commercial and Entertainment District are exempt from valuation limits. The Cultural Heritage Commission may grant an exemption from the limitations imposed by Administrative Code Section 19.142 under the following conditions:

- (a) *granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually; and*
- (b) *the site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone; and*
- (c) *granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.*

The above-listed criteria are further delineated in the Contract application materials to include substantial rehabilitation and excessive and/or unusual maintenance requirements for a property.

In order to better substantiate justification for exemption properties to meet the ordinance criteria, the application process requires preparation of an Historic Structure Report (HSR) consistent with format requirements published by the Office of Historic Preservation *Historic Structure Report Format Guidelines* and the National Park Service in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports*. An HSR provides documentary, graphic, and physical information about a property's history and existing condition. Broadly recognized as an effective part of preservation planning, an HSR also addresses management or owner goals for continued use or re-use of the property. It provides a thoughtfully considered argument for selecting the most appropriate approach to treatment, prior to commencement of work, and outlines a scope of recommended tasks. The HSR serves as an important guide for all changes made to a historic property during a project—repair, rehabilitation, or restoration—and can also provide information for maintenance procedures. This requirement sets a higher bar for exemption requests and allows property owners and staff to better understand the unique challenges such properties entail and the owner's commitment to preservation under a Mills Act Contract.

## **SUBJECT PROPERTY**

The subject property is located on the south side of West Marathon Street between Manhattan Place and Western Avenue in the Hollywood Studio District neighborhood. The legal description of the property is lot 16 of Tract 3783, with the Los Angeles County Assessor Parcel Number as 5535-017-014. The building footprint occupies the majority of the lot. The property was listed on the National Register of Historic Places in 1986 due to its importance as one of the first examples of International Style architecture in the United States, and the first architectural commission of master architect Richard Neutra. In 1988, the property was designated as Los Angeles Historic-Cultural Monument #390 based on findings that it is an excellent example of International Style architecture, and a notable work by master architect Richard Neutra. The building was constructed in 1929.



*Primary, west and north elevations,  
view southeast*

### ***Description***

The four-story multi-family building is U-shaped in plan, oriented north, and built around a central landscaped courtyard. Its construction is reinforced concrete walls, interior concrete bearing piers and wood framing for both walls and floors. The roof is flat with built up asphalt with a parapet wall around the perimeter. The exterior exhibits the board-formed concrete and is painted. The primary entrance to the building is at the southeast corner of the courtyard and is accessed through a raised, sheltered, offset concrete portico on the eastern wing.

The windows and balconies are key character-defining features of the property. The original windows are steel-frame, single-lite fixed and operable casements. They were designed in a way that created repeating intervals of ribbon windows on every elevation. The number of windows in each grouping varies, originally they ranged from a single window to a group of ten. As a way to embellish the fenestration, the window walls are recessed by approximately three inches and the concrete sill projects from the surface of the exterior wall roughly three inches.

The balconies project from each wing at the second, third, and fourth floors. They are constructed of concrete and cantilevered from the elevation. L-shaped metal brackets, apparently to support planters, are attached to each balcony's long wall. While they cannot be seen, these brackets facilitate the basis for the name, *jardinette*, meaning small garden.

In plan, the apartment block is organized into a shallow "U" configuration with a double-loaded corridor running east to west that terminates in two short corridors. These are stubs that lead to the corner units projecting to the north, and also connect to the north and west fire escapes. There are two flights of stairs. The eastern staircase is oriented north-south and leads up from the lobby. The western staircase is accessed from the central corridor.

There are not many intact character-defining features on the interior. The features that remain include door and window trim, cabinets, and exposed concrete structural members.

### ***Rehabilitation/Restoration/Maintenance Plan***

The scope of rehabilitation, restoration, and maintenance work is substantial: it includes waterproofing the building envelope, patching and repairing the roof, restoring interior finishes, repairing and reconstructing fenestration, upgrading the fire sprinkler system, and reconstructing cabinetry in the kitchen, bathrooms and dressing rooms. All proposed future work is scheduled to be completed by 2018.

At the time of inspection, the owner had completed design development and had begun studying the structural conditions of the property.

**Review**

Chattel, Inc. (Chattel) reviewed the Mills Act contract application materials and conducted an on-site, pre-approval inspection on behalf of the Office of Historic Resources (OHR) on July 11, 2017. The inspection was attended by the property owner, Robert W. Clippinger, and their consultants, Sonny Ward and Corey Miller of June Street Architecture, Barbara Lamprecht, and Matthew Dillhoefer. During the inspection, Chattel noted the following additional items that should be addressed in the Rehabilitation/Restoration/Maintenance Plan, which are consequently being added as Conditions of Approval:

- Engage a structural engineer familiar with historic preservation to peer review existing structural plans and implement any recommended changes, as necessary.
- Engage a conservator to evaluate the exterior finishes to determine the appropriate approach for rehabilitation and treatment of exterior concrete.
- Create a landscape plan that implements rehabilitation of all hardscape and landscape on the property. The plan must maintain a separation between the historic structure and any vegetation. Design trellises or similar structural elements to achieve desired appearance.
- All original millwork will be salvaged, repaired, and reinstalled to the greatest extent feasible.

With added Conditions of Approval, the scope of recently completed and proposed work conforms to the *Secretary's Standards* and substantiates necessity for a Mills Act Contract.

Staff recommends approval of the subject property's exemption from limitation of eligibility for a Mills Act Contract. The property is significant as an outstanding example of International Style architecture and a notable example of master architect Richard Neutra's work. In addition, there is substantial evidence of private investment beyond routine maintenance, and appropriate completed and proposed rehabilitation, restoration, and maintenance tasks with Conditions of Approval.

**FINDINGS**

***A) Granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.***

The estimated fiscal impact to the City of Los Angeles on the existing and proposed Mills Act Contracts for 2017 is as follows:

Fiscal Impact of (870) existing Mills Act Contracts:	\$1,306,766
Fiscal Impact of (21) 2017 Applications (excluding exemptions):	\$29,265
Fiscal Impact of Pending Exemption Application:	\$4,765
Fiscal Impact of (4) other Exemption Application:	\$8,289
Fiscal Impact of all proposed and executed contracts (1997 to 2017):	\$1,349,085

The City's share of the general levy property tax collected by the County Assessor for FY 2017-18 (1.02% of property value) is 0.107151415, or 10.7%. It is the intent of the City Council that unrealized City revenue from the loss of property taxes not collected due to executed Historical Property Contracts shall not exceed \$2,000,000 annually. The current total revenue loss projection for 2017-18 would put the program at 67.5% capacity.

Therefore, Criterion A is met.

***B) The site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone.***

The subject property is individually listed on the National Register of Historic Places and designated as a Los Angeles Historic-Cultural Monument based on it being an excellent example of International Style architecture, and a notable work by master architect Richard Neutra. The property also retains a large amount of historic fabric and original character-defining features. Therefore, Criterion B is met.

***C) Granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.***

The current owner has shown he is a good steward of an historic property through developing plans for rehabilitation and working with the OHR on review of the project. The owner has committed to complete the proposed repair, restoration, and rehabilitation work to ensure the material health and restore a more historically authentic appearance of the property. Granting the exemption will provide an incentive to complete the complex, expensive tasks described above, which will enhance the historic character of the subject property. Without the financial assistance of the Mills Act, the owner may not be able to undertake all the improvements necessary to rehabilitate and maintain the property according to the *Secretary's Standards*. Therefore, Criterion C is met.



# City of Los Angeles Department of City Planning

## 8/7/2017 PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

5128 W MARATHON ST

### ZIP CODES

90038

### RECENT ACTIVITY

ENV-2014-1791-CE

CHC-2017-944-MA

Adaptive Reuse Incentive Spec. Pln-  
Ord 175038

### CASE NUMBERS

CPC-2016-1450-CPU

CPC-1986-831-GPC

CPC-1984-1-HD

ORD-164689

ORD-161116-SA20

ZA-2004-5969-CU

ZA-2004-5959-CU

ZA-2002-4927-CU

ENV-2016-1451-EIR

ENV-2004-5970-CE

ENV-2002-4928-CE

### Address/Legal Information

PIN Number	141B193 389
Lot/Parcel Area (Calculated)	9,153.2 (sq ft)
Thomas Brothers Grid	PAGE 593 - GRID H6
Assessor Parcel No. (APN)	5535017014
Tract	TR 3783
Map Reference	M B 41-44
Block	None
Lot	16
Arb (Lot Cut Reference)	None
Map Sheet	141B193

### Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Hollywood Studio District
Council District	CD 13 - Mitch O'Farrell
Census Tract #	1917.10
LADBS District Office	Los Angeles Metro

### Planning and Zoning Information

Special Notes	None
Zoning	RD1.5-1XL
Zoning Information (ZI)	ZI-2452 Transit Priority Area in the City of Los Angeles ZI-1940 Wilshire Center / Koreatown Redevelopment Project ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	Low Medium II Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
District	None
Subarea	None
CUGU: Clean Up-Green Up	None
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
Ellis Act Property	No
Rent Stabilization Ordinance (RSO)	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
(\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

CRA - Community Redevelopment Agency	Wilshire Center / Koreatown Redevelopment Project
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5535017014
Ownership (Assessor)	
Owner1	CIP JARDINETTE HOLDING LLC
Address	30012 IVY GLENN DR STE 200 LAGUNA NIGUEL CA 92677
Ownership (Bureau of Engineering, Land Records)	
Owner	CIP JARDINETTE HOLDING LLC C/O CLIPPINGER INVESTMENT PROPERTIES
Address	30012 IVY GLENN DR STE 200 LAGUNA NIGUEL CA 92677
APN Area (Co. Public Works)*	0.212 (ac)
Use Code	0500 - Residential - Five or More Units or Apartments (Any Combination) - 4 Stories or Less
Assessed Land Val.	\$2,600,000
Assessed Improvement Val.	\$3,825,000
Last Owner Change	09/15/2016
Last Sale Amount	\$6,425,064
Tax Rate Area	6657
Deed Ref No. (City Clerk)	991150 636630 592769 5-927 410646-7 2429737 2134309-10 1780584 1513119 1297217 1134943 1118368
Building 1	
Year Built	1929
Building Class	C7
Number of Units	43
Number of Bedrooms	13
Number of Bathrooms	43
Building Square Footage	27,708.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	No
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No

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 (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

### Seismic Hazards

#### Active Fault Near-Source Zone

Nearest Fault (Distance in km)	2.60171184
Nearest Fault (Name)	Upper Elysian Park
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	1.30000000
Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	3.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	50.00000000
Maximum Magnitude	6.40000000

Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

### Economic Development Areas

Business Improvement District	None
Promise Zone	None
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None

### Public Safety

#### Police Information

Bureau	West
Division / Station	Hollywood
Reporting District	677

#### Fire Information

Bureau	West
Batallion	5
District / Fire Station	52
Red Flag Restricted Parking	No

## CASE SUMMARIES

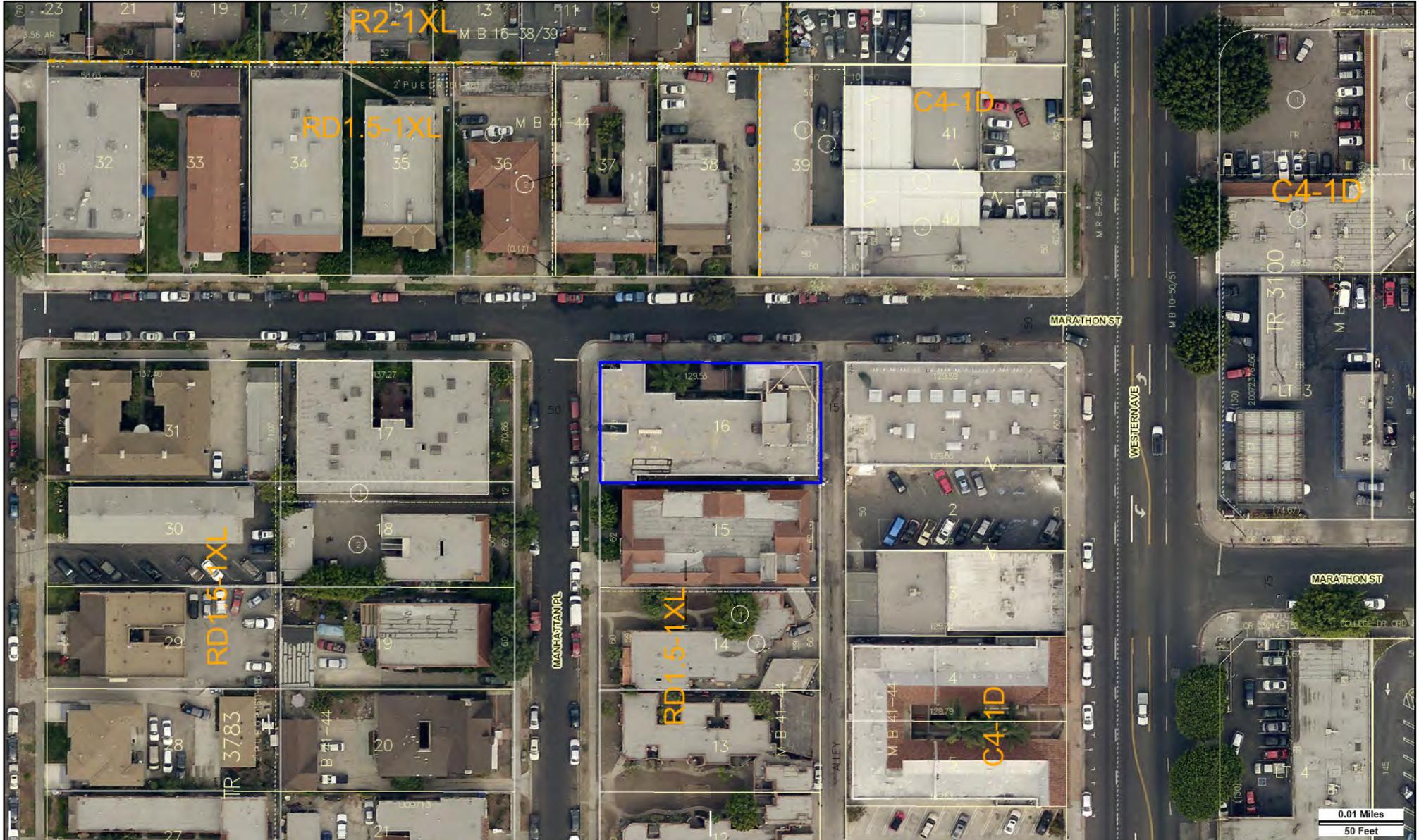
Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2016-1450-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	CPC-1986-831-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	HOLLYWOOD COMMUNITY PLAN REVISION/GENERAL PLAN CONSISTENCY PLAN AMENDMENT, ZONE CHANGES AND HEIGHT DISTRICT CHANGES
Case Number:	CPC-1984-1-HD
Required Action(s):	HD-HEIGHT DISTRICT
Project Descriptions(s):	CHANGE OF HEIGHT DISTRICT WITHIN THE "CORE AREA OF L.A."- GENERAL PLAN ZONE CONSISTENCY PROGRAM.
Case Number:	ZA-2004-5969-CU
Required Action(s):	CU-CONDITIONAL USE
Project Descriptions(s):	A CU TO PERMIT THE INSTALLATION, USE AND MAINTENANCE OF AN UNMANNED ROOFTOP WIRELESS TELECOMMUNICATIONS FACILITY.
Case Number:	ZA-2004-5959-CU
Required Action(s):	CU-CONDITIONAL USE
Project Descriptions(s):	Data Not Available
Case Number:	ZA-2002-4927-CU
Required Action(s):	CU-CONDITIONAL USE
Project Descriptions(s):	REQUEST TO BUILD AND MAINTAIN AN UNMANNED WIRELESS FACILITY WITH TWO ROOF-MOUNTED AND FOUR FACADE-MOUNTED PANEL ANTENNAS, ONE 2-FOOT WIDE MICROWAVE DISH, ONE GPS SENSOR, AN LMU SENSOR, AND SUPPORTING EQUIPMENT CABINETS ON THE ROOF.
Case Number:	ENV-2016-1451-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	ENV-2004-5970-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	A CU TO PERMIT THE INSTALLATION, USE AND MAINTENANCE OF AN UNMANNED ROOFTOP WIRELESS TELECOMMUNICATIONS FACILITY.
Case Number:	ENV-2002-4928-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST TO BUILD AND MAINTAIN AN UNMANNED WIRELESS FACILITY WITH TWO ROOF-MOUNTED AND FOUR FACADE-MOUNTED PANEL ANTENNAS, ONE 2-FOOT WIDE MICROWAVE DISH, ONE GPS SENSOR, AN LMU SENSOR, AND SUPPORTING EQUIPMENT CABINETS ON THE ROOF.

## DATA NOT AVAILABLE

ORD-164689

ORD-161116-SA20



Address: 5128 W MARATHON ST

APN: 5535017014

PIN #: 141B193 389

Tract: TR 3783

Block: None

Lot #: 16

Arb: None

Zoning: RD1.5-1XL

General Plan: Low Medium II Residential



RECORDING REQUESTED BY  
AND WHEN RECORDED RETURN TO:

Los Angeles Department of City Planning  
Historical Property Contracts Program  
200 North Spring Street, Room 559  
Los Angeles, California 90012

SPACE ABOVE THIS LINE IS RESERVED FOR RECORDER'S USE

TITLE(S)

**HISTORICAL PROPERTY CONTRACT**

BY AND BETWEEN THE CITY OF LOS ANGELES,  
A MUNICIPAL CORPORATION, AND

CIP Jardinette Holding, LLC

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

FOR THE PRESERVATION AND BENEFIT OF THE  
HISTORIC-CULTURAL MONUMENT OR  
CONTRIBUTING STRUCTURE PROPERTY LOCATED AT

5128 W. MARATHON ST.

(L.A.M.C. SECTIONS 19.140, et seq.)

THIS AGREEMENT is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_ 2017, by and  
(LEAVE DATE BLANK UNTIL RECORDED)

between the CITY OF LOS ANGELES, a municipal corporation (hereinafter referred to as the "City") and  
CIP Jardinette Holding, LLC (hereinafter referred to as the "Owner").

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

WITNESSETH:

- (i) California Government Code Sections 50280, et seq. authorize cities to enter into contracts with the owners of qualified historical properties to provide for the use, maintenance and restoration of such historical properties so as to retain their characteristics as properties of historical significance.
- (ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, commonly known as the Jardinette Apartments and located at the street address 5128 W Marathon St, Los Angeles, California 90038, (hereinafter such property shall be referred to as the "Property"). A legal description of the Property and Rehabilitation/Restoration/Maintenance Plan (hereinafter referred to as the "Plan") for the Property is attached hereto, marked as **Exhibit "A"**, and is incorporated herein by this reference.

- (iii) On October 4, 1988: (a) the City Council of the City of Los Angeles declared the Property Historic-Cultural Monument No. 390 pursuant to Section 22.171.10 of the Los Angeles Administrative Code (Council File No. 87 - 0865); or, (b) The Property was determined to be a Contributing Structure to the NA Historic Preservation Overlay Zone pursuant to Section 12.20.3 of the Los Angeles Municipal Code.
- (iv) City and Owner, for their mutual benefits, now desire to enter into this agreement both to protect and preserve the characteristics of historical significance of the Property and to qualify the Property for an assessment of valuation pursuant to the provisions of Section 439, et seq., of the California Revenue and Taxation Code.

NOW THEREFORE, City and Owner, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

**1. Effective Date and Term of Agreement.**

This Historical Property Contract (hereinafter referred to as the "Agreement") shall be effective and commence on the date it is recorded (hereinafter referred to as the "effective date") and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such initial term will automatically be extended, subject to provisions of paragraph 2, below.

**2. Renewal.**

Each year on the anniversary of the effective date of this Agreement (hereinafter referred to as the "renewal date"), a year shall automatically be added to the initial term of this Agreement unless notice of nonrenewal is mailed as provided herein. If either Owner or City desires in any year not to renew the Agreement, Owner or City shall serve written notice of nonrenewal of the Agreement on the other party in advance of the annual renewal date of the Agreement. Unless such notice is served by Owner to City at least ninety (90) days prior to the annual renewal date, or served by City to Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein. Upon receipt by Owner of a notice of nonrenewal from City, Owner may make a written protest of the notice. City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to Owner of nonrenewal. If either City or Owner serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

**3. Standards for Historical Property.**

During the term of this Agreement, the Property shall be subject to the following conditions, requirements and restrictions:

- a. Owner shall preserve and maintain the characteristics of historical significance of the Property in accordance with the Plan. Attached hereto, marked as **Exhibit "B"**, and incorporated herein by this reference, is a list of those minimum standards and conditions for maintenance, use and preservation of the Property, which shall apply to such property throughout the term of this Agreement.
- b. Owner shall restore and rehabilitate the property according to the Plan, the rules and

regulations of the Secretary of the Interior's Standards for Rehabilitation (Exhibit "B"), and the California Historical Building Code.

- c. Owner shall allow reasonable periodic examinations, by prior appointment, of the interior and exterior of the Property by representatives of the City, County or City and County prior to any new agreement and every 5 years thereafter, and as may be necessary to determine owner's compliance with the terms and provisions of this Agreement.

#### **4. Provision of Information of Compliance.**

Owner hereby agrees to furnish City with any and all information requested by the City which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

#### **5. Cancellation.**

City, following a duly noticed public hearing as set forth in California Government Code Sections 50280, et seq., may cancel this Agreement if it determines that Owner breached any of the conditions of this Agreement or has allowed the property to deteriorate to the point that it no longer meets the standards for a Historic-Cultural Monument or Contributing Structure. City may also cancel this Agreement if it determines that the Owner has failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of the Agreement, including but not limited to Owner's failure to comply with the Plan and/or Owner's failure to complete the rehabilitation and restoration identified in the Plan as provided for in the Plan. Except as otherwise provided in Section 19.143 of the Los Angeles Municipal Code, in the event of cancellation of this Agreement by the City, Owner shall pay the State of California a cancellation fee of Twelve and One-Half percent (12 1/2%) of the current fair market value of the Property at the time of cancellation, as determined by County Assessor without regard to any restrictions on the Property imposed pursuant to this Agreement. Payment of the fee shall be made in accordance with the provisions of subsection (b) of Section 50286 of the Government Code.

#### **6. Enforcement of Agreement.**

In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of this Agreement. In the event of a default under the provisions of this Agreement by Owner, City shall give written notice to Owner by registered or certified mail addressed to the address stated in this Agreement, and if such a violation is not corrected to the reasonable satisfaction of the City within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default if said breach or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default must be commenced within thirty (30) days and must thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner pursuant to the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner, or apply for such other relief as may be appropriate. City does not waive any claim of default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties

are available to the City to pursue in the event that there is a breach of this Agreement. No waiver of any breach or default under this Agreement shall be deemed to a waiver of any other subsequent breach thereof or default hereunder.

**7. Binding Effect of Agreement.**

The Owner hereby voluntarily subjects the Property described in Exhibit "A" hereto to the covenants, reservations and restrictions as set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the Owner's successors and assigns in title or interest to the Property. Each and every contract, deed or other instrument hereinafter executed, covering or conveying the Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restrictions expressed in this Agreement whether or not such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that Owner's legal interest in the Property is rendered less valuable thereby. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Property for the benefit of the public and Owner.

**8. Notice.**

Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

**To City:** Los Angeles Department of City Planning  
200 North Spring Street, Room 559  
Los Angeles, California 90012  
Attn: Historical Property Contracts Manager

<b>To Owner:</b>	Name	Robert Clippinger
	Address	30012 Ivy Glenn Drive, #200
		Laguna Niguel, Ca 92677

**9. General Provisions.**

- a. None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor

shall such terms, provisions or conditions cause them to be considered joint venturers or members of any joint enterprise.

- b. Owner agrees to and shall hold City and its elected officials, officers, employees and agents harmless from any and all liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of Owner or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to the use, operation and maintenance of the Property. Owner hereby agrees to and shall defend the City and its elected officials, officers, employees and agents with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of Owner's activities in connection with the Property. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, by reason of the operations referred to in this Agreement whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Property.
- c. All of the agreements, rights, covenants, reservations and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Property, whether by operation of law or in any manner whatsoever.
- d. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.
- e. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.
- f. This Agreement shall be construed and governed in accordance with the laws of the State of California.

**10. Recordation.**

No later than twenty (20) days after the parties execute and enter into this Agreement, City shall cause this Agreement to be recorded in the Office of the County Recorder of the County of Los Angeles.

**11. Amendments.**

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

**12. Fees.**

Owner agrees to pay any such fees associated with the administration of the Agreement, so long as the fee does not exceed the City's and County's reasonable cost of providing the service pursuant to this article for which the fee is charged.

IN WITNESS WHEREOF, the parties have caused this contract to be duly executed.

THE CITY OF LOS ANGELES, a municipal corporation:

ATTEST: HOLLY WOLCOTT, City Clerk/Executive Officer

By: \_\_\_\_\_  
Deputy \_\_\_\_\_ Date

By: \_\_\_\_\_  
VINCENT P. BERTONI, AICP, Director of Planning \_\_\_\_\_ Date

By:   
Owner Signature\*

Robert W. Clippinger Manager 5-10-17  
Print Name \_\_\_\_\_ Date  
CIP Jardinette, LLC

*See Notary Acknowledgment Attached*

By: \_\_\_\_\_  
Owner Signature\*

\_\_\_\_\_  
Print Name \_\_\_\_\_ Date

By: \_\_\_\_\_  
Owner Signature\*

\_\_\_\_\_  
Print Name \_\_\_\_\_ Date

APPROVED AS TO FORM  
MICHAEL N. FEUER, City Attorney

By: \_\_\_\_\_  
Deputy City Attorney, Office of the City Attorney \_\_\_\_\_ Date

\* Approved Recording Signature Method: The contract signature(s) and printed names(s) above MUST BE IDENTICAL to the printed names(s) on the first page of the contract and the Notary Acknowledgement Form. If not, the contract will be rejected by the County Recorder.

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

### ACKNOWLEDGMENT

State of California  
County of Los Angeles

On 05/10/2017 before me, Seung H. Kim (Notary Public)  
(insert name and title of the officer)

personally appeared Robert W. Clippinger  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



CULTURAL HERITAGE COMMISSION APPLICATION FOR EXEMPTION FROM  
LIMITATION ON ELIGIBILITY FOR  
HISTORICAL PROPERTY CONTRACT

Los Angeles Administrative Code § 19.142 "Limitations on Eligibility" provides that:

...eligibility for Historical Property Contracts shall be limited... to buildings or structures with a pre-contract assessed valuation of \$1,500,000 or less for Single-Family dwellings, and \$3,000,000 or less for Multi-Family residential, commercial or industrial buildings, unless the individual property is granted an exemption from those limits by the Cultural Heritage Commission.

The Cultural Heritage Commission may grant exemption from the limitations imposed by this Section when:

- (a) granting the exemption will assist in the preservation of a structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, substantial alteration or relocation; and
- (b) the structure is an exceptional Historic-Cultural Monument or Contributing Structure to an HPOZ; and
- (c) granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.

1. NAME: CIP Jardinette Holding, LLC
2. ADDRESS: 30012 Ivy Glenn Drive, #200 Laguna Niguel, Ca 92677
3. ADDRESS OF PROPERTY: 5128 W Marathon St Los Angeles, Ca 90038
4. HISTORIC-CULTURAL MONUMENT NUMBER: 390 or HPOZ: NA
5. TAX ASSESSED VALUATION (Attach a copy of your most recent tax bill): \$ 6,425,000

6. EXEMPTION CRITERION: Granting the exemption will assist in the preservation of a structure that would otherwise be in danger of demolition, substantial alteration or relocation. **A Historic Structure Report prepared for the property is attached.**

I, Robert Clippinger, Manager CIP Jardinette Holding, LLC, owner of the structure referenced above apply for exemption from the limitations contained in L.A.A.C. §19.142. I certify, under the penalty of perjury, that the information attached and provided above is accurate. Executed this 14<sup>th</sup> day of May, 2016, at Los Angeles, California.

CIP JARDINETTE HOLDING, LLC  
ROBERT CLIPPINGER, MANAGER  
Owner's Name (print or type)

  
Owners Signature

For Office Use Only

- A) Cumulative loss of more than \$2,000,000? \_\_\_\_\_
- B) Exceptional HCM or HPOZ Contributing Structure? \_\_\_\_\_
- C) Specific threat to resource? Complete HSR submitted? \_\_\_\_\_

Percent above limit \_\_\_\_\_ % Criteria a, b, and c listed above satisfied? \_\_\_\_\_ Initial \_\_\_\_\_

CITY OF LOS ANGELES

HISTORICAL PROPERTY CONTRACT APPLICATION FORM

OWNER INFORMATION

PROPERTY ADDRESS: 5128 W Marathon St Los Angeles, Ca 90038

OWNER(S) OF PROPERTY: CIP Jardinette Holding, LLC

OWNER(S) MAILING ADDRESS: 30012 Ovy Glenn Drive, #200 Laguna Niguel, Ca 92677

HOME TELEPHONE: WORK TELEPHONE: 949.363.7676

MOBILE TELEPHONE: ALTERNATE TELEPHONE:

OWNER(S) EMAIL: bob@cip-inc.com ALTERNATE EMAIL:

PROPERTY INFORMATION

Legal Description: TRACT: TR 3783 BLOCK: None LOT: 16 ARB: None

Assessor Identification Number (AIN): 5535 - 017 - 014 COUNCIL DISTRICT NO.: 13

PROPERTY PURCHASE DATE: 9/15/2016 MOST RECENT ASSESSED VALUE: \$6,425,000

OWNER OCCUPIED: YES NO USE: SINGLE-FAMILY DWELLING MULTI-FAMILY/ COMMERCIAL/ INDUSTRIAL

ADDRESSES FOR ALL OTHER PROPERTY OWNED WITHIN THE CITY OF LOS ANGELES ARE NOTED ON A SEPARATE SHEET OF PAPER, LABELED "ATTACHMENT E", AND SUBMITTED WITH THIS APPLICATION? YES NA

TAXES ON ALL PROPERTY OWNED WITHIN THE CITY OF LOS ANGELES ARE PAID TO DATE? YES NO

ARE THERE ANY OUTSTANDING ORDERS TO COMPLY FROM THE LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY OR THE LOS ANGELES HOUSING DEPARTMENT? YES NO

HISTORICAL SIGNIFICANCE

HISTORIC-CULTURAL MONUMENT (HCM)

HCM NUMBER: 390 HCM NAME: Jardinette Apartment

CONTRIBUTOR TO A HISTORIC PRESERVATION OVERLAY ZONE (HPOZ)

HPOZ NAME: HISTORIC PROPERTY NAME: Jardinette Apartments

ORIGINAL CONSTRUCTION DATE: 1929 ARCHITECT(S): Richard J. Neutra/Rudolf M. Schindler

ARCHITECTURAL STYLE: International

I AM (WE ARE) THE PRESENT OWNER(S) OF THE PROPERTY DESCRIBED ABOVE AND HEREBY APPLY FOR AN HISTORICAL PROPERTY CONTRACT.

OWNER SIGNATURE DATE 5-10-17

OWNER SIGNATURE DATE CIP JARDINETTE, LLC

PRINT NAME

PRINT NAME

EXHIBIT "A"

**Attachment E**

**5128 W. Marathon St. Los Angeles, Ca 90038**

101 S. Norton Ave.  
Los Angeles, Ca 90004

## REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 5128 W. Marathon St. Los Angeles, CA 90038

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance    Rehabilitation/Restoration    Completed    Proposed

Building Feature: Building Structure - AnalysisCost \$ 13,125 (round to nearest dollar)   Contract Year of Proposed Work Completion: \_\_\_\_\_Description of work: Engage structural engineer with historic preservation experience to inspect and evaluate foundation and make recommendations with an implementation schedule for future work

Maintenance    Rehabilitation/Restoration    Completed    Proposed

Building Feature: Building Structure - WaterproofingCost \$ 30,000 (round to nearest dollar)   Contract Year of Proposed Work Completion: 2018Description of work: Engage consultant with historic preservation experience to inspect and evaluate exterior + below grade concrete and make recommendations for waterproofing based on condition discovered.

Maintenance    Rehabilitation/Restoration    Completed    Proposed

Building Feature: Building Systems - SeismicCost \$ 700,000 (round to nearest dollar)   Contract Year of Proposed Work Completion: 2018Description of work: Perform voluntary Seismic Upgrade, to greatest extent feasible. Work can include anchoring wood floor diaphragm to concrete shell, re-sheathing wood floor diaphragm, fiberwrap reinforcing to exterior concrete wall (from inside), and foundation work.

Maintenance    Rehabilitation/Restoration    Completed    Proposed

Building Feature: Building Systems - ElectricalCost \$ 400,000 (round to nearest dollar)   Contract Year of Proposed Work Completion: 2018Description of work: Rehabilitate building electrical system, including new transformer, new wiring, switches, lighting, etc.

EXHIBIT "A"

## REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 5128 W. Marathon St. Los Angeles, CA 90038

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Building Systems - PlumbingCost \$ 400,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Rehabilitate building plumbing system, including new supply, waste, vent, gas lines.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Building Systems - MechanicalCost \$ 400,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Install new mechanical system, including new "mini-split" systems in each unit, new rooftop condenser units, and new ventilation system.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: RoofingCost \$ 12,500 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Patch and repair as required by MEP rehabilitation. Investigate and address location of any leaks, condition of drainage system, waterproofing, and flashing.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Interior Walls (plaster/drywall)Cost \$ 135,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Restore walls to original finish, including millwork (wall and base moulding)

EXHIBIT "A"

## REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 5128 W. Marathon St. Los Angeles, CA 90038

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: FlooringCost \$ 325,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Install period-appropriate flooring.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: WindowsCost \$ 900,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Repair, rehabilitation, or replacement, to greatest extent feasible, of steel casement windows / skylights.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Interior DoorsCost \$ 75,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Rehabilitate (or replace where needed) interior doors.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Exterior and Interior SurfacesCost \$ 350,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Paint interior and exterior of building.

EXHIBIT "A"

## REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 5128 W. Marathon St. Los Angeles, CA 90038

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Hardscape and LandscapeCost \$ 35,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Repair/Replace front walkway and sidewalks and install landscaping.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: BathroomsCost \$ 300,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Rehabilitate, to greatest extent feasible, original fixtures, accessories, and finishes. Ensure proper waterproofing throughout.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Fire Sprinkler SystemCost \$ 80,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Upgrade existing fire sprinkler system to comply with current code, enabling the opening of stairways to restore original spatial configuration.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: KitchensCost \$ 300,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018Description of work: Restore original cabinets / spatial layout, to greatest extent feasible. Install new cabinets where required. Install new appliances and plumbing fixtures.

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 5128 W. Marathon St. Los Angeles, CA 90038

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Lobby

Cost \$ 100,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018

Description of work: Restore Lobby to original spatial configuration, to greatest extent feasible, pending fire department approval (opening stair shaft enclosure).

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: Fire Escapes

Cost \$ 25,000 (round to nearest dollar)    Contract Year of Proposed Work Completion: 2018

Description of work: Rehabilitate existing fire escapes to greatest extent feasible.

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: \_\_\_\_\_

Cost \$ \_\_\_\_\_ (round to nearest dollar)    Contract Year of Proposed Work Completion: \_\_\_\_\_

Description of work: \_\_\_\_\_

Maintenance     Rehabilitation/Restoration     Completed     Proposed

Building Feature: \_\_\_\_\_

Cost \$ \_\_\_\_\_ (round to nearest dollar)    Contract Year of Proposed Work Completion: \_\_\_\_\_

Description of work: \_\_\_\_\_

EXHIBIT "A"

**MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS****Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Property Maintenance**

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Historical Property Contracts Manager.

**Conditions**

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

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# Historic Structure Report

## Jardinette Apartments



Prepared for: CIP Jardinette LLC  
Bob Clippinger  
30012 Ivy Glenn Drive #200  
Laguna Niguel CA 92677

Prepared by: **modern resources research rehabilitation restoration**  
Barbara Lamprecht Matt Dillhoefer Laura Orozco  
550 E. Jackson St.  
Pasadena CA 91104

Date: May 15, 2017

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## 2.0 Introduction: Project Purpose, Participants, and Methodology

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### 2.1 Purpose

It is essential that a Historic Structure Report (HSR) be prepared in advance of any anticipated rehabilitation, restoration or major maintenance work on a property that has been identified as a historic resource and exceeds valuation baselines established for the Mills Act Contract Program, City of Los Angeles. As plans for the rehabilitation of a resource are designed and implemented, this HSR will serve as a road map to the resource, its evolution and changes over time, and its significant features, spaces, and materials, known as “character-defining features.” The HSR also documents the condition of character-defining features and makes recommendations for appropriate treatment strategies and approaches.

This Historic Structure Report (HSR) was prepared for CIP Jardinette, LLC, in support of the future rehabilitation of the Jardinette Apartments, 5128 Marathon Street in Hollywood, Los Angeles. Constructed in 1928, the property appears to be the nation’s earliest examples of an International Style multi-family dwelling. The Apartments is also a masterwork by renowned architects Richard J. Neutra with the collaboration of fellow Viennese émigré and Modern master Rudolph M. Schindler.

In the case of the Jardinette Apartments the HSR is even more critical: the property’s importance in the canon of Modern architecture cannot be underestimated. The Apartments were listed in the National Register of Historic Places in 1986; designated as Historic-Cultural Monument No. 390, City of Los Angeles, in 1988; and are listed in *SurveyLA’s* Los Angeles Historic Resources Inventory. Despite some interior alterations, since these applications were prepared 30 years ago, the property retains integrity and conveys its historic significance.

This HSR follows the professional standards and practices promulgated by National Park Service (NPS), in particular as described in NPS *Preservation Brief 43: The Preparation and Use of Historic Structure Reports*. It states:

*“The historic structure report is an optimal first phase of historic preservation efforts for a significant building, preceding design and implementation of its preservation, rehabilitation, restoration, or reconstruction. If work proceeds without a historic structure report as a guide, physical evidence important to understanding the history and construction of the building may be destroyed. The preparation of a report prior to initiation of work provides documentation for future researchers. Even more importantly, prior preparation of a report helps ensure that the history, significance, and condition of the property are thoroughly understood and taken into consideration in the selection of an appropriate treatment and in the development of work recommendations. A well prepared historic structure report is an invaluable preservation guide.”<sup>1</sup>*

---

<sup>1</sup> Deborah Slaton, “The Preservation and Use of Historic Structure Reports” (Preservation modern resources research restoration and rehabilitation barbara lamprecht matthew dillhoefer laura orozco Historic Structure Report Jardinette Apartments May 2017

## 2.0 Introduction: Project Purpose, Participants, and Methodology

---

In this spirit, this HSR provides a point-of-departure for planning and managing the rehabilitation and upgrades to the Jardinette Apartments. This HSR is intended for the use of the owner, the historic architects, the City of Los Angeles Office of Historic Resources staff, and those engineers, contractors and other personnel performing any restoration, rehabilitation and/or maintenance work.

### 2.2 Recommendation of Treatment Approach

There are four treatment Standards established by the National Park Service: preservation, rehabilitation, restoration, and reconstruction. This HSR recommends **Rehabilitation** as the treatment approach for the Jardinette Apartments. With rehabilitation, there is an opportunity to halt continuing deterioration, reinstate lost integrity, address the owner's goals for new renters, and incorporate code upgrades while protecting the building's existing historic features. The HSR is the first step in this process. It provides a compilation of information to serve as a guide for future decision-making, including documentation of the history and development of the Apartments, an assessment of existing conditions, identification of character-defining features, and a definition of appropriate approaches to the treatment of rehabilitation to protect and maintain the historic significance of the resource.

The HSR contains the following information:

- Introduction and Methodology
- Site, building, and materials descriptions
- Construction chronology, permit records, and development history
- Identification of character-defining features and spaces
- Inventory of Windows
- Plans identifying locations and type of spatial and feature alterations
- Inventory of Individual Units
- Historic background and significance
- Recommendations for Treatment
- Appendices: participant resumes, building permits, Assessor records,

### 2.3 Mills Act Historical Property Contract Program

It is understood that the owner of the Jardinette Apartments is interested in pursuing economic incentives, such as a possible Mills Act Historical Property Contract, to offset the costs of rehabilitation, which are significant. This HSR serves as an initial necessary step for a possible Mills Act Historical Property Contract.

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Brief 43), Technical Preservation Services, National Park Service, U.S. Department of the Interior.

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Enabled by California Government Code Section 50281.1, the Mills Act Historical Property Contract program is one of the most effective local incentives programs available in the state for owners of historic buildings. By entering into a formal agreement with the City of Los Angeles, property owners with Mills Act Contracts may realize permanent property tax savings intended for restoration, rehabilitation, and/or maintenance of their buildings. While eligibility is limited to a property tax assessment value of not more than \$3,000,000 for multifamily residential buildings, the Cultural Heritage Commission may grant limitation exemptions in exceptional circumstances.

Properties requesting valuation exemption must meet the following criteria:

1. Granting the exemption will assist in the preservation of a structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, substantial alteration or relocation, and:
2. The structure is an exceptional Historic-Cultural Monument or a Contributing Structure to an HPOZ, and:
3. Granting the exemption will not cause the annual cumulative loss of property tax revenue to the City to exceed \$2,000,000.

In addition, a HSR is required to provide evidence that the property meets the exemption criteria and to substantiate the circumstances for the exemption.

As a designated HCM, the Jardinette Apartments is eligible for the Mills Act Historical Property Contract Program. Because the property's tax assessment value of \$6,425,000 exceeds the City's limit of \$3,000,000, this HSR is required. Furthermore, with an annual property tax of approximately \$69,000, the exemption will not cause a cumulative tax loss to the City. In operation virtually since it opened 88 years ago, this sustained use is projected to continue under new ownership and in a newly rehabilitated building, contributing to the City's valuable housing stock.

### 2.4 Project Participants

Barbara Lamprecht, M.Arch., Ph.D., is the author of three books on Richard Neutra. She has acted as the historical consultant for award-winning rehabilitations and historic designations for early and mid-century Modern properties. Preservation architect Matthew G. Dillhoefer M. Arch., is Principal, MGDEnvironmental Design, and has special expertise in preservation law and incentives. Debi Howell-Ardila, M. Historic Preservation and Architectural History, USC, is a specialist in preservation regulation, serving on the South Pasadena Cultural Heritage Commission. She also has special expertise in Modern architecture and architectural pedagogy, and was a principal contributor to journals and books related to the architecture of the USC program as it developed its postwar and mid-century

## 2.0 Introduction: Project Purpose, Participants, and Methodology

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reputation for Modern design. All meet the National Park Services requirements for professional qualifications (36 CFR Part 61) for qualified historical architect and/or qualified architectural historian. Laura Orozco completed her M.Arch. at Woodbury University. Full resumes of each participant are included as appendices.

### 2.5 Methodology

The Jardinette Apartments HSR drew on extensive primary- and secondary-source research as well as intensive site inspections and documentation for the spaces of the exterior and interior of the property. Archives visited in the course of research included the Richard and Dion Neutra Papers, Special Collections, Charles E. Young Research Library, UCLA; the Rudolf Schindler Archives, Art, Design, & Architecture Museum, UCSB; the Julius Schulman Collection, Getty Research Institute; and the Richard Neutra Papers, ENV Archives-Special Collections, California State Polytechnic University, Pomona. Building-specific research included examinations of permits and records on file with the City of Los Angeles Department of Building and Safety and the Los Angeles County Tax Assessor. Sanborn Fire Insurance Maps; previous designations and surveys; available historic and contemporary photographs; domestic and international journals, books, and other publications; and the archives of the *Los Angeles Times* were consulted and incorporated.

Extensive site inspections and documentation, exterior and interior, were conducted between June 11, 2016, and March 30, 2017. This work included recordation of all original character-defining features and, based on original drawings and historic photographs, an assessment of what had been altered for the building shell, the public spaces, windows, and the 43 individual apartments. Photographs of features, spatial relationships, materials, windows, and finishes were taken. The plans held by the two principal archives holding the papers of Neutra and Schindler were consulted; this was especially helpful for the apartments given that no archive or contemporaneous publications held any photographs of the interior hallways or apartments.

#### **The following surveys and prior designations were consulted:**

1. Historic Sites Surveys, Seaver Center for Western History Research, Natural History Museum of Los Angeles County, 1974 – 1996. Survey conducted by Tom Sitton, former Head of History Department, Natural History Museum of Los Angeles County.
2. National Register of Historic Places Application, “The Jardinette Apartments,” prepared by Roger G. Hathaway and Richard Starzak. Entered Dec. 29, 1986.

## 2.0 Introduction: Project Purpose, Participants, and Methodology

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*At that time, the property met Criterion C for National Register designation because it embodied the "distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction," as an excellent, rare, and early example of International Style architecture, and because it was also associated with the "notable work of a master builder, designer, or architect," master architect Richard J. Neutra in collaboration with master architect Rudolf M. Schindler.*

*This HSR, conducted in 2016, has determined that the resource has retained its integrity and thus concurs with the designation.*

3. Historic-Cultural Monument Application. Prepared by the Los Angeles Conservancy. Dated May 8, 1986. HCM # 390.

*This HSR, conducted in 2016-2017, has determined that the resource has retained its integrity and thus concurs with the HCM status.*

4. Historic Places LA - Los Angeles Historic Resources Inventory.  
<http://www.historicplacesla.org/reports/fa62920b-6394-422a-810d-5d59290ea385>

### 2.6 Regulatory Setting

As both designated as a Historic-Cultural Monument, City of Los Angeles, and listed in the National Register of Historic Places, any treatment of the JardINETTE Apartments and all Recommendations presented in this HSR are designed to facilitate compliance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Secretary's Standards with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (37 CFR 68.)*

The *Secretary's Standards* and associated Guidelines are the recognized guidelines for managing change to historically significant properties. Generally speaking, the goal of the *Secretary's Standards* is to outline treatment approaches that allow for the retention of and/or sensitive changes to the distinctive materials and features that lend a historical resource its significance. These distinctive materials and features are commonly referred to as "character-defining features."

The *Secretary's Standards* include strategies for preserving, maintaining, repairing, and replacing character-defining features, which can include historic materials, finishes, architectural details, spaces, and characteristics of setting, among other features. The *Secretary's Standards* outline common-sense approaches that allow for the retention of and/or sensitive changes to the distinctive features that lend a historical resource its significance.

The following lists the *Secretary's Standards for Rehabilitation*, which is the treatment

## 2.0 Introduction: Project Purpose, Participants, and Methodology

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approach that applies to the Jardinette Apartments:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. Removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical/physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected/preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## 2.0 Introduction: Project Purpose, Participants, and Methodology

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This HSR is also presented in the context of the following State of California codes:

The California Environmental Quality Act (CEQA) is in the California Code of Regulations, Title 14, Division 6, Chapter 3.

CEQA Guidelines Section 15064.5, California Code of Regulations, per above.

CEQA Section 21084.1 of the California Public Resource Code.

State of California State Historical Building Code.

## 3.0 Historic Significance

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## HISTORY AND SIGNIFICANCE OF PROPERTY

### 3.0 Introduction

The purpose of this Evaluation of Significance is to confirm the findings of the National Register of Historic Places (NRHP) nomination for listing, 1986, and the 1988 designation as Historic-Cultural Monument (HCM) 390, City of Los Angeles.

When these applications were prepared, the National Park Service had not yet established the criteria for *Significance* or introduced the concept of material *Integrity*. Given the NPS's contemporary broader and deeper context for qualifying potential resources, it is important to reconsider whether the property remains significant and conveys its historic significance under Criterion C, architecture.

While *Integrity* is addressed in the section addressing "Description, Historical Development, and Condition Assessment," *Significance* is addressed here. Furthermore, based on findings never presented before, this HSR recasts the role of master architect Rudolf M. Schindler (1887 – 1954) as having a far more collaborative role in the design of the Jardinette Apartments, typically celebrated as Richard J. Neutra's (1892 – 1970) first major U.S. commission.

### Historic Context

Since its completion, the Jardinette Apartments have been acknowledged as an important building in the history of international Modern architecture.

As the HCM application notes, "The Jardinette apartment block is one of the very most important modern buildings in Los Angeles ... the unadorned white box became the supreme form of architectural expression for the succeeding half century."<sup>1</sup> *Landmarks of Los Angeles* states that the Jardinette Apartments was the "first International Style multi-family residence to be built in the United States ... Architects from the modern school consider this to be among seminal pieces of modern American architecture."<sup>2</sup>

The book *The Modern Flat*, published in London in 1937, listed 50 apartment buildings determined to be "modern." Except for one, all were designed by twentieth-century Modernism's familiar titans, and all were startling foreigners injected into their traditional urban surroundings. All these modern structures were located in Europe, where apartment blocks had been common since the Romans.

That sole exception was 6,000 miles away in the untamed uncivilized outpost of Los Angeles: the Jardinette Apartments. Notably, the building is also exceptional in its date of completion of 1928. Almost ten years later, when *The Modern Flat* was published, it was *still* the nation's only apartment building that was "Modern" enough to warrant inclusion in the book. By the time the economy revived after the depressed 1930s, the International Style's heyday was over.

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<sup>1</sup> D. Miller, C. Johnson, for "Hollywood Revitalization," Historic-Cultural Monument Application, dated "5/80."

<sup>2</sup> Patrick McGrew, *Landmarks of Los Angeles* (New York: Harry N. Abrams, 1994.)

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The history of the Jardinette parallels the dreams of a nascent Hollywood, where a new but rapidly growing film industry was already generating new housing complexes such as the Garden Court Apartments, an ornate Italian Renaissance Revival block constructed in 1916. New York developer Joseph H. Miller grasped this new niche. On Nov. 11, 1927, the *Los Angeles Times* reported that the “capitalist and builder” had embarked on a building program of seven buildings between five and 13 stories that exceeded \$5,000,000. Miller conceived of a “veritable empire of

luxurious Hollywood apartment houses”<sup>3</sup> for would-be movie stars and film industry workers; he received proposals from at least two architecture firms. The first set of schematic designs was designed in a traditional revival style very popular at the time: regal, sedate, and tastefully ornamented.<sup>4</sup> However, Miller was clearly after something more dramatic. He awarded the commission for three luxury apartment building to a pair of young relatively unknown designers, Neutra and Rudolf M. Schindler (1887 – 1953.) They were entrusted with his outsize ambition for populating all of Hollywood with ultra-modern apartment buildings. Miller may have gotten exactly what he expected -- or considerably more than he bargained for. Even to today’s eye the Jardinette Apartments are startlingly severe with its lack of ornament, flat roof, and long planes alternating with banks of regular lines of steel-framed windows. Completed in 1928, Miller

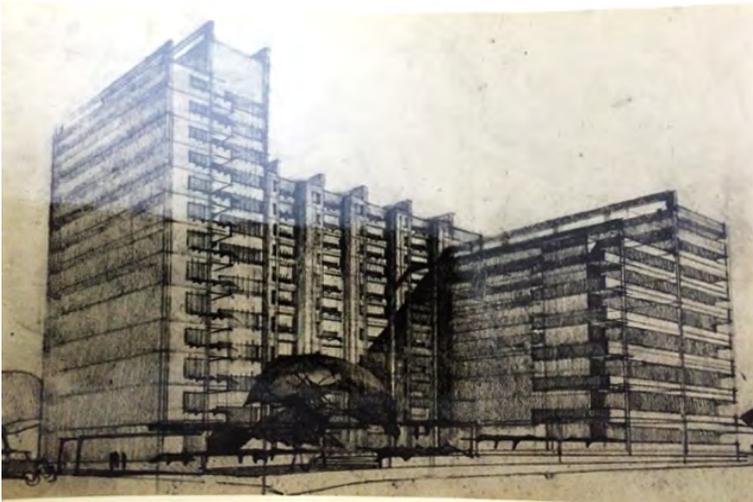


Figure 23. Unnamed apartment project for J.H. Miller designed by AGIC. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

went bankrupt soon after. He fled Los Angeles, leaving behind only the smallest example, the Jardinette, as the sole realization of his empire of “the most modern” apartments. ACIG was not paid, his widow, the late Mrs. Dione Neutra said.

While it was a stark contrast to anything Southern California had ever seen, such expressions of early Modernism were well underway throughout Europe. These seminal projects were as varied in appearance as their architects, ranging from orthodox examples of the International Style to exuberant examples of Expressionism. Mies van der Rohe had introduced his astonishing theoretical projects, the Friedrichstrasse Office Building and Glass Skyscraper of 1919-21. Erich Mendelsohn, the world’s most successful architect between the two world wars and Neutra’s early employer, had completed the flamboyant Einstein Tower, Potsdam, and the Hermann Hat Factory, Luckenwalde, both 1921. Mendelsohn’s large commercial buildings in Germany included the headquarters of the *Berliner Tageblatt*, Berlin, 1922, for which Neutra served as on-site architect. Designed by Walter Gropius with Adolf Meyer, the Dessau Bauhaus—the architecture school that became history’s most successful broadcaster of Modernism—was completed in 1925. Designed by Van der Vlugt and Brinkman, the Van Nelle Factory, Rotterdam,

<sup>3</sup> Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture* (New York and Oxford: Oxford University Press, 1982), 73.

<sup>4</sup> Richard and Dion Neutra Papers, Charles E. Young Research Library, UCLA, Special Collections, Collection 1179.

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1928, was one of Europe's key examples of the International Style; Le Corbusier's influential manifesto, *Five Points of Architecture*, was being disseminated throughout Europe, and Gerrit Rietveld's experiment in reconceiving the point, line, and plane in domestic architecture, the Schröder-Rietveld House, Utrecht, was completed in 1924. Here in the United States, Wright's destruction of "the box" was embodied in the Robie House, Oak Park, Illinois, 1909. Wright's projects in the two-volume monograph known as the *Ausgeführte Bauten und Entwürfe von Frank Lloyd Wright* (known as the *Wasmuth Portfolios*, 1910), profoundly affected Neutra and Schindler, uniting the two in their quest to get to America as well as their life's work.

Although confined to apartment buildings alone, *The Modern Flat* set forth elements supposedly essential for any Modern multi-family project. First, a basic assumption was that as urban life increasingly proffered opportunities outside the home, a dweller needed less space for a home. Paths of travel were decreased with careful attention to storage opportunities. The minimized kitchen was described as a "machine for the preparation of meals," with walking reduced to the minimum. The role of daylight was emphasized for its health-giving benefits, and "borrowed light" was highlighted as a means to drive light's benefits deeper into a building;

All the elements set forth in *The Modern Flat* are present in the Jardinette, where Murphy beds ("Klappbett" in German) were also used in the smaller flats to conserve floor space. For example, strategically harnessing "borrowed light" is present in the form of translucent or clear glass for wall shelving in walls that separated the day-lit bathroom and the adjacent windowless dressing room and closet space; likewise, the upper inset pane in the narrow, plain bathroom door also contained translucent glass, virtually doubling the amount of natural light in the "Dressing Room," and modestly decreasing the energy required to illuminate this space.

The Jardinette proclaims its European heritage in many other ways, including its narrow wooden doors throughout each apartment. Its Early Modern character is expressed in the lack of ornament, repetition of elements, the use of prefabricated components, the use of asymmetry, and its strong horizontality introduced at every scale. These were all tenets expressed virtually as laws in the "bible" of the new approach, "The International Style," by Henry-Russell Hitchcock and Philip Johnson. The project embodies many signature Neutra strategies, especially the introduction of Nature into every floor of the building; the skilled manipulation of spatial relationships on behalf of fluid and economical ergonomic function; the use of texture to animate a surface, here concrete; the stretching of planes to terminate as balconies; in the abundant day lighting introduced, invariably complemented by a window or two that permitted cross-ventilation as well as another source of day-lighting to animate an interior.

Like the Jardinette Apartments, the Lovell Health House, Los Angeles, 1929, shares many of the same signature strategies noted above. Neutra introduced them in these two apparently quite different projects: one a multi-residential reinforced concrete apartment block for movie industry workers in Hollywood; the other an exclusive steel-framed custom house cantilevered off a hillside.

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These are very much strategies that Neutra introduced here and which became trademarks of his subsequent work. As noted architectural historian Pierluigi Serraino has observed, every available square inch was employed to use space wisely.<sup>5</sup> The individual units embody the ideals of the Modern Movement. The 43 units are each one of eight types [See the Individual Unit Inventory] that are different according to whether they are studio units (primarily located at the center of the building) or one-bedroom (primarily located at the corners of the building.) Prefabricated or standard components are variously used to adapt to slightly different settings, here individual units. Through tall spaces and by introducing generous amounts of daylighting, the perception of space is manipulated to both enhance a sense of spaciousness and to make daily life more functional. The use of frosted glass for the upper panel of the bathroom door and the adjacent glass-back shelving between the bathroom and the dressing room permits daylight into an otherwise dark place, a technique used in Early Modern factory floors to improve worker productivity and safety given the greater visibility of one's surroundings.

**Existenzminimum**

All these strategies are related to the concept of *existenzminimum*, an early 20<sup>th</sup> century European architectural philosophy physically expressed here in the building. Literally, the German phrase means “minimum existence,” but more generally it described an ideal scientific rationale for designing small, highly functional apartment units in Europe after the devastation of World War I. CIAM, the *Congrès internationaux d'architecture moderne*, or the International Congress of Modern Architecture, focused on responding to this need. The design goals of the 1929 topic, *existenzminimum*, were to show how Modern design could further low-cost, even frugal housing that nonetheless dignified each inhabitant with access to green space, light, and fresh air. The result was the world-famous “Siedlungen,” or settlements, of Vienna, Frankfurt, and Stuttgart of the late 1920s and ‘30s. Neutra, CIAM’s new American representative, did not attend but he did contribute a paper that included the Jardinette Apartment as one exemplary approach to solving the housing crisis; it can be argued that the Jardinette is the American version of the Siedlungen, here funded by a private developer for whom “ultra-Modern” was a marketing tool for profit and status rather than a medium for improving desperate housing needs of one’s fellow human being, as Modernism was espoused in Europe.

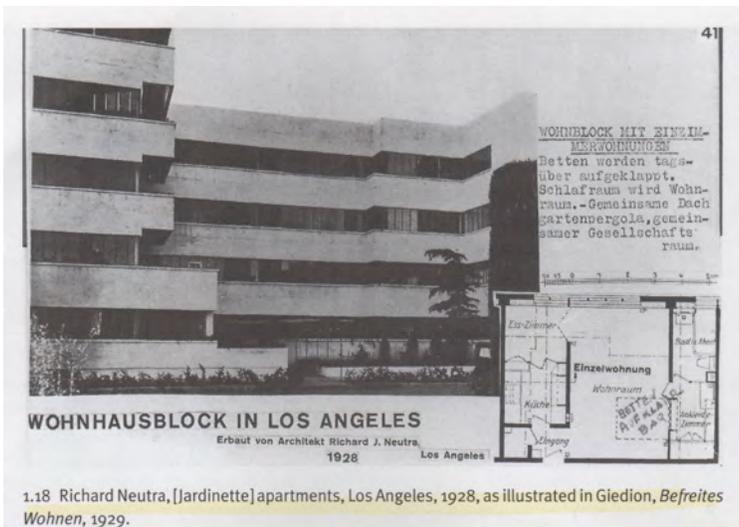


Figure 24. Jardinette Apartments in *Befreites Wohnen*, 1929, highlighting role of “Klappbett” or Murphy beds, permitting “Schlafraum wird Wohnraum,” or “the bedroom becomes the living room” when the “Bett” becomes “aufgeklappt,” or shut up. Also notes is the rooftop garden with pergola and a community room/lounge.

<sup>5</sup> Site visit by author and Pierluigi Serraino, author of *Modernism Rediscovered*, 18 Sept. 2016.

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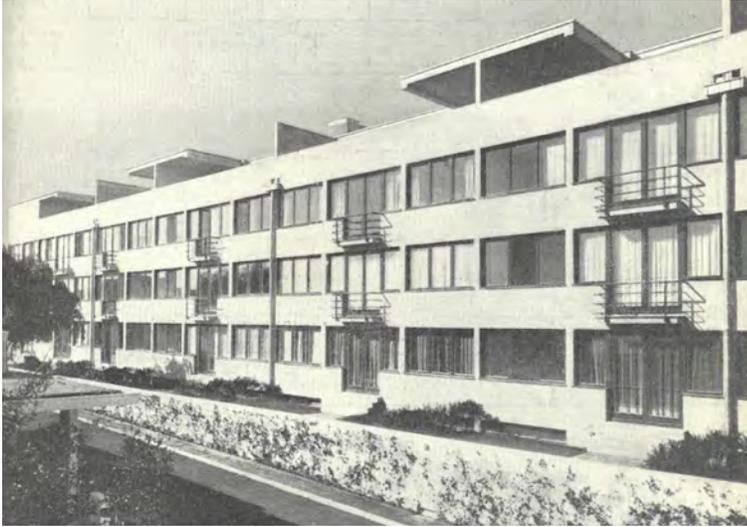


Figure 25. Weissenhof Siedlungen, Stuttgart, 1927, Mies van der Rohe. Three stories topped with roof gardens; note bands of ribbon windows alternating with bands of white-painted stucco. From *The Modern Flat*, 1930.

### **Neutra, Schindler, and Reinforced Concrete**<sup>6</sup>

While still new to America, by the mid-1920s Schindler and Neutra each had independent experience with reinforced concrete. Their intertwined history with this important material is part of the early history of built Los Angeles.

Both Schindler and Neutra shared similar Modernist ideals as well as a similar basic training in architecture that included structural engineering. Both studied at Vienna's Technische Hochschule, a polytechnic university that emphasized practical, robust, architectural skills. They both were profoundly influenced by Frank Lloyd Wright's *Wasmuth Portfolios*. Published in 1910, the publication of Wright's plans and drawings, all "breaking the box" and reaching into nature and landscape, changed architectural history. Both men determined to work for him.

Schindler arrived in the U.S. in March 1914. He headed immediately for Chicago, where a talented group of architects and engineers, many of them German immigrants, were designing the world's first steel-framed skyscrapers after the Great Fire in 1871 instantly catalyzed explosive growth. He began working for Wright in February 1918 in his studio in Spring Green, Wisconsin. At Wright's request, in December 1920 Schindler left for Los Angeles to supervise the construction of the Aline Barnsdall House ("Hollyhock House") in Hollywood while Wright was overseeing work in Japan.

Notably, Wright had chosen the Homer Laughlin Building, 317 S. Broadway, as their West Coast base for a growing body of Los Angeles commissions. The Laughlin was an important building in the City's history because its 1905 "fire-proof"

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<sup>6</sup> Judith Sheine, *R. M. Schindler*, New York: Phaidon, 2001, 29.

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addition of reinforced concrete was reportedly the first of its type in Los Angeles.<sup>7</sup> Further connecting Schindler to early reinforced concrete innovation, Wright's office in Room 522 was adjacent to the offices, Rooms 528 – 34, of architect Harrison Albright, the architect who had designed the experimental 1905 addition. Albright was one of the most prominent advocates of reinforced concrete construction.<sup>8</sup> City directories confirm that the Wrights occupied the Laughlin Building office from 1921 to 1924; Schindler left Wright's employ in 1922.

It is reasonable to assume that Schindler would have worked in this office, surrounded by some of the Southland's most zealous advocates of reinforced concrete as a brand new building material. His expertise on reinforced concrete was also first hand as a laborer and contractor: his own wood, glass, and concrete house, 1922 at 835 Kings Road, West Hollywood, was enhanced with the tilt-up concrete techniques he learned from American architect Irving Gill (1870 – 1936.) Gill's iconic 1916 Dodge House of reinforced concrete, considered by some to be the first Modern house in the world, was just up the street at 850 Kings Road.

Schindler's next two projects, the 12-unit Pueblo Ribera apartment complex, La Jolla, 1925, and his masterpiece, the Lovell Beach House, Newport Beach, 1926, were both designed with reinforced concrete as the structural frame.

By contrast, in the early 1920s Neutra was still in Europe; by 1922 he was working for the prolific, successful German architect Erich Mendelsohn and involved with the design of striking reinforced concrete buildings such as Seidenhaus Weichmann, Gleiwitz, 1922, or the renovation of the headquarters for the newspaper *Berliner Tageblatt* headquarters, Berlin, completed the next year. It is clear that Mendelsohn was enamored by reinforced concrete, and that he would have communicated his beliefs to Neutra, his chief project architects. Mendelsohn wrote,

*... steel in combination with concrete, reinforced concrete, is the building material for formal expression, for the new style...<sup>9</sup>*

Neutra was anxious to leave Europe, whatever Mendelsohn's faith in reinforced concrete. Hoping to work for Wright, Neutra arrived in New York in 1923. He soon left to work for the famous turn-of-the-century Chicago firm of Holabird and Roche, detailing skyscrapers and documenting the buildings that became the basis for his first book, *Wie Baut Amerika* [How America Builds.] The book also included many works by Irving Gill, including the Lewis Courts, Sierra Madre, 1912, one-story reinforced concrete cottages framed around a central landscaped garden.<sup>10</sup>

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<sup>7</sup> The very first documented record of a reinforced concrete building in California is the campanile for Mills College, built in 1904 and designed by architect Julia Morgan. The Homer Laughlin Building's ground floor is now the home of the Grand Central Market. T

<sup>8</sup> See "Irving Gill, Homer Laughlin and the Beginnings of Modern Architecture in Los Angeles," John Crosse, *Southern California Architectural History*, <http://socialarchhistory.blogspot.com/2015/12/irving-gill-homer-laughlin-and.html>

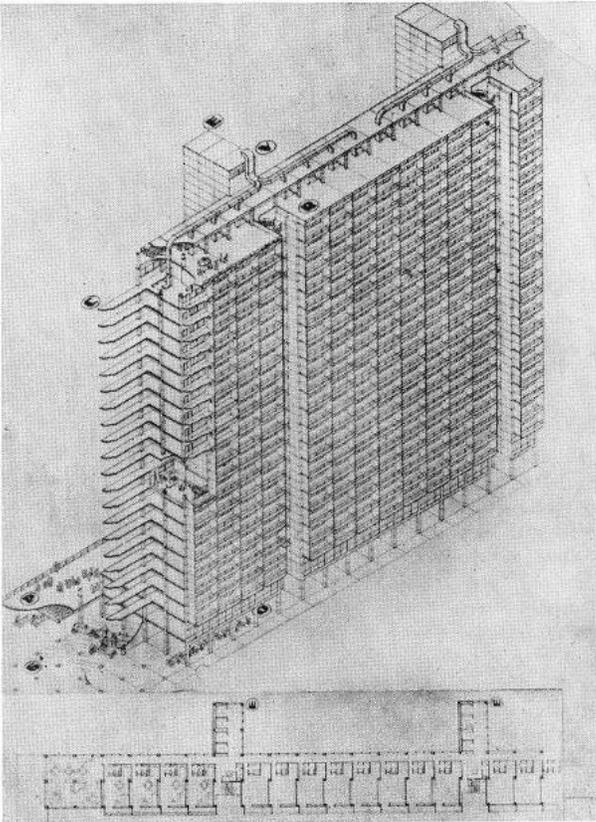
<sup>9</sup> Kathleen James, "Expressionism, Relativity, and the Einstein Tower," *Journal of the Society of Architectural Historians*, Vol. 53, No. 4 (Dec., 1994), pp. 392 – 413.

<sup>10</sup> Architectural historian Crosse has suggested that Gill might have come up to Los Angeles from La Jolla to witness the strength tests for this 1905 addition that were ordered by a nervous Building Department as reported in the Los Angeles Times (see above). Albright's lecture on reinforced

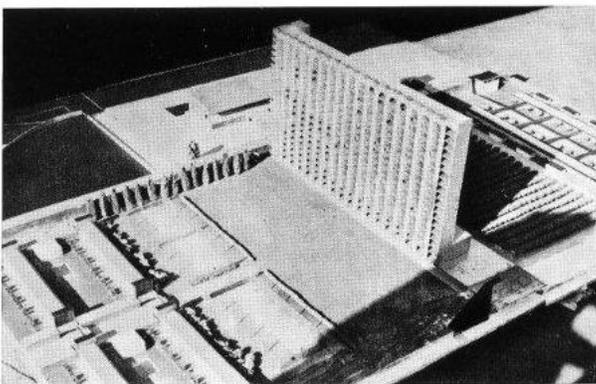
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The Neutras came to California in February 1925 at Schindler's invitation. During their five-year stay with Rudolf and Pauline, the ambitious Neutra initiated a partnership with his Viennese colleague that he named the "Architectural Group for Industry and Commerce" (AGIC) to secure larger commercial commissions. The

unwieldy title was an uneasy fit for this venture, especially for Schindler, whose approach to architecture was profoundly different to Neutra's. Schindler intended to explore what he termed "space architecture," arguing that the most important "material" of the twentieth century was space itself. His artful experiments were largely manifest in unique single-family dwellings that always recalled, however faintly, his earliest experiences of camping out in Yosemite and the earthy lessons of native dwellings Schindler learned as he explored America during his 1919 move from Wright's employment in Oak Park, Chicago, to Los Angeles. Schindler's interpretation of Modernism and his spatial explorations is embodied the house he and Pauline designed together, the Schindler/Chase Double House, Los Angeles, 1922. The pinwheel-shaped building was made of reinforced panels of concrete, glass, and rough redwood. Upending conventional mores in its relationship to the outdoors, construction methods, and internal spatial divisions, the MAK-Schindler House, as it is now known, is considered one of the century's most radical achievements in residential Modernism.



Isometric drawing.



Air view.

By contrast, Neutra—ever the questing urbanite—sought to win clients and commissions for a wide range of building types that would exploit the century's new materials, especially steel framing, reinforced concrete, and large plate glass. His objective was to develop residential building systems that were based on industrial prefabrication methods and standardized components that were yet also capable of customization on behalf of the common man, the demographic for the social idealism and certainly represented at the Jardinette Apartments. Given Neutra's substantial and recent commercial experience while employed with Holabird and Roche and his earlier tenure with Mendelsohn, this was indeed a reasonable goal. Neutra designed hypothetical skyscrapers in his "Rush City, Reformed!" series of the 1920s; other unbuilt projects included the Beach Apartments, 1926.

As "The Architectural Group for Industry and Commerce" (AGIC) Schindler and Neutra teamed up to design an entry for a competition in 1926 for the new League of Nations building to be

Figure 26. Beach Apartments, Richard Neutra, 1926. Unbuilt. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

concrete to the Southern California Chapter of the American Institute of Architects shortly after the Laughlin addition's completion was also likely met with great interest by Gill but with stiff resistance from much of the architectural and building contractor establishment. "Hurl Bricks at Concrete: Sponsor for Hard Stuff Makes Weighty Defense," *Los Angeles Times*, December 13, 1905, p. II-14. "Irving Gill ..." Crosse.

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built in Geneva. While the design didn't win, it was well publicized. The League competition has often been highlighted as one of the few shining moments in a short-lived collaboration that foundered when Schindler's name was not included in the entry. However, it can be argued that the Jardinette Apartments is an equally compelling example of this alliance, and moreover was actually realized.



Figure 27. The Jardinette Apartments were used to market a course taught by Richard Neutra designing modern architecture. Photos by Williard D. Morgan. In *Richard Neutra: Promise and Fulfillment 1919 – 1932* by (Mrs.) Dione Neutra.

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Notably, many of the elements and strategies present here, such as the stretching of horizontal planes (the balconies), or the subtle intersection and overlapping of volumes and planes, are common to both Neutra and Schindler independently. The Hollywood project seems to truly embody a singular synthesis of a shared design approach evidenced by their archives.

It can be conjectured that preliminary designs, more likely attributed to Schindler in their more elaborate layers of planes and projecting volumes, were tempered by Neutra; in any case the as-built condition of the building is more spare and austere.

No evidence was obtained that indicates Schindler was displeased that Neutra's name is largely affiliated with the design of the Jardinette, suggesting this was always more Neutra's project, whatever the similarities to certain projects in Schindler's canon and his obvious involvement. Principal Neutra protégés such as Harwell Hamilton Harris and Gregory Ain, who both saw the project soon after completion and worked with Neutra in the 1920s, both acknowledge him as architect. Neutra biographer and architectural historian Thomas S. Hines writes that the Jardinette and most of Miller's apartment house project were primarily Neutra's work. Historian John Crosse suggests that Schindler's skills as a structural engineer and his expertise in reinforced concrete might have been especially put to use on this project. Certainly Neutra wrote extensively on the project, as an unpublished manifesto on apartments in his UCLA archives demonstrates:

*"The entire planning of these apartment houses ... are determined by the following conditions: lack of servants, the desire of persons ...to move freely, even to have homes in several parts of the county, finally the resemblance to club life, which is held in very high esteem here. To that one must join the American shyness of financial investments not easily realizable, represented in the construction of the individual house. ... The construction of apartment houses in the U.S. forms the object of the most advanced research and experiment in housing ..."*

In contrasting the single-family home owner to his prototypical apartment dweller, he writes:

*"Quite differently [is] the apartment dweller, with his five suitcases quickly packed and easily navigated to a new and luring [sic] haven. He is smarter, he is more progressive, he is more fashionable, he has a wider comparative experience. He constitutes the avant garde of dwelling discrimination."*

*"New architecture, new color harmonies, new illumination, new window enjoyment, glass-mindedness, cleaner and cleanable surfaces, attractively simplified furniture, delightful fabrics and textures, and a host of service gadgets. Can all these good things be caught into the*

JARDINETTE APARTMENTS  
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*apartment of the post-depression period?”<sup>11</sup>*

Arguably, Neutra’s profile of the “new” apartment dweller the year before the Great Depression started sounds a lot like today’s apartment dweller.

Neutra describes one single unit thus:

**“AN APARTMENT FOR MATRIMONIAL START**

<b>Total floor area</b>	<b>500 sq. ft.</b>
<b>Kitchen and dining bay</b>	<b>115 sq. ft.</b>
<b>Living and sleeping room</b>	<b>275 sq. ft.</b>
<b>Dressing room and folding bed</b>	<b>50 sq. ft.</b>
<b>Bath and w.c.</b>	<b>50 sq. ft.</b>
<b>Closet and shelf compartment</b>	<b>16 sq. ft.</b>
<b>Delivery closet accessible from hall</b>	<b>3 sq. ft.</b>

*Total cost: 32 cents per cubic foot”*

The “Folding Bed,” “Das Klappbett,” the “Murphy Bed”



In the list above, Neutra refers to a “folding bed.” The Jardinette is highly unusual in retaining many of the doors and their openings for such beds, which “folded up” into a closet and were hidden by an ordinary door or pair of doors. While custom folding beds had been in use in previous centuries, the “Murphy Disappearing Bed” became popular after 1911, when William A. Murphy patented his invention, apparently devised to entertain his future bride while maintaining propriety. During the 1920s and ‘30s, the design became popular due to the rise of smaller houses, a depressed economy, and a housing shortage. Developers soon advertised the beds as selling points in marketing their apartments. The Murphy bed was a perfect vehicle for Neutra’s own principles; throughout his career, he advocated “doubling square footage” by layering functions over time.

Murphy beds were either full-size, stored in shallow closets with French doors or a wide twin-size, accessed by a 42” wide door.

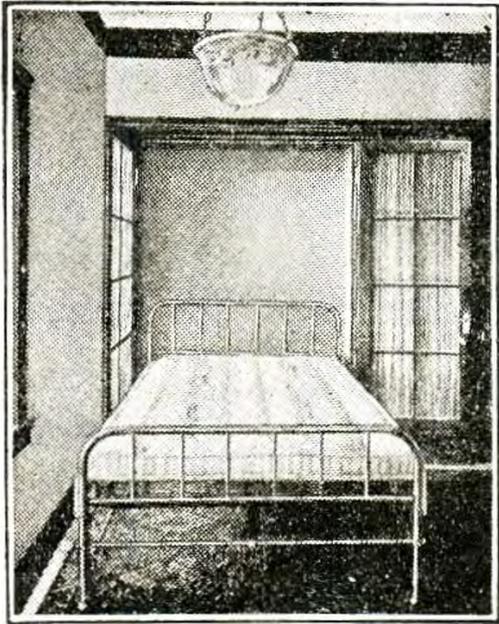
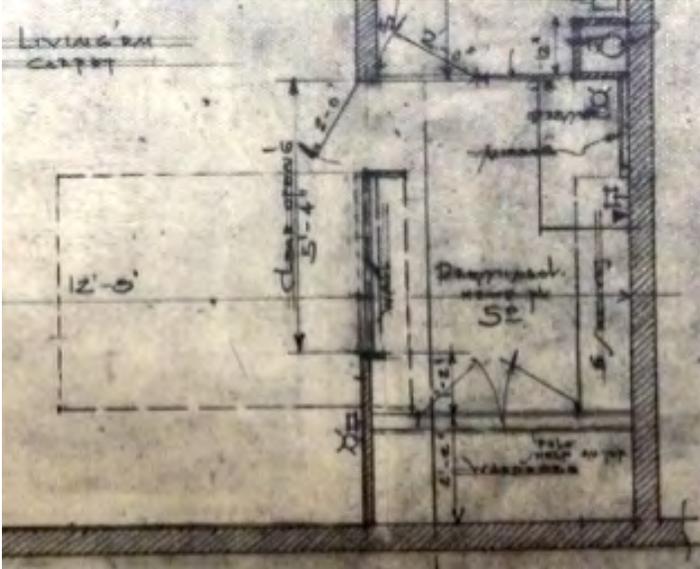
While all actual beds were removed long ago, remnants remain. The most intact scenario includes the molding, the wide wood single-panel door with the original ball-pin hinges, and the hinges for the Murphy bed. Next would be those elements with the exception of the missing Murphy door(s).

These existing elements are primary character-defining features because they convey the period of significance in a very unusual way.

<sup>11</sup> Richard Neutra, “Apartments Modernized,” Richard and Dion Neutra Papers, Collection 1179, UCLA Special Collections, Box 64.

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Figure 28. Ad for Murphy Bed



WALL BED.

Figures 28 – 31, Murphy Beds. Figure 28, above left, a narrow single and a wider single Murphy bed, Kilian Hall bedroom, Concordia University, Texas, University of North Texas Libraries. Figure 29, above right, Neutra’s plan shows the 5’-4” width needed for a standard pivoting bed (the original configuration of the Murphy bed), Richard and Dion Neutra Papers, Coll. 1179, UCLA. Figure 30, left, an advertisement for Murphy beds (Sears kit house model “The Calumet,” showing the double-door, double bed, unit, seen in Jardinette Type 5 and some Type 6s (north side of building. Figure 31, lower left, a wider single Murphy bed door, Jardinette. Flat 107, Jardinette Apartments.

**Publicity**

The radical appearance of the Jardinette Apartments, so utterly different than anything in Los Angeles or indeed the United States, immediately won attention domestically and abroad. As historian Hines pointed out, the June 12, 1928 issue of *The Christian Science Monitor* included the first critique of the “new garden apartment.” Comparing it to a modern factory plant with efficiencies from fans to hoists, the writer contrasted that hypothetical workplace with where workers of these factories actually lived: in “poorly lighted and ill-ventilated house.” In contrast, the Jardinette “was designed by Mr. Neutra to bridge the gap between the worker and his place of business ... Light and sunshine flood the apartment house and create a new harmony of family life and contentment ... Imagine the possibility of seeing an entire city block built up with these garden apartments ... with balconies would yield the fragrance of many flowers.”<sup>12</sup>



<sup>12</sup> Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture* (Oxford: Oxford University Press, 1982), 74-75.

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The Apartments also appeared in the *Los Angeles Journal of Commerce*, and many German periodicals, as critic-historian Henry-Russell Hitchcock reported in *Architectural Record* in an December 1928 article titled “Foreign Periodicals.”<sup>13</sup> The Jardinette was one of several Modern buildings included in “A New Art,” by *Los Angeles Times* critic Arthur Millier, who praised the “frank expression” of reinforced concrete and steel.<sup>14</sup> (Notably, Millier referred to Neutra as the Jardinette’s architect.) Neutra showed his building to the famous architect Walter Gropius (1883 – 1969) in the summer of 1928.<sup>15</sup> The founder of the Bauhaus and later head of the Harvard Graduate School of Design was touring America to see the latest modern architecture, production methods, and the manufacturing techniques seen in Henry Ford’s assembly plants. The Gropius’s arrived in Los Angeles May 14 and departed a few days later. Mrs. Dione Neutra recalled that Gropius was “very impressed.”<sup>16</sup> In 1932 the Jardinette Apartments was featured in the Museum of Modern Art’s Modern Architecture: International Exhibition; Neutra’s contribution of four projects were the only entries from the West Coast. The exhibition is considered a watershed in promoting a specific approach to Modernism—the International Style; co-curator Alfred H. Barr MOMA’s director, referred to Neutra as “among American architects second only to Frank Lloyd Wright in his international reputation.”<sup>17</sup>

The Jardinette Apartments continues to fascinate Los Angeles, especially contemporary architects, who recognize its startling Modernism despite its current unrehabilitated state. The famous architect Charles Moore (1925 – 1993), designer of Sea Ranch, included some pungent comments on the building in his popular book on Los Angeles architecture, noting that although it may be “one of the seminal pieces of Modern architecture in America,” there was a kind of “earnest Austrian post-World War I grimness about the regularity and the density of this block that comes off more penitential than sculptural.”<sup>18</sup>

### **Conclusion**

The Jardinette Apartments may represent a true “golden moment” in the history of Southern California Modernism, both in the personal relationship between the two brilliant architects and in a complex building that bears both their classic approaches. The resource continues to convey its historic significance.

### **Period of Significance**

The period of significance is 1928 – 1929, reflects the building’s completion, 1928, and 1929, when a Certificate of Occupancy was issued and the first year that the property was assessed for tax purposes. Neither Neutra or Schindler played any further role in the property.

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<sup>13</sup> Ibid., footnote 18, 326.

<sup>14</sup> Arthur Millier, *Los Angeles Times*, Jan. 2, 1929, F9.

<sup>15</sup> Dione Neutra, “To Tell the Truth,” (Los Angeles: UCLA, Oral History Project, 1983), 140.

<sup>16</sup> Ibid, 141.

<sup>17</sup> Press Release, “Museum to Publish Neutra Volume in Conjunction with the Exhibition,” Dept. of Public Information, Museum of Modern Arts, May 1982, NO. 15.

<sup>18</sup> Charles Moore, Peter Becker, and Regula Campbell, *The City Observed: Los Angeles* (Santa Monica: Hennessey & Ingalls, 1998), 271.

## 4.0 Construction History, Permit and Assessor’s Records, Physical Description, Owner History, and Evaluation of Integrity

### 4.1 Introduction and Construction History

This section addresses construction history, permit and assessor’s records, physical description, and Evaluation of Integrity.

In 1927, the Los Angeles Journal of Commerce reported that the site for the Jardinette Apartments was part of the seven and one-half acre Hollywood “Bartlett estate property” sold to a syndicate for \$1.35 million, and that the apartment house was one of several “large building projects being rushed to completion.”<sup>1</sup> Neutra probably met ambitious New York developer Joseph H. Miller, apparently part of the syndicate, at a Hollywood party.<sup>2</sup> Neutra sensed the opportunity to build big, and brought in his then-partner, Rudolf Schindler, as AGIC [Architectural Group for Industry and Commerce. Bearing witness to this partnership, a scattered group of preliminary drawings and schematic designs for the Jardinette are located **both** in the *R.M. (Rudolf M.) Schindler’s Papers* at the Art, Design, and Architecture Museum, UC Santa Barbara, *and* in the *Richard and Dion Neutra Papers*, Special Collections, UCLA. The project files in the Schindler archives include handwritten notes on cost, square footage, lot information; or a few letters to contractors, engineers, and building apartment officials, notably often addressed to Neutra. Joint designs in the Schindler archive for other Miller projects, especially the “Jardin” at Van Ness Avenue and Harold Way, were very similar to the Jardinette and even more ambitious in size and scale.<sup>3</sup> Neutra’s archives contain information specifically related to the Jardinette. Archival records, UCLA, show AGIC drawings dated between May and September 1927, largely signed by Neutra but in hand-writing that suggest either architect’s work, suggesting a future investigation appropriate to a scholarly paper but not germane to the Scope of this HSR.

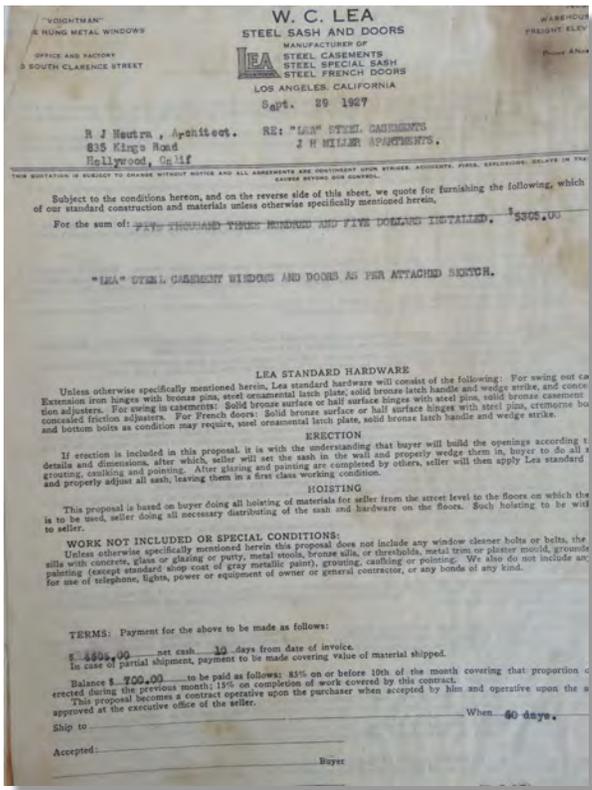


Figure 1. Order for Steel Windows from Neutra to W. C. Lea. Sept 29, 1927. R.M. (Rudolf M.) Schindler Papers, Art, Design and Architecture Museum, UC Santa Barbara.

However, neither archive contains what is usually present in these holdings, especially Neutra’s archives. Such holdings would include a comprehensive collection of materials connected to the project; a complete set of blueprints or approved drawing set; client correspondence; specifications; or subsequent records of publicity. While the drawings in the Neutra archive do indicate a fairly accurate representation of portions of what was built—especially in the individual units—larger scale drawings of the interior lobby, an important space, or other details, are not present. That makes some

<sup>1</sup> “Architectural Group Prepares Drawings for Limit-Height Apartment Building,” *Los Angeles Journal of Commerce*, September 24, 1927. Front page article with sketch of another AGIC project for Miller.

<sup>2</sup> Thomas S. Hines, *Richard Neutra and the Search for Modern Architecture* (New York and Oxford: Oxford University Press, 1982),

<sup>3</sup> The word “Jardin,” so close to the diminutive “Jardinette,” suggests that the garden aspect of Miller’s “ultra Modern” apartments was a consistent theme for this series.

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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few informal photographs taken presumably by Neutra in 1928 the only record of what actually was executed in the interior lobby.

More is known about the steel framed windows. Here in 1928 they represent Neutra's first use of such windows, virtually used throughout his early career on every project until aluminum windows were available. Groupings of fixed and operable steel casement windows with clear single-pane 1/8" windows became signature Neutra trademarks. However, the standard steel window hardware Neutra used in virtually all other subsequent projects was far simpler, even cruder, than the handsome window hardware present at the Jardinette, where the operable units have a distinctive curled handle with a more innovative, simple, and effective closing mechanism not seen in other Neutra and Schindler projects; many tested recently work quite well. The windows were purchased from the W.C. Lea Co., a steel manufacturers' agent whose headquarters were at 714 Broadway, not far from Wright's office at 317 Broadway [see Significance.]<sup>4</sup>

### 4.2 Owner History – Also see Appendix A, 9.5. Chain of Title

**1927:** Joseph H. Miller purchased lot 16 of Tract 3787 from Celia and Louis Jacobsen. While Miller was the original developer of the Jardinette Apartments, the property did not remain in his possession for long.

**1930:** The Jardinette Apartments are in foreclosure. Miller flees Los Angeles to evade bankruptcy court and numerous creditors.

**1933:** Property title is transferred to Western Loan & Building Company.

**1945:** Roza Mambar gained title to the property with deed of Trust (mortgage holder) held between sisters Ethel and Alice A. Reiterman. Both women had distinguished careers in Los Angeles as teachers and later as principals for local public schools. They continued their devotion to education and to teachers by forming the "Establishment of Retired Teachers' Homes and working with the National Retired Teachers' Association.

**1960:** William and Rose Rabinovitz gained title in probate court following the death of Roza Mambar. The date marks the beginning of accelerating deterioration.

**1982:** Berendo Marathon Property, a limited partnership purchased the property, ushering in a long period of ownerships by an intertwined series of limited investor partnerships and separate owners.

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<sup>4</sup> By 1936, W.C. Lea, Inc. had invented and patented new processes for manufacturing pre-fabricated steel components for houses, called "Lea Steel Homes" with consulting work by famous architect Paul R. Williams. See Mella Marmon, *El Reno Apartments*, Reno, Nevada. <http://renohistorical.org/items/show/8>.

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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**1990:** Kest Investments, the last of these continually changing limited partnerships, purchased the property.

**1993:** Timothy P. and Graceila T. Hopkins purchase the Jardinette Apartments.

**2012:** Omninet Jardinette, LP owned the property

**2016:** Current owner CIP Jardinette Holding, LLC, purchases the property.

### 4.3 Alterations

Despite its age and continuous use as workforce housing, a building records search indicates few permitted alterations since its completion in 1928. The building suffered most from lack of maintenance and regular oversight. The most significant permitted changes to the exterior appearance occurred in 2006, when the installation of telecommunications equipment included altering the roof parapet on its two sides, the north and east. The most significant permitted changes to the interior occurred in 1974 and 1986, when staircases and fire doors both in corridors and as entry doors for the units were added to comply with life-safety ordinances, including the 1984 "Dorothy Mae" Ordinance 158,963.

Much of the surprising abundance of historic fabric and intact doors, hardware, and cabinetry may be attributed to the lack of funds for upgrades compounded by a lack of awareness of the building's distinguished provenance.

### 4.4 Permit Record and Assessor's Records, Property APN 5535017014

*Retrieved 5 June 2016, 11 June 2016, Los Angeles Dept. of Building and Safety, Figueroa St.*

Despite its age and continuous use as workforce housing, a building records search indicates few permitted alterations. The most significant permitted changes to the exterior appearance occurred in 2006, when the installation of telecommunications equipment included altering the roof parapet on its two sides, the north and east. The most significant permitted changes to the interior occurred in 1974 and 1986, which addressed the enclosure of staircases and the addition of fire doors to comply with life-safety ordinances, including the 1984 "Dorothy Mae" Ordinance, 158,963. None of the replacements of the historic steel-and-glass casement and fixed windows were permitted.

Notably, much of the surprising abundance of historic fabric may be attributed to the lack of funds for substantial upgrades compounded by a lack of awareness of the building's distinguished provenance.

### Permits, Los Angeles Dept. of Building and Safety, Figueroa St.

1. 1927LA27954. "New construction" Sept. 24, 1927.  
Architect: Richard Neutra

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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Owner: J.H. Miller  
Contractor: State Construction Company  
Valuation: \$105,100.

2. Record I.D. 144078 Certificate of Occupancy Oct. 21, 1929.
3. 1936LA06574. March 25, 1936. "Set standards on canopy out to within one foot from curb to comply with ordinance."  
Contractor: Sun-Ray Awning  
Valuation: \$8.00
4. 1936LA32624. Nov. 18, 1936. "Recover canopy."  
Owner: Western Loan  
Contractor: Sun-Ray Awning  
Valuation: not recorded.
5. 1941LA07255. March 20, 1941. "To recover about twenty rope awnings on the 'Garden Apartments.'"  
Owner: Western Loan and Building Co.  
Contractor: A. Hoagee & Sons  
Valuation: \$175.00
6. 1947LA34725. Nov. 21, 1947. Illegible text is crossed out; appears to be an addition of some kind, perhaps "fire escape alterations."  
Owner: "Miss Roza Mambar"  
Engineer: Geo. J. Fosdyke  
Valuation: \$1,000
7. 1959LA26520. March 13, 1959. "Bracing of Parapet Walls."  
Owner: "Roza Mambar"  
Engineer: William M. Taggart  
Valuation: \$1,300.00
8. 1960LA71663. Oct. 3, 1960. "Wet Sandblast."  
Owner: "William Rabinovity"  
Contractor: Robert Williams  
Valuation: \$475.00
9. 1974LA93176. July 5, 1974. "Stairwells Enclosure."  
Owner: "Scott Management Corp."  
Contractor: Severson & Reece Construction  
Valuation: \$7,500.00
10. 1986LA44575. August 26, 1986. "Comply with Dorothy Mae Ordinance."  
(Enacted in 1984, the ordinance required retroactive fire prevention measures such as self-closing doors and sprinklers.)

#### 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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Owner: "Nisim Asulin"  
Contractor/Engineer: Mr. Build  
Valuation: \$34,900.00

11. 1993SP14691. Nov. 15, 1993. Reroof, 43 Squares.

Owner: "Fidelity Federal Bank"  
Contractor: Central Roofing  
Valuation: \$6,800.00

12. 2006LA89848. March 21, 2006. Telecommunications installation roof and basement. Large rectangular puncture of north-facing roof parapet.

Owner: "Timothy P. and Graciela Hopkinds"  
Contractor/Engineer: AT&T  
Valuation: \$70,000.00

##### **County Assessor's Records, West District Office, Culver City.**

*Retrieved 5 Oct. 2016, Assessor's West District Office, Culver City. Only two records appear to be extant:*

1. Building Record, 1929, indicates "side walls and cross beams concrete, no concrete floors except basement." Building size 28,134 sq. ft. Year built 1929. "Copied for 1934; See old slip for details." [No "old slip" extant.]

2. Building Record indicating:

Permit 93176: Comply with Fire Safety Ordinance.  
LA44575: "Alt.[erations] per Ordinance." See above.

Also noted on this record:

1972 – "Quake damages not yet repaired."

1973 – "E.Q. Damage repaired."

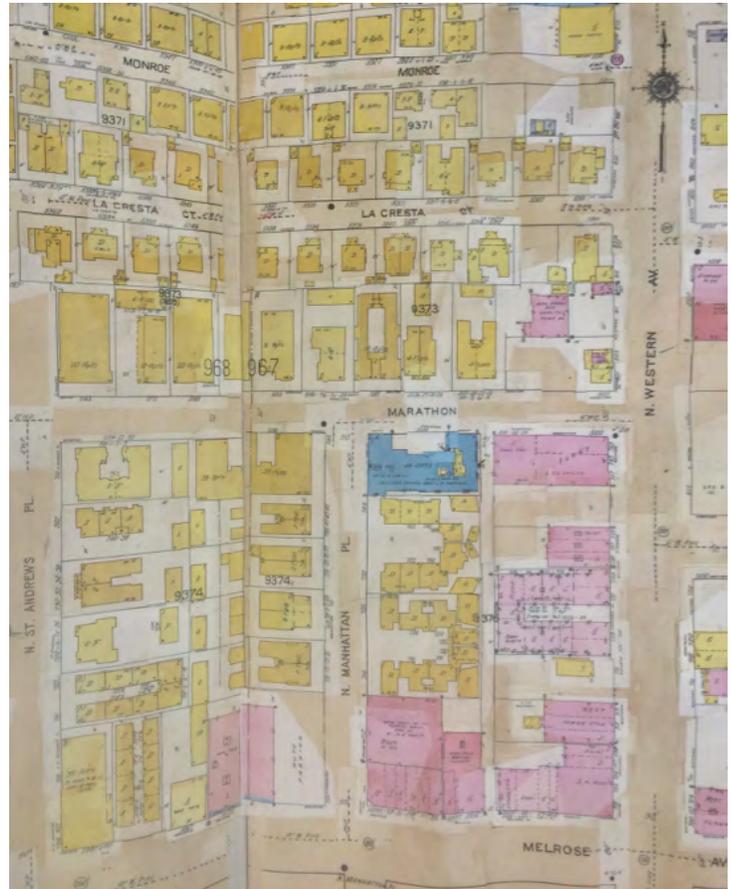
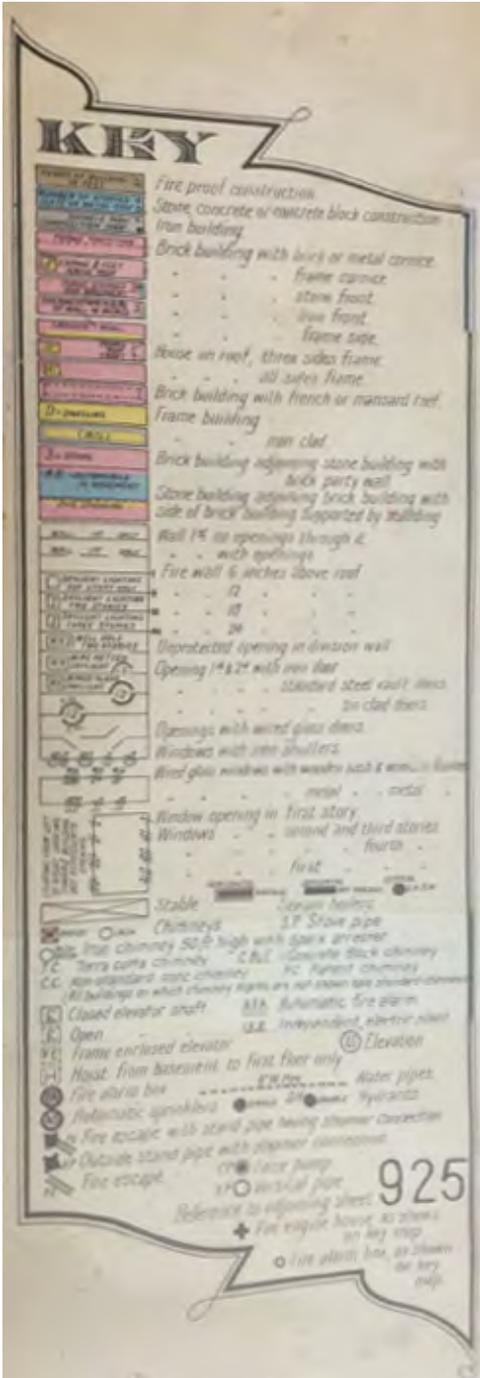
1974 – "Restore to full value. All E.Q. damage repaired."

1978 – "Fire doors installed."

1988 – "Alt. [alteration] per Ordinance."

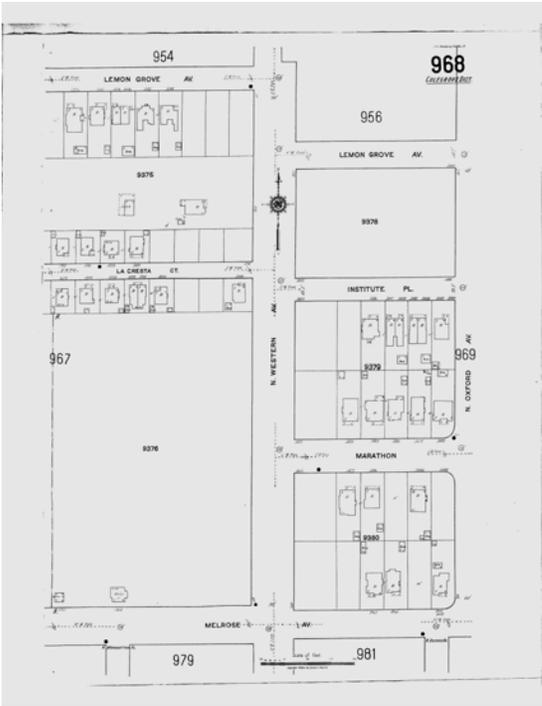
4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

4.5 Historic Urban Context



Figures 2, 3. 2, left. Key (legend) to Sanborn Fire Insurance Maps, City of Los Angeles, Volume 1906, showing blue as color for “stone, concrete, or concrete block construction.” 3, above. Sanborn Fire Insurance Map, 1919 – 1955, Los Angeles Central Library. The hand-rendered Sanborn Map, pasted with colored rectangles and updated at sporadic intervals between 1906 and 1951, shows the Jardinette Apartments in blue: the only concrete building in the neighborhood.

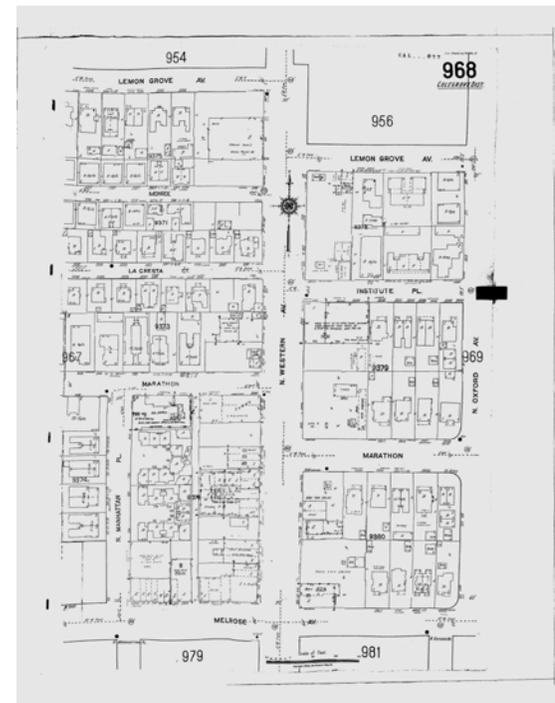
### 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity



Figures 4, above left; 5, below left, shows the the extension of Marathon Street to the west over time.

4, Sanborn Fire Insurance Map, Vol. 9, Sheet 968, 1906, updated through January 1950. 5, Sanborn Fire Insurance Map, Vol. 9, Sheet 968, 1906, updated through January 1951. The once empty tract, 9376, has been rapidly developed.

Figure 6, below, detail of Figure 5.



4.0 Construction History, Permit and Assessor's Records,  
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4.6 Historic Photographs



Figure 7. Jardinette Apartments, undated, photo probably by Richard Neutra, 1928. Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA. Framing for form boards, some concrete pored. Rear elevation. Camera facing NE.

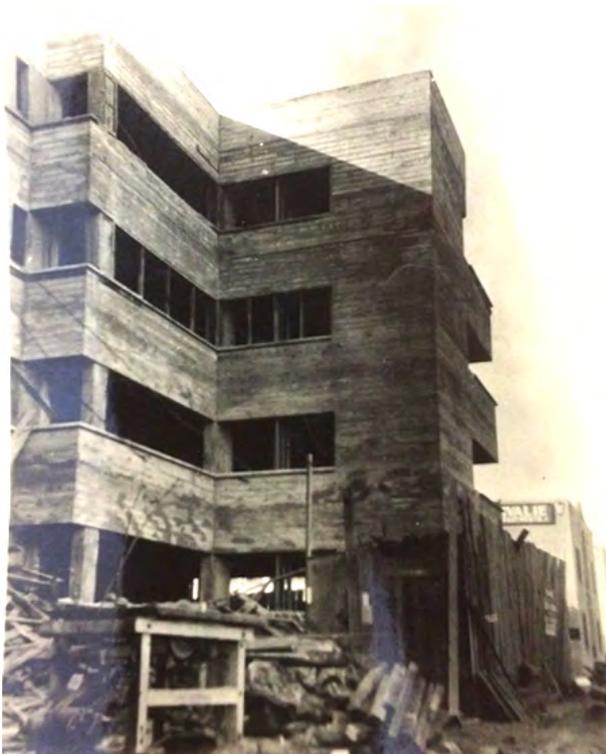


Figure 8. Jardinette Apartments, undated, photo probably by Richard Neutra, late 1927 or early 1928. Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA. Form board work just removed. Taken from just north of central courtyard. Camera facing W.

## JARDINETTE APARTMENTS

### 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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Figure 9. North, east elevations. NE corner. Undated, probably 1928. Camera looking southwest. Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA.



Figure 10. Jardinette Apartments, courtyard façade. Camera facing east. Photo by Luckhaus Studios. Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA.

**4.0 Construction History, Permit and Assessor's Records,  
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Figure 11. North elevation, east side. Camera facing south. Photo undated, probably 1928 Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA.



Figure 12. North elevation, east side. Camera facing south. Photo by Julius Shulman, 1950. © J. Paul Getty Trust. Getty Research Institute, Los Angeles (2004.R.10)

# JARDINETTE APARTMENTS

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

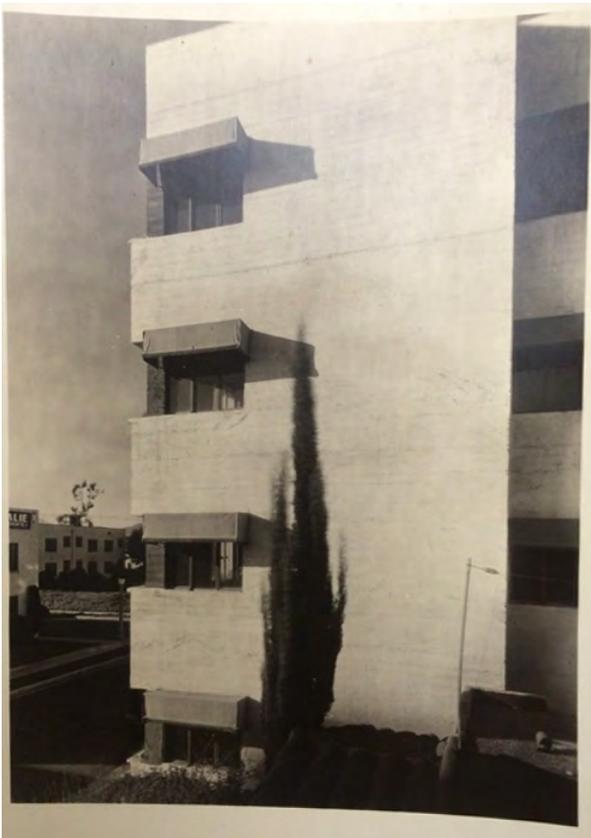
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Figure 13. left. Jardinette Apartments, approximately 1970. West façade. Camera facing SE. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

Figure 14, below left. Jardinette Apartments, rear façade, south end. Camera facing E. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

Figure 15, below right. Jardinette Apartments, rear façade. Camera facing W. From *The Modern Flat*, 1930.



Richard J. Neutra: Kleinwohnungs-Block, Los Angeles. 1927  
(Außenwände aus unverputztem Beton)

**4.0 Construction History, Permit and Assessor's Records,  
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Figure 16. Courtyard elevation, NE corner. Undated, probably 1929. Camera looking E. Cal Poly Pomona, ENV-Special Collections. Willard D. Morgan presumed photographer; Morgan was the class photographer for the class Neutra and Schindler taught at the Academy of Modern Art, Jan. 29 – May 29, 1929. Later Morgan worked with Neutra as a designer/draftsman.



Figure 17. Courtyard elevation, camera looking southwest. Notes plants on east-facing projections that did not hold brackets for planters. Photo by Julius Shulman, 1950. © J. Paul Getty Trust. Getty Research Institute, Los Angeles (2004.R.10).

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Figure 18. Landscaping at the Jardinette. This photo shows hanging vines and shrubs used for the ground plane, second floor "Type 5" Unit 208, and the rapidly-maturing conifer tree.



Figure 19. Landscaping at the Jardinette. This photo shows hanging vines on all four floors, North elevation, balconies facing west to courtyard. Richard and Dion Neutra Papers, UCLA. Notably, the car and roadster pictured are vintage 1933/1934, indicating that the very dark contrasting paint color used for the NE corner and the areas between the windows lasted only five years at most.

**4.0 Construction History, Permit and Assessor's Records,  
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Figure 20. View of original awning from courtyard elevation roof. Note continuity of colored concrete to the curb and the variety of plantings on the balcony. Undated, unbylined. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

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Figures 21, above, 22, below.

21, Exterior primary entrance. Note custom designed front door, three frosted overhead lights, and the large window to the manager's office. Richard and Dion Neutra Papers, Coll. 1179, UCLA.

22, Interior lobby. Note bench with possible lighting illuminating the floating quality of the bench; the striking pattern of overhead lighting, and newel post lighting. Richard and Dion Neutra Papers, Coll. 1179, UCLA.



## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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### 4.7 Physical Description

*The identification of those architectural features that are character-defining are included in Section 4, Character Defining Features.*

#### Introduction

Sanborn Fire Insurance Maps show that when the Jardinette was built in 1928 every building within a few blocks was brick or wood-framed, and few if any were four stories tall. The severe white apartment block must have looked like a spaceship dropped into an eclectic Hollywood mixture of buildings ranging from Spanish Revival multiplexes to carriage houses and stables. The contemporary context has not significantly changed; it is still a mixture of low-scale housing, retail, and light-industrial uses.

The Jardinette consists of a four story, 43-unit apartment complex in central Hollywood. It is built in a shallow U-shaped plan around a central landscaped courtyard. Its construction is reinforced concrete walls, interior concrete bearing piers, and wood framing for both walls and floors. The use of asymmetry; a controlled but dynamic use of simple textures; replication of standard materials, and making each corner and each elevation of the Jardinette unique ensured that the building would be a canonical expression of the International Style.

#### Exterior

The apartment block is located on a gently sloping lot at the southeast corner of the intersection of Marathon Street and Manhattan Place. The north or entry elevation of the structure contains a partially walled courtyard formed by two short wings which project from the extreme east and west ends of the building. Access to the building is gained from a slightly raised, sheltered, and offset concrete portico on the eastern wing. The north-facing primary entrance door opens onto the portico.

Atop the north and east elevations, a false parapet wall extends to a fifth story height. Framing a large opening on the north, this wall screens from view at the street level a small roof access enclosure for the main staircase.

The design of the structure is austere, exemplifying the most notable characteristics of the early International Style. The major *partei* is one of alternating horizontal bands of concrete and non-continuous, irregular groups of steel casement windows. This banding, underscored by an apparently dark color of paint originally used for the window bands and the northeast corner treatment of the tall parapet wall, imparts a strong horizontal character to the building.

While much of the concrete is in sound condition, telecommunications work on the fifth floor roof parapet performed in 2006 introduced two large rectangular metal panels into the north and east faces of the parapet wall.

The building's eastern and western elevations are similar in design and detail. String

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

courses band the building from the sill of each set of casement windows, continuing across the wall surface. The southern elevation consists of a simple flat wall surface articulated by window openings similar to those of the eastern and western elevations. The horizontal stringcourse banding is not carried out on this elevation.

The **three painted steel fire escapes** are original to the building. The escape on the east elevation projects from the building and is accessed from the main interior corridor. The escape on the west is deeply recessed, so much so that the gap gives the impression that two separate buildings comprise this elevation. The escape on the north elevation is tucked into the courtyard elevation's east corner. While this escape is original, a narrow boxed-in wood-sheathed ladder that is located in the front of the south end of the second floor west-facing balcony, is a later addition. This solid "box" obliterates the impact of the striking series of reveal lines etched into the west-facing wall that is suspended above the portico.

The roof is of composite construction and is interrupted only by vents and a stairway access. A large rectangular metal section serving telecommunications equipment punctures the penthouse enclosure on the north and east façade.

A six-foot-tall metal picket fence runs from the east side of the courtyard to the west.

### Balconies

Cantilevered concrete balconies—or what the architects strove to appear to be balconies—project from each wing at the second, third, and fourth story levels. These projections are handled with exceptional sophistication. They are the single most definitive feature of the Apartments because they show Neutra's skill in manipulating the viewer's perception of a building at the very beginning of his long career in Southern California.

For example, while all the west-facing balconies appear to be the same size and function in the same way, the topmost (fifth floor) of these balconies is not a balcony at all but the roof itself bordered by a parapet. In another example of visual manipulation, the lowest balcony in this west-facing series, opening off Unit 200 on the second floor, actually cannot be seen from the street. Although identical to those above it, this balcony is tucked behind the larger, open, walled entrance portico, which juts out to spatially define the ground floor entry area and thus appears to accommodate a much larger balcony for Unit 200. Across the courtyard, a narrow corner grouping of windows on the second through fourth floors visually functions as small balconies. However, these east-facing "balconies" is merely an extension of concrete. The next series of true balconies is north-facing and at the northwest corner of the building; the last set of projections that look like "balconies" occurs at the south end of the west elevation, where a portion of the building steps back about a foot, again enlivening what would have been a monolithic, flat façade. L-shaped metal brackets, apparently to support planters, are present in every balcony, for a total of six. They are attached to each balcony's long wall. The brackets are shallower on the north-facing balconies. While they cannot be seen, these brackets facilitate

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the basis for the name, *jardinette*, meaning a small garden.

While the collective repertoire of balconies and projections undergird a strong, sophisticated expression of Modern architecture, in many areas the concrete work is very rough, very crude. This is especially the case in the surfaces of the projections discussed here. The crudity of the work is actually a character-defining feature. Like Neutra's Lovell Health House, Los Angeles, 1929 or other early works by Modernist architects, the poor execution shows the disparity between the ideal perfection of the crisp white rectangular volume and the rough, raw handling of the material that expresses a lack of funds or a lack of craftsmanship or a rush to complete the work.

### Windows

Examined in detail in the Window Inventory, those extant steel-frame single-light fixed and operable casement windows (a few contain original glass) are a key primary character-defining feature. Used in various sequences across the face of every elevation, approximately one third of these windows are intact; the rest have been demolished.

### Decorative Embellishments

On each elevation, the number of windows in each grouping varies, ranging from a single window to originally a group of 10 windows (fived fixed, five hinged casements.) Key to these subtle embellishments is the **recessing of the window walls by about three inches**. These continuous recessed planes create light and shadow lines and reinforce the horizontal, International Style quality of the composition. Likewise, supporting concrete piers are slightly recessed between the groups of windows, somewhat suppressing their verticality.

The exterior's decorative embellishments are minimal; only a few simple but powerful details serve to animate the façade. These are:

1. **simple projecting string courses** located below each story's group of windows that continue along the concrete to the next window or window grouping. These shallow projections gird the building on the northern, eastern, and western elevations.
2. In concert with these projecting string courses, **reveals**, approximately one inch deep and one inch wide, are etched into the top of the window groups; like the string courses, they usually run along the concrete wherever there is a window or a window grouping.

The only other embellishment, and a primary character-defining feature, is a **panel of five long horizontally incised concrete lines**—reveals that are more slender than the others embellishing the structure—are located directly on a concrete panel suspended above the entry area. This group of lines are of equal length except for one that extends south to terminate at the north-facing wall.

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### Concrete Texture

Archival drawings indicate horizontal form-board concrete sections alternating with "Conc.Text." sections. These alternating strata were defined by Neutra in a May 1927 drawing, UCLA, specifying the desired contrast between the smooth "brush coat" finish for the board-formed concrete painted white, and rough "Conc.Text" surface for the concrete window bands, painted in a dark color.<sup>5</sup> The only place where this alternating design in textures was not carried through was on the 4<sup>th</sup> story window bands, where the "Conc.Text" surfacing was not applied but is treated board-formed concrete, perhaps because at that height, the impact of dark paint would do.

### Summary of Alterations, Exterior

1. Approximately 66 percent of the windows have been replaced with incompatible vinyl or aluminum windows.
2. All the transom windows on the north-facing NW corner have been demolished, eradicating an especially interesting aspect of the original design.
3. Some single-sash bathroom windows have been removed and the original opening reduced in size.
4. Some sections of projecting cornices have broken off, especially at the corners.
6. Some of the recessed reveals have been eradicated.
7. Incompatible tile was installed over the red concrete work in terrace and portico.
8. The roof parapet's extended walls have two large rectangular openings to house telecommunications equipment. These were infilled with metal sections.
9. The paint colors and locations of paint colors are not original nor compatible with the original design intents and the tenets of the International Style.
10. The metal picket fence, running across the front of the courtyard, is not original.
11. The primary entrance has been altered with the demolition of the the custom-designed front door and the infilling and plywood replacement of the 4-window composition of windows adjacent to the door.

### Landscaping/Planters

The ground floor hardscape and landscape occupy the central rectangle framed by the building's U-shaped plan. Original to the design and execution, these asymmetrically sized and located components embody Modern landscape, a tenet of the International Style and exemplary of both Neutra and Schindler's architectural approach; therefore, they are primary character-defining features. This rectangle is now bordered by a tall metal picket fence, not original.

The design comprises three reinforced (presumably) concrete planters, or "flower boxes" as the original drawings label them. Each acts as both a plane and a volume extending a portion of the building, and each is a different size. In his unpublished essay, "Apartment Buildings in Los Angeles," Neutra notes that "the flower boxes disposed along the house fronts contain the ... Lantanas which bloom permanently

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<sup>5</sup> Oversize Folder 1134, Collection 1179, Richard and Dion Neutra Papers, Charles E. Young Research Library, UCLA.

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in California.”<sup>6</sup> The “Garden Court,” immediately west of the outdoor entry terrace, is the largest landscape element.

The two planters on the north elevation at the street anchor and frame the open center of the composition, the entry terrace. They and the Garden Court provide interstitial semi-public space. Notably, beyond (north) of the planter walls, the concrete sidewalk leading from the street to the apartments still shows the original red stain color of the concrete, and the marks from poles that once supported a crisply rectilinear canopy awning.

To the left (east) of the outdoor entry terrace, two full-width steps lead to the semi-sheltered entry portico. Once red-stained concrete, the terrace, steps and portico leading to the interior lobby are now clad in various kinds of tile, not original and not compatible with the design. This portico is framed on the north and east by elevated free-standing concrete walls above typical head height. Meeting at a corner column that also serves as a planter wall, these free-standing walls extend from the structure like the planters. Collectively, this deceptively simple entry area both provides degrees of interstitial space between public and private and emphasizes the property's horizontal quality. Overhead, the projecting second-story balcony shelters a portion of the portico, including one arm of a L-shaped concrete bench whose other arm runs inside the upper, eastmost planter.

The third planter, approximately three feet deep, parallels the façade. Extending north from the middle apartment units, this planter runs from the portico on the east to the projecting bank of windows defining the corner of another apartment.

All the planters have the same projecting cornice present below each window course, a strategy that further serves to unify the composition.

While preliminary sketches show jacaranda trees and a small lawn were indicated for the Garden Court, historical photography from the late 1920s to the mid 1950s reveals a large conifer tree was originally planted there as a young tree that grew to maturity. A mature palm tree, incompatible with the original design, occupies the Court now.

Original perspective sketches and historical photographs show plantings peeking over the tops of the balconies of the upper units, floors 2 through 4, especially Type 8 stack of units, occupying the NE corner, and Type 4 stack of units, occupying the NW corners. These balconies have a long L-shaped metal bar on the rear of the open wall, as though intended to hold a planter box of some kind. However, no drawings, specifications, or closer views of these planter boxes was located in either the Neutra or Schindler archives. Nonetheless, in expressing the “garden” qualities of the Jardinette Apartments, such a device for holding the planter boxes is an important feature in facilitating the architects' intentions for the project.

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<sup>6</sup> Richard Neutra, “Apartment Buildings in Los Angeles,” unpublished essay, UCLA.

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### Summary of Alterations, Landscaping/Planters

The ground floor planters are intact. Apart from Neutra's informal specification for Lantana, archival drawings show one schematic design calling for jacaranda trees to be planted; however, it appears that the very first tree to be planted was a conifer.

What is clear is that drawings; photographs altered by Neutra in which he drew in plants; and photographs by others such as Willard Morgan, Luckhaus Studios, and Julius Shulman, do show plantings in the balconies and building projections noted above as well as at the ground plane. No specifications for plantings were obtained.

### Interior

In plan, the apartment block is organized as a shallow "U" configuration with a double-loaded central corridor running east-west terminating in two short corridors. These are stubs that lead to the corner units projecting to the north and that also connect to the north and west fire escapes. There are two flights of stairs. The eastern staircase leads up from the lobby and the stairs are oriented north-south. The western staircase, oriented east west, is accessed from the central corridor.

### Lobby

Two extant archival photographs and one drawing reveal the smallish rectangular interior lobby was once an elegant, dense *Gesamtwerk* synthesizing Modern, Moderne, and Japanese motifs. White plaster walls contrasted with dark, perhaps black, trim. Physical evidence indicates the red concrete stain used for the exterior terrace, portico, and L-shaped concrete bench, continued inside in some concrete locations, such as the two sets of two steps rising from the lobby floor to the surrounding ground level floor. Archival drawings indicate the lobby floor was colored concrete; an incised "L" repeated itself from the northwest to the southeast corner. Further careful discovery may prove whether this pattern still exists under the current incompatible tile. Another lighting fixture was the vertically oriented light box inserted into the newel post of the main (east) staircase. The same archival photograph suggests that a third lighting fixture may have illuminated the base of a wooden bench with a wooden back set into the wall adjacent to the staircase. These two fixtures and the bench were likely demolished, or may have been encased, when the Dorothy Mae changes required this open staircase be enclosed. Careful dismantling of this area may reveal original fabric.

### Hallways

The tall double-loaded hallways follow the general plan of the building, a long U-shape with short wings projecting to the north. On the east, the corridors terminate in a pair of operable steel casement windows surmounted by a single-light clerestory (ground floor) and large double-hung wood windows on the second to fourth floors. These windows open to a fire escape. The short east leg of the U bypasses the extant, operating elevator and leads to the courtyard escape and the main east wooden staircase, oriented north-south. On the west, the corridor jogs north to the fire escape, bypassing the western stairs, which are oriented east-west.

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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A diagonal articulated wood molding at the same height of the doors runs continuously around the entire hallway, on every floor. A character-defining feature, in some places this molding has been removed. Above this molding the texture of the upper walls and ceiling is a heavy dash finish; below the molding, the texture is smooth, other character-defining features.

The greatest change has been the replacement of all the original entry doors to the units and the addition of a fire door, one near the western staircase and the other near the elevator and the eastern staircase. Thus far, no archival evidence has been found that indicates the appearance of the original entry doors.

### Stairs

The wood handrails for the stairs features an articulated detail that makes grasping the handrail more comfortable, a character-defining feature. Additionally, the projecting plaster-clad pilasters at the top of each staircase are also original, sharing the same wood handrail detail as that of the stairs.

An area near the basement stairs, a rectangle of approximately nine feet square, appears to be an encased incinerator shaft and laundry shoot, according to archival drawings. This area is encased through the height of the building.

### Individual Units

The 43 individual units are each one of eight types [See the Individual Unit Inventory.] They differ according to their location in the building: the northeast, northwest, and southwest corners are one-bedroom units, and the rest of the units, including the southeast corner, are studio apartments. All the units shared design elements and strategies, enumerated in the Summary, Character Defining Features.

While the apartments collectively undergone various alterations, a surprising amount of historic fabric is intact. Of all the units, the corner units on the northwest and southwest have been most drastically altered with the introduction of walls, the demolition of the bathroom, kitchen, windows, moldings, textures, and original doors. The individual Unit Inventories enumerate these changes.

### Summary of Alterations, Interior

Note: The individual unit inventories provide details for each apartment.

1. Some primary character-defining spatial relationships altered
  - a. erection of inappropriate interior walls
  - b. encasing or demolition of doorways to kitchen
  - c. encasing or demolition of Murphy bed doors and/or openings
2. Altering primary character-defining steel casement windows
  - a. Replacing windows with incompatible vinyl or aluminum.
  - b. Encasing single windows with drywall or replacing glass with plywood.
  - c. Demolishing original window openings.
3. Removal of part or all of the primary character-defining kitchen cabinetry

## 4.0 Construction History, Permit and Assessor's Records, Physical Description, Owner History, and Evaluation of Integrity

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4. Removal of primary character-defining wall and door molding.
5. Removal of primary character-defining Murphy bed doors and hinges.
6. Removal of primary character-defining texture above wall molding.
7. Painting and/or altering the primary character-defining tile in bathroom.
8. Covering of primary character-defining "hex" tile, bathroom floor.
9. Removal of secondary character-defining wall-mounted sink.
10. Removal of flooring
11. Addition of gas line in plane with wood floor, leading to wall-mounted heater, not only visually incompatible but dangerous to building and user alike.

### 4.8 Evaluation of Integrity

*Since its listing in the National Register of Historic Places and its designation as an HCM, 1986 and 1988, an updated evaluation of the building's physical integrity, 30 years later, is included here.*

"Integrity" is defined as those aspects of location, design, setting, materials, workmanship, feeling, and association that in various combinations reflect the resource's period of significance, 1929. Comprehensively, "historic properties either retain integrity ... or they do not," as succinctly summed up in *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*.

Exterior alterations have been largely confined to the glazing; approximately 66 percent of the steel casement and fixed windows have been replaced by contemporary incompatible vinyl or aluminum windows. All the original long bands of inset clerestory-like transom windows, important character defining features that once illuminated the bath and dressing areas of corner units, have been replaced with wood-framed stucco cladding; the original fenestration may still be present. The fire escapes have been minimally altered. The north-facing rooftop parapet was punctured with painted steel plates to accommodate telecommunications equipment. The exterior paint colors are not original.

On the interior, the spatial layout of the public spaces, passages, stairs, and individual units have been retained. In most of the units, components—in some cases many components—of the original built-in cabinetry has been retained in a surprising number of units. The interior lobby has been altered the most due to changes meeting fire and life safety ordinances in the 1970s and '80s.

Comprehensively, the Jardinette Apartments retains its integrity and continues to convey its historic significance.

## 5.0 Character-Defining Features

## Character-Defining Features

### Exterior

#### Overall Visual Character: Contributing Primary Features

- International Style / early European Modern style; lack of ornament
- Reinforced concrete construction
- Shallow U-shaped configuration
- Elongation of planes with balconies, projections, planters
- Alternating bands of identical ribbon windows with board-formed concrete
- Extension of second floor balcony to frame entrance portico
- Flat roof with tall projecting parapet, NE corner.
- Fire escapes on east, courtyard-east, and west elevations

#### Overall: Non-Contributing Features

- Metal picket fences north and south; rear razor wire
- Vinyl or aluminum window replacements
- Encasements of steel-and-glass windows and doors; plywood replacements of glass panels

#### Close Range Visual Character: Contributing Primary Features

- Single and grouped sequences of steel casement windows with distinctive handles
- Projecting concrete string courses
- Recessed reveals
- Two types of concrete finish, board-formed and even medium dash.
- Continuous fenestration (door and window) at NW corner, balconies, d configuration
- Alternating bands of ribbon windows with sections of board-formed concrete

#### Close Range: Non-Contributing Features

- Plantings and palm tree
- Metal perforated mesh, lobby windows
- Exterior lighting
- Enclosed wood box for fire escape ladder, courtyard elevation

### Interior

#### Lobby: Contributing Primary Features

- Spatial Layout (extant and intact)
- Concrete steps
- Staircase

#### Lobby: Non-Contributing Features

- Enclosure of Staircase (1970s measure for life safety – Dorothy Mae Ordinance)
- Ornamental Asian-type woodwork, south side of lobby
- L-shaped slanted wood benches
- Mailboxes
- Enclosure of manager's office with plaster, south and east sides

## 5.0 Character Defining Features

- Enclosure/encasement of manager's office windows
- "Lobby adjacent" (opposite basement stairs) – encasement of original laundry chute and incinerator chase
- Flooring
- Contemporary lighting
- Exterior door and contemporary perforated metal door, manager's office

### Hallways and Staircases: Contributing Primary Features

- Wood cornice molding separating upper from lower walls; aligned with tops of unit doors
- Roughcast (or "spatter dash") plaster finish above cornice molding
- Smooth float finish below cornice molding
- Fire escapes at east, north (courtyard), and west elevations
- Glass and steel-framed door and sidelight leading to north (courtyard) fire escape
- Pair, hinged steel casement windows and full-width transom, east end, ground floor
- Large double-hung wood windows, east end, second through fourth floor,
- Solid wood and plaster quarter-turn staircase with distinctive custom wood handrail.
- Similar wood and plaster stair detail, projecting from wall as waist-high rectangular volume) at top of east stair. The design provides additional safety when mounting.
- Skylights of group of ten steel frame lights, fourth floor ceiling, west and east staircases.
- Elevator
- 

### Hallways and Staircases: Contributing Secondary Features

- Glass-fronted box for emergency fire equipment; equipment date unknown

### Hallways and Staircases: Non-Contributing Features

- Painted skylight glass
- Plywood replacements for glass door and sidelight glass panels
- Contemporary overhead lighting: fluorescent strip fixtures
- Copper sprinkler system and mode of entry of copper water lines into units.
- Hallway fire doors (two) and fire doors with contemporary frames for each unit.
- Contemporary additional fire doors to Type 4 units (NW corner) when these units were turned (probably illegally) into two discreet units.

### Units: Contributing Primary Features

- Spatial layout
- Glass and steel-framed windows/doors
- Wall and door moldings
- Murphy bed door
- Rough texture above molding
- Wood doors
- Bathroom glass-backed shelving
- Painted wood kitchen cabinetry
- Bathtub with rounded corner
- Wall tile with liner
- Lowered ceiling, entry
- Closet cabinetry: tall double doors, entry; with

### Units: Contributing Secondary Features

- Bi-fold doors between Dinette and Living Room

## 5.0 Character Defining Features

- Porcelain bathroom accessories – soap dish, sink; soap dish, bathtub; towel rack, toilet tissue dispenser
- Baseboards

### Units: Non-Contributing Features

- Non-original walls
- Encasement of original openings (Murphy bed, kitchen)
- Contemporary moldings and/or door frames
- Contemporary kitchen cabinetry
- Contemporary hinges
- Painted tile, bathroom walls

## 6.0 Introduction to Inventories:

### 6.1 Spatial Alterations

### 6.2 Unit Inventory

### 6.3 Window Inventory

### 6.4 Bathroom Inventory

### 6.5 Tally, Percent Intactness, Kitchens

These five inventories provide different ways to analyze the impact of deterioration on the Jardinette Apartments and to understand the material condition of the property. The spatial layout of the building, for example, is a key character-defining feature because they demonstrate how Neutra with Schindler achieved spaciousness and a high degree of functionality in small flats by cleverly exploiting the very walls in addition to generous helpings of light, air, and balconies. Thus, *Spatial Alterations* addresses how these spatial relationships have changed and what needs to be repaired to restore this key feature. The *Unit Inventory* assesses the overall physical integrity of each of the 43 units, showing where each flat is located; determining the degree to which a character-defining feature is intact; and providing photo documentation of kitchen, bathroom area, and living space. The *Window Inventory* establishes which windows are intact (I), altered (Alt) or Demolished (D.) “Altered” includes those windows which may be intact but are covered by plywood or drywall, or those windows whose steel frames are extant the windows replaced by plywood. The *Bathroom Inventory* establishes what elements of these rooms are extant such as the bathtub, whose single corner curve facilitates ease of movement in this small space.

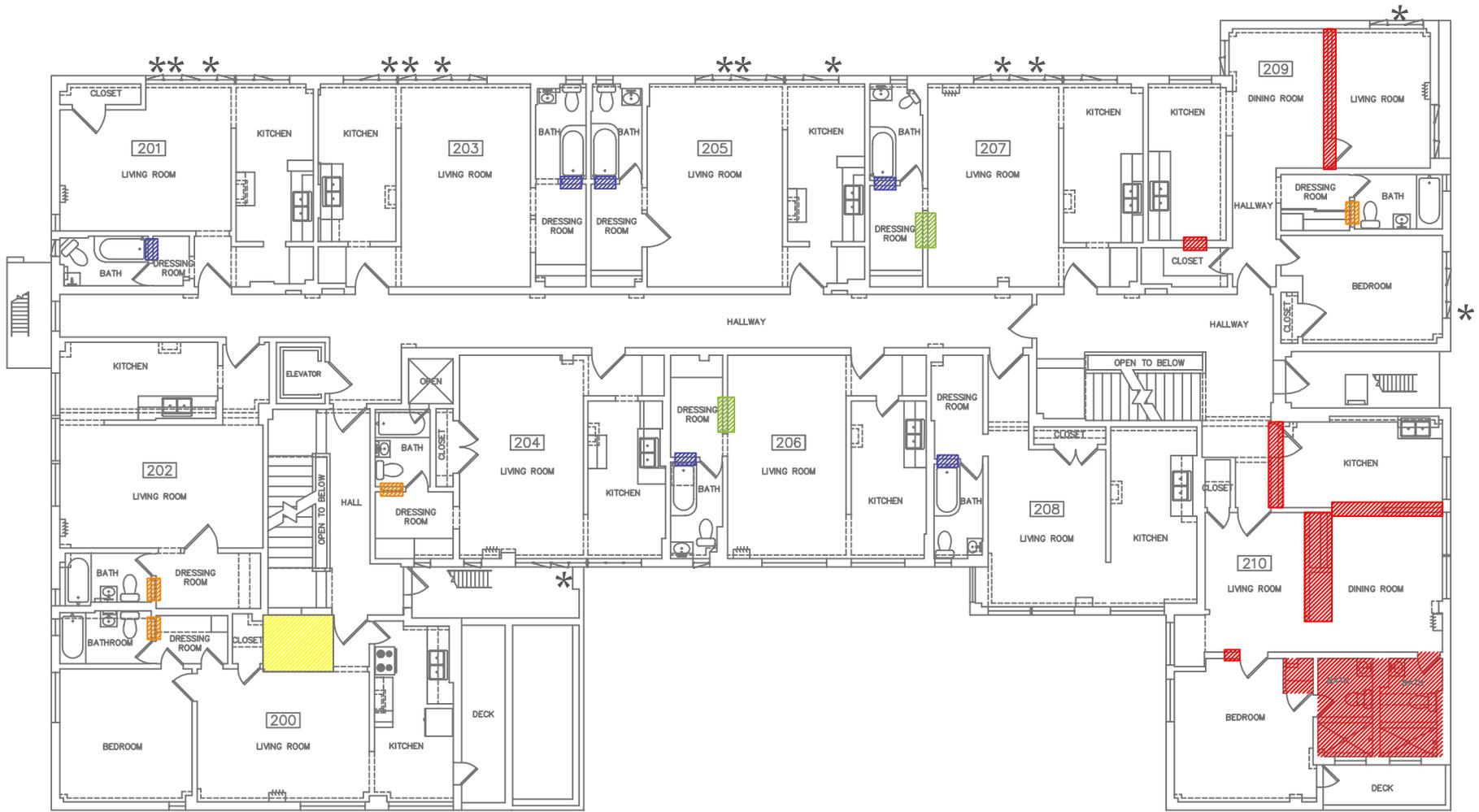
**NOTE: Primary Features are labeled as PF while Secondary Features are labeled as SF, denoting individual levels of significance among collective features.**



LEGEND

- |                                                                                     |                                        |                                                                                       |                                                                                          |
|-------------------------------------------------------------------------------------|----------------------------------------|---------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
|  | NON-ORIGINAL WALLS OR DOORWAYS ENCASED |  | ENCASED MURPHY BED OPENING                                                               |
|  | BATHROOM SHELF INTACT                  |  | NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE |
|  | BATHROOM SHELF ENCASED                 |                                                                                       |                                                                                          |
|                                                                                     |                                        |  | ORIGINAL GLASS WINDOW                                                                    |

Because of transoms noted in inventory, cannot determine whether this wall contained shelf



LEGEND

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- ENCASED MURPHY BED OPENING
- BATHROOM SHELF INTACT
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- BATHROOM SHELF ENCASED

\* ORIGINAL GLASS WINDOW



LEGEND

- |                                                                                     |                                        |                                                                                       |                                                                                          |
|-------------------------------------------------------------------------------------|----------------------------------------|---------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
|  | NON-ORIGINAL WALLS OR DOORWAYS ENCASED |  | ENCASED MURPHY BED OPENING                                                               |
|  | BATHROOM SHELF INTACT                  |  | NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE |
|  | BATHROOM SHELF ENCASED                 |                                                                                       |                                                                                          |

\* ORIGINAL GLASS WINDOW

Floor Plans showing Spatial Alterations, a Primary Character-Defining Feature  
**FOURTH FLOOR**



LEGEND

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE

\* ORIGINAL GLASS WINDOW

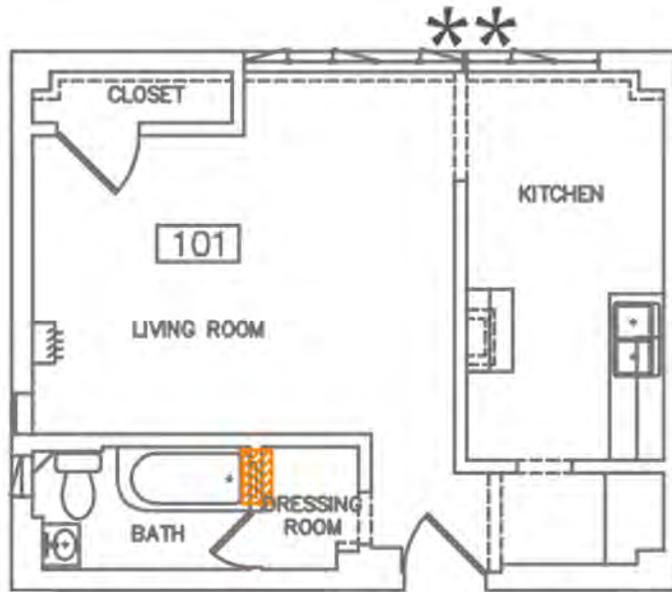
## 6.2.1 Unit Type Characteristics

### Unit Type 1

Studio Apartment

Square Feet: 403sf

Ceiling Height: 9'-2"



Located on the southeast corner of the building, unit type 1 is a studio apartment with a defined entry with an adjacent hall closet. The living room arrangement allowed for a removable “Murphy Bed” located in the southeast corner and notably took advantage of a single casement window on the west wall elevation. The kitchen maintains continuous design vocabulary of access from both the living room and entry with an adjacent dining area. The bathroom displays a model of efficiency with dressing room abutting the bathroom.

### 6.2.1 Unit Type Characteristics

## Unit Type 2

Studio Apartment

Square Feet: 426 sf

Ceiling Height: 9'-2"



Unit type 2 constitutes the most frequently employed studio apartment at the Jardinette. The apartment is located in the central building on the south side as 3 banked modular units from 1<sup>st</sup> floor to the 4<sup>th</sup> floor. Unit characteristics include a defined entry but at a slightly smaller scale than in unit type 1 but manages an effective use of an adjacent hall closet within the modest entry. The living room is flanked by the kitchen and dressing room/bathroom. The kitchen maintains access from both the entrance hall and living room. Continuous design vocabulary of banked casement windows between the kitchen and living room are employed. Notably, this unit type displays an extremely generous dressing room off the bathroom.

### 6.2.1 Unit Type Characteristics

## Unit Type 3

### 1 Bedroom Apartment

Square Feet: 605sf

Ceiling Height: 9'-2"



Located on the southwest corner of the building, unit type 3 has a generously defined entrance and hallway with adjacent hall closet. The bathroom/dressing room is centrally located between the living room and bedroom and all have accessed off the entrance hall. Notably, the kitchen has dual access between the hall closet and living room areas. Windows for this unit type display a unique theme in that the casement windows are placed in an off-set location on all walls with exception to the bedroom. The bathroom employs continuous design vocabulary of a large dressing room with an efficiently arranged bathroom.

## Unit Type 4

### 1 Bedroom Apartment

Square Feet: 693

Ceiling Height: 9'-2"



Located on the northwest corner of the building, unit type 4 has a more modestly defined entry with a notably smaller hall closet space that is not located within the entry but rather is placed in the living room opposite the entry. However, as modest as this entry design is, it belies the fact that this is the largest and most elaborately appointed unit in the complex. The living room divides the space between the bedroom and kitchen. The kitchen maintains access from both the living room and entry. Notably, the bedroom doors off the living room were double French doors of divided lights. Dressing room and bathroom are generously proportioned and are accessed by both the living room and the bedroom. The bedroom notably has access to a covered exterior terrace facing north by northwest to Hollywood hills views and vistas on the upper floors.

## 6.2.1 Unit Type Characteristics

### Unit Type 5

#### Studio Apartment

Square Feet: 405

Ceiling Height: 9'-2"



Located on the northern central/west location of the building, unit type 5 displays unique characteristics among other studio apartments in the Jardinette. A generously defined entry hall is prominently featured but there is no hall closet in this configuration. The dressing room and bathroom are generously proportioned and are accessed directly off the entry hall as it transitions into the living room space. The kitchen is accessed only through the living room. The living displays a unique eastern facing window providing views to the main entrance garden. The closet located in the living room was originally designed to include a “Murphy Bed.”

## 6.2.1 Unit Type Characteristics

### Unit Type 6

Varies between 1 Bedroom and Studio Apartments

Square Feet:           574 (Apt. 104, 1 Bedroom)  
                              444 (Apts 204, 304, 404, Studios)  
                              410 (Apts. 206, 306, 406, Studios)

Ceiling Height:       9'-2"



Located in the center east section of the northern building, unit type 6 is unique because the room type varies. It has a one-bedroom unit (Apt. 104) and studio apartments on the 2<sup>nd</sup> through 4<sup>th</sup> floors (Apts, 204` has a defined entrance hall with an adjacent closet. Living room opens up to a continuous vocabulary of banded casement windows between the kitchen and living room itself. In a unique capacity, there's a small hall vestibule off the living room which accesses both the bedroom and dressing room. The dressing room, in turn, accesses the bathroom. The remaining unit type 6's on floors 2 through 4 are defined thusly:

Units 204 through 404 have a defined entry with adjacent hall closet. The living room is flanked by the kitchen and bathroom/dressing area. In this particular instance, the dressing area has casement window and the adjacent bathroom window opens to "light well."

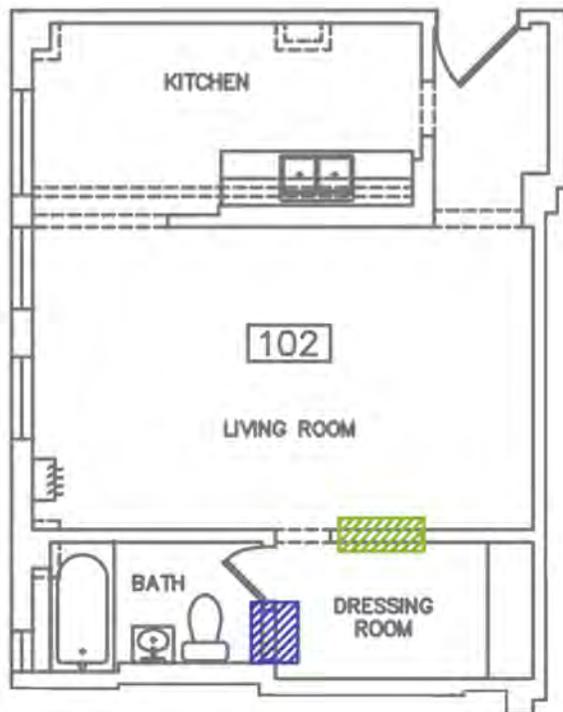
Units 306 through 406 emulate a typical unit type 2, however, these units are located on the northern central portion of the building and directly look out on the main front gardens.

## Unit Type 7

### Studio Apartment

Square Feet: 427

Ceiling Height: 9'-2"



Located in the middle eastern section of the building, unit type 7 displays a defined entrance hall. As is typical with the Jardinette studio space plan design, the living room divides the space between kitchen and dressing room/bathroom. There is no hall closet in this unit. The kitchen is accessed by both the entry and living room. Continuous vocabulary of banded casement windows defines the kitchen and living room areas.

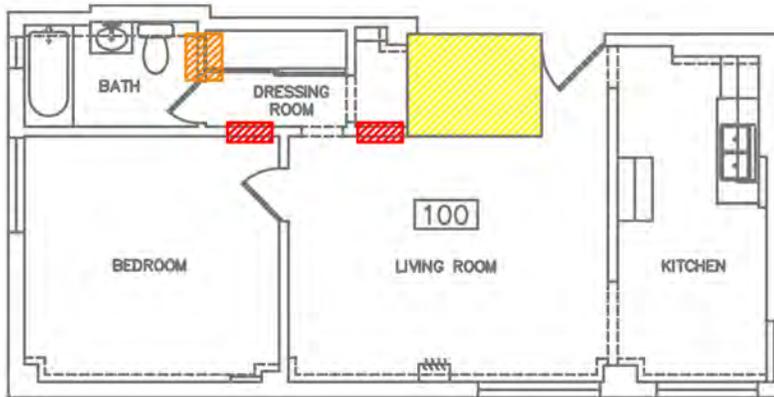
## 6.2.1 Unit Type Characteristics

### Unit Type 8

1 Bedroom Apartment

Square Feet: 537sf

Ceiling Height: 9'-2"



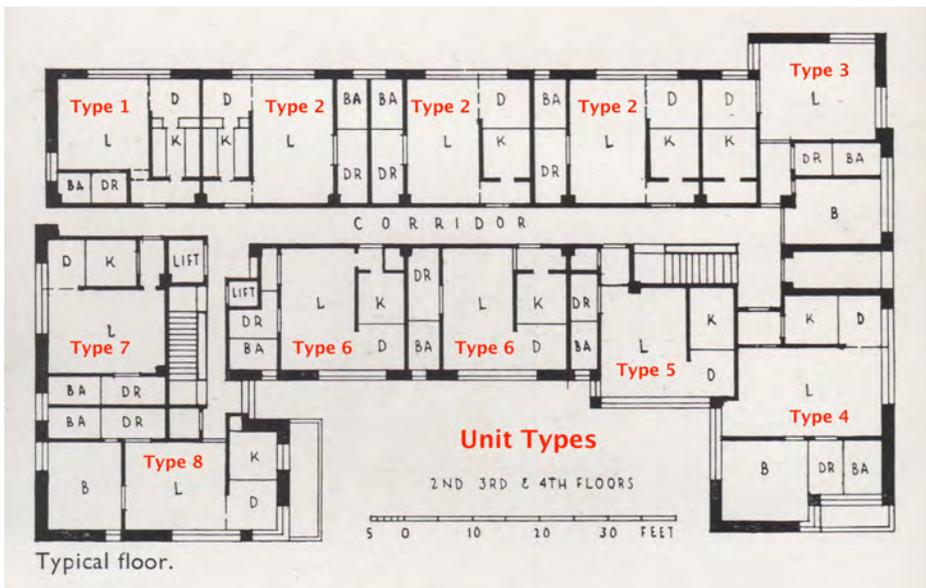
Located on the northeast corner of the building, unit type 8 is a 1 bedroom unit with defined entry. In this arrangement, the hall closet located in the living room and not adjacent to the entrance hall. Kitchen, living room and bedroom are arranged in near “shot gun” layout. The dining area displays a unique corner window on the first floor with a French door leading to balconettes on the 2<sup>nd</sup> through 4<sup>th</sup> floor units. Notably, the dressing room and bathroom accessible from both the living room and bedroom; likewise the kitchen is accessed from two ends. (The resulting ease of movement portends Neutra’s later work and is a generous strategy here at the Jardinette.)

Unit Type 8  
Units 100, 200, 300, 400  
Condition Assessment  
Evaluation of Integrity

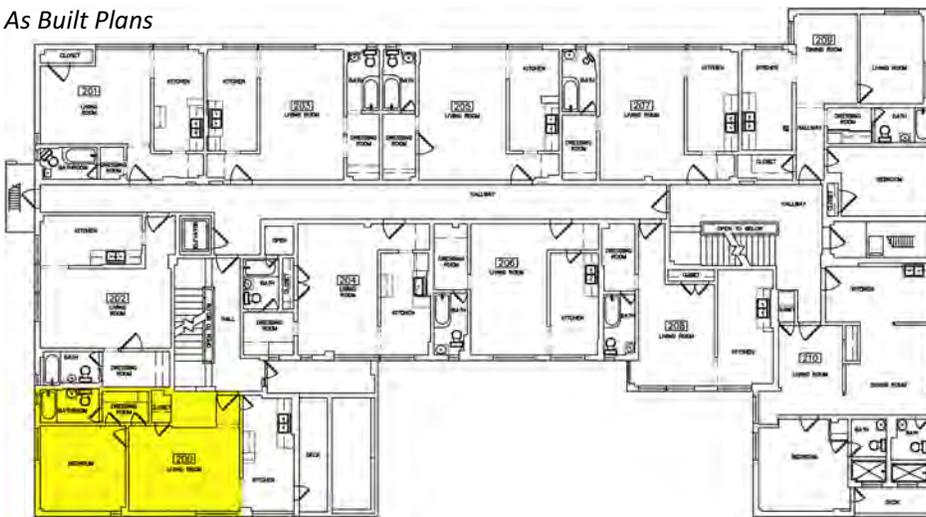
Overall Condition/Integrity of Unit 100

Fair to Good

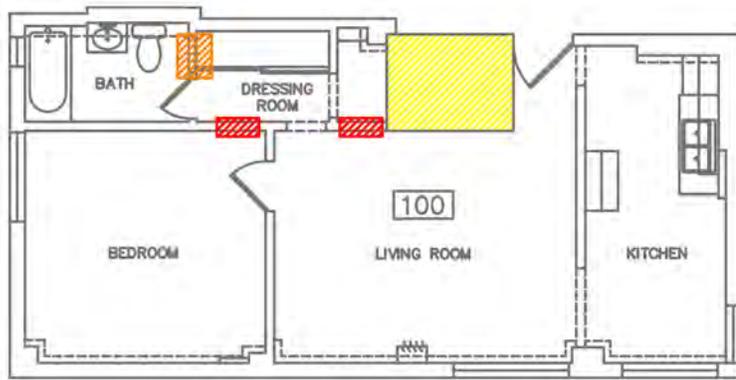
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 8 Condition Assessment Unit 100



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	90% INTACT
PF Murphy bed door/opening	n/a
PF Texture above molding Only kitchen intact	35% INTACT
PF Wood doors	Five missing: . French doors to bedroom (wall partially enclosed) . Door to kitchen (opening intact) . Two doors demolished/encased to DR.
PF Painted kitchen cabinetry	50% INTACT
PF Wood closet casework (at entry closet or DR closet or both)	removed
PF Bathroom glass-backed shelving	INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain.	INTACT
SF Bathroom hex floor tile	removed or overlaid

Unit Type: 8  
Condition Assessment  
Unit 100 Kitchen and Bathroom



. Kitchen

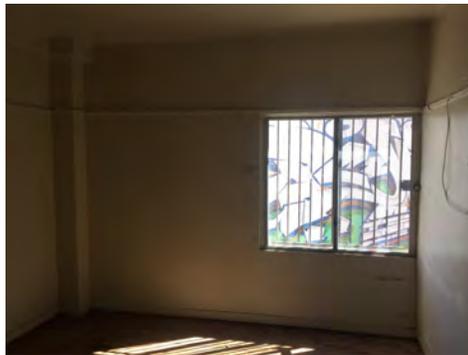


. Bathroom

Unit Type: 8  
Condition Assessment  
Unit 100 Living Spaces



. Living Room



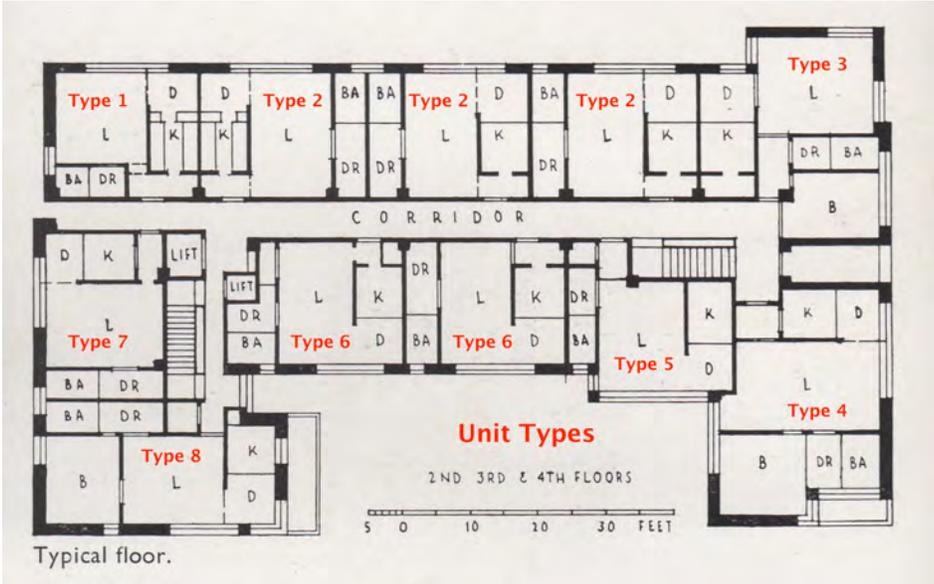
. Bedroom

Unit Type 1  
Units 101, 201, 301, 401  
Condition Assessment  
Evaluation of Integrity

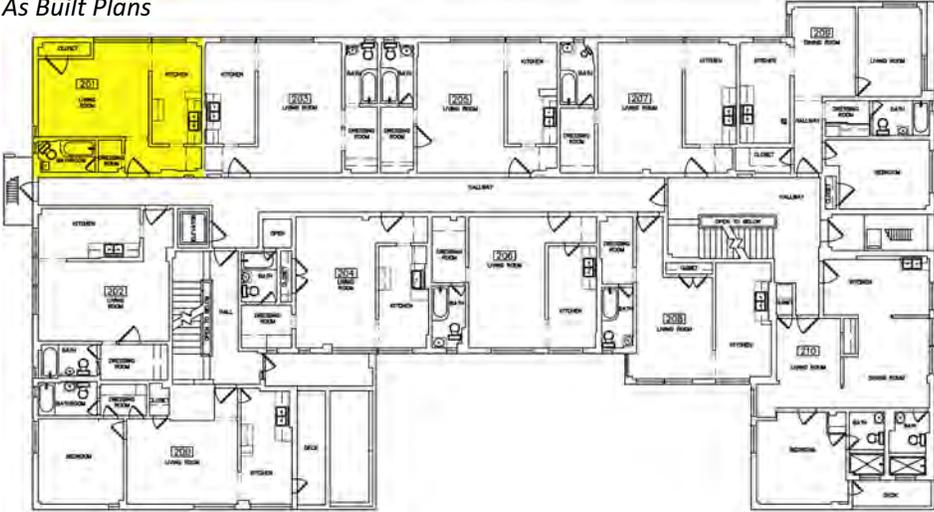
Overall Condition/Integrity of Unit 101

Fair to Good

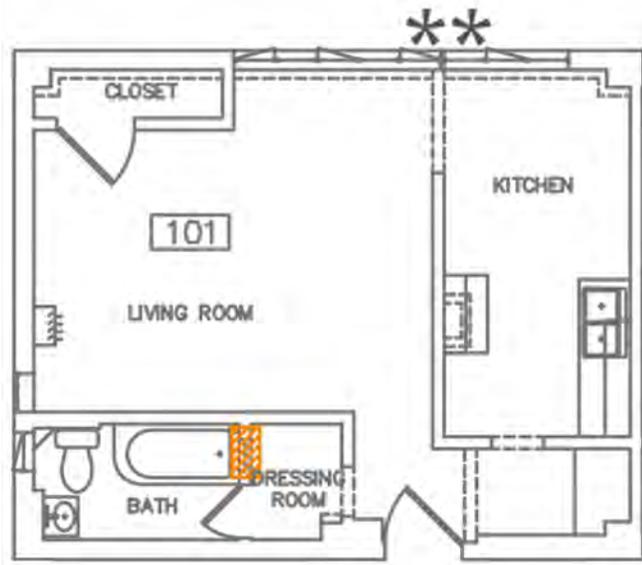
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 1 Condition Assessment Unit 101



### LEGEND

#### PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	90% INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding LR intact; other areas hit and miss	65% INTACT
PF Wood doors	2 removed: Kit, DR
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	25% INTACT
PF Wood closet casework (at entry closet; in DR closet, or both)	removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	INTACT
SF Bathroom hex white floor tile	INTACT

Unit Type: 1  
Condition Assessment  
Unit 101 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 1  
Condition Assessment  
Unit 101 Living Spaces



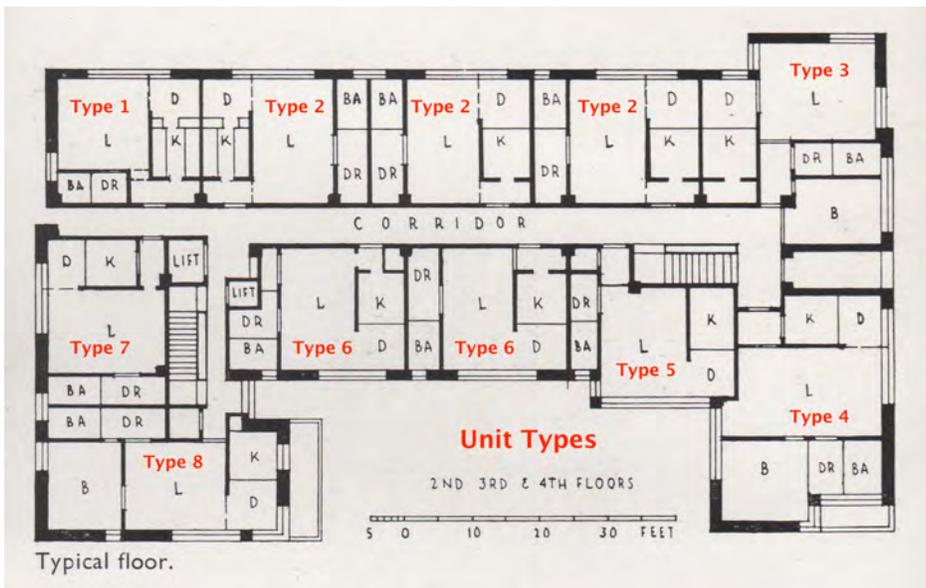
. Living Room



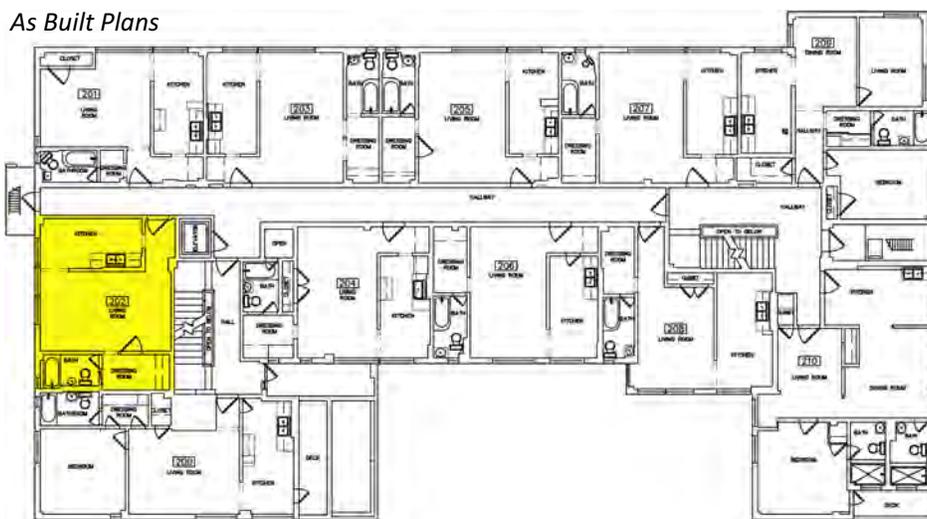
## Overall Condition/Integrity of Unit 102

Poor to Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 7 Condition Assessment Unit 102



## LEGEND

### PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	70% INTACT
PF Murphy bed door/opening	Removed
PF Texture above molding	90% INTACT
	LR intact; other areas hit and miss
PF Wood doors	2 removed: Kit, DR
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	0% INTACT
PF Wood closet casework doors (at entry closet; in DR closet, or both)	Removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	n/a
SF Bathroom hex floor tile	INTACT

Unit Type: 7  
Condition Assessment  
Unit 102 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 7  
Condition Assessment  
Unit 102 Living Spaces



. Living Room

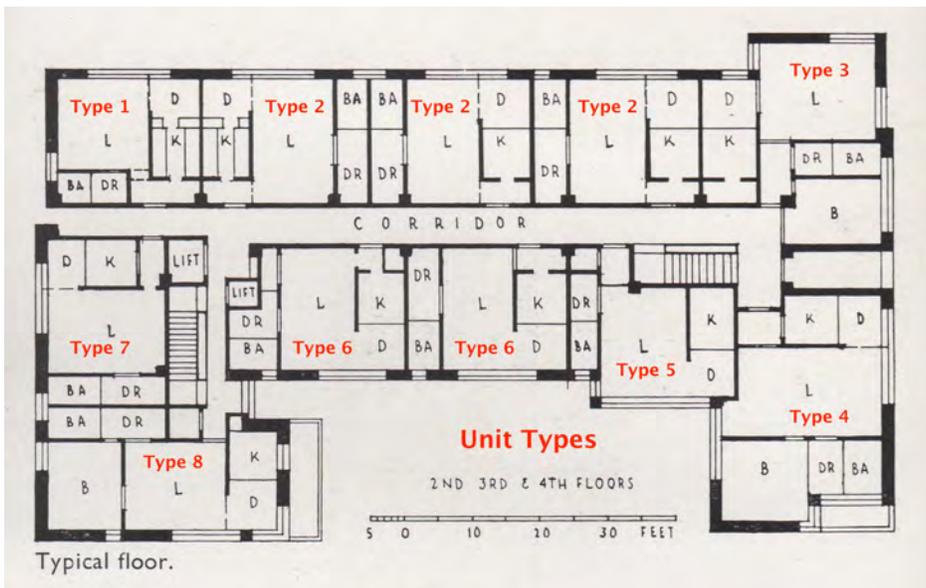


Unit Type 2  
Units 103, 203, 303, 403  
Condition Assessment  
Evaluation of Integrity

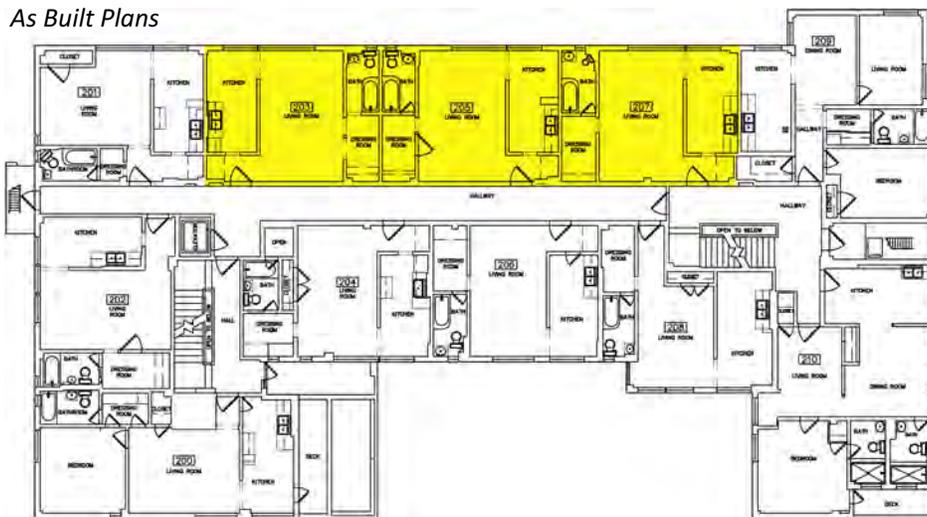
Overall Condition/Integrity of Unit 103

Poor

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 103



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	Opening INTACT door removed
PF Texture above molding	Removed
PF Wood doors	2 removed: Kit, DR
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	All removed
PF Wood closet casework (at entry closet; in DR closet, or both)	Removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	n/a
SF Bathroom hex floor tile	removed or overlaid

**Note:** Bathroom interior (tile) wall severely bowing.

Unit Type: 2  
Condition Assessment  
Unit 103 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 103 Living Spaces

. Living Room

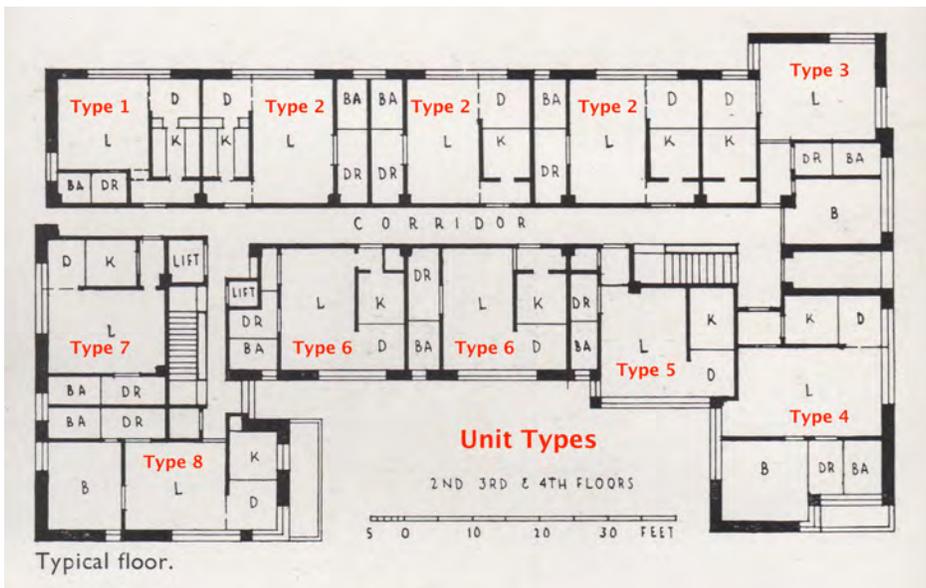


Unit Type 6  
Units 104, 204, 304, 404  
Condition Assessment  
Evaluation of Integrity

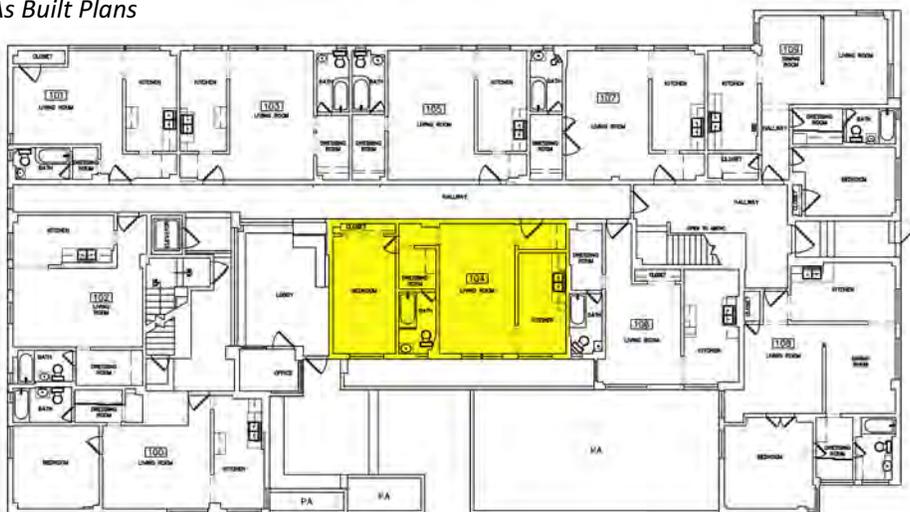
Overall Condition/Integrity of Unit 104

Poor to Fair

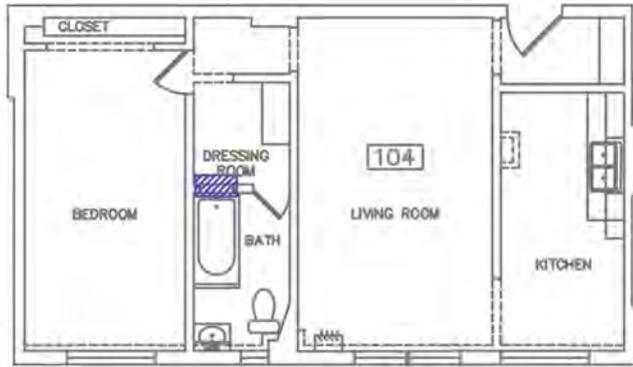
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 104



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	70% INTACT
PF Murphy bed door/opening	Opening INTACT double doors gone
PF Texture above molding	Removed
PF Wood doors	2 removed: Kit, DR. Kit doorway demolished
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	Removed, all.
PF Wood closet casework (at entry closet; in DR closet, or both)	Removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	n/a
SF Bathroom hex floor tile	Removed or overlaid

**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

Unit Type: 6  
Condition Assessment  
Unit 104 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 6  
Condition Assessment  
Unit 104 Living Spaces



. Living Room



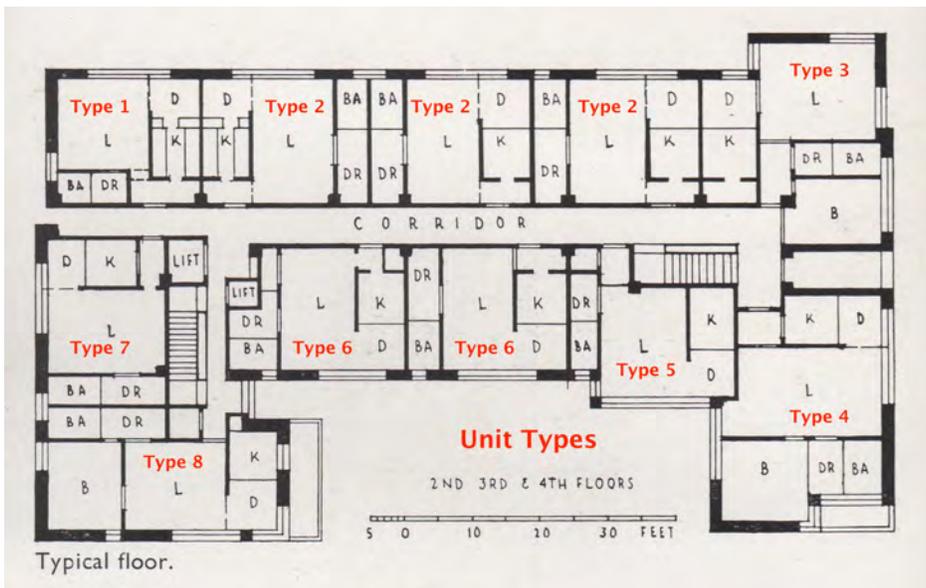
. Bedroom

Unit Type 2  
Units 105, 205, 305, 405  
Condition Assessment  
Evaluation of Integrity

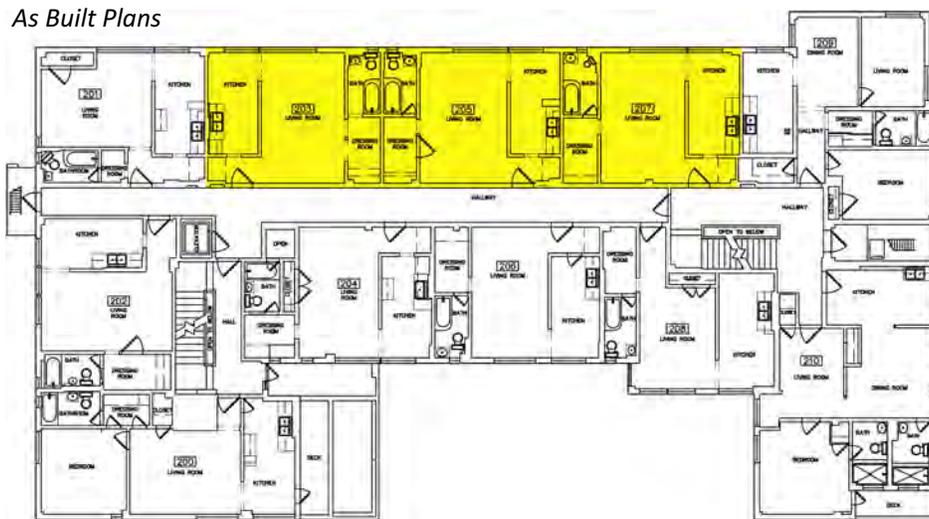
Overall Condition/Integrity of Unit 105

Poor

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 105

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	Door and opening removed



PF Texture above molding	Removed
PF Wood doors	2 Removed: Kit, DR
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	Removed

LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 2  
Condition Assessment  
Unit 105 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 105 Living Spaces



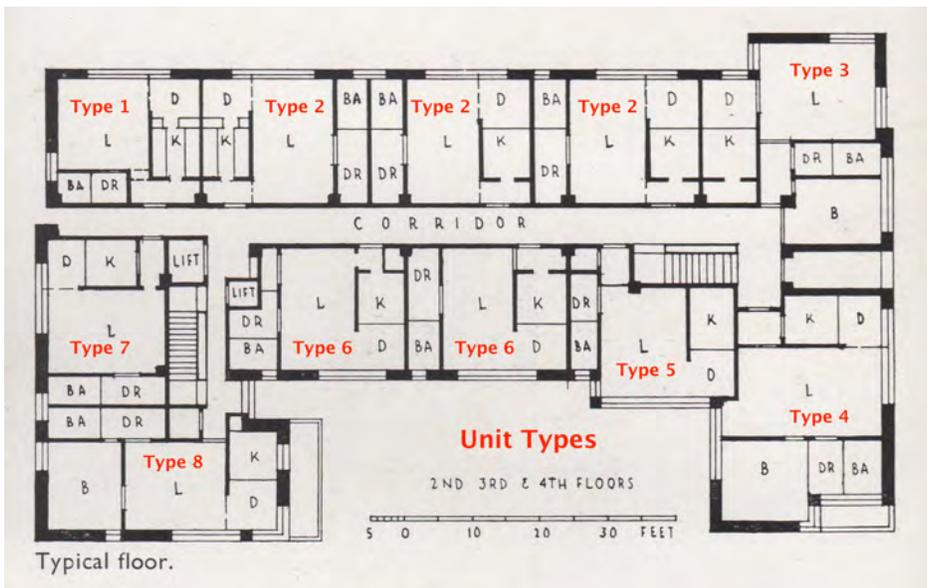
. Living Room



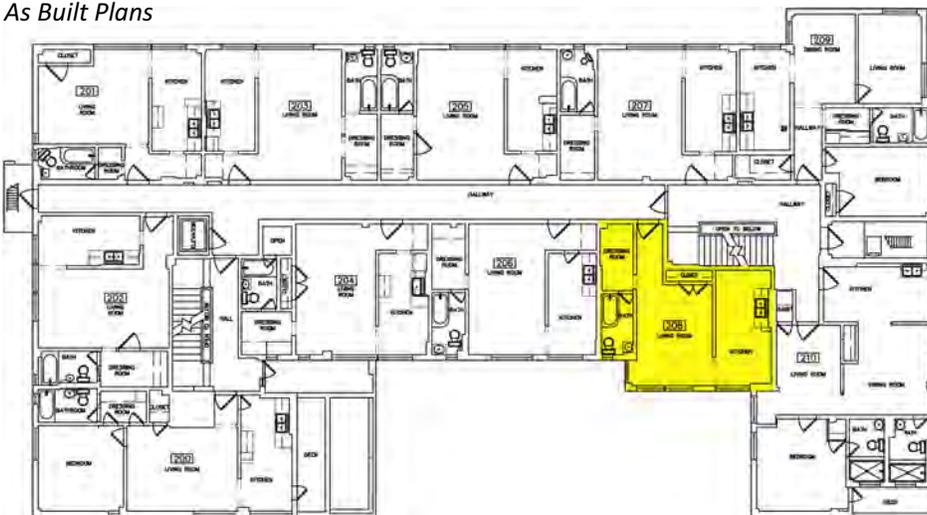
## Overall Condition/Integrity of Unit 106

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 5 Condition Assessment Unit 106



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	Double doors gone, opening extant, molding gone
PF Texture above molding	TK
PF Wood doors	Door to DR removed
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	90% INTACT, good template
PF Wood closet casework (at entry closet; in DR closet, or both)	Removed. (The design for this unit does not have entry closet.)
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex floor tile	Removed or overlaid

**Note:** Bathroom interior (tile) wall bowing.

Unit Type: 5  
Condition Assessment  
Unit 106 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 5  
Condition Assessment  
Unit 106 Living Spaces

. Living Room

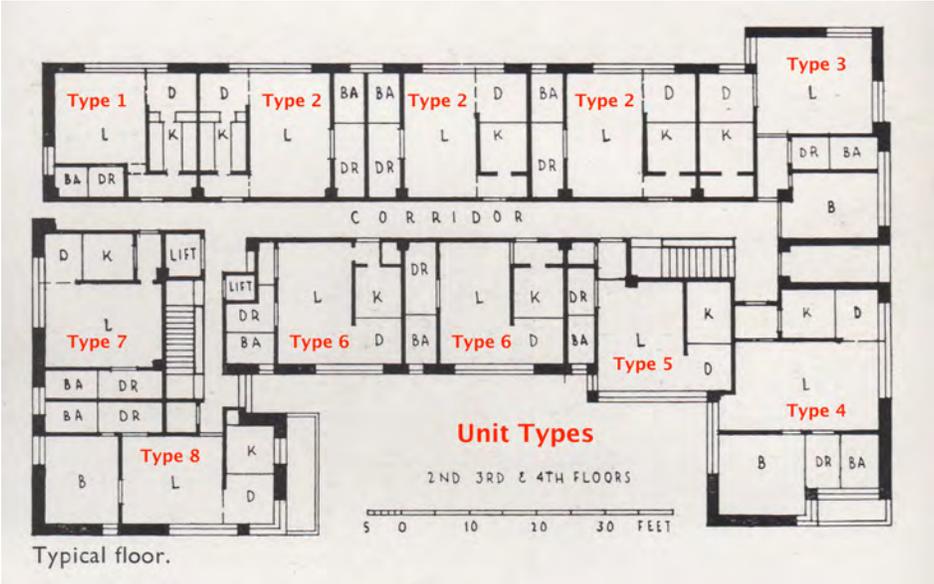


Unit Type 2  
Units 107, 207, 307, 407  
Condition Assessment  
Evaluation of Integrity

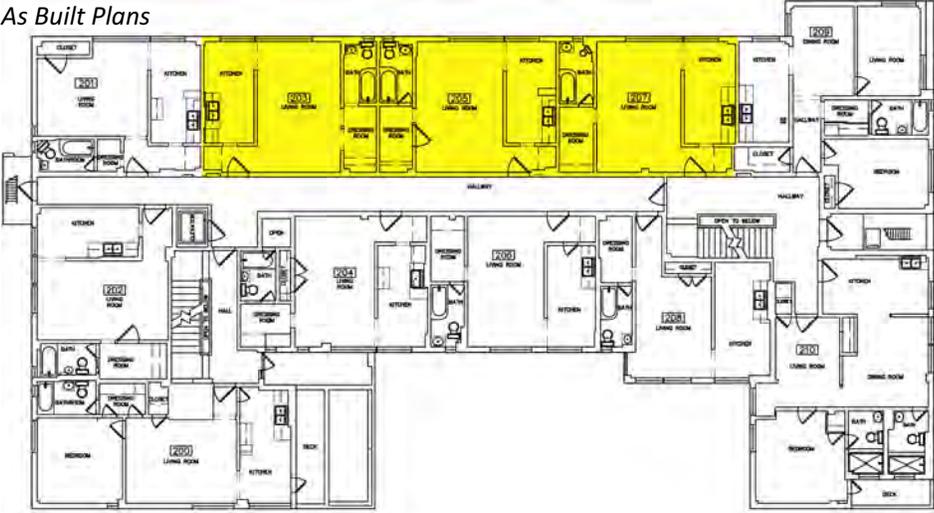
Overall Condition/Integrity of Unit 107

Poor to Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 107

PF Spatial layout INTACT

PF Steel windows see Window Inventory

PF Wall and door moldings INTACT

PF Murphy bed door/opening Door and opening extant, painted shut

PF Texture above molding Removed

PF Wood doors 1 Removed: Kit

PF Bathroom glass-backed shelving Encased

PF Painted kitchen cabinetry Removed

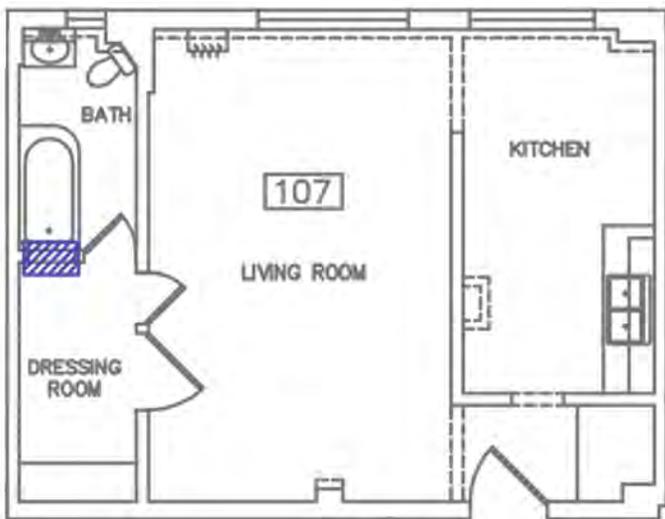
PF Wood closet casework doors (at entry; in DR, or both) Entry closet doors INTACT

PF Bathtub INTACT

SF Bathroom wall tile with liner painted

SF Bathroom accessories, porcelain. Removed

SF Bathroom hex floor tile Removed or overlaid



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

Unit Type: 2  
Condition Assessment  
Unit 107 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 107 Living Spaces

. Living Room

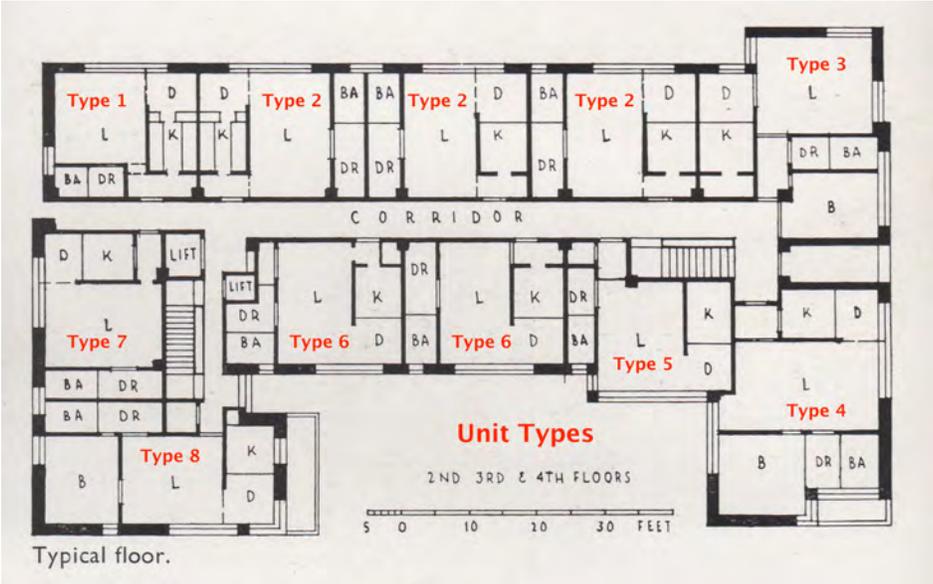


Unit Type 4  
 Units 108, 210, 310, 410  
 Condition Assessment  
 Evaluation of Integrity

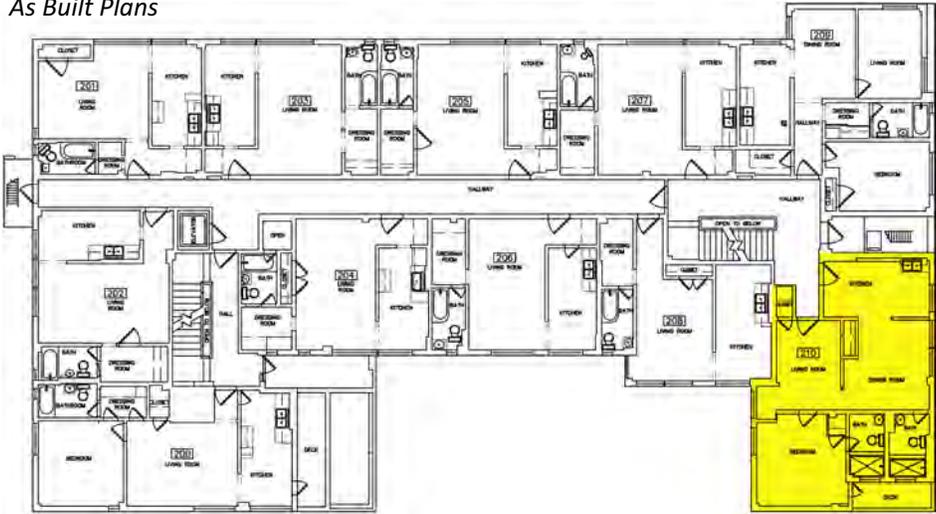
Overall Condition/Integrity of Unit 108

Very Poor

Historic Concept Plans for Unit Types

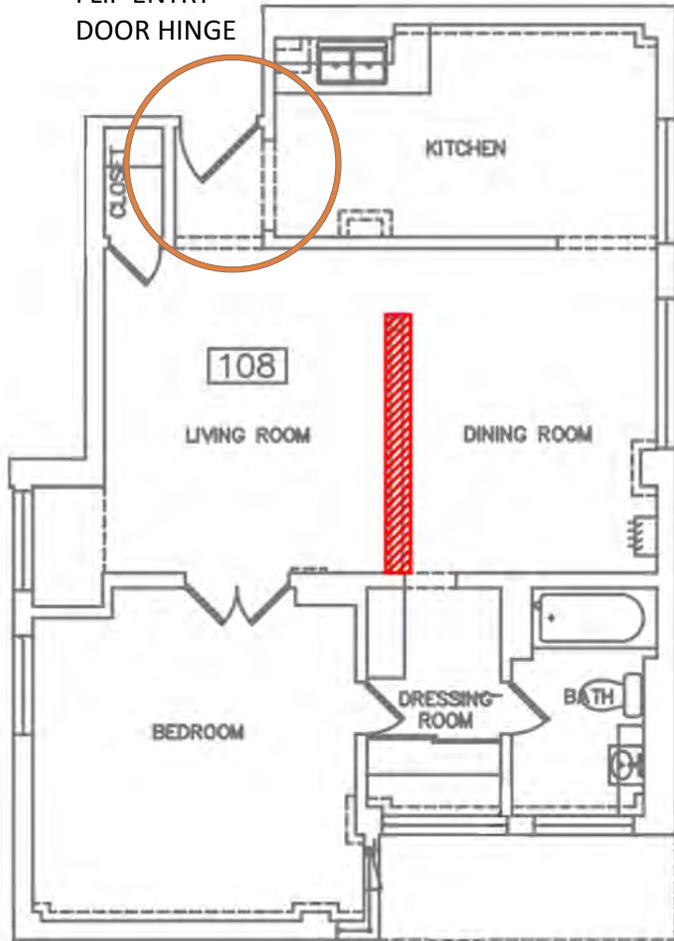


As Built Plans



# Unit Type: 4 Condition Assessment Unit 108

FLIP ENTRY  
DOOR HINGE



**NOTE: ENTRY DOOR HINGED WRONG SIDE.**

PF Spatial layout	DEMOLISHED
PF Steel windows	see Window Inventory
PF Wall and door moldings	50% INTACT
PF Murphy bed door/opening	n/a
PF Texture above molding	Removed
PF Wood doors	Kit door gone, door to DR gone
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	Removed
PF Wood closet casework doors (at entry; in DR, or both)	Removed (DR area)
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex floor tile	Removed or overlaid

LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

**Note:** ORIGINAL TRANSOM WINDOWS COVERED ON EXT.,  
One section intact and accessible from interior.

Unit Type: 4  
Condition Assessment  
Unit 108 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 4  
Condition Assessment  
Unit 108 Living Spaces



. Living Room



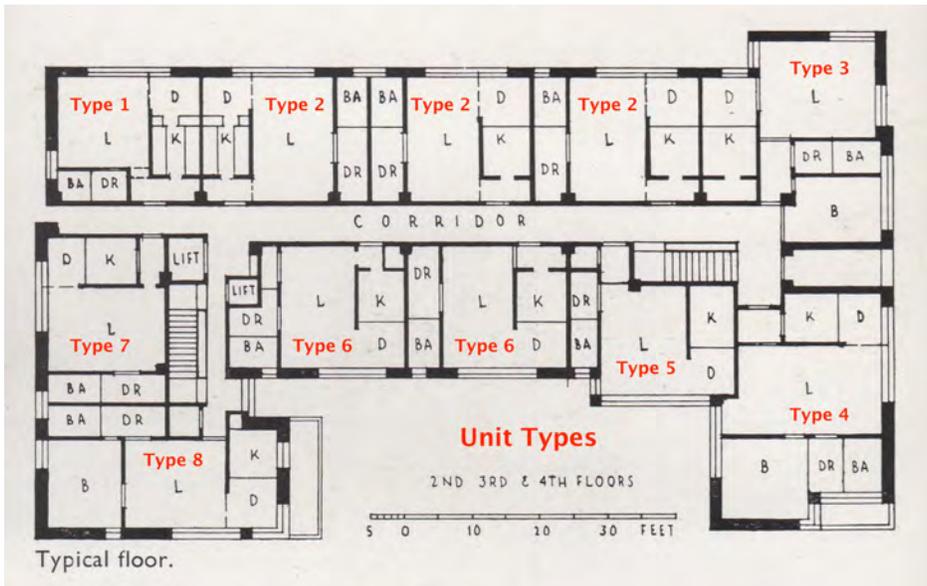
. Bedroom

Unit Type 3  
Units 109, 209, 309, 409  
Condition Assessment  
Evaluation of Integrity

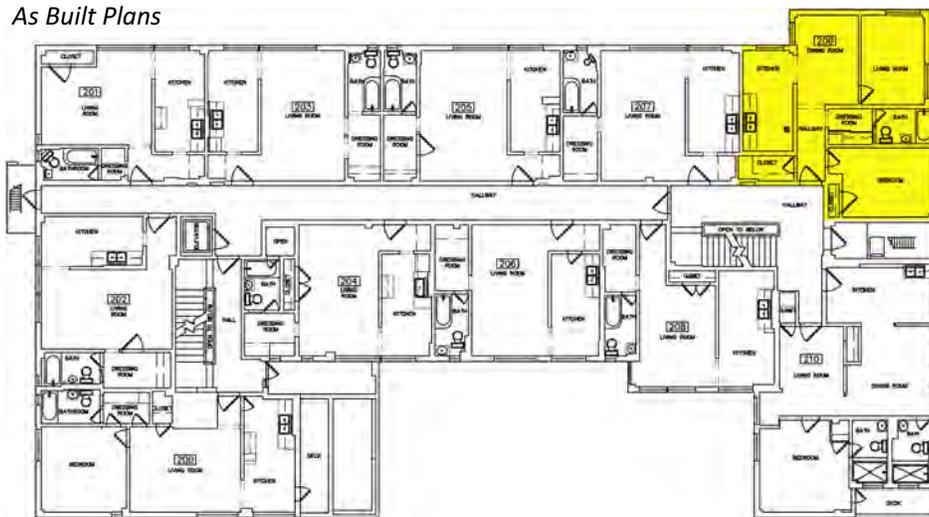
Overall Condition/Integrity of Unit 109

Poor

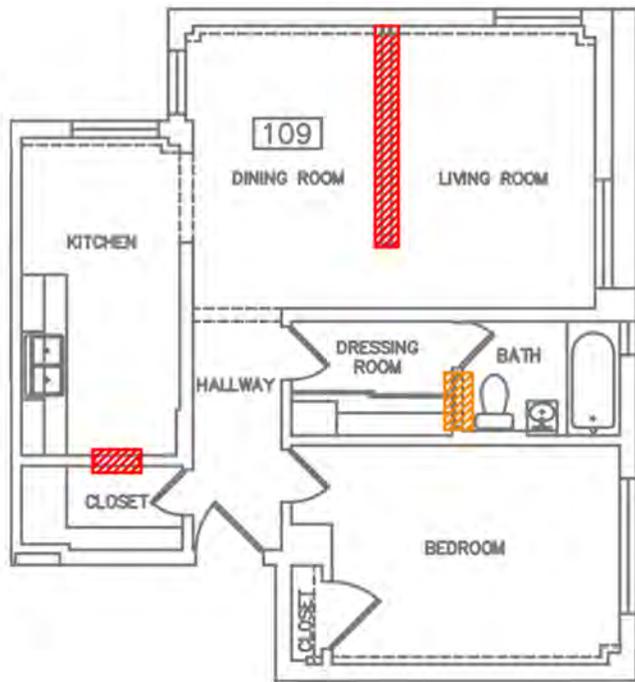
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 3 Condition Assessment Unit 109



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NOT DEFINED PER NEUTRA DRAWING
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	Altered
PF Steel windows	see Window Inventory
PF Wall and door moldings	80% INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	Removed
PF Wood doors	3 doors missing including encased kitchen door
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	Removed
PF Wood closet casework doors (at entry; in DR, or both)	Removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 3  
Condition Assessment  
Unit 109 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 3  
Condition Assessment  
Unit 109 Living Spaces



. Living Room



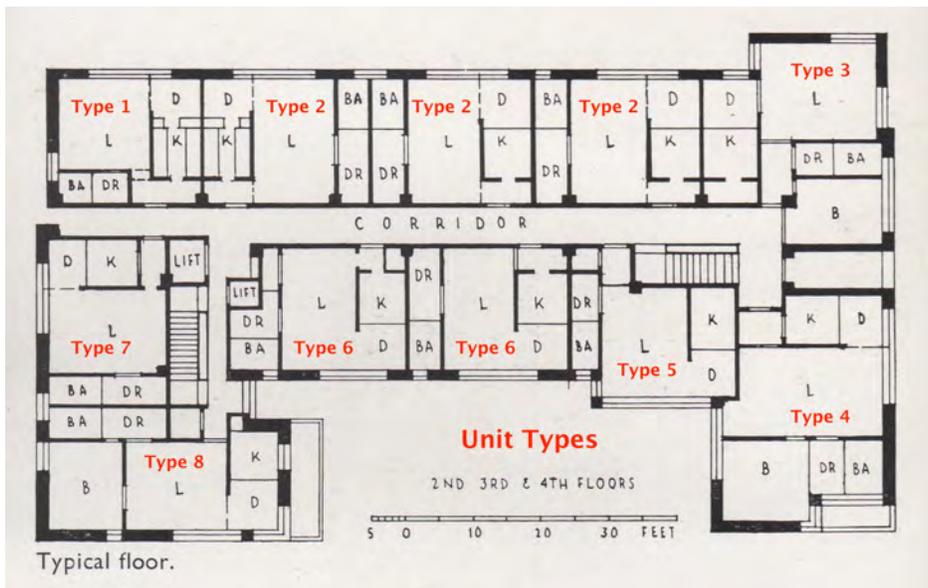
. Bedroom

Unit Type 8  
Units 100, 200, 300, 400  
Condition Assessment  
Evaluation of Integrity

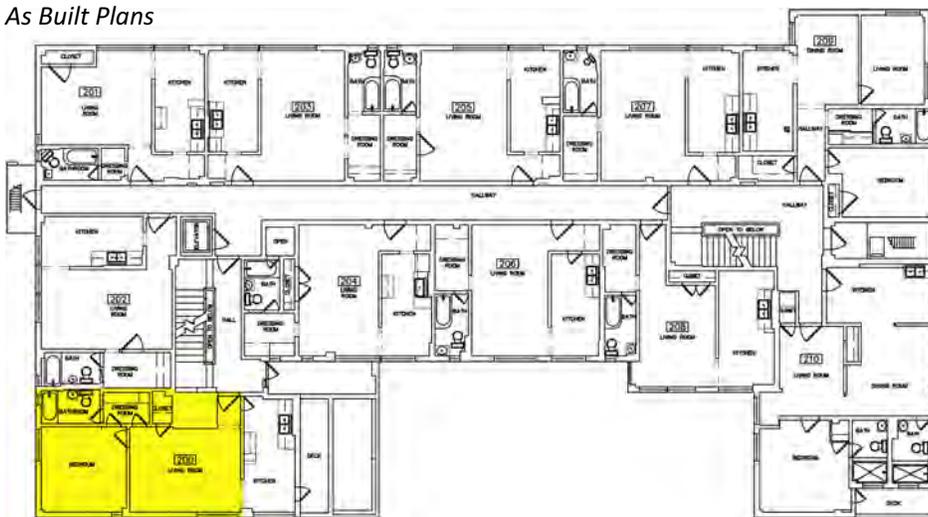
Overall Condition/Integrity of Unit 200:

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 8 Condition Assessment Unit 200

**NOTE:** ACCESS TO THIS UNIT WAS NOT POSSIBLE. ASSESSMENT REFLECTS PPM AS-BUILT PHOTOS.

PF Spatial Layout INTACT

PF Steel Casement Windows – see Inventory

PF Wall and Door Moldings 95% INTACT

PF Murphy Bed Door/Opening; n/a

PF Texture above molding 5% INTACT  
.Only Entrance Hall has texture

PF Wood Doors 95% INTACT  
.French doors to bedroom Removed

PF Painted Kitchen Cabinetry 80% INTACT,  
including shallow chinac

PF Bathroom Glass-backed Shelving INTACT

PF Bathtub INTACT

SF Bathroom wall tile with liner INTACT

SF Bathroom accessories, porcelain INTACT

SF Bathroom hex floor tile INTACT



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

Unit Type: 8  
Condition Assessment  
Unit 200 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 8  
Condition Assessment  
Unit 200 Living Spaces



. Living Room



. Bedroom



# Unit Type: 1 Condition Assessment Unit 201



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	90% INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	removed
PF Wood doors at bathroom	2 removed: Kit, DR INTACT
PF Bathroom glass-backed shelving	encased
PF Painted kitchen cabinetry	65% INTACT
PF Wood closet casework at entry	INTACT
at DR closet	removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	75% INTACT
SF Bathroom accessories, porcelain.	broken
SF Bathroom hex white floor tile	overlayed/removed

Unit Type: 1  
Condition Assessment  
Unit 201 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 1  
Condition Assessment  
Unit 201 Living Spaces

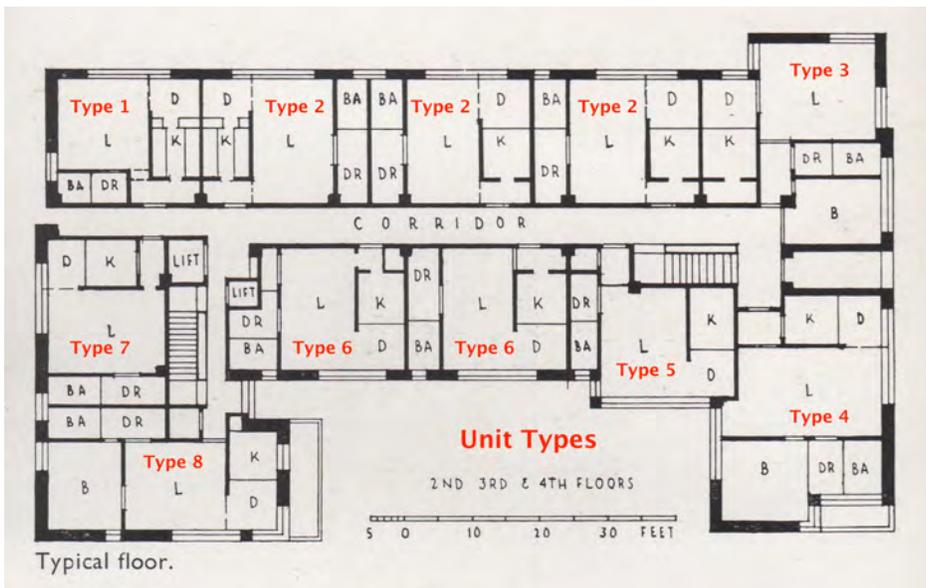
. Living Room



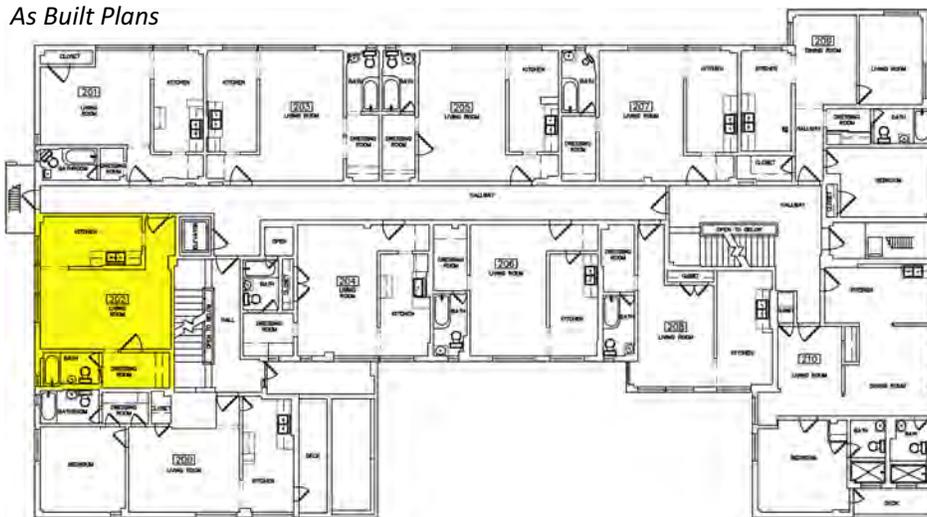
## Overall Condition/Integrity of Unit 202

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 7 Condition Assessment Unit 202



## LEGEND

### PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	removed
PF Wood doors	2 removed: Kit, DR
Bathroom door	INTACT
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	45% INTACT
PF Wood closet casework doors (at entry; in DR, or both)	removed
PF Bath tub	90% INTACT
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain.	n/a
SF Bathroom hex white floor tile	overlayed/removed

Unit Type: 7  
Condition Assessment  
Unit 202 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 7  
Condition Assessment  
Unit 202 Living Spaces

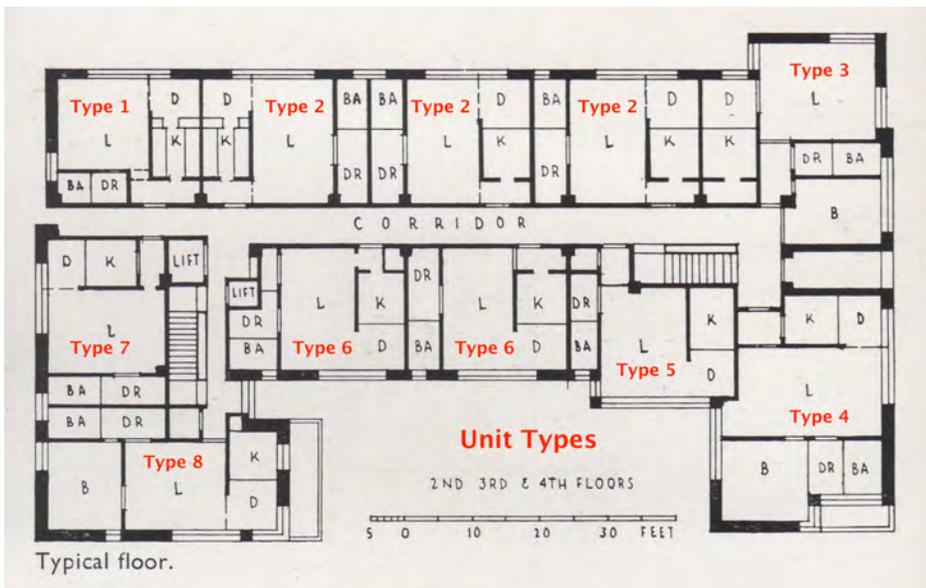
. Living Room



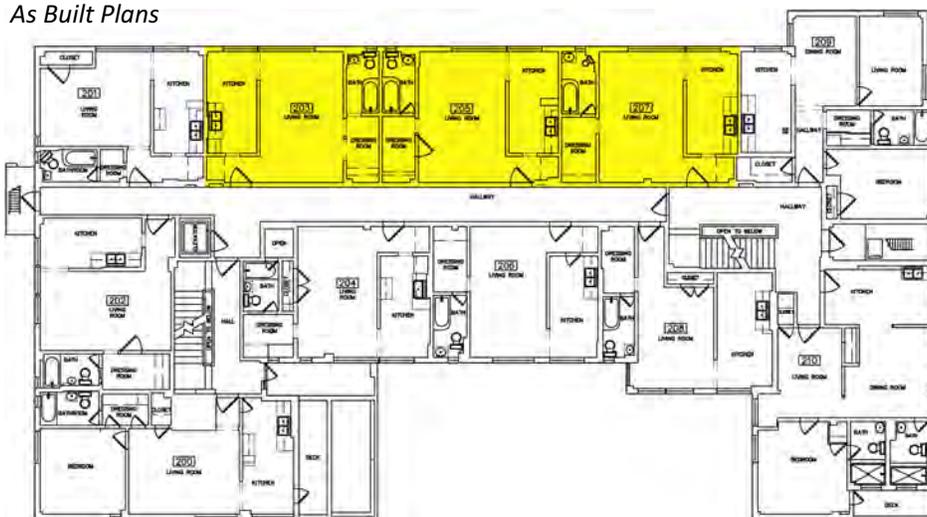
## Overall Condition/Integrity of Unit 203

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 203



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	75% INTACT
PF Murphy bed door/opening	Opening INTACT door removed
PF Texture above molding	kitchen INTACT all else removed
PF Wood doors	2 removed: Kit, DR
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	removed
PF Wood closet casework at entry closet in DR closet	INTACT removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain. Original Medicine Cabinet	n/a INTACT
SF Bathroom hex floor tile	removed or overlaid

**Note:** Bathroom interior (tile) wall severely bowing.

Unit Type: 2  
Condition Assessment  
Unit 203 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 2  
Condition Assessment  
Unit 203 Living Spaces

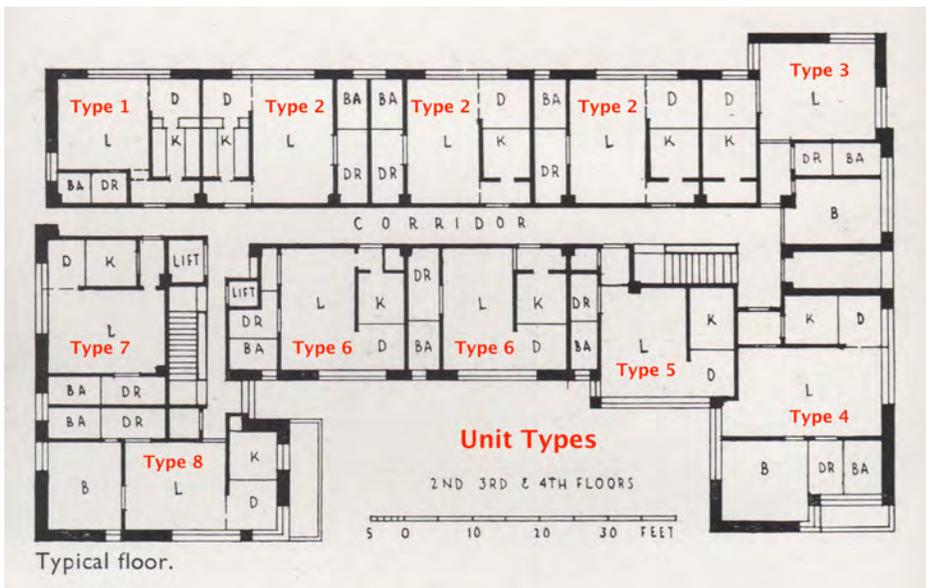


- . Bedroom

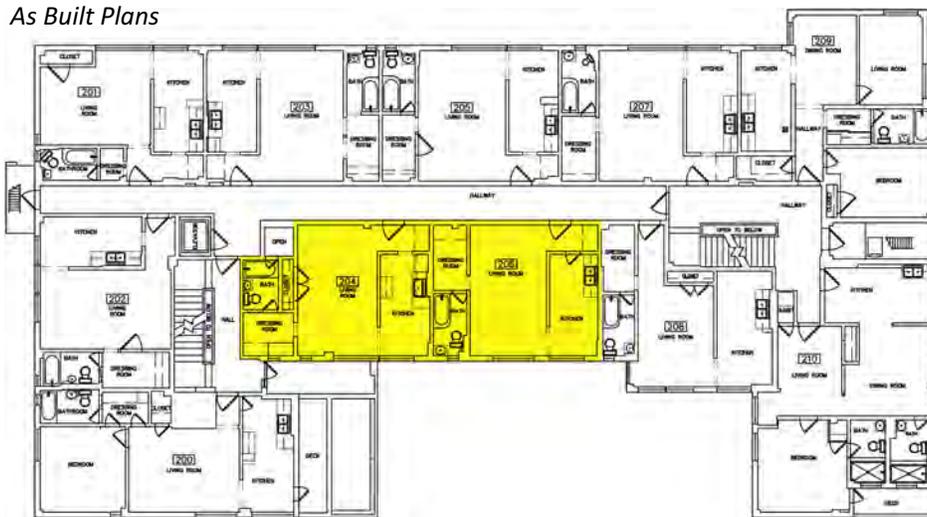
## Overall Condition/Integrity of Unit 204

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 204



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	60% INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	removed
PF Wood doors	2 removed: Kit, DR.
Bathroom door	INTACT
PF Bathroom glass-backed shelving	encased
PF Painted kitchen cabinetry	90% INTACT
PF Wood closet casework at entry closet	removed
in DR closet	INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	50% INTACT
SF Bathroom accessories, porcelain.	INTACT
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 6  
Condition Assessment  
Unit 204 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 6  
Condition Assessment  
Unit 204 Living Spaces



. Living Room



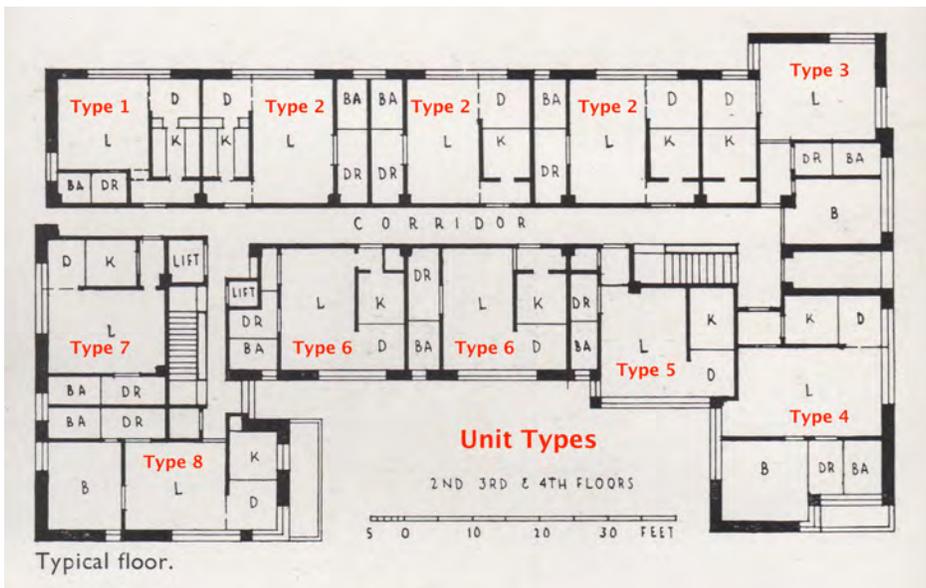
. Bathroom

Unit Type 2  
Units 105, 205, 305, 405  
Condition Assessment  
Evaluation of Integrity

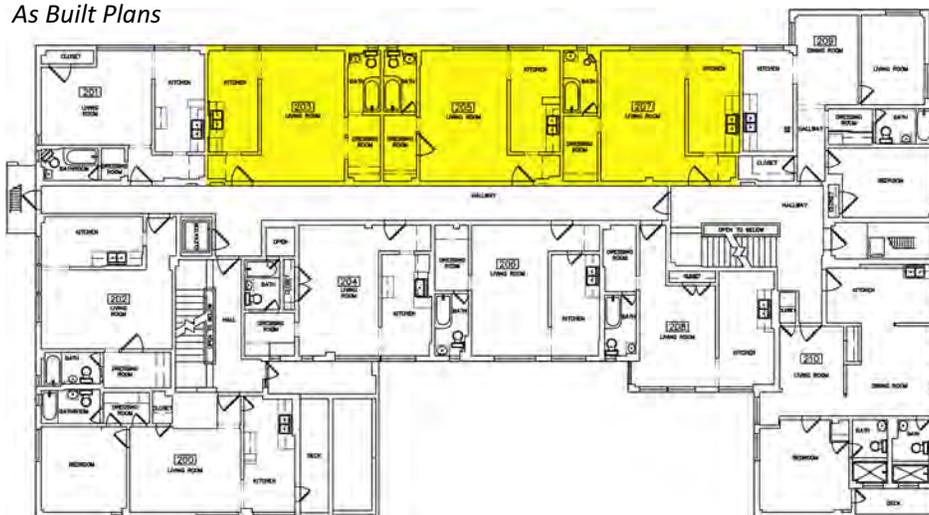
Overall Condition/Integrity of Unit 205

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 205



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	Removed
PF Wood doors	2 Removed: Kit, DR
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	50% INTACT
PF Wood closet casework at entry closet in DR closet, or both)	INTACT Removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	65% INTACT
SF Bathroom hex floor tile	Removed or overlaid

LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

Unit Type: 2  
Condition Assessment  
Unit 205 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 205 Living Spaces



. Living Room

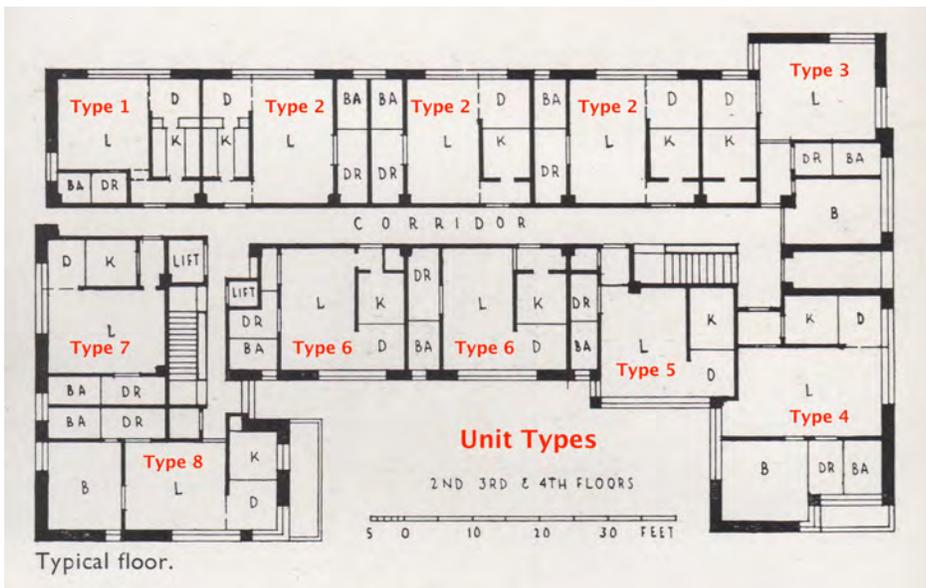


Unit Type 6  
Units 206, 306, 406  
Condition Assessment  
Evaluation of Integrity

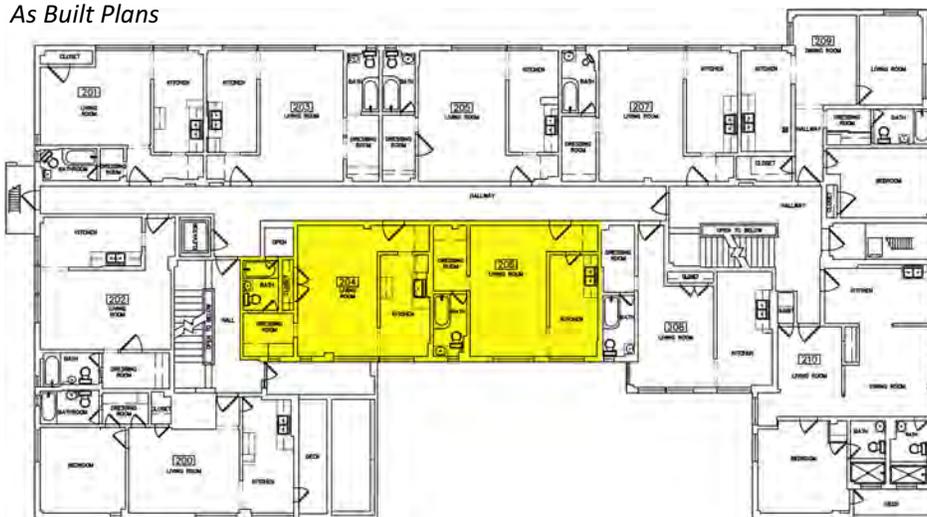
Overall Condition/Integrity of Unit 206

Poor

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 206



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	75% INTACT
PF Murphy bed door/opening	door removed, opening walled-in, molding removed
PF Texture above molding	removed
PF Wood doors	
kitchen and bathroom	INTACT
DR	removed
PF Bathroom glass-backed shelving	encased
PF Painted kitchen cabinetry	removed
PF Wood closet casework at entry closet	INTACT
in DR closet	removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	removed
SF Bathroom hex floor tile	removed or overlaid

**Note:** Bathroom interior (tile) wall bowing.

Unit Type: 6  
Condition Assessment  
Unit 206 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 6  
Condition Assessment  
Unit 206 Living Spaces

. Living Room

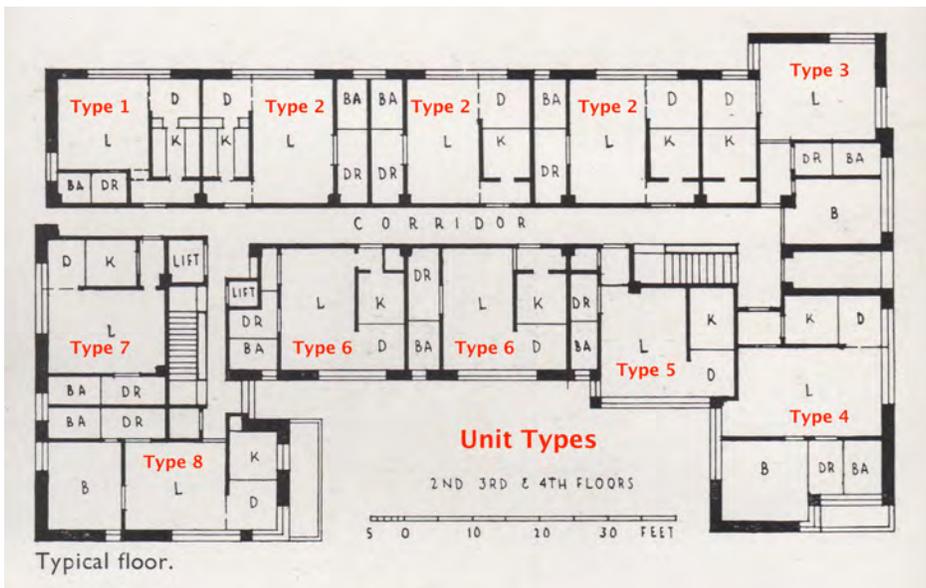


Unit Type 2  
Units 107, 207, 307, 407  
Condition Assessment  
Evaluation of Integrity

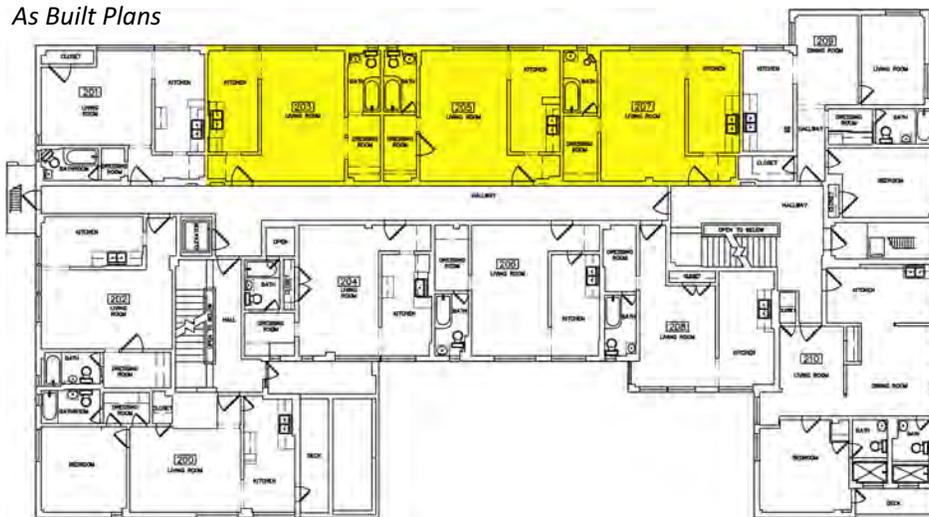
Overall Condition/Integrity of Unit 207  
**Good**

Poor to Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 207



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	90% INTACT
PF Murphy bed door/opening	door removed, opening walled-in, molding removed
PF Texture above molding	removed
PF Wood doors	removed
Kitchen	altered (width increased)
DR	INTACT
Bathroom	encased
PF Bathroom glass-backed shelving	removed
PF Painted kitchen cabinetry	INTACT
PF Wood closet casework at entry	removed
in DR,	INTACT
PF Bathtub	painted (50%)
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain.	removed or overlaid
SF Bathroom hex floor tile	

Unit Type: 2  
Condition Assessment  
Unit 207 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 2  
Condition Assessment  
Unit 207 Living Spaces



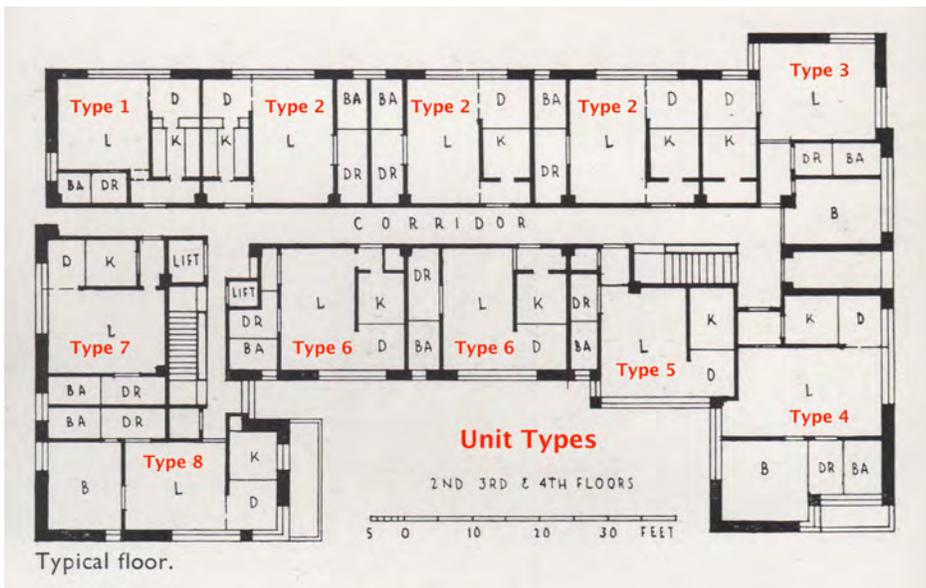
. Living Room



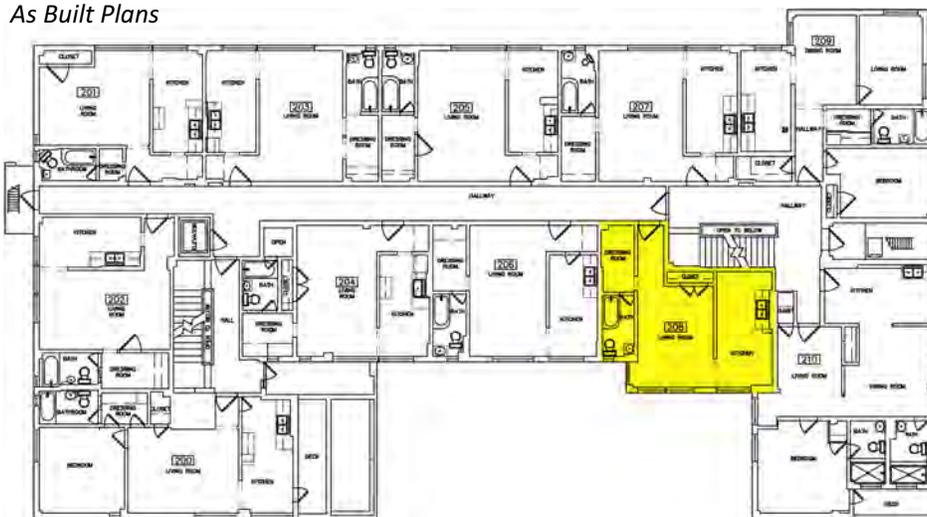
## Overall Condition/Integrity of Unit 208

Poor

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 5 Condition Assessment Unit 208



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	40% INTACT
PF Murphy bed door/opening	doors removed
PF Texture above molding	tbd
PF Wood doors	
DR	removed
Bathroom	INTACT
PF Bathroom glass-backed shelving	encased
PF Painted kitchen cabinetry	removed
PF Wood closet casework at entry:	Unit design does not have entry closet
DR closet	removed partially
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain.	removed
SF Bathroom hex floor tile	removed or overlaid

**Note:** Bathroom interior (tile) wall bowing.

Unit Type: 5  
Condition Assessment  
Unit 208 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 5  
Condition Assessment  
Unit 208 Living Spaces

. Living Room

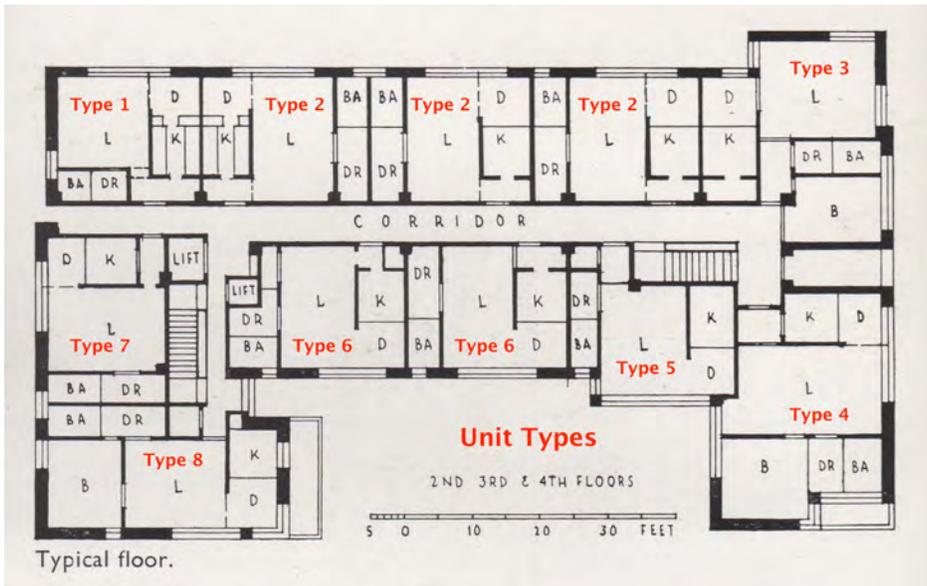


Unit Type 3  
Units 109, 209, 309, 409  
Condition Assessment  
Evaluation of Integrity

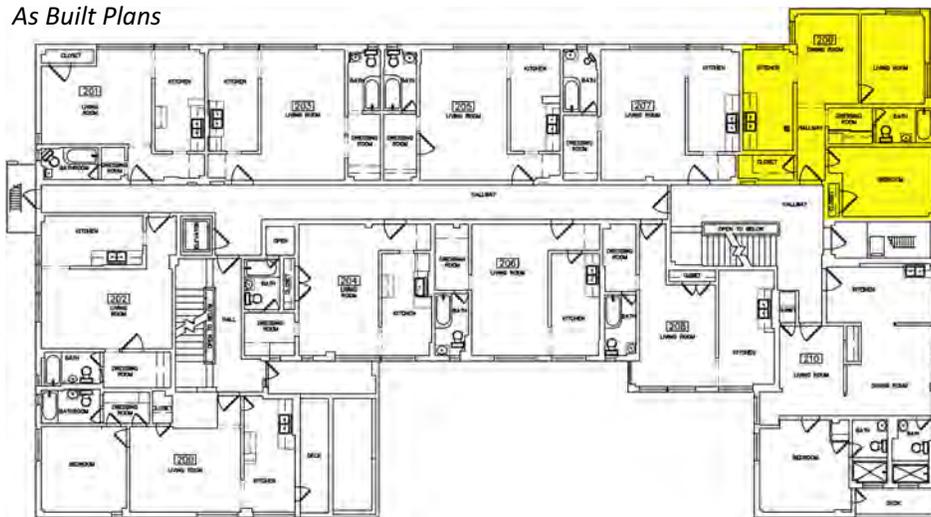
Overall Condition/Integrity of Unit 209

Poor

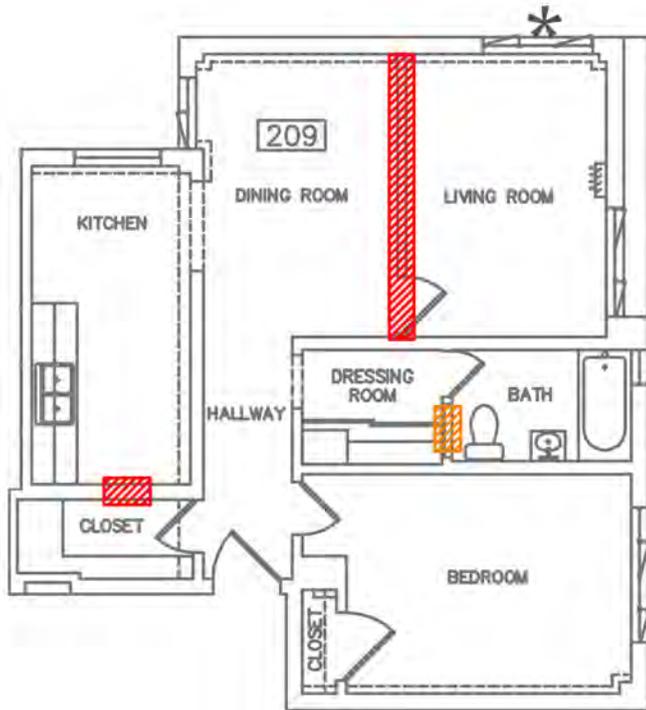
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 3 Condition Assessment Unit 209



**LEGEND**

**PRIMARY CHARACTER DEFINING FEATURES**

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	altered (partition in LR)
PF Steel windows	see Window Inventory
PF Wall and door moldings	40% INTACT
PF Murphy bed door/opening	n/a
PF Texture above molding	removed
PF Wood doors	
Entry closet	altered
Kitchen	encased
BR	INTACT
DR	removed
BA	INTACT
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	removed
PF Wood closet casework (at entry; in DR, or both)	removed
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	removed
SF Bathroom hex floor tile	removed or overlaid

Unit Type: 3  
Condition Assessment  
Unit 209 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 3  
Condition Assessment  
Unit 209 Living Spaces



. Living Room



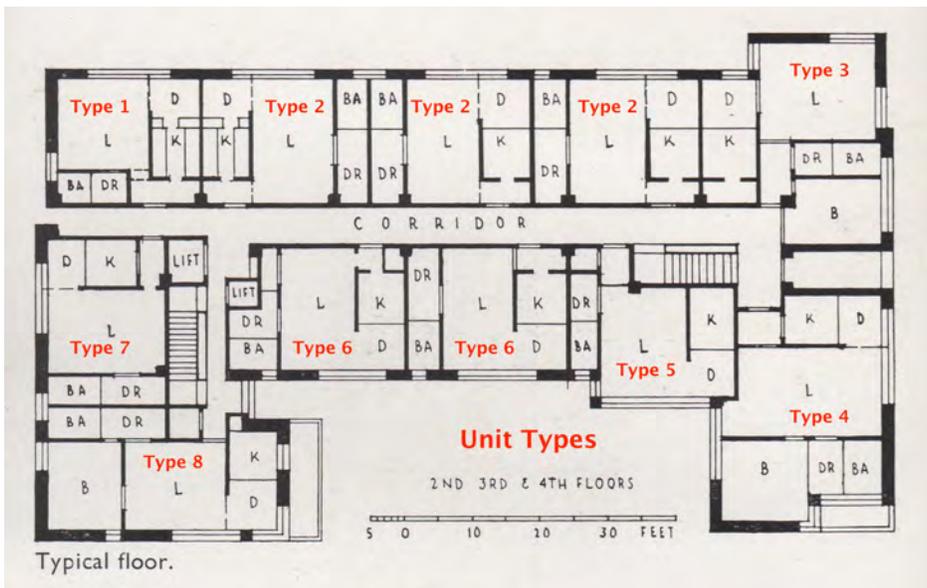
. Bedroom

Unit Type 4  
Units 108, 210, 310, 410  
Condition Assessment  
Evaluation of Integrity

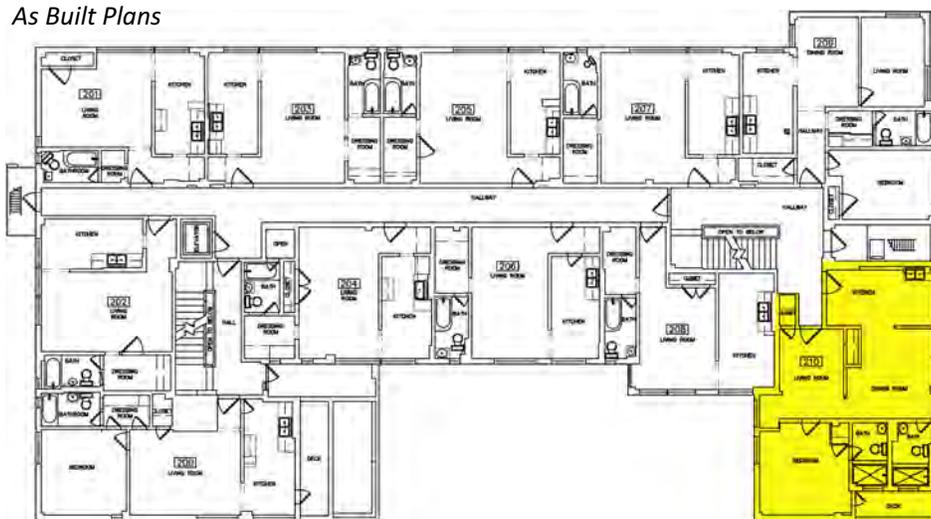
Overall Condition/Integrity of Unit 210

Very Poor

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 4 Condition Assessment Unit 210

Note original location, door, per Unit 108 . Flip strike side of door.



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	SUBSTANTIALLY ALTERED
PF Steel windows	see Window Inventory
PF Wall and door moldings	removed
PF Murphy bed door/opening	n/a
PF Texture above molding	removed
PF Wood doors	
Entry Closet	INTACT
Kitchen	removed/walled-in
BR	altered
DR	demolished & relocated
BA	demolished & relocated
PF Bathroom glass-backed shelving	demolished
PF Painted kitchen cabinetry	removed
PF Wood closet casework (at entry; in DR, or both)	removed
PF Bathtub	removed

**Note:** ALL ORIGINAL DRESSING ROOM/BATHROOM FEATURES HAVE BEEN SUBSTANTIALLY ALTERED OR DEMOLISHED.

Unit Type: 4  
Condition Assessment  
Unit 210 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 4  
Condition Assessment  
Unit 210 Living Spaces



. Living Room

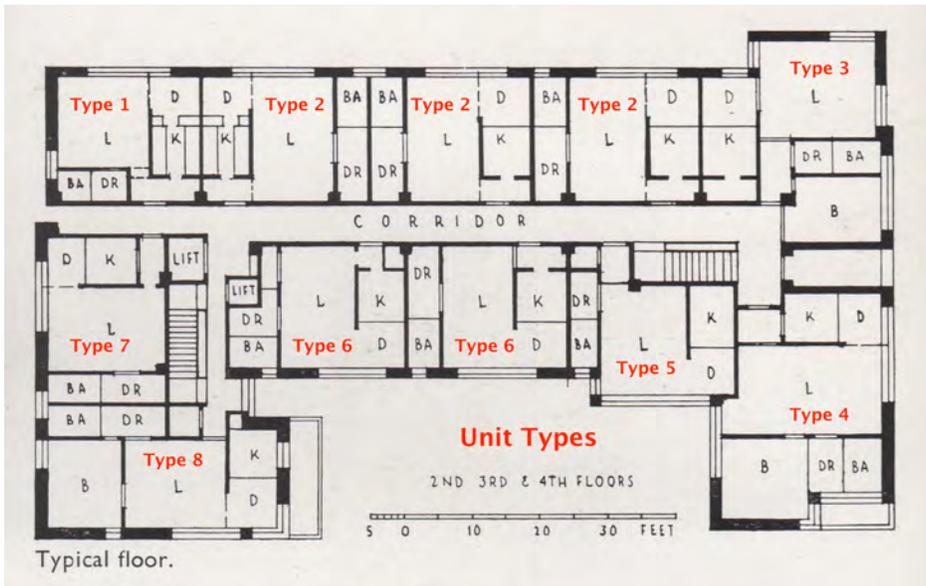


. Bedroom

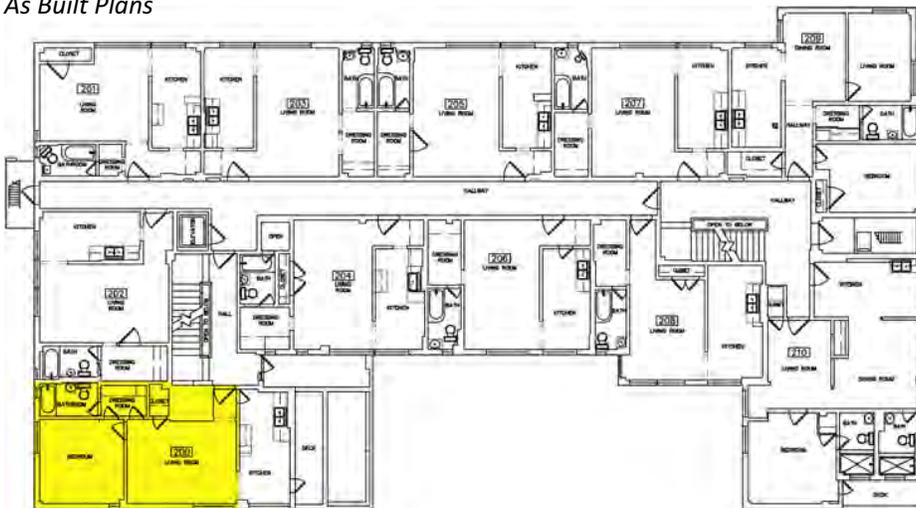
## Overall Condition/Integrity of Unit 300

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 8 Condition Assessment Unit 300



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	90% INTACT
PF Murphy bed door/opening	n/a
PF Texture above molding	Removed
PF Wood doors	Intact except for removed south kit door
PF Bathroom glass-backed shelving	ENCASED
PF Painted kitchen cabinetry	REMOVED
PF Wood closet casework (at entry closet, in DR closet, or both)	DR closet area altered, all 4 doors missing; long deep thin closet + door INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Two walls intact, bath shower area new later incompatible tile
SF Bathroom accessories, porcelain.	3 INTACT
SF Bathroom hex white floor tile	REMOVED or overlaid

Unit Type: 8  
Condition Assessment  
Unit 300 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 8  
Condition Assessment  
Unit 300 Living Spaces



. Living Spaces



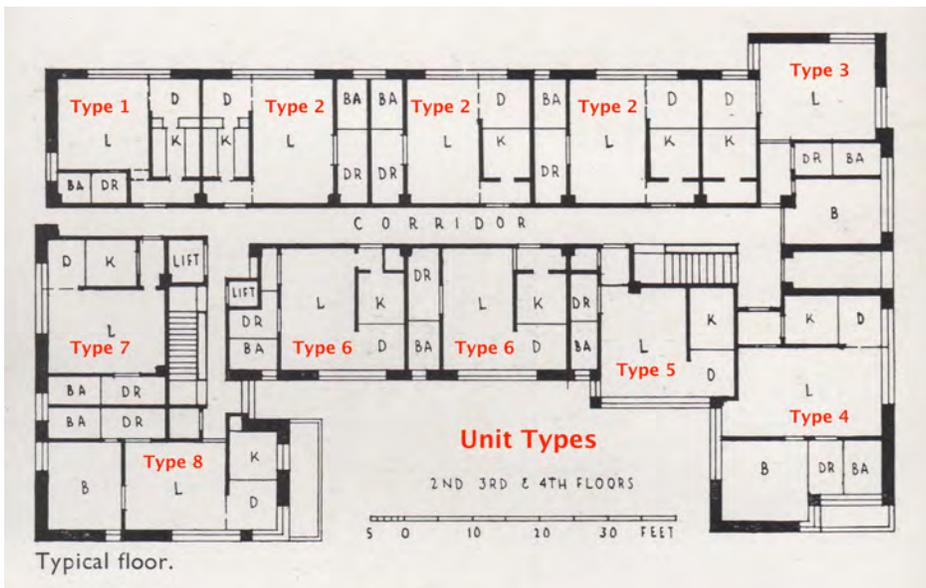
. Bedroom

Unit Type 1  
Units 101, 201, 301, 401  
Condition Assessment  
Evaluation of Integrity

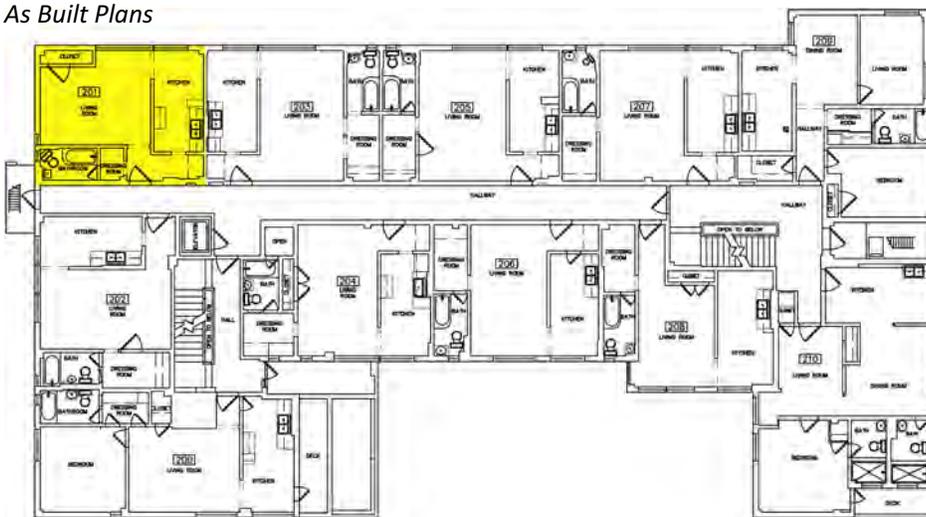
Overall Condition/Integrity of Unit 301

Good, Kitchen excellent

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 1 Condition Assessment Unit 301



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, knob removed
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	ENCASED
PF Painted kitchen cabinetry	90% INTACT, excellent
PF Wood closet casework (at entry closet; in DR closet or both)	Entry doors, casework, hardware, hinges INTACT. DR closet altered: doors missing
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT, painted
SF Bathroom accessories, porcelain.	all INTACT
SF Bathroom hex white floor tile	REMOVED or overlaid

**NOTE: Note black tile liner, white subway tile in kitchen.**

Unit Type: 1  
Condition Assessment  
Unit 301 Kitchen and Bathroom



. Kitchen



Black liner tile embellishing  
subway field tile



. Bathroom

Unit Type: 1  
Condition Assessment  
Unit 301 Living Spaces

- Living Room





# Unit Type: 7 Condition Assessment Unit 302



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

**NOTE:** ACCESS TO THIS UNIT WAS NOT POSSIBLE. ASSESSMENT REFLECTS PPM AS-BUILT PHOTOS.

PF Spatial Layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, knob removed
PF Texture above molding	Apparently intact
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	ENCASED
PF Painted kitchen cabinetry	INTACT, excellent
PF Wood closet casework doors (at entry; in DR, or both)	DR – 1 tall door missing; no hall closet per design
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT, painted
SF Bathroom accessories, porcelain.	all INTACT
SF Bathroom hex white floor tile	REMOVED or overlaid

Unit Type: 7  
Condition Assessment  
Unit 302 Kitchen and Bathroom



. Kitchen



Bathroom

Unit Type: 7  
Condition Assessment  
Unit 302 Living Spaces

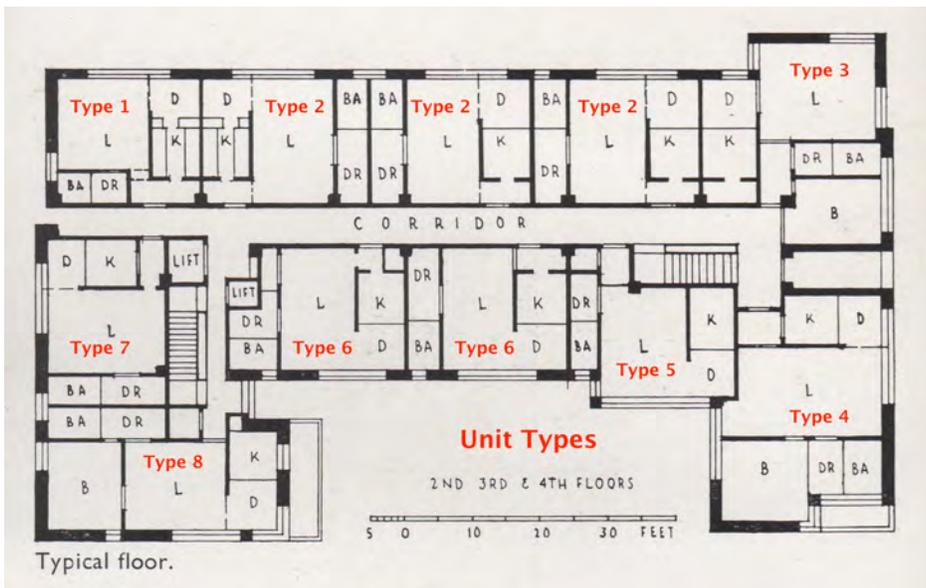


- . Living Room

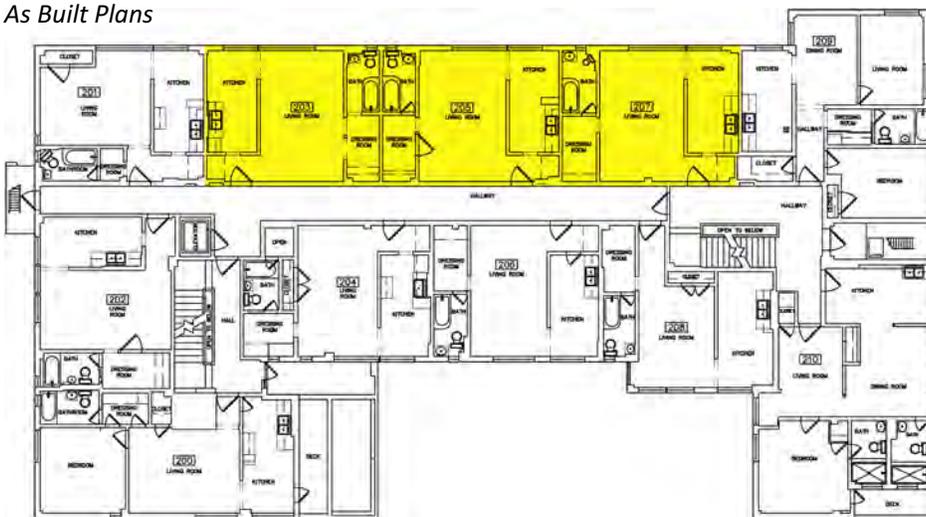
## Overall Condition/Integrity of Unit 303

Poor

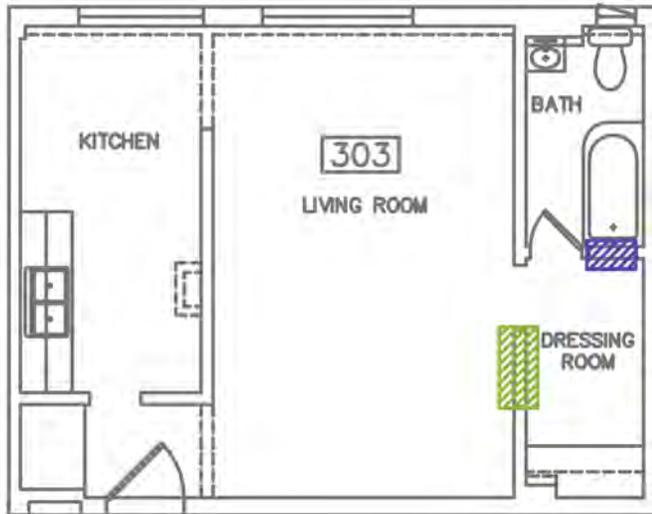
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 303



PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	REMOVED
PF Murphy bed door/opening	Encased / Removed
PF Texture above molding	Removed
PF Wood doors	3 missing (kit, DR; BA later, not compatible.)

PF Bathroom glass-backed shelving      ENCASED

PF Painted kitchen cabinetry      90% INTACT, excellent

PF Wood closet casework doors (at entry; in DR, or both)      Entry closet doors damaged frames altered. DR closet doors/casework removed

PF Bathtub      INTACT

SF Bathroom wall tile with liner      Removed

SF Bathroom accessories, porcelain.      Removed

SF Bathroom hex white floor tile      REMOVED or overlaid

LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

Unit Type: 2  
Condition Assessment  
Unit 303 Kitchen and Bathroom

. Kitchen



. Bathroom



Unit Type: 2  
Condition Assessment  
Unit 303 Living Room

. Living Room

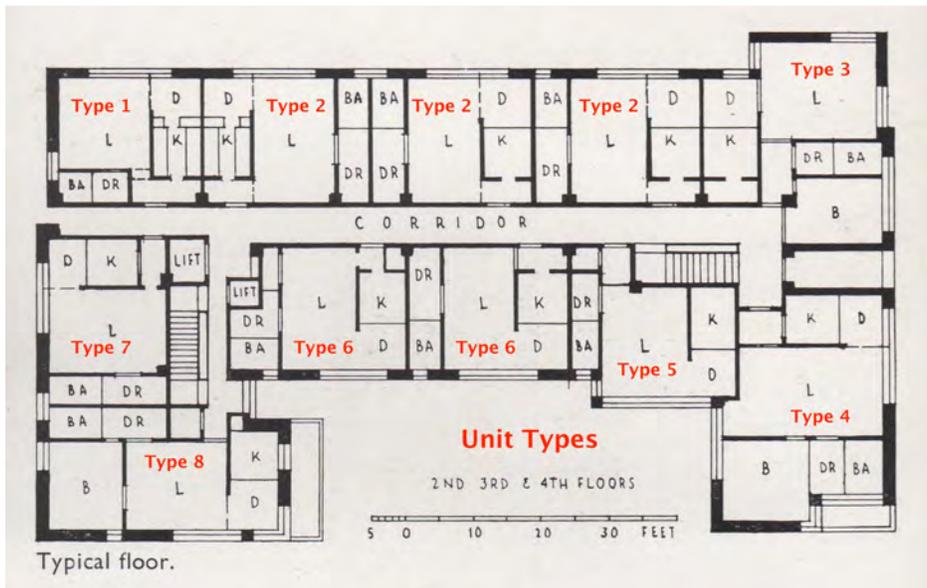


Unit Type 6  
Units 104, 204, 304, 404  
Condition Assessment  
Evaluation of Integrity

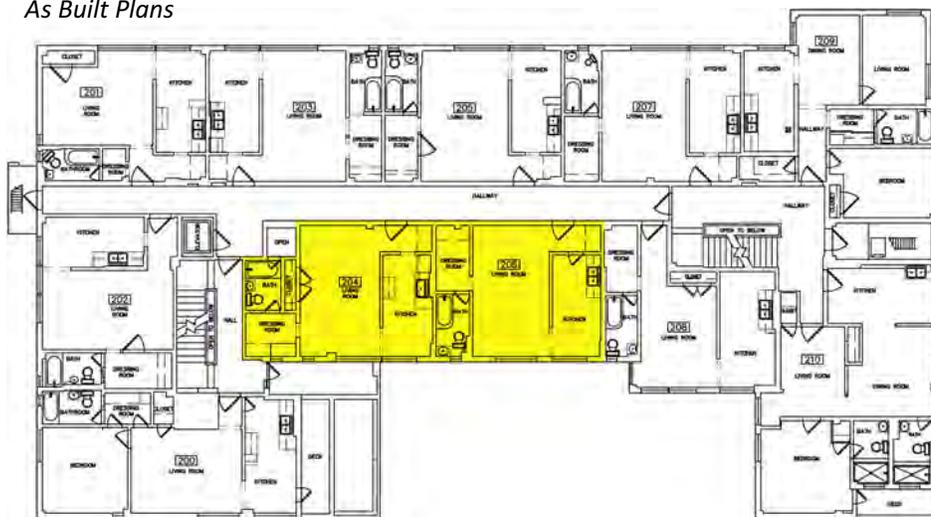
Overall Condition/Integrity of Unit 304

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 304



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	95% INTACT
PF Murphy bed door/opening	INTACT including hardware, knobs
PF Texture above molding	INTACT in LR only.
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	Intact on bathroom side, glass may be painted.
PF Painted kitchen cabinetry	50% INTACT, <b>note retention of doors to china cabinet</b>
PF Wood closet casework doors (at entry; in DR, or both)	Entry – int. altered, doors and frame missing. DR – low storage chest; upper and lower doors and some casework missing. SEE UNIT 204, INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex white floor tile	REMOVED or overlaid

Unit Type: 6  
Condition Assessment  
Unit 304 Kitchen and Bathroom



. Kitchen

**NOTE:** Only extant china cabinet with original doors



. Bathroom

Unit Type: 6  
Condition Assessment  
Unit 304 Living Spaces



. Living Room

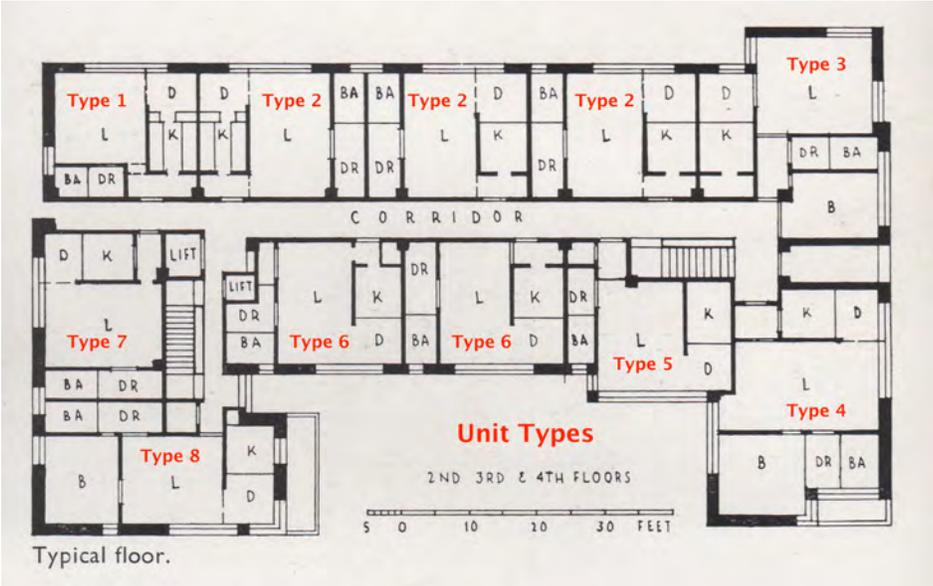


Unit Type 2  
Units 105, 205, 305, 405  
Condition Assessment  
Evaluation of Integrity

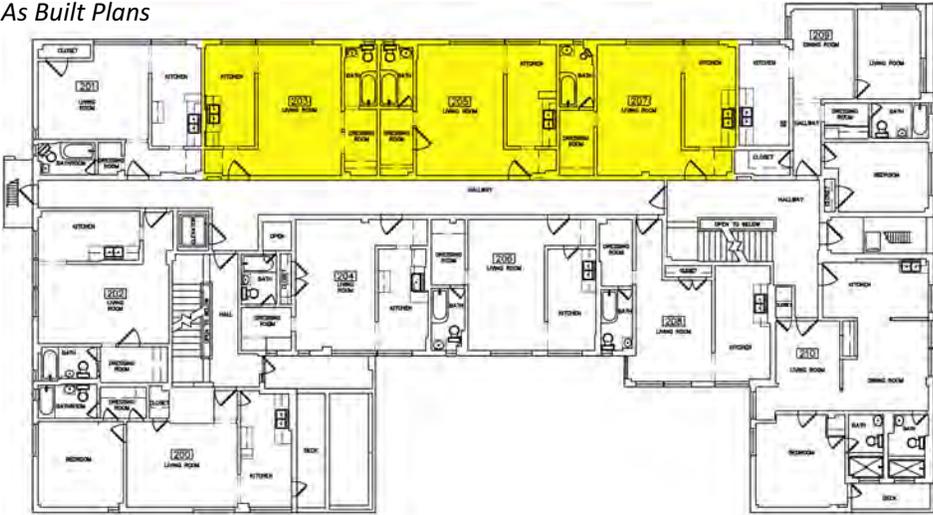
Overall Condition/Integrity of Unit 305

Poor to Fair

Historic Concept Plans for Unit Types



As Built Plans



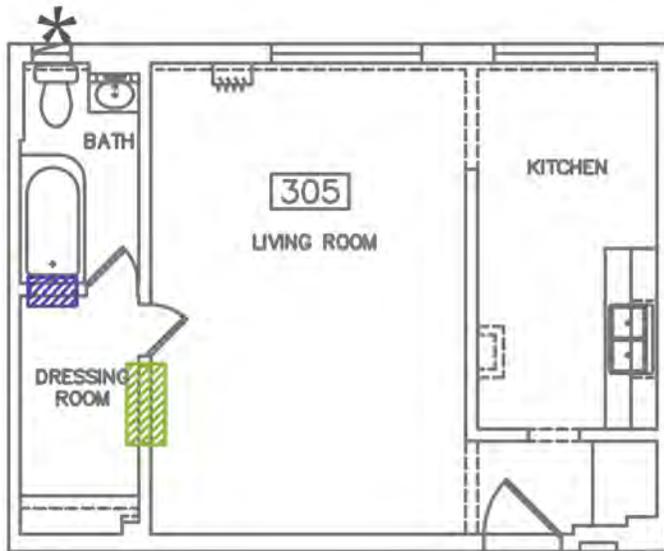
# Unit Type: 2 Condition Assessment Unit 305

PF Spatial Layout

INTACT

PF Steel windows

see Window Inventory



PF Wall and door moldings

INTACT

PF Murphy bed door/opening

ENCASED

PF Texture above molding

REMOVED

PF Wood doors

1 missing (kit.)

PF Bathroom glass-backed shelving

ENCASED

PF Painted kitchen cabinetry

INTACT, excellent

## LEGEND

### PRIMARY CHARACTER DEFINING FEATURES

-  NON-ORIGINAL WALLS OR DOORWAYS ENCASED
-  BATHROOM SHELF INTACT
-  BATHROOM SHELF ENCASED
-  ENCASED MURPHY BED OPENING
-  NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Wood closet casework doors (at entry;  
in DR, or both)

Entry – INTACT  
DR – Altered, 4 doors  
missing (2 small, 2 tall)

PF Bathtub

INTACT

SF Bathroom wall tile with liner

INTACT, painted

SF Bathroom accessories, porcelain.

all INTACT

SF Bathroom hex white floor tile

REMOVED or overlaid

Unit Type: 2  
Condition Assessment  
Unit 305 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 305 Living Spaces



. Living Room

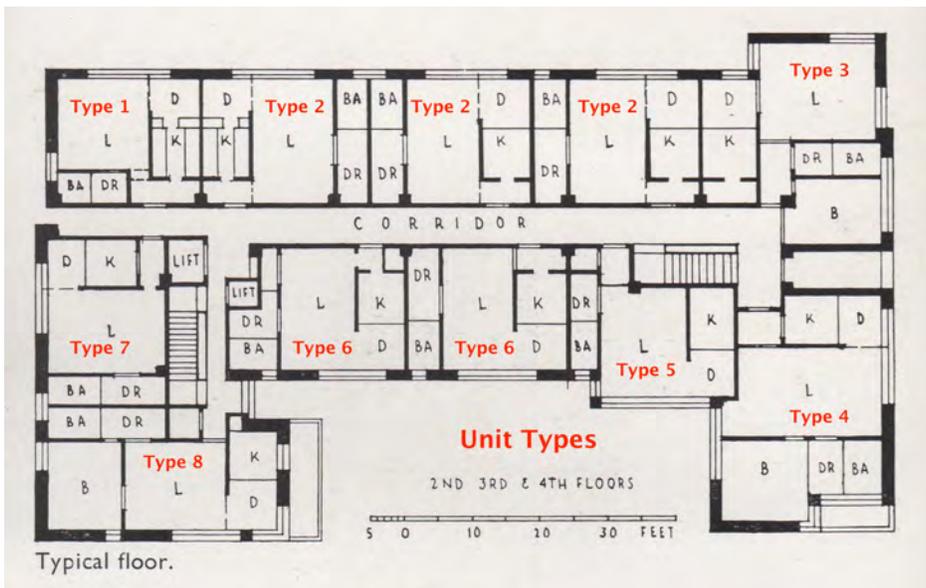


Unit Type 6  
Units 206, 306, 406  
Condition Assessment  
Evaluation of Integrity

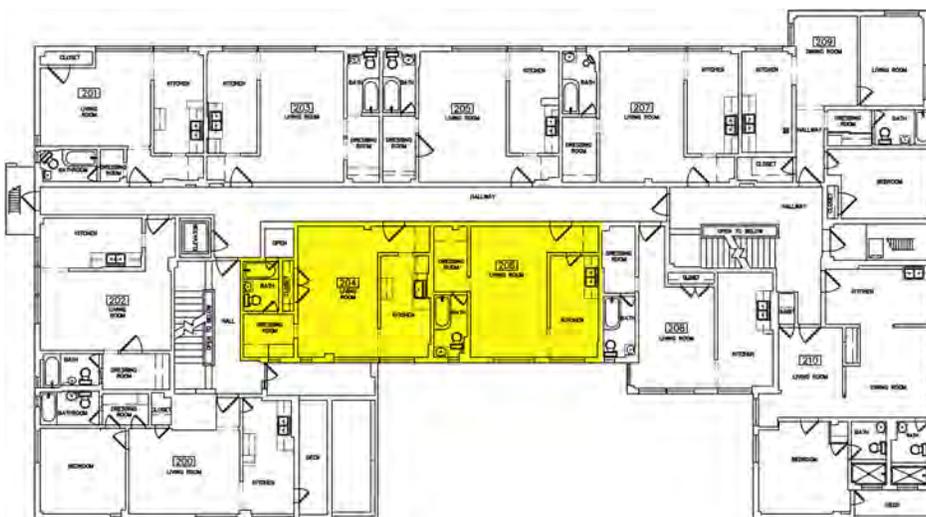
Overall Condition/Integrity of Unit 306

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 306



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial Layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, no knob. May be painted shut.
PF Texture above molding	Present and patched on LR walls, only.
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	ENCASED
PF Painted kitchen cabinetry	70% INTACT, excellent Rare example of extant door, icebox.
PF Wood closet casework (at entry closet; in DR closet, or both)	DR – upper two small doors intact, lower 2 tall doors missing. Hallway doors missing.
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT, painted
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex white floor tile	REMOVED or overlaid

# Unit Type: 6 Condition Assessment Unit 306 Kitchen and Bathroom



## . Kitchen

Rare example of extant door to the ice box (some conflicting evidence on whether a small refrigerator was ever installed per design development drawings).



## . Bathroom

Unit Type: 6  
Condition Assessment  
Unit 306 Living Spaces

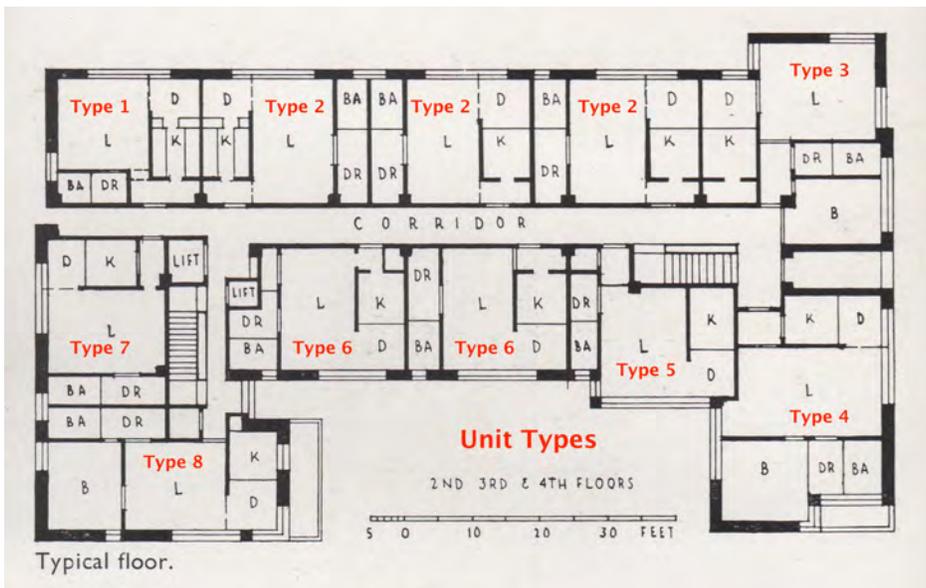
. Living Room



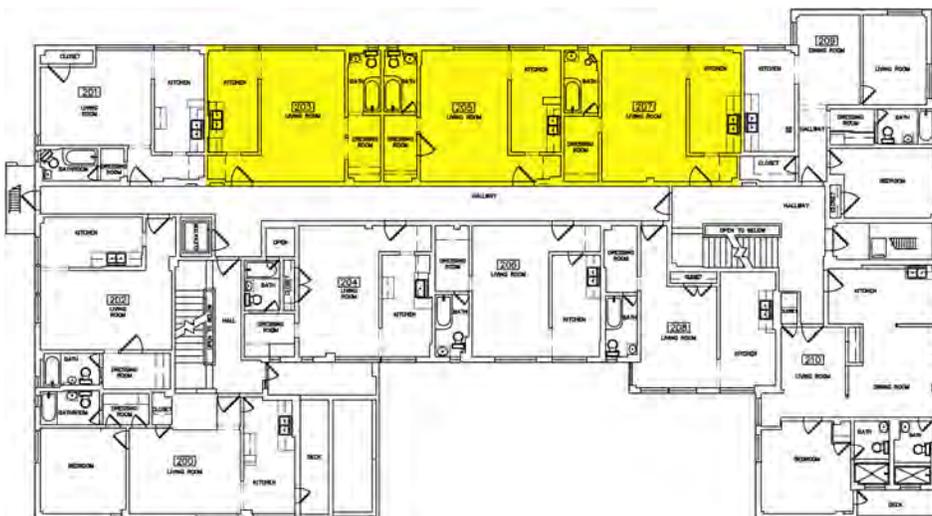
## Overall Condition/Integrity of Unit 307

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 307

PF Spatial layout	INTACT
PF Steel windows	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	opening extant, door replaced by incompatible door



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Texture above molding	Removed
PF Wood doors	1 Removed: Kit. Intact BA and DR doors have original hardware
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	35-40% intact (2 components - Lovell unit, china cabinet)
PF Wood closet casework (at entry closet; in DR area, or both)	Entry closet doors INTACT DR full height cabinet (w 4 doors) missing,
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Soap dish intact, 1/2 towel rack
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 2  
Condition Assessment  
Unit 307 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 307 Living Spaces

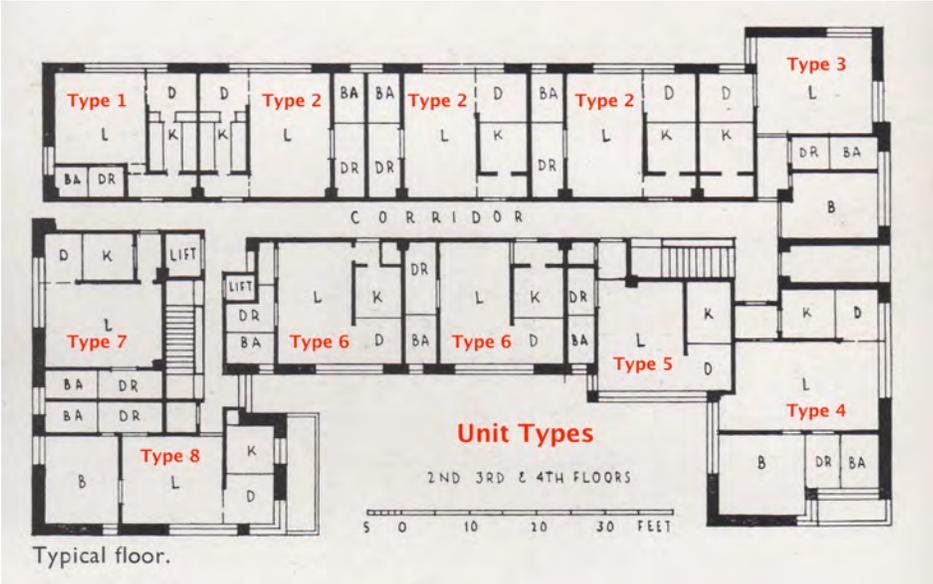
. Living Room



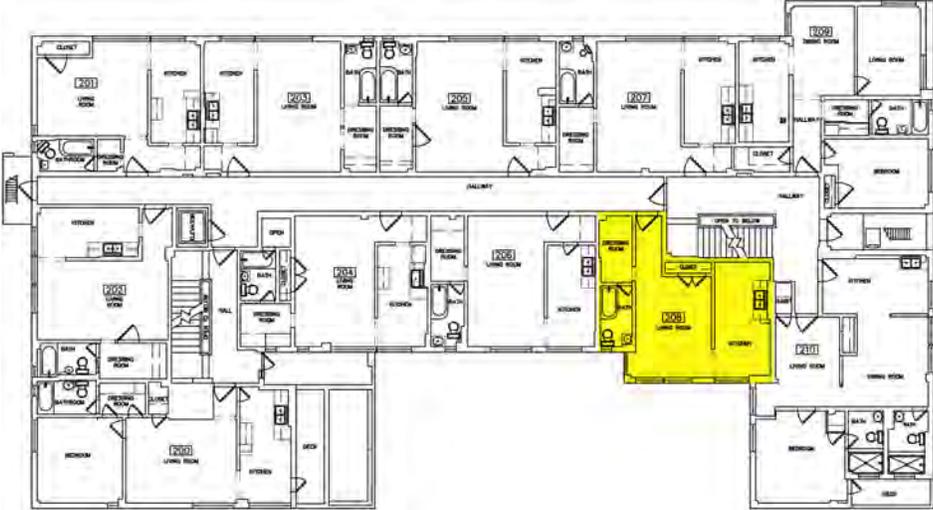
Overall Condition/Integrity of Unit 308

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 5 Condition Assessment Unit 308

PF Spatial layout INTACT

PF Steel windows see Window Inventory

PF Wall and door moldings Removed

PF Murphy bed door/opening Doors removed, jamb/framing altered

PF Texture above molding Removed

PF Wood doors DR area door missing

PF Bathroom glass-backed shelving Encased

PF Painted kitchen cabinetry Removed.

PF Wood closet casework (at entry closet; in DR area, or both) DR – casework intact. Upper 2 small doors intact, 2 tall doors missing. No entry closet in this unit plan.

PF Bathtub INTACT

SF Bathroom wall tile with liner Painted

SF Bathroom accessories, porcelain. Soap dish intact.

SF Bathroom hex floor tile Removed or overlaid



### LEGEND

#### PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

Unit Type: 5  
Condition Assessment  
Unit 308 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 5  
Condition Assessment  
Unit 308 Living Spaces

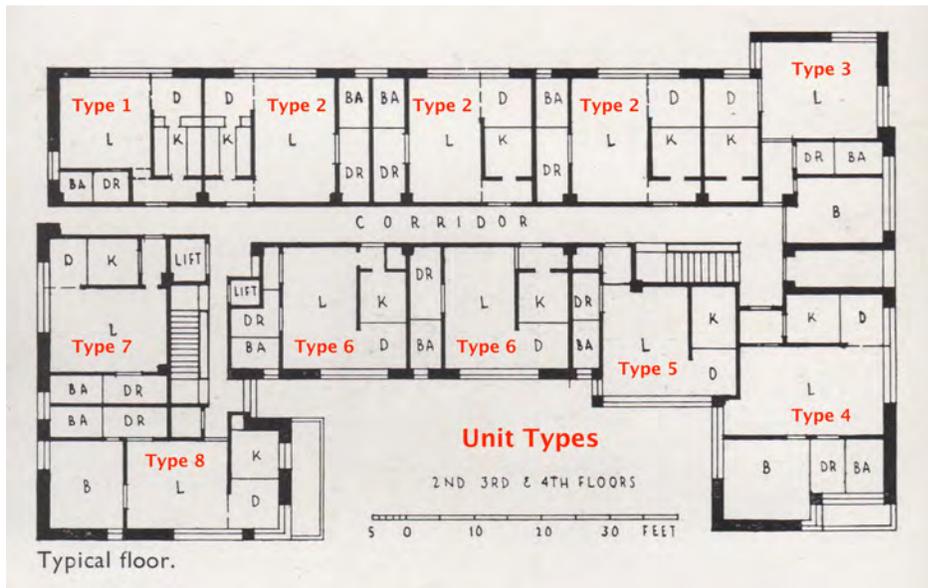
. Living Room



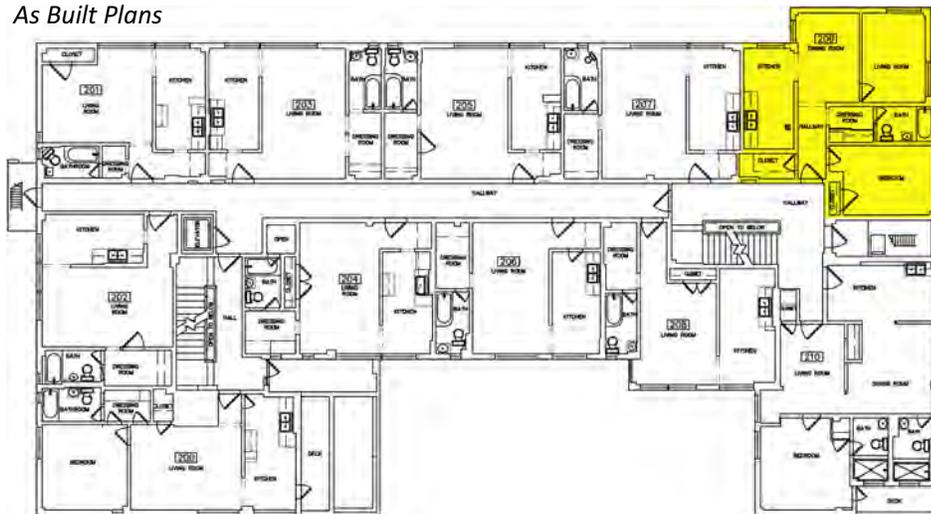
## Overall Condition/Integrity of Unit 309

Poor to Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 3 Condition Assessment Unit 309



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

-  NON-ORIGINAL WALLS OR DOORWAYS ENCASED
-  BATHROOM SHELF INTACT
-  BATHROOM SHELF ENCASED
-  ENCASED MURPHY BED OPENING
-  NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	Dividing wall in LR
PF Steel windows	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	INTACT, including hardware and knob.
PF Texture above molding	Removed
PF Wood doors	Kit and DR doors missing
PF Bathroom glass-backed shelving	Encased
PF Painted kitchen cabinetry	All removed.
PF Wood closet casework (at entry closet; in DR area, or both)	Entry closet doors removed DR closet casework and four doors (2 small, 2 tall) INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	painted
SF Bathroom accessories, porcelain.	Towel rack, tissue holder intact
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 3  
Condition Assessment  
Unit 309 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 3  
Condition Assessment  
Unit 309 Living Spaces



. Living Room

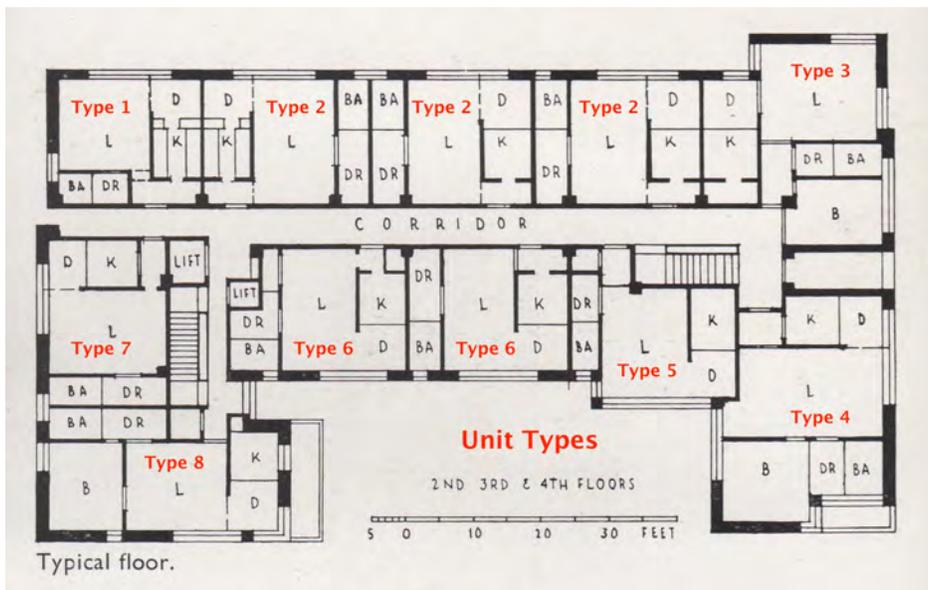


. Bedroom

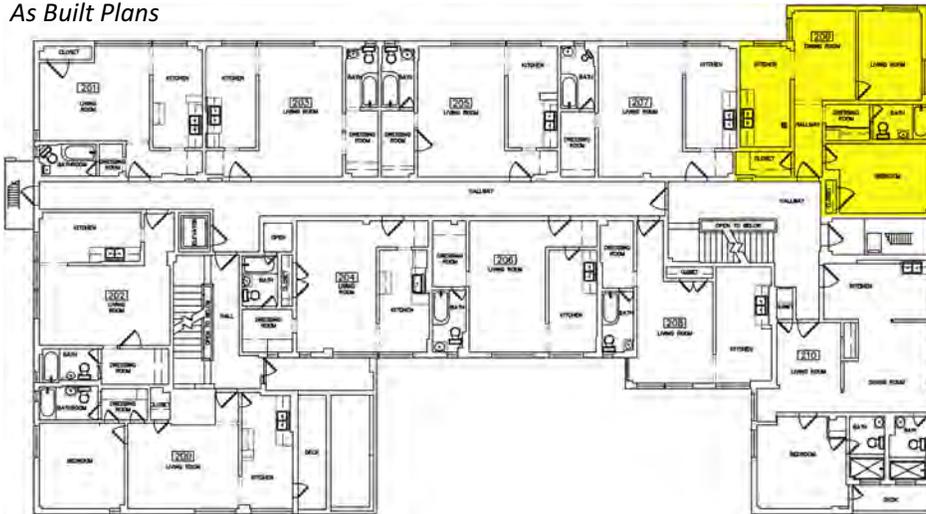
## Overall Condition/Integrity of Unit 310

**Very Poor**

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 4 Condition Assessment Unit 310

Note original location, door, per Unit 108



### LEGEND

#### PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	Eradicated – See Note, left.
PF Steel windows	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	n/a
PF Texture above molding	Removed
PF Wood doors	All are missing except for entry closet door
PF Bathroom glass-backed shelving	Encased, although not clear that it originally existed. Careful disassembly, Unit 109, may shed on this.
PF Painted kitchen cabinetry	All removed.
PF Wood closet casework (at entry closet; in DR area, or both)	DR area removed. Entry closet door (standard 24" door) intact per above.
PF Bathtub	Removed
SF Bathroom wall tile with liner	Removed
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex floor tile	Removed or overlaid

Unit Type: 4  
Condition Assessment  
Unit 310 Kitchen and Bathroom

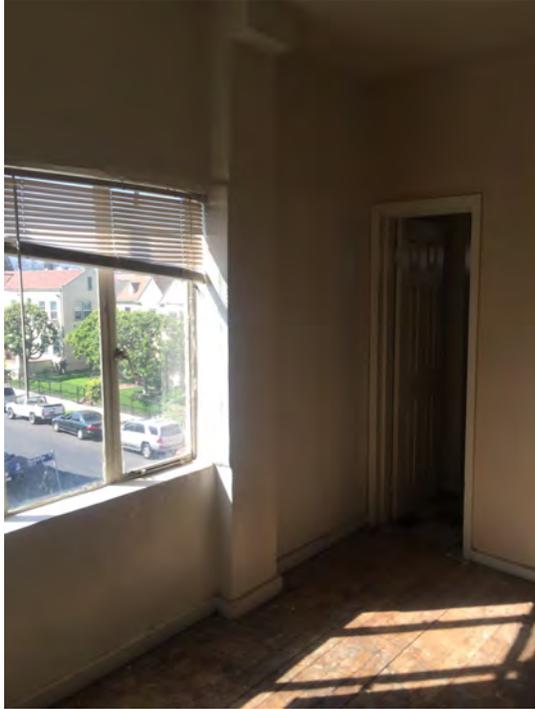


. Kitchen



. Bathroom

Unit Type: 4  
Condition Assessment  
Unit 310 Living Spaces



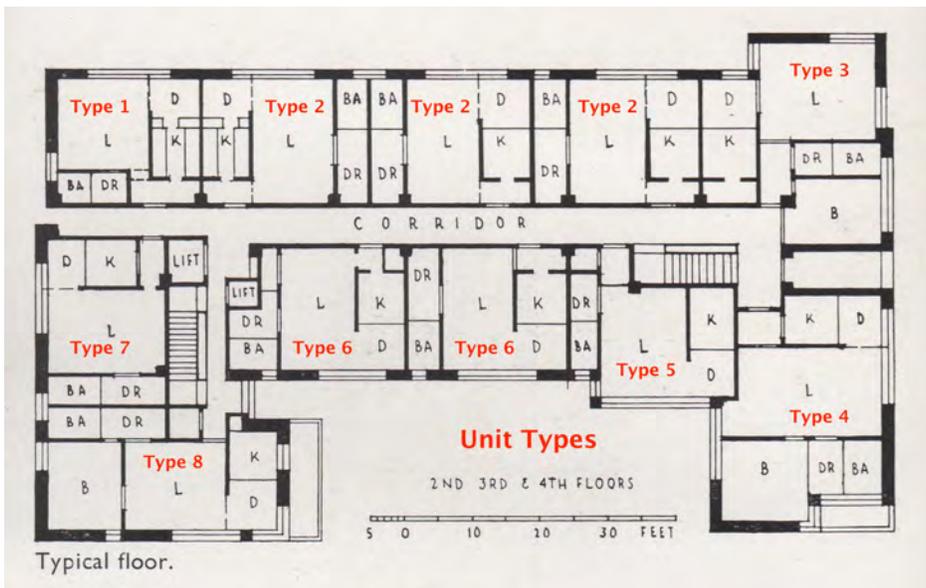
. Living Room



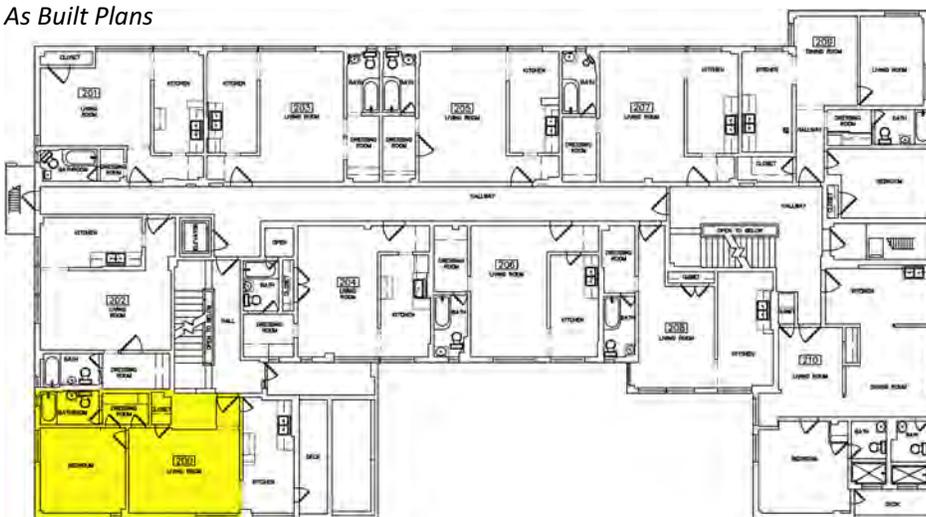
. Bedroom

## Overall Condition/Integrity of Unit 400 Fair (BA excellent, Kit. Poor)

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 8 Condition Assessment Unit 400



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	Approx. 60% INTACT: extant in LR, DR, partly in BA. Removed in Kit.
PF Murphy bed door/opening	n/a
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR) French doors to bdrm intact; one (S) may be later replacement. N leaf original
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	DR INTACT (2 tall doors, 2 upper small doors.) Long deep thin hall closet INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	90% INTACT, excellent cond., high degree integrity.
SF Bathroom accessories, porcelain.	INTACT
SF Bathroom hex white floor tile	INTACT

Unit Type: 8  
Condition Assessment  
Unit 400 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 8  
Condition Assessment  
Unit 400 Living Spaces

- . Living Room

Living room photo not obtained



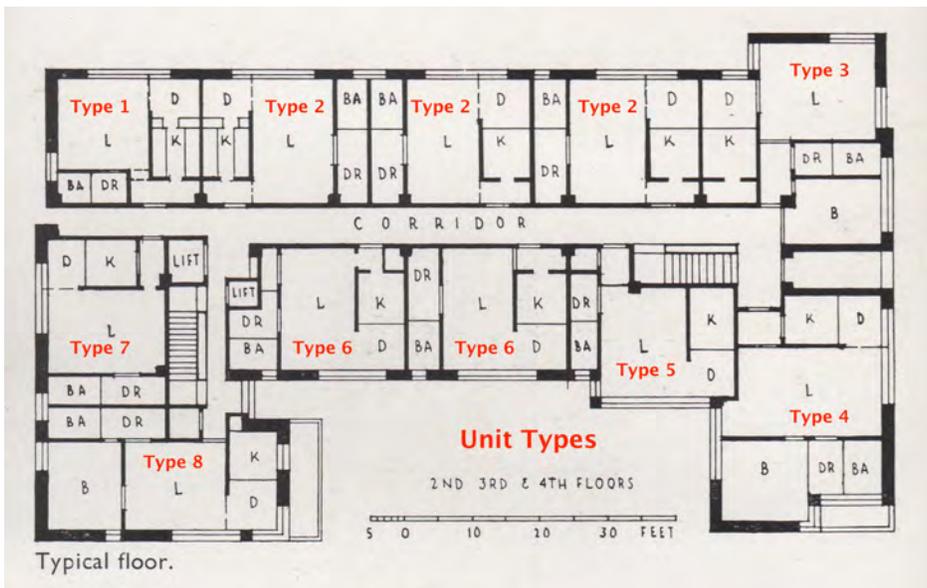
- . Bedroom

Unit Type 1  
Units 101, 201, 301, 401  
Condition Assessment  
Evaluation of Integrity

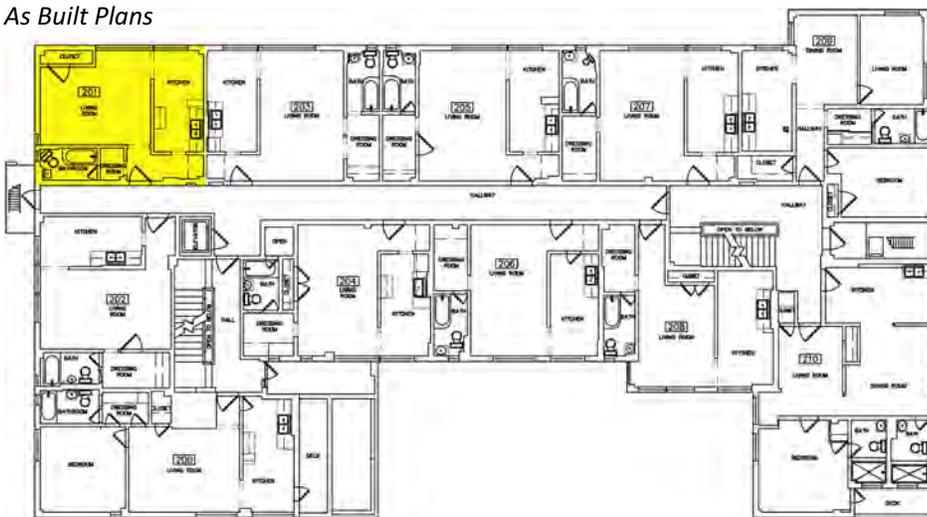
Overall Condition/Integrity of Unit 401

Poor to Fair

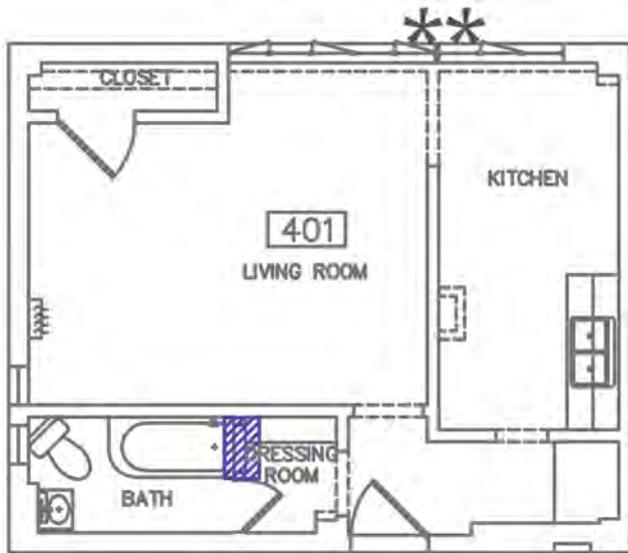
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 1 Condition Assessment Unit 401



## LEGEND

### PRIMARY CHARACTER DEFINING FEATURES

-  NON-ORIGINAL WALLS OR DOORWAYS ENCASED
-  BATHROOM SHELF INTACT
-  BATHROOM SHELF ENCASED
-  ENCASED MURPHY BED OPENING
-  NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
-  ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, including hinges.
PF Texture above molding	Removed, replaced with incompatible texture
PF Wood doors	2 missing (kit, DR) BA has original door knob
PF Bathroom glass-backed shelving	Encased or Removed.
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	DR doors missing (4) Entry closet INTACT? (asymmetrical door layout)
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	n/a; tissue dispenser extant
SF Bathroom hex white floor tile	Removed or overlaid

Unit Type: 1  
Condition Assessment  
Unit 401 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 1  
Condition Assessment  
Unit 401 Living Spaces

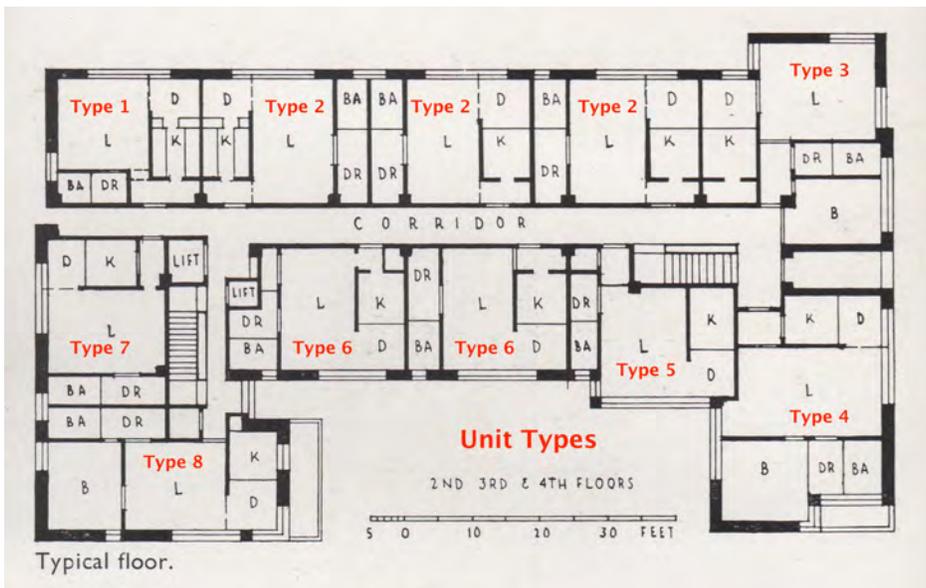
- Living Room



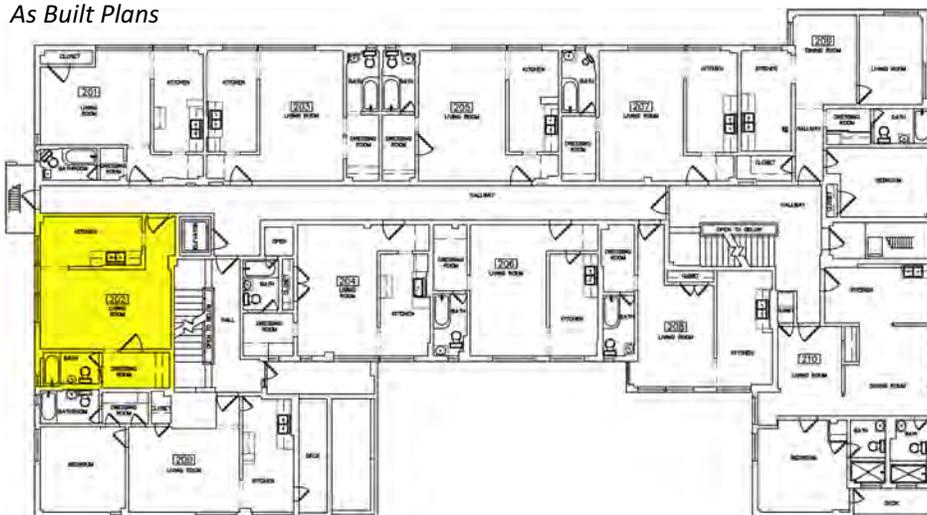
## Overall Condition/Integrity of Unit 402

Fair to Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 7 Condition Assessment Unit 402



### LEGEND

#### PRIMARY CHARACTER DEFINING FEATURES

-  NON-ORIGINAL WALLS OR DOORWAYS ENCASED
-  BATHROOM SHELF INTACT
-  BATHROOM SHELF ENCASED
-  ENCASED MURPHY BED OPENING
-  NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
-  ORIGINAL GLASS WINDOW



PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	80% INTACT
PF Murphy bed door/opening	INTACT
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	INTACT, painted, shelves missing.
PF Painted kitchen cabinetry	35% INTACT (2 components present)
PF Wood closet casework (at entry closet; in DR closet, or both)	While DR closet area is altered, VERY IMPT in original configuration. no hall closet per design
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain.	Soap dispenser, tissue dispenser extant
SF Bathroom hex white floor tile	INTACT
<b>NOTE: Some linoleum with brown linear texture bordering LR may be original.</b>	

Unit Type: 7  
Condition Assessment  
Unit 402 Kitchen and Bathroom



. Kitchen



. Bathroom



Unit Type: 7  
Condition Assessment  
Unit 402 Living Spaces



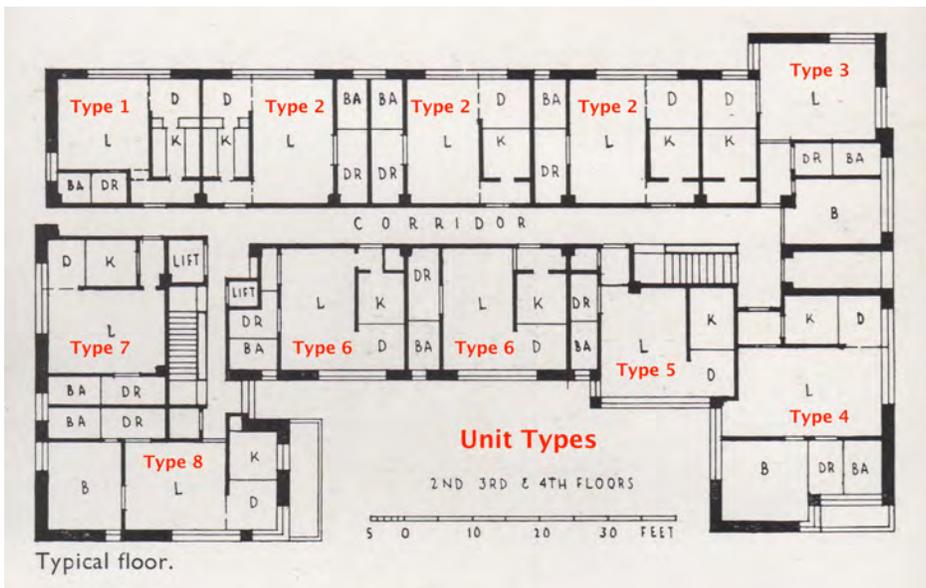
. Living Room



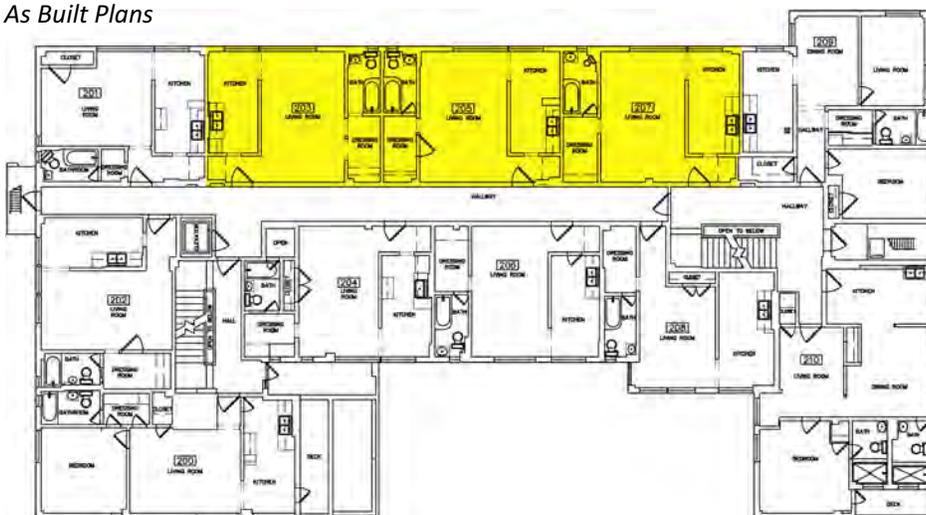
## Overall Condition/Integrity of Unit 403

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 403



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	Some extant, 80% altered
PF Murphy bed door/opening	Murphy door gone, opening INTACT
PF Texture above molding	Removed; patched texture poorly executed.
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	Encased or Removed.
PF Painted kitchen cabinetry	Approx 60% intact
PF Wood closet casework (at entry closet; in DR closet, or both)	DR altered, 4 doors missing. DR shelving not original. Hall closet INTACT, including hinges.
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT. Shower surround tile not original.
SF Bathroom accessories, porcelain.	Removed
SF Bathroom hex white floor tile	Removed or overlaid

Unit Type: 2  
Condition Assessment  
Unit 403 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 403 Living Spaces



. Living Room

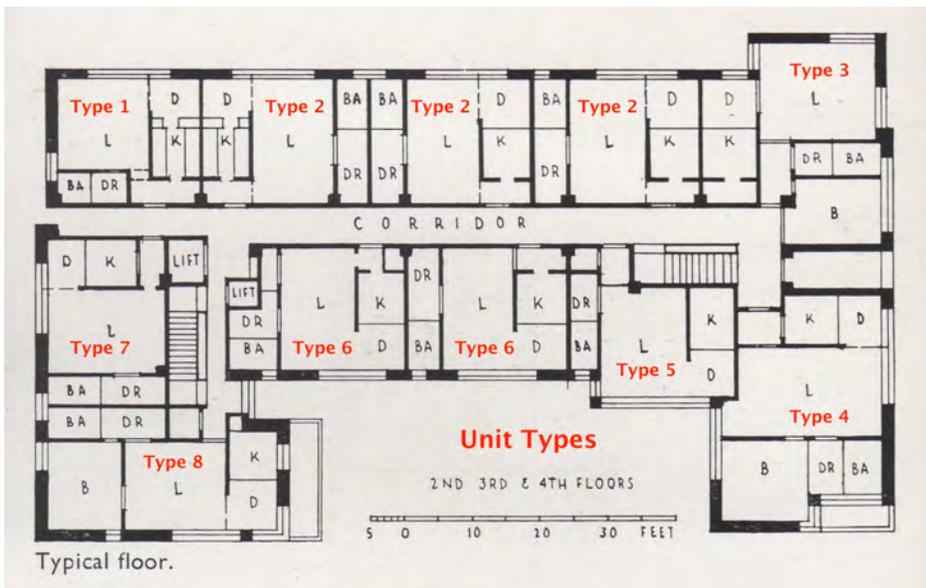


Unit Type 6  
Units 104, 204, 304, 404  
Condition Assessment  
Evaluation of Integrity

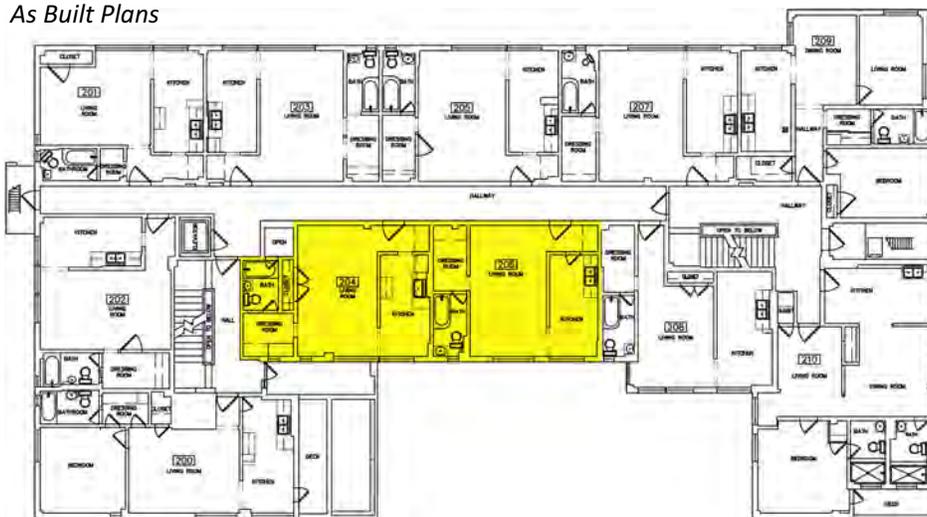
Overall Condition/Integrity of Unit 404

Fair

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 404



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	Opening/molding INTACT no door
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	INTACT w shelving .
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	DR Altered; largely gone s Hall closet INTACT
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	n/a; tissue dispenser extant
SF Bathroom hex white floor tile	INTACT

Unit Type: 6  
Condition Assessment  
Unit 404 Kitchen and Bathroom



. Kitchen



. Bathroom

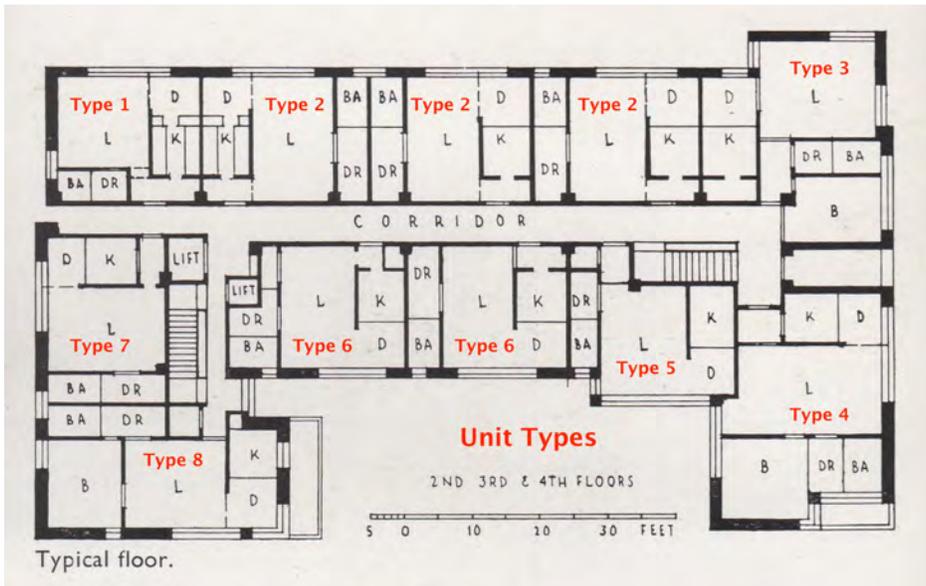
Unit Type: 6  
Condition Assessment  
Unit 404 Living Spaces

. Living Room

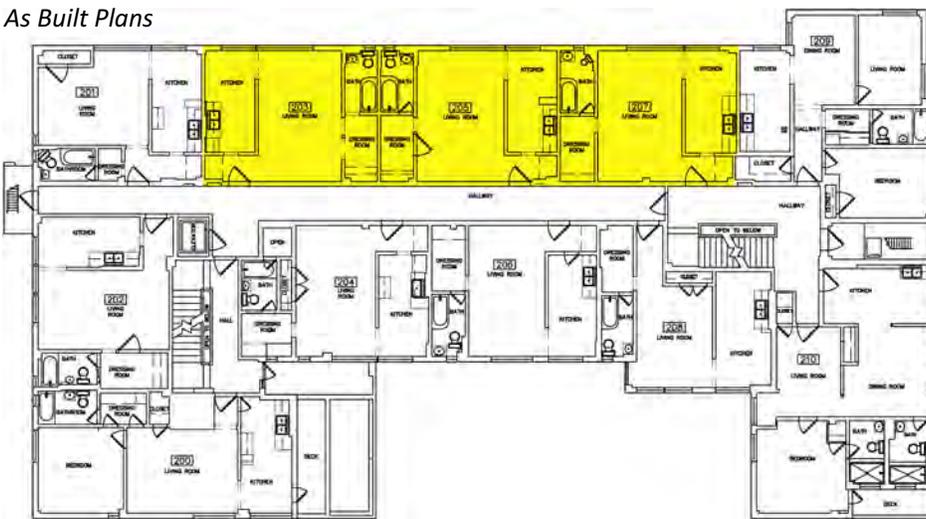


## Overall Condition/Integrity of Unit 405

Historic Concept Plans for Unit Types



As Built Plans



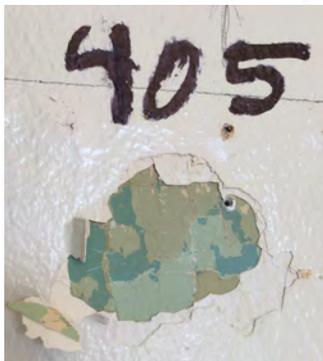
# Unit Type: 2 Condition Assessment Unit 405

	<p>PF Spatial layout</p> <p>PF Steel windows and balcony door</p> <p>PF Wall and door moldings</p> <p>PF Murphy bed door/opening</p> <p>PF Texture above molding</p> <p>PF Wood doors</p>	<p>INTACT</p> <p>see Window Inventory</p> <p>INTACT</p> <p>INTACT, including hinges.</p> <p>Removed</p> <p>2 missing (kit, DR)</p>
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LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW



Various shades of green paint typical.

<p>PF Bathroom glass-backed shelving</p> <p>PF Painted kitchen cabinetry</p> <p>PF Wood closet casework (at entry closet; in DR closet, or both)</p> <p>PF Bathtub</p> <p>SF Bathroom wall tile with liner</p> <p>SF Bathroom accessories, porcelain.</p> <p>SF Bathroom hex white floor tile</p>	<p>Encased or Removed.</p> <p>Approx 60% intact; 4 components intact</p> <p>DR casework and doors missing Hall closet INTACT</p> <p>INTACT</p> <p>Extant, painted.</p> <p>n/a; tissue dispenser extant</p> <p>Removed or overlaid</p>
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Unit Type: 2  
Condition Assessment  
Unit 405 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 405 Living Spaces



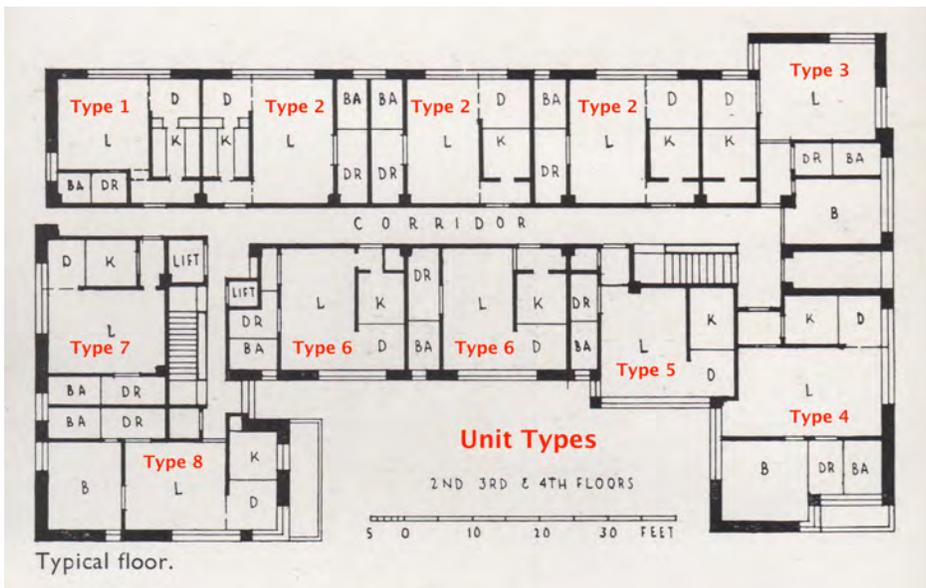
. Living Room



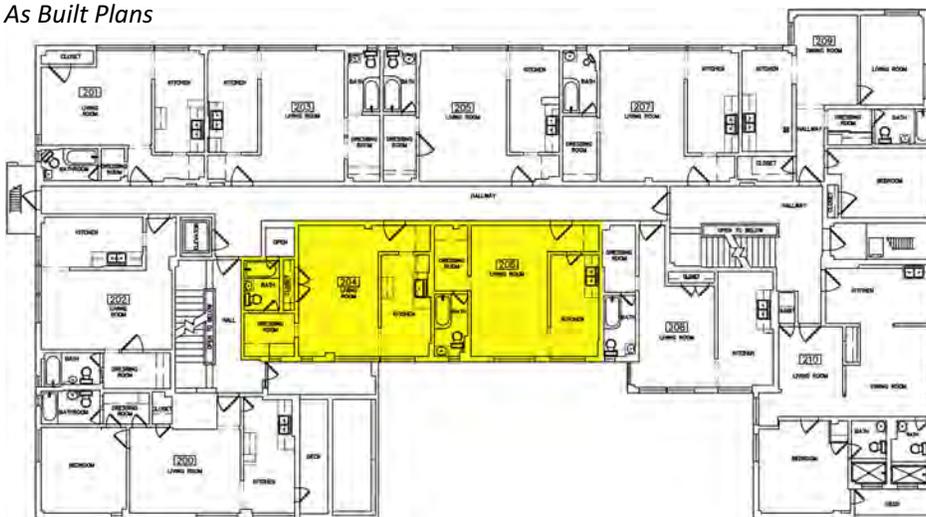
## Overall Condition/Integrity of Unit 406

Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 6 Condition Assessment Unit 406

**NOTE: Occupied Unit could not be evaluated, assessment based on PPM as-built photos.**



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT. May be painted shut.
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR) BA has original door knob
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	80% INTACT
PF Wood closet casework (at entry closet; in DR closet, or both)	DR casework largely intact; two tall doors missing Hall closet doors REMOVED
PF Bathtub	INTACT
SF Bathroom wall tile with liner	INTACT
SF Bathroom accessories, porcelain. one soap dispenser	At least 3 of the 4 INTACT,
SF Bathroom hex white floor tile	Removed or overlaid

Unit Type: 6  
Condition Assessment  
Unit 406 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 6  
Condition Assessment  
Unit 406 Living Spaces

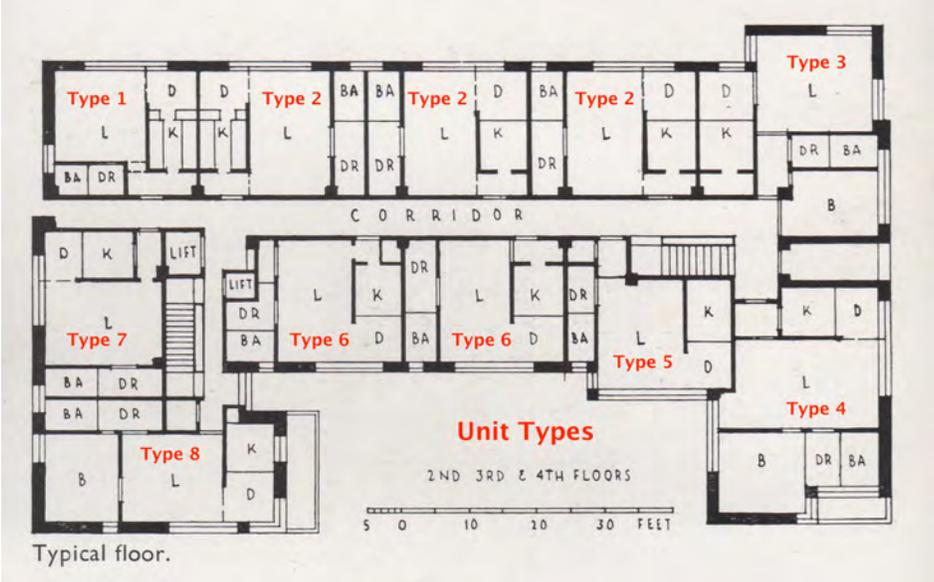
- Living Room



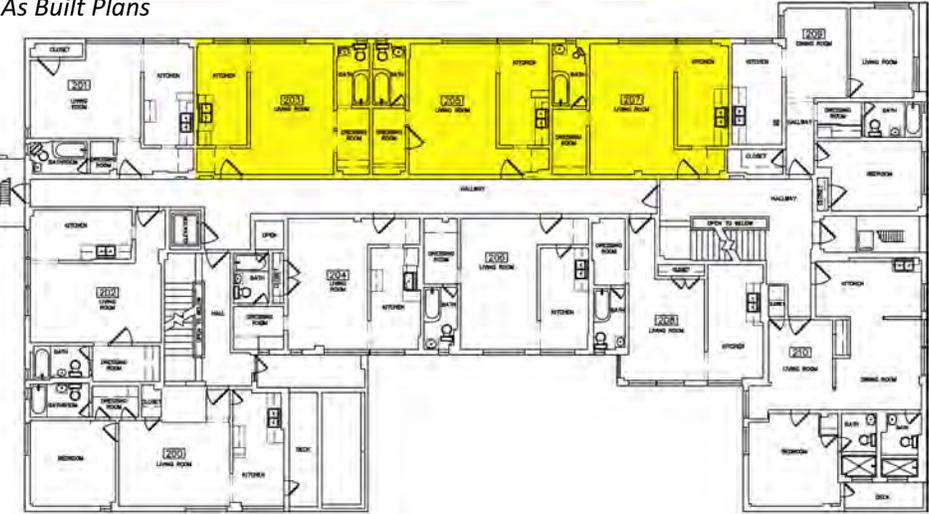
Overall Condition/Integrity of Unit 407

Fair

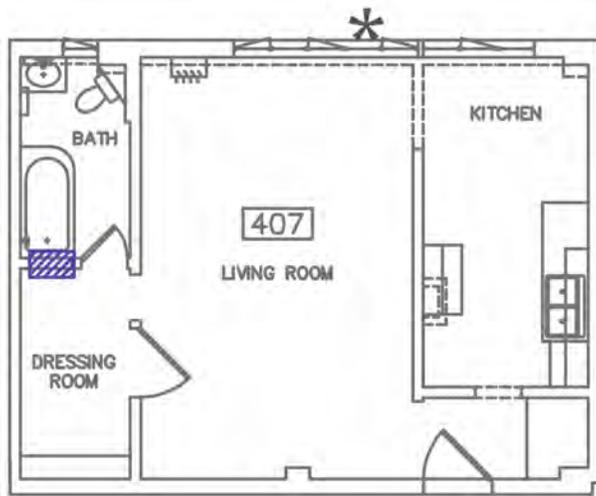
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 2 Condition Assessment Unit 407



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, including ball-pin hinges.
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR)
PF Bathroom glass-backed shelving	Encased or Removed.
PF Painted kitchen cabinetry	Approx 50 - 55% intact
PF Wood closet casework (at entry closet; in DR closet, or both)	DR doors missing Hall closet doors and hardware missing
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	n/a; tissue dispenser extant
SF Bathroom hex white floor tile	Removed or overlaid
<b>NOTE: Original medicine cabinet</b> , east wall BA, one of 3 or 4 remaining. See also Unit 409.	

Unit Type: 2  
Condition Assessment  
Unit 407 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 2  
Condition Assessment  
Unit 407 Living Spaces

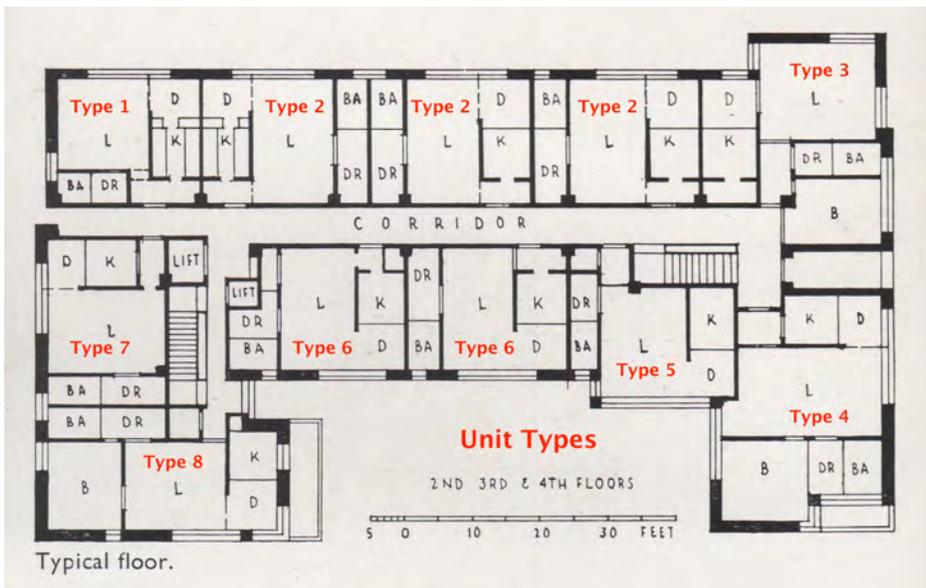
- Living Room



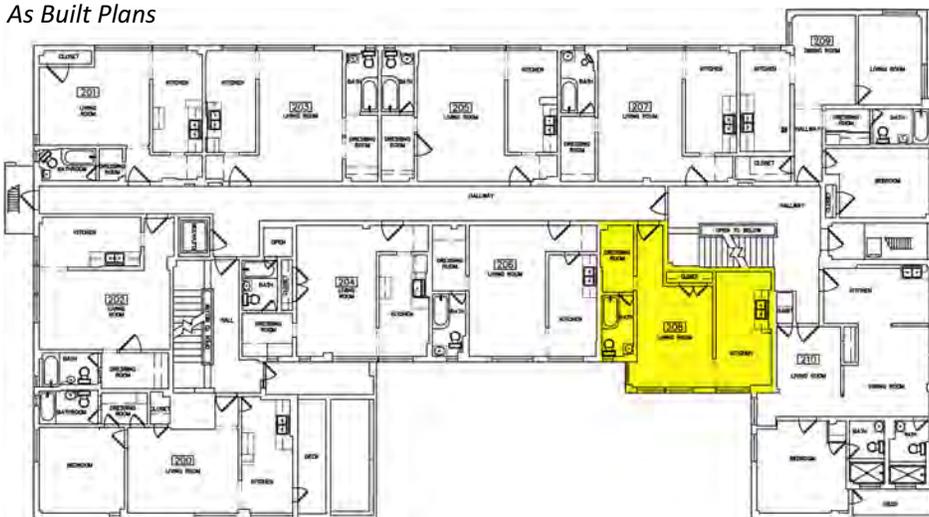
## Overall Condition/Integrity of Unit 408

Good

Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 5 Condition Assessment Unit 408



LEGEND

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

PF Spatial layout	INTACT
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	INTACT
PF Murphy bed door/opening	INTACT, including hinges.
PF Texture above molding	Removed
PF Wood doors	1 missing (DR)
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	90% INTACT. Model kit.
PF Wood closet casework (at entry closet; in DR closet, or both)	DR altered; casework partially retained, upper 2 small doors extant, tall doors missing. No hall closet.
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	Towel rack and tissue dispenser extant
SF Bathroom hex white floor tile	Removed or overlaid

Unit Type: 5  
Condition Assessment  
Unit 408 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 5  
Condition Assessment  
Unit 408 Living Spaces



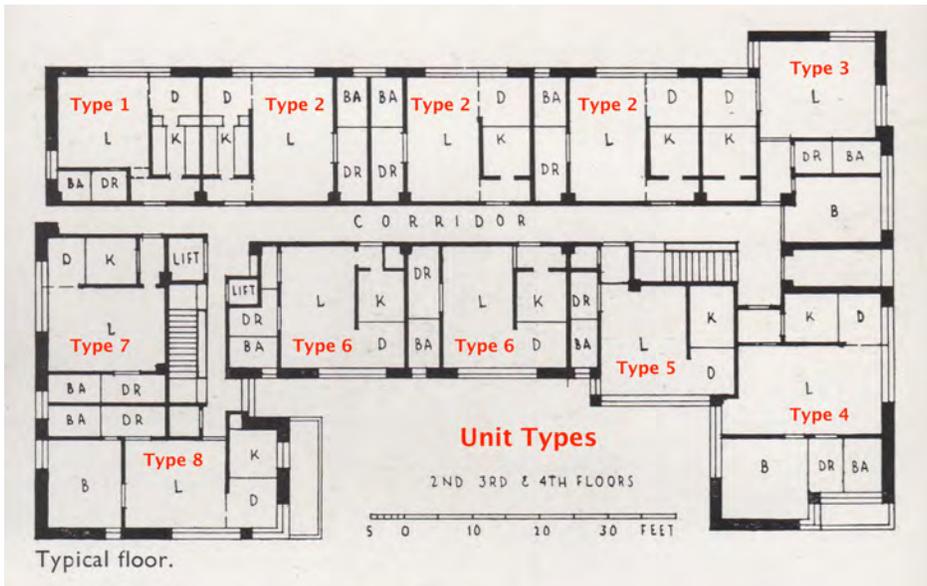
. Living Room



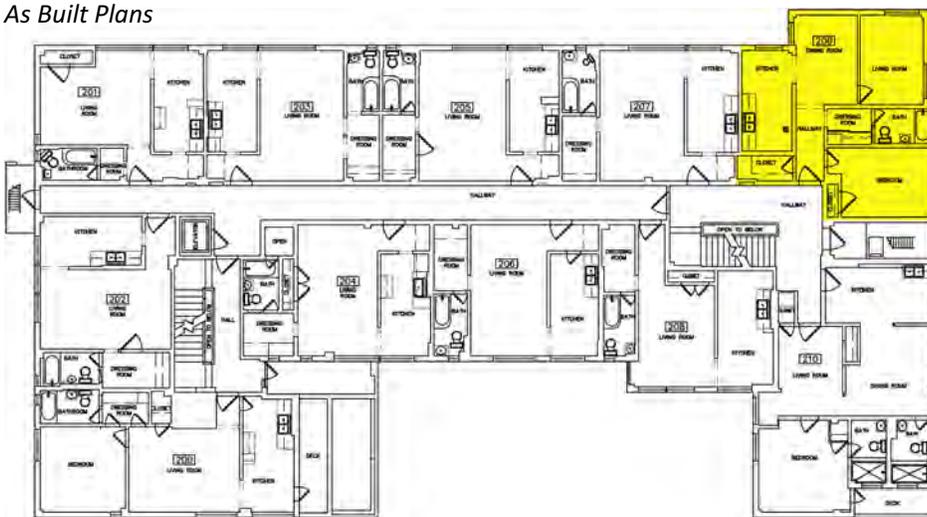
## Overall Condition/Integrity of Unit 409

Fair

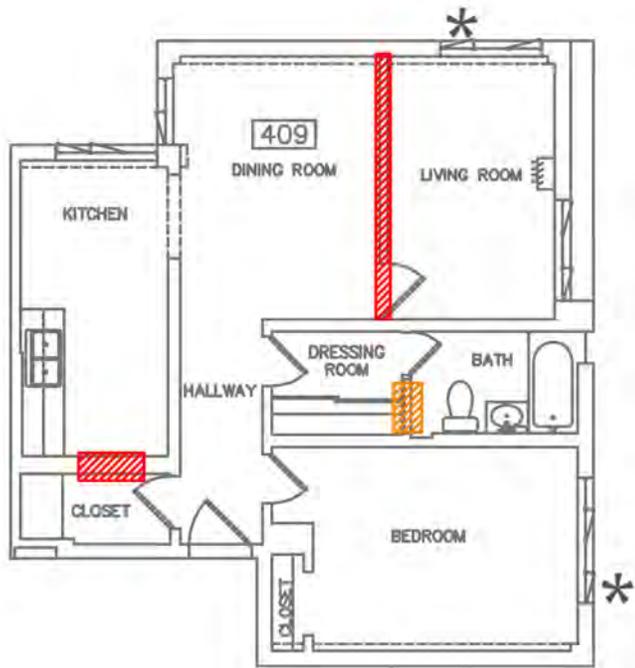
Historic Concept Plans for Unit Types



As Built Plans



# Unit Type: 3 Condition Assessment Unit 409



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

-  NON-ORIGINAL WALLS OR DOORWAYS ENCASED
-  BATHROOM SHELF INTACT
-  BATHROOM SHELF ENCASED
-  ENCASED MURPHY BED OPENING
-  NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
-  ORIGINAL GLASS WINDOW

PF Spatial layout	Altered: dividing wall, LR, kitchen door filled in.
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	85% INTACT
PF Murphy bed door/opening	Removed, contrary to PPM
PF Texture above molding	Removed
PF Wood doors	2 missing (kit, DR) <b>NOTE:</b> original door in entry area, removed from hinges. DR: casework and all 4 doors removed
PF Bathroom glass-backed shelving	INTACT
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	Entry closet doors missing. DR casework + doors, demolished.
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	n/a; tissue dispenser extant, original medicine cabinet
SF Bathroom hex white floor tile	Removed or overlaid
<b>NOTE: Original medicine cabinet; one of 3 or 4 remaining. See also Unit 407.</b>	

Unit Type: 3  
Condition Assessment  
Unit 409 Kitchen and Bathroom



. Kitchen



. Bathroom

Unit Type: 3  
Condition Assessment  
Unit 409 Living Spaces



. Living Room

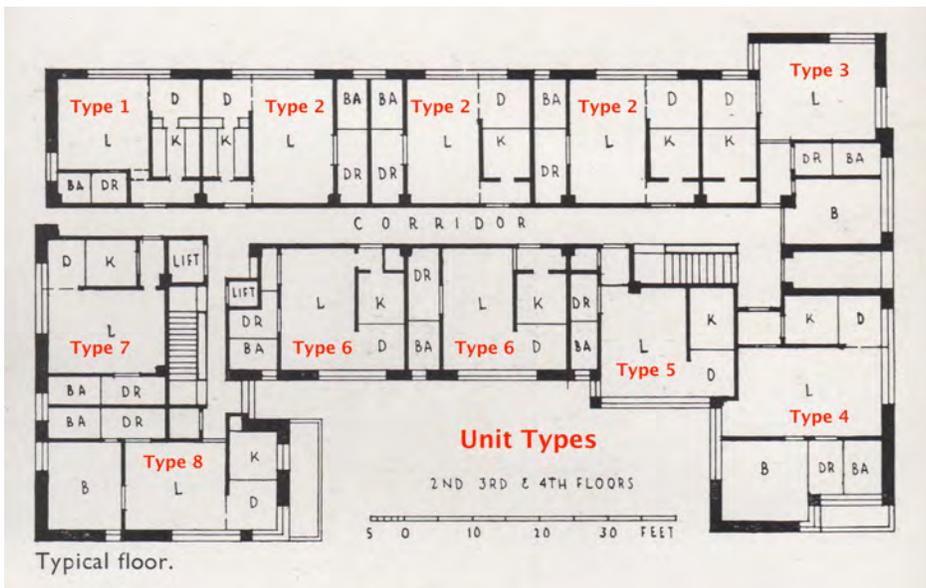


. Bedroom

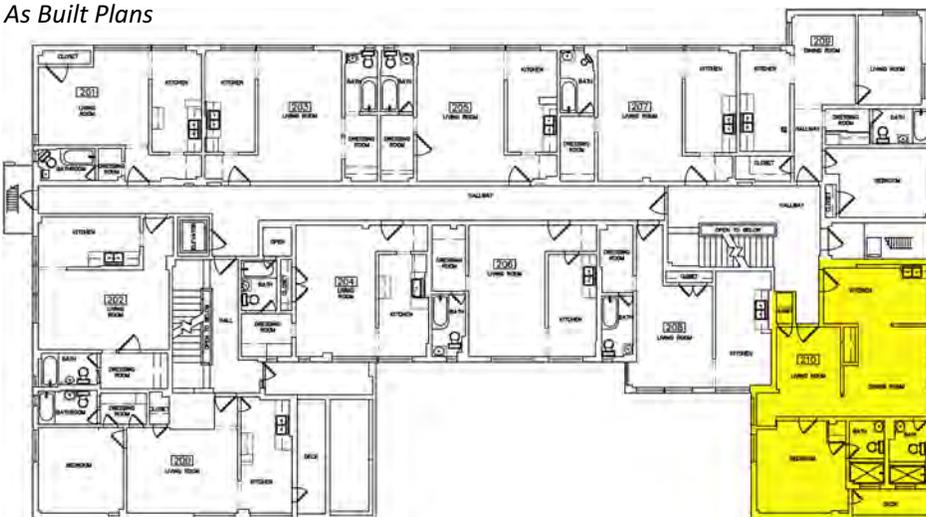
## Overall Condition/Integrity of Unit 410

**Very Poor**

Historic Concept Plans for Unit Types

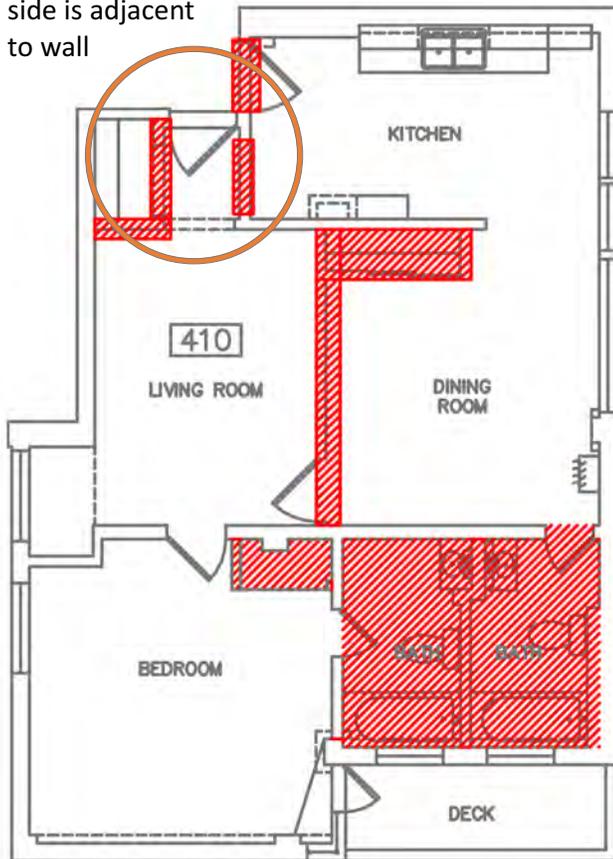


As Built Plans



# Unit Type: 4 Condition Assessment Unit 410

FLIP ENTRY  
DOOR so strike  
side is adjacent  
to wall



**LEGEND**

PRIMARY CHARACTER DEFINING FEATURES

- NON-ORIGINAL WALLS OR DOORWAYS ENCASED
- BATHROOM SHELF INTACT
- BATHROOM SHELF ENCASED
- ENCASED MURPHY BED OPENING
- NEUTRA DRAWING INDICATES DESIGN FOR LAUNDRY CHUTE OPENING TO STAIR AND INCINERATOR CHUTE
- \* ORIGINAL GLASS WINDOW

**NOTE: ENTRY DOOR HINGED ON WRONG SIDE.**

PF Spatial layout	Two lengths of original walls in place, otherwise all eradicated.
PF Steel windows and balcony door	see Window Inventory
PF Wall and door moldings	Removed
PF Murphy bed door/opening	N/A
PF Texture above molding	Removed
PF Wood doors	Missing throughout.
PF Bathroom glass-backed shelving	Encased or Removed.
PF Painted kitchen cabinetry	Removed
PF Wood closet casework (at entry closet; in DR closet, or both)	DR material removed. Entry closet casework and doors removed, opening incompatibly altered.
PF Bathtub	INTACT
SF Bathroom wall tile with liner	Extant, painted.
SF Bathroom accessories, porcelain.	REMOVED
SF Bathroom hex white floor tile	Removed or overlaid

Unit Type: 4  
Condition Assessment  
Unit 410 Kitchen and Bathroom



. Kitchen

Unit Type: 4  
Condition Assessment  
Unit 410 Living Spaces



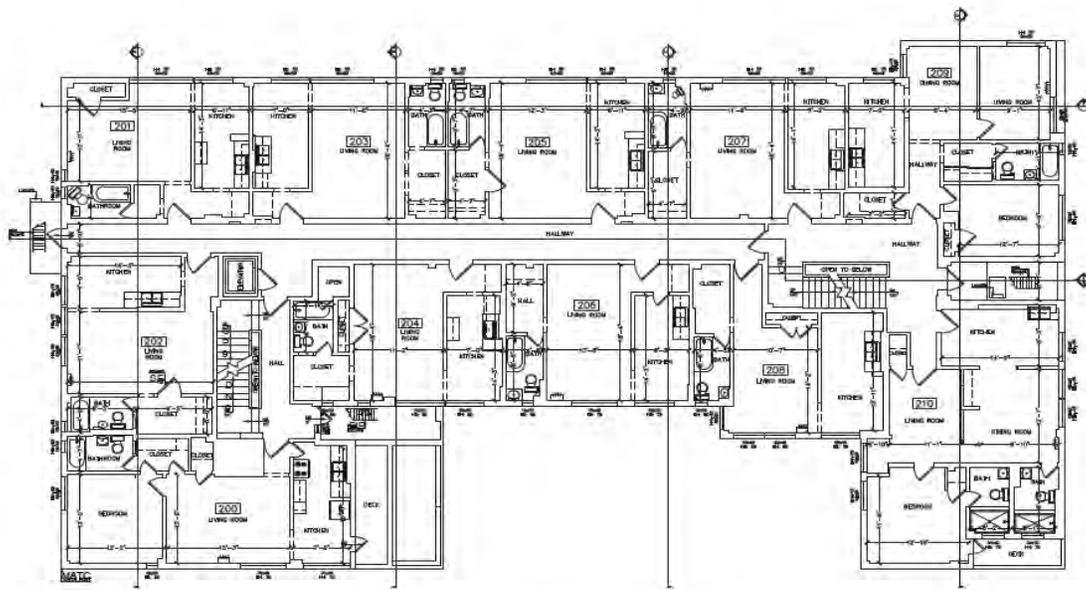
. Living Room



. Bedroom

## WINDOW INVENTORY BY TYPE

NOTE: All Steel-Framed Windows and Doors  
are Primary Character-Defining Features



SECOND FLOOR

# TYPE 1

Unit Stack: 101, 201, 301, 404 Size

Location

Studio

Total Glass/Steel Balcony Door

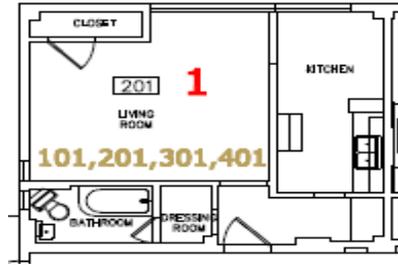
SE Corner

Total Original Glass/Steel

0

Windows

10



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
101	LR/DN	8 Sash-Grouped	S	I	
	LR	Single Sash	E	DEM	
	BA	Single Sash	E	I	Glazing non original
201	LR/DN	8 Sash-Grouped	S	I	
	LR	Single Sash	E	ALT	
	BA	Single Sash	E	I	
301	LR/DN	8 Sash-Grouped	S	I	
	LR	Single Sash	E	ALT	Unable to evaluate frame condition
	BA	Single Sash	E	I	
401	LR/DN	8 Sash-Grouped	S	I	
	LR	Single Sash	E	ALT	Unable to evaluate frame condition
	BA	Single Sash	E	DEM	

TOTAL WINDOWS ORIGINAL 40

TOTAL WINDOWS DEMOLISHED 3

TOTAL WINDOWS ALT PLYWOOD 2

TOTAL WINDOWS INTACT 35

## ROOM LEGEND

LR = Living Room

DN = Dinette

DR = Dressing Room

BA = Bathroom

BR = Bedroom

## CONDITION LEGEND

I Intact

ALT Wood replaced or covers glass

DEM = Original windows replaced and/or openings changed

## TYPE 2

Unit Stack: 103, 203, 303, 403

105, 205, 305, 405

107, 207, 307, 407



Size

Studio

Location

3 Center Units, South Side

Total Original Balcony Doors

0

Total Original Glass/Steel

9 per unit, 27 per floor

Windows Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
103	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	DEM	
203	LR/DIN	8 Sash-Grouped	S	I	
	BA	Single Sash	S	I	
303	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	I	
403	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	DEM	
105	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	I	
205	LR/DIN	8 Sash-Grouped	S	I	
	BA	Single Sash	S	DEM	Unable to Determine
305	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	I	
405	LR/DIN		S	I/DEM	4 East Intact, 4 West Demolished
	BA		S	I	

### ROOM LEGEND

LR Living Room  
 DN Dinette  
 DR Dressing Room  
 BA Bathroom  
 BR Bedroom

### CONDITION LEGEND

I Intact  
 ALT Wood or drywall replaced or covers glass  
 DEM Original windows replaced and/or original openings changed

Unit #	Room	Sash Type	Location	Condition	Notes:
107	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	DEM	
207	LR/DIN	8 Sash-Grouped	S	I	
	BA	Single Sash	S	I	
307	LR/DIN	8 Sash-Grouped	S	DEM	
	BA	Single Sash	S	I	
407	LR/DIN	8 Sash-Grouped	S	I	
	BA	Single Sash	S	I	

## TYPE 2

TOTAL WINDOWS ORIGINAL	108
TOTAL WINDOWS DEMOLISHED	64
TOTAL WINDOWS ALTERED	0
TOTAL WINDOWS INTACT	44

## TYPE 3

Unit Stack: 109, 209, 309, 409 Size

Location

One-bedroom SW Corner

Total Glass/Steel Balcony Door Total

0

Original Glass/Steel Windows

16 per unit



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
109	LR	3 Sash-Grouped	S	DEM	
	DIN	3 Sash-Grouped	S	DEM	
	LR	3 Sash-Grouped	W	DEM	
	LR	2 Sash-Grouped	E	DEM	Projects south on the SW corner
	BD	4 Sash-Grouped	W	DEM	
	BA	Single Sash	W	DEM	
209	LR	3 Sash-Grouped	S	I	
	DIN	3 Sash-Grouped	S	DEM	
	LR	3 Sash-Grouped	W	I	
	LR	2 Sash-Grouped	E	I	Projects south on the SW corner
	BD	4 Sash-Grouped	W	I	
	BA	Single Sash	S	DEM	
309	LR	3 Sash-Grouped	S	DEM	
	DIN	3 Sash-Grouped	S	DEM	
	LR	3 Sash-Grouped	W	DEM	
	LR	2 Sash-Grouped	E	DEM	
	BD	4 Sash-Grouped	W	DEM	
	BA	Single Sash	W	DEM	
409	LR	3 Sash-Grouped	S	I	
	DIN	3 Sash-Grouped	S	I	
	LR	3 Sash-Grouped	W	I	
	LR	2 Sash-Grouped	E	I	Projects south on the SW corner
	BD	4 Sash-Grouped	W	I	
	BA	Single Sash	W	DEM	

## TYPE 3

TOTAL WINDOWS ORIGINAL	64
TOTAL WINDOWS DEMOLISHED	39
TOTAL WINDOWS INTACT	25
TOTAL WINDOWS ALT PLYWOOD	0
TOTAL WINDOWS INTACT	21

### ROOM LEGEND

LR = Living Room  
 DN = Dinette  
 DR = Dressing Room  
 BA = Bathroom  
 BR = Bedroom

### CONDITION LEGEND

I Intact  
 ALT Wood replaced or covers glass  
 DEM = Original windows replaced and/or openings changed

## TYPE 4

Unit Stack: 108, 210, 310, 410 Size

Location

One-bedroom

Total Glass/Steel Balcony Door

NW Corner

Total Original Glass/Steel

3

Windows

25 per unit including balcony doors



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
108	LR/DIN	8 Sash-Grouped	W	DEM	
	LR/BR	6 Sash-Grouped	Crtyrd	DEM	
	BR	2 windows/1 door	NW corner	I	
	DR/BA	8 Sash-Transom	N	DEM	Each set of 4-light awning hinged from top
210	LR/DIN	Group of 8	W	DEM	
	LR/BR	6 Sash-Grouped	Crtyrd	DEM	
	BR	2 windows/1 door	NW corner	ALT	Door Alt P Corner Windows Dem or Alt P
	DR/BA	8 Sash-Transom	N	DEM	Each set of 4-light awning hinged from top
310	LR/DIN	Group of 8	W	I/DEM	4 Intact, 4 Demolished
	LR/BR	Group of 6	Crtyrd	DEM	
	BR	2 windows/1 door	NW corner	I/DEM	Door Intact, Corner Windows Demolished
	DR/BA	8 Sash-Transom	N	DEM	Each set of 4-light awning hinged from top
410	LR/DIN	Group of 8	W	DEM	
	LR/BR	Group of 6	Crtyrd	DEM	
	BR	2 windows/1 door	NW corner	I/ALT	Door Alt, P; Windows Intact
	DR/BA	8 Sash-Transom	N	DEM	Each set of 4-light awning hinged from top

## TYPE 4

TOTAL WINDOWS ORIGINAL 100

TOTAL WINDOWS DEMOLISHED 86

TOTAL WINDOWS ALT PLYWOOD 4

TOTAL WINDOWS INTACT 10

### ROOM LEGEND

LR = Living Room

DN = Dinette

DR = Dressing Room

BA = Bathroom

BR = Bedroom

### CONDITION LEGEND

I Intact

ALT Wood replaced or covers glass

DEM = Original windows replaced and/or openings changed

## TYPE 5

Unit Stack: 106, 208, 308, 408 Size

Location

Studio

Total Glass/Steel Balcony Door

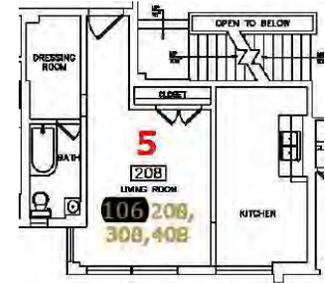
Center Units North

Total Original Glass/Steel

0

Windows

13 per unit



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
106	LR/DIN	10 Sash-Grouped	N	DEM	
	LR	2 Sash-Grouped	Crtyrd	DEM	
	BA	Single Sash	N	DEM	
208	LR/DIN	10 Sash-Grouped	N	DEM	
	LR	2 Sash-Grouped	Crtyrd	DEM	
	BA	Single Sash	N	DEM	
308	LR/DIN	10 Sash-Grouped	N	DEM	
	LR	2 Sash-Grouped	Crtyrd	DEM	
	BA	Single Sash	N	DEM	
408	LR/DIN	10 Sash-Grouped	N	I/DEM	3 Intact, 7 Demolished,
	LR	2 Sash-Grouped	Crtyrd	Dem	
	BA	Single Sash	N	Dem	

## TYPE 5

TOTAL WINDOWS ORIGINAL 52

TOTAL WINDOWS DEMOLISHED 49

TOTAL WINDOWS ALT PLYWOOD 0

TOTAL WINDOWS INTACT 3

### ROOM LEGEND

LR = Living Room

DN = Dinette

DR = Dressing Room

BA = Bathroom

BR = Bedroom

### CONDITION LEGEND

I Intact

ALT Wood replaced or covers glass

DEM = Original windows replaced and/or openings changed

## TYPE 6 (6a+6b & 6c\*)

Unit Stack: 206, 306, 406, 210, 310, 410

104\*, 204, 304, 404

Size Studio, /One bedroom\*

Location Center Units North

Total Original Glass/Steel Windows **9 per unit**

Unit 104\* (Not Shown) **12 Windows**



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
104*	LR/DIN	8 Sash-Grouped	N	DEM	
	BA	Single Sash	N	DEM	
	BR	Group of 3	N	DEM	
206	LR/DIN	8 Sash-Grouped	N	DEM	
	BA	Single Sash	N	I	
306	LR/DIN	8 Sash-Grouped	N	DEM	
	BA	Single Sash	N	I	
406	LR/DIN	8 Sash-Grouped	N	DEM	
	BA	Single Sash	N	DEM	
204	LR/DIN	7 Sash-Grouped	N	I	
	BA	Single Sash	N	I	
	DR	Single Sash	N	I	
304	LR/DIN	7 Sash-Grouped	N	I	
	BA	Single Sash	N	DEM	
	DR	Single Sash	N	I	
404	LR/DIN	7 Sash-Grouped	N	DEM	
	BA	Single Sash	N	I	
	DR	Single Sash	N	I	

## TYPE 6

TOTAL WINDOWS ORIGINAL	66
TOTAL WINDOWS DEMOLISHED	45
TOTAL WINDOWS ALT PLYWOOD	0
TOTAL WINDOWS INTACT	21

### ROOM LEGEND

LR = Living Room  
 DN = Dinette  
 DR = Dressing Room  
 BA = Bathroom  
 BR = Bedroom

### CONDITION LEGEND

I Intact  
 ALT Wood replaced or covers glass  
 DEM = Original windows replaced and/or openings changed



## TYPE 8

Unit Stack: 100,200,300, 400 Size

Location

Total Glass/Steel Balcony Door

Total Original Glass/Steel

Windows

One bedroom

NE Corner

1 (Floors 2, 3, 4)

15 per unit (Including Glass/Steel Door @ Courtyard Elevation)



Unit #	Room	Sash Type	Elevation Location	Condition	Notes:
100	LR/DIN	8 Sash-Grouped	N	DEM	
	DIN2	2 Sash-Grouped	Crtyrd	ALT	
	BR	3 Sash-Grouped	E	DEM	
	BR	Single Sash	N	DEM	
	BA	Single Sash	E	DEM	
200	LR/DIN	8 Sash-Grouped	N	DEM	
	DIN2	Door + Window	Crtyrd	ALT	
	BR	3 Sash-Grouped	E	DEM	
	BR	Single Sash	N	I	
	BA	Single Sash	E	DEM	
300	LR/DIN	8 Sash-Grouped	N	DEM	
	DIN2	Door + Window	Crtyrd	ALT	
	BR	3 Sash-Grouped	E	DEM	
	BR	Single Sash	N	I	
	BA	Single Sash	E	DEM	
400	LR/DIN	8 Sash-Grouped	N	DEM	
	DIN2	Door + Window	Crtyrd	ALT	
	BR	3 Sash-Grouped	E	DEM	
	BR	Single Sash	N	I	
	BA	Single Sash	E	DEM	

## TYPE 8

TOTAL WINDOWS ORIGINAL 60

TOTAL WINDOWS DEMOLISHED 49

TOTAL WINDOWS ALTERED 8

TOTAL WINDOWS INTACT 3

### ROOM LEGEND

LR = Living Room

DN = Dinette

DR = Dressing Room

BA = Bathroom

BR = Bedroom

### CONDITION LEGEND

I Intact

ALT Wood replaced or covers glass

DEM = Original windows replaced and/or openings changed

## OTHER FENESTRATION

### 1. Lobby Entrance – Custom Grouping

Primary Character-defining Feature

- a. 1 Operable Casement Window
  - b. 3 Fixed Lights – one large west-facing rectangle; one smaller north-facing rectangle; small light above hinged casement
  - c. Lobby Door – Historic Photography indicates glass and black-painted steel or wood. Demolished.
- Total 5 – Alt, Plywd.

### 2. Glass and Steel Exterior Fire Escape Doors – Identical Each Floor

Primary Character-defining Feature

Each exit contains a Steel-Framed, 4-Light (Transparent Glass) door, each with an adjacent side light, single-pane, upper right of door.

- 4<sup>th</sup> Floor – Alt, Plywood – Entire Door/ Side Light – Total 5 lights replaced w/ plywood
  - 3<sup>rd</sup> Floor - Side light Intact, top two door lights intact. Bot. 2 lights replaced w/plywood
  - 2<sup>nd</sup> Floor – Door Intact, Sidelight replaced with plywood
- 8 Lights affected

### 3. Skylights. These are very similar to the transom windows seen in Type 4 (NW unit), north elev.

Primary Character-defining Feature

- a. West side of building. Group of 10-light skylights, oriented E-W, illuminating West Stairs. Glazing contains safety wire glass (Chicken Wire). (CDF.)
  - b. East side of building. Group of 10 light skylights illuminating stairs and roof enclosure, oriented N-S. Glazing contains safety wire glass (Chicken Wire). (CDF.)
- 20 lights – Intact and painted out.

### 4. Rooftop – Mechanical Enclosure / Storage / Air Shaft –

Secondary Character-Defining Feature

- a. West Elev, Storage Room, Group of 8 Windows.

This group is fixed single-light steel framed except for two-light awning window near south of group.

- b. East Elev, Staircase. 2 Groups of Windows, 5 lights each. Comprise a 3-sash light awning unit containing safety wire glazing (Chicken Wire) is flanked either side with fixed light. (CDF.)
- 18 lights - Intact and painted out.

### 5. Hallway Windows (terminating each central corridor, each floor

- a. Ground Floor – 1 3-light window, comprising two hinged leaves topped by full-width fixed transom window.

Intact. Primary Character Defining Feature.

- b. 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> Floor – similar opening, but these terminating windows are large double-hung wood windows. These wood windows, virtually the only wood windows in the building, appear to be original.

Intact. Deteriorated with dry wood termite damage. Secondary Character Defining Feature. <sup>244</sup>

## OTHER FENESTRATION (Continued)

### 5. Basement Windows -

Not a Character Defining Feature

a. Vents located on all elevations at ground plane. Non-original bars and temporary lack of access prevent accurate confirmation of windows.

1. East elev (laundry room.) It appears that as with the roof enclosure, there may be

2. East elev (for toilet room. There may be a unit comprising three lights.

2. North elev. It appears that as with the roof enclosure, there may be two sets of 5-light transom windows.

3. South elev. It appears that as with the roof enclosure, there may be two sets of 5-light transom windows.

Approximately 30 windows - Apparently Intact and painted out.

## SUMMARY

INDIVIDUAL UNITS (accounting for all lights)	527
Demolished (window/door removed opening altered)	354
Altered (window/door possibly intact, glass replaced w plywd or drywall )	15
Intact (Frame and Glass present)	158
<i>33% of the windows are intact or have fsteel rames infilled with plywd.</i>	

## OTHER FENESTRATION

Custom installations of standardized parts will require individual attention as priority dictates.

**LEGEND:**

Blue = intact feature

## JARDINETTE APARTMENTS

**6.4.1 Bathroom Inventory 1<sup>st</sup> Floor : Wall Tile, Floor, Bathtub, Original Accessories May 2017**

UNIT	WALL TILE	BATHTUB	HEX TILE FLOOR	ACCESSORIES
100	Intact unpainted except for window where tile replaced. Good cond	Intact, poor condition	Covered or replaced	3 of 4 intact including towel bar
101	Intact and painted.	Intact, good condition	Intact	4 of 4 intact including towel bar
102	Intact and painted EXCEPT surround tile bathtub, replaced	Intact, poor condition	Intact	Tissue holder intact
103 Extensive water damage Very poor cond.	Intact and painted. Wall BOWED	Intact, fair to poor condition	Covered or replaced	Bath soap holder intact, lavatory soap holder may be intact.
104 Extensive water damage throughout	Intact and painted EXCEPT surround tile bathtub, replaced. Wall BOWED.	Intact, wall added on the north end of tub and should be removed	Covered or replaced	Removed
105	Interior wall intact unpainted. Green liner tile. Painted on bathroom surround, upper non-original tile added. Wall BOWED	Intact	Covered or replaced	Bathtub soap holder intact
106	Intact and painted EXCEPT surround tile bathtub, replaced.	Intact	Covered or replaced	Removed
107	Intact and painted	Intact, poor condition (later porcelain re clad failing; seen in other tubs as well)	Covered or replaced	Bathtub soap holder intact. Towel rack missing, other 2 not evaluated
108	Some tile intact and painted, bathtub surround tile removed, much altered.	Intact, good condition	Covered or replaced	Removed
109	Tile intact and painted	Intact, poor condition	Covered or replaced	At least two removed, including towel rack and toilet tissue holder/

6.4.2 Bathroom Inventory 2nd floor: Wall Tile, Floor, Bathtub, Original Accessories May 2017

LEGEND:

Blue = intact feature  
 Yellow = rare original feature or features

UNIT	WALL TILE	BATHTUB	HEX TILE FLOOR	ACCESSORIES
200 excellent cond	Intact and unpainted good cond	Intact, good cond	Intact	Tissue dispenser intact, towel rack missing, other 2 not evaluated
201	Intact and unpainted EXCEPT shower wall/tub surround not evaluated	Intact, good cond	Covered or replaced	Lavatory soap dish and towel rack demolished, 2 not evaluated
202	Largely intact and unpainted. Rear bathtub wall painted.	Intact, fair cond	Covered or replaced	Tissue dispenser intact, other 3 missing.
203	Intact and painted. Wall BOWED	Intact, good cond	Covered or replaced	**Original med cab, Sink and bathtub soap holders intact. Tissue dispenser not evaluated.
204, v good cond	Intact and unpainted EXCEPT tub surround painted	Intact, good cond	Covered or replaced	Bathtub soap holder and tissue dispenser intact
205 fire/water damage, poor cond	Interior wall tile painted. Wall slightly BOWED. Bathtub surround tile replaced	Intact, good cond	Covered or replaced	Towel rack, sink soap holder intact, bath soap holder removed/covered by cladding, tissue dispenser not evaluated.
206 very poor cond, water damage, mold	Interior wall tile painted. Wall slightly BOWED. Bathtub surround tile replaced	Intact	Covered or replaced	Bathtub soap holder intact, other 3 missing
207, V good cond. Strange crack in bathtub area, looks structural	Interior and sink walls intact and unpainted, tub surround painted.	Intact, fair-good cond	Covered or replaced	** Original med cab, towel rack, tub soap holder, shower soap holder AND original side mount shower!!!!
208 Good cond, similar to 207	2 interior wall intact and unpainted, tub/sink surround painted	Intact, fair cond	Covered or replaced	Tub soap holder and towel rack intact. Tissue holder not eval.
209	Tile painted	Intact, good cond	Covered or replaced	Tissue holder, sink soap holder intact
210 Demolished	Demolished	Demolished	Demolished	Demolished

**LEGEND:**

Blue = intact feature

Yellow = rare original  
feature or features

## JARDINETTE APARTMENTS

## 6.4.3 Bathroom Inventory 3rd floor: Wall Tile, Floor, Bathtub, Original Accessories May 2017

UNIT	WALL TILE	BATHTUB	HEX TILE FLOOR	ACCESSORIES
300 excellent cond	Two walls intact/unpainted, another intact/ painted. Tub surround tile replaced.	Intact, fair cond	Covered or replaced	Tissue dispenser, sink soap holder intact. Others demolished.
301	All original tile intact and painted. Tub surround tile replaced.	Intact, good cond	Covered or replaced	**All four accessories intact. Original side mount for shower.
302 NO ACCESS				
303 Poor condition	Interior wall tile painted, tub surround tile replaced. Wall slightly BOWED.	Intact, poor cond (later 'porcelain' failing)	Covered or replaced	3 demolished, tissue dispenser not evaluated
304 Severe water damage, mold	Wall tile intact painted. Tub surround tile replaced.	Wall inset tub damage damaged and should be replaced in kind	Covered or replaced	** Original med cab. 3 accessories demolished, tissue holder not evaltd.
305	Wall tile intact and painted. Upper tub surround tile not original.	Intact, fair cond	Covered or replaced	2 accessories intact. Original side mount for shower.
306	Interior wall tile intact/painted. Wall slightly BOWED.	Intact, fair cond	Covered or replaced	2 accessories intact. Original side mount for shower
307	Original wall tile painted. Upper tub surround material not original, may be hiding original tile	Intact, fair cond	Covered or replaced	2 accessories intact Original side mount for shower
308 like 307	Wall tile, interior wall, intact/painted. Tub surround replaced.	Intact, fair cond	Covered or replaced	Tub, sink soap dispensers intact. Original side mount for shower
309 Water damage	Interior wall tile intact/painted. Wall inset tub surround tile replaced.	Intact	Covered or replaced	Towel rack, tissue dispenser intact
310 Demolished				

**LEGEND:**

Blue = intact feature  
 Yellow = rare original feature or features

6.4.4 Bathroom Inventory: Wall Tile, Floor, Bathtub, Original Accessories May 2017

UNIT	WALL TILE	BATHTUB	HEX TILE FLOOR	4 ACCESSORIES
400 excellent cond	Tile intact and unpainted except for tub surround.	Intact, good cond	Intact	3 of 4 intact: towel rack, tissue dispenser, sink soap holder
401	Wall tile intact/painted. Tub surround tile replaced.	Intact, fair cond	Covered or replaced	Tissue dispenser intact. 3 of 4 removed. Orig side mount shower head
402 v. good cond	Wall tile intact and unpainted. Tub surround tile replaced.	Intact, fair cond	Intact	Tissue dispenser intact, sink soap holder intact. 2 removed.
403	Interior wall tile intact/painted. Bathtub surround tile replaced. Wall BOWED.	Intact, good cond	Covered or replaced	Sink soap holder intact. Tissue dispenser not eval 2 removed.
404	Tile intact and painted. Non-orig upper tub surround painted,	Intact, fair cond	Intact	Sink, bathtub soap holders, tissue dispenser intact. 1 removed.
405	Tile intact/painted.	Intact, good cond	Covered or replaced	3 missing, tissue dispenser not eval.
406 OCCUPIED, excellent integrity!!	Tile intact and unpainted, good cond.	Intact	Intact	**Orig med cab, sink soap holder, bathtub holder, towel rack not evaluated. Shelf between DR and bthroom intact.
407, excellent integrity	Tile intact and unpainted. New tile above cap tile in tub area	Intact, fair cond	Covered or replaced	Tub soap holder intact, towel rack stanchions intact (wood dowel missing) sink soap holder and tissue dispenser not evaluated
408	Tile intact and painted; tub surround tile replaced or clad with plastic substrate	Intact, good cond	Covered or replaced	Original side-mounted shower head, 3 of 4 accessories intact: tub soap holder missing
409	Tile intact/ painted	Intact	Covered or replaced	Tissue holder only
410 DEMOLISHED				

JARDINETTE APARTMENTS  
6.5 Tally, Percent Intactness, Kitchens May 2017

**SUMMARY, 43 UNITS:**

Number of Units that are 90 to 100% Intact    6  
 Number of Units that are 50 to 90% Intact    10  
 Number of Units that are 10 to 50% Intact    5  
 Number of Units that are 0 to 10% Intact    22

<b>Number of Units 90 – 100% Intact: 6</b>	
Unit #	Percent of Intactness: 90 – 100%
106	90%
204	90%
301	90%
302	May be 100% Unit occupied.
303	90%
305	90%
408	90%

<b>Number of Units 50 – 90 % Intact: 10</b>	
Unit #	Percent of Intactness: 50 -90%
100	50%
200	80 - 90% Unit occupied.
201	65%
205	50%
304	50%
306	70%
403	60%
405	60%
406	80% Unit occupied.
407	50-55%

<b>Number of Units 0 – 10 % Intact: 22</b>	
Unit #	Percent of Intactness 0 -10%
102	removed
103	removed
104	removed
105	removed
107	removed
108	removed
109	removed
203	removed
206	removed
207	removed
208	removed
209	removed
210	removed
300	removed
308	removed
309	removed
310	removed
400	removed
401	removed
404	removed
409	removed
410	removed

5.5 Kitchens, Degree of Intactness

<b>Number of Units 10 – 50 % Intact: 5</b>	
Unit #	Percent of Intactness 10 -50%
101	25%
202	45%
305	45%
307	35-40%
402	35%

## 7.0 Introduction to Recommended Treatments - Recommended Approach: Rehabilitation

## 7.0 Recommended Approach: Rehabilitation

The National Park Service established four approaches for the treatment of historic properties (preservation, restoration, rehabilitation, and reconstruction.) Rehabilitation is the most appropriate approach for the treatment of the Jardinette Apartments.

*Rehabilitation* is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Thus, in order to best address the Jardinette Apartment's long-term lack of maintenance, its shocking neglect, and its subsequent deterioration, *rehabilitation* provides the flexibility needed to extensively repair, alter, and upgrade the structure. This approach also provides the opportunity to meet some contemporary expectations and uses while retaining its historic character in accordance with the *Secretary of the Interior's Standards for Rehabilitation*.

# 7. Recommended Treatments

## *1. Exterior and Public Spaces*



Figures 23 – 25, Concrete textures, north façade.

## 7.1 Recommended Treatment – Concrete

See NPS Preservation Brief 15, “Preservation of Historic Concrete”

**Existing Condition:** *Exterior elevations are clad in painted concrete. The two concrete finishes, board-form and “Conc. Tex.,” are fundamental to the design and need to “read” clearly. In some areas, the painted finishes have deteriorated, leaving the concrete or prime layers exposed. Additionally, in some areas, crude stucco repair work has compromised the appearance of the form-board concrete as can be seen at left. However, care must be taken to retain the equally crude, but original, surfaces seen in the concrete projections on the west elevation, south end, and on the courtyard elevation, facing east. Fortunately, there appear to be few instances of spalling, in which embedded reinforcing steel is exposed, typically catalyzing deterioration.*

### Proposed Treatment

1. Remove chunks of debris with non-metallic tools.
2. Clean concrete with low-pressure water (less than 200psi) to effectively remove surface soiling.
3. Keep surface wet through cleaning process.
4. Apply approved restoration cleaners such as Masonry cleaner Prosoco Enviro Klean EK Restoration Cleaner; Prosoco T1261 Water Deposit Remover; Biocide Jahn D/2 Architectural Antibacterial; Rust and scale remover Mirachem 250.
5. With cleaner, scrub with natural bristle to create a condition as close as possible to original and prepare for painting. Low pressure wash again to remove disrupted dirt and excess cleaner.
6. Remove any damaged, deteriorated or inappropriate cracks and patches, such as in the upper south wall, entry portico (above front door.)
7. Treat stable substrate with Sika Arimatec 110 Epocem bonding bridge and reinforcement protection or sim.
8. Pin/fasten any loose elements using a Helifix fastening system
9. Consolidate actively crumbling and deteriorated concrete with Prosoco Conservare Stone Strengthener OH, followed by Prosoco Conservare Stone Strengthener H, color matching historic concrete.
10. Patch / repair damaged concrete using Jahn Cathedral Stone M-90 Concrete Repair Mortar, matching the historic concrete and cast stone as closely as possible.
11. Epoxy inject any small cracks in concrete with Sikadur 31-Gel and/or Sikadur 35 Hi-Mod LV.
12. Prime and paint with elastomeric paint/coating.
13. For demolished projecting string courses, replace in kind.
14. Create and implement a maintenance plan to effectively protect historic concrete. It should include a regular maintenance program, beginning with establishing baseline conditions and identifying any needed repairs. The appearance of the refinished concrete should match the original.
15. While Neutra typically used off-the-shelf white paint or allowed the painter to choose it, the original paint scheme appears to have been a dark color for the “Cont. Tex” and for the NE corner with the fifth floor roof parapet. Physical analysis is recommended to determine the original color and then to consider a range of colors that express the original design intent and execution.

## 7.1. Recommended Treatment – Concrete (con't.)



Figure 26. Bands of horizontally oriented form board concrete contrasting with non-oriented “Conc. Tex.” between windows



Figure 27. Paint/coating deterioration, west elevation.



Figure 28. Original red-stained concrete, entrance bench portico, and terrace



Figure 29. Inappropriate infill patching reveal, west elevation.

## 7.1. Recommended Treatment – Roof

**Existing Condition:** *Overall sound according to visual inspection. Existing modified torch down rolled roofing appears to have been recently coated with white asphalt roofing membrane. No permit could be located for this recent work. Due to the total coverage of the membrane, the age of any roofing underneath cannot be determined; but the membrane appears to be in good condition: supple and with no patches of missing granules. Currently, there are no plans to modify the roof other than patch and repair as required by new penetrations for HVAC condensers, etc.*

### Proposed Treatment / Maintenance

1. Regularly inspect roof (especially the telecommunication area at the NE corner) for leaks at edges, flashings. Penetrations by the telecom firm may be responsible for this portion of the roof.
2. For skylights and fixed/awning windows in rooftop service volume, carefully rehabilitate, following protocols for Steel Casement Windows, Section 7.5.
3. Fortunately, the two metal panels installed by the telecommunications firms on the north and east elevations of the roof parapet and painted to match the rest of the upper parapet are not visually disruptive when viewed from the street. However, the parapet should be assessed by a structural engineer to ascertain whether these openings have compromised required standards for seismic performance.
4. As graffiti appears to be a constant issue, check consistently for such, perhaps keeping paint and tools handy so that the resource reads cleanly to the public.
5. Consider replicating identical or installing compatible rooftop canopy per historic photo, top left. There appears to be a wall in this photo behind the awning although there is no physical evidence of such a wall. The Jardinette archives at UCLA do not include a roof plan.



Historic photo (Figure 16) showing west side of rooftop service room and original roof canopy. Camera facing E. Cal Poly Pomona, ENV-Special Collections.



Figure 30. Camera facing E toward rooftop service volume and parapet.



Figure 31. Camera facing SW. East side of rooftop volume with hopper/fixed windows.

## 7.1. Recommended Treatment – Roof (con't.)



Figure 32. East side of building east side rooftop service room. Camera facing N.

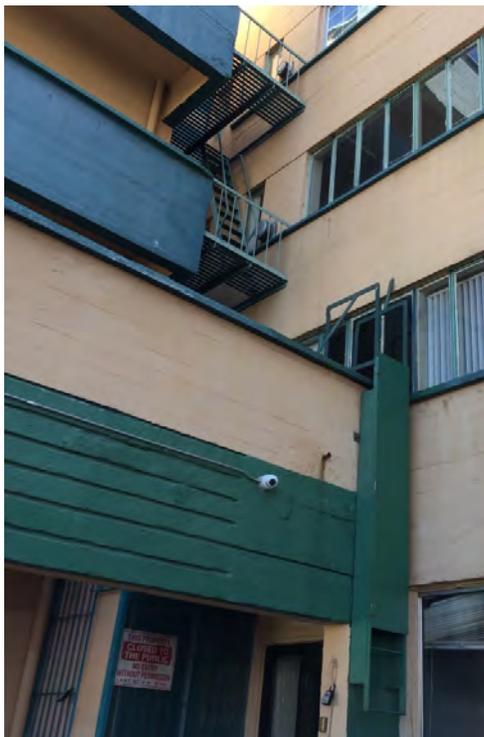
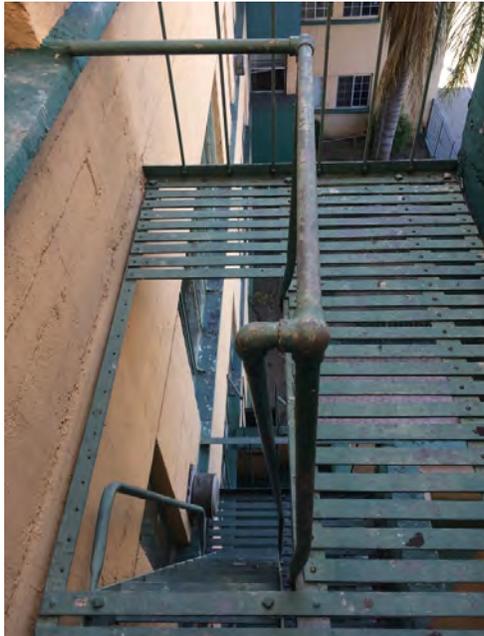


Figure 33. East side of building west side of rooftop service room. Camera facing S.

Figure 34, top. Fire escape landing east side of building.

Figure 35, middle. Fire escape east side of building showing incompatible green wooden vertical box.

Historic photograph 16, bottom right, showing original fireplace ladder configuration.



## 7.1 Recommended Treatment -- Fire Escapes

**Existing Condition:** *Three extant fire escapes are integral to the structure's original design. One is located in the interior SE corner of the courtyard; another projects from the east elevation of the building, and the third is recessed in the central section of the west elevation. A visual inspection indicates the escapes are in sound working order, however, any modifications would be undertaken at the request of the Building Inspector to comply to life safety concerns.*

### Proposed Treatment

1. The only incompatible element here is the long wooden box that contains the lowest leg of the courtyard fire escape; see photo bottom left. This hides an important character-defining feature, which is the series of incised lines in the elevated concrete wall above the entry portico. This vertically oriented box interrupts the important horizontal continuity, seen in photo below right. If possible, remove this wooden construction to restore original condition.
2. Evaluate connections between steel fire escape and concrete walls, reinforce if necessary.
3. Rehabilitate steel framing with protocols for "Steel Casement Windows" above.



## 7.1 Recommended Treatment: Landscape

**Existing Condition:** *The current plantings are incompatible with original plantings seen in historic photographs. The present plantings and palm tree are in poor condition, as are soil conditions. There appears to be no sprinkler system.*

### Proposed Treatment

1. Remove all existing plantings; none are original or compatible.
2. Assess efficacy of waterproofing, concrete planter walls, and, if adjacent, water intrusion from planters to the foundation and basement.
3. Remove/amend soil as necessary to prepare for future plantings. Evaluate existing water/sprinkler/ systems or electrical systems for opportunities to illuminate building or way-find while preserving character-defining features.
4. Evaluate metal supports on balconies and concrete projections for new means to support planter boxes, one of the most important aspects of the resource.
5. In drawings, Neutra indicated Jacaranda trees at ground level and named tough, drought tolerant, colorful Lantana plants to be among those plants to enhance the planters. No specifications could be located. A deodar cedar was planted in 1928 or 1929, along with trailing vines (perhaps Boston ivy or asparagus fern) that draped over the balcony and projections, as seen in the historic photos. Botanists point out that the mature conifer was probably removed because it was far too large for its small planting area, so replanting a identical young tree would be not be appropriate.
6. Because there are no specifications regarding landscape, some leeway is acceptable. To retain the original design intent and Neutra's typical practices, hardy plantings that are easy to maintain would be appropriate. Re-greening the balconies is an important part of the rehabilitation.



Historic Photo (Figure 17) Courtyard elevation, camera looking southwest. Notes plants on east-facing projections that did not hold brackets for planters. Photo by Julius Shulman, 1950. © J. Paul Getty Trust. Getty Research Institute, Los Angeles (2004. R. 10).



Historic Photo (Figure 9) North, east elevations NE corner. Undated, probably 1928. Camera looking southwest. Richard and Dion Neutra Papers, Coll. 1179, Special Collections, UCLA.

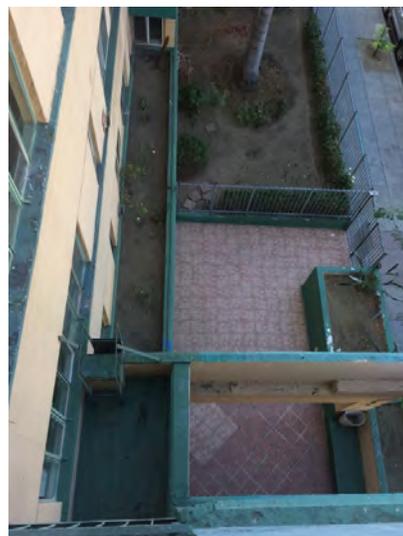


Figure 36. View from E wing into exterior courtyard

## 7.1 Recommended Treatment - Steel Casement Windows



Figures 37 – 39, Steel casement window hardware details

**NOTE:** For **EXISTING** windows with original glass, exercise great care as the original glass can be quite fragile. If existing putty is not deteriorated, leave in place and patch carefully.



Figure 40. Steel casement window

See Preservation Brief 13, “The Repair and Thermal Upgrading of Historic Steel Windows.” *IMPORTANT NOTE: Given the date of construction, it is very possible that the putty and/or the paint on the frames contains lead. Both should be tested prior to any mechanical action that creates dust. If lead is present, follow appropriate abatement procedures with qualified personnel.*

**Existing Condition:** Overall, very deteriorated, reflecting long-term lack of maintenance. About one third of the windows are intact, but are rusted, overpainted, and the work sloppily executed. All other windows were demolished, covered up, or the glass replaced with plywood. See 6.3, Window Inventory.

1. For **EXISTING** windows with non-original glass (to be replaced), remove glass and putty.
2. With wire brushes, pads and steel wool, remove what is “loose and flaky” lead paint, making sure to obtain a fairly even surface. If needed strip windows with professional-grade stripper (such as MasterStrip) and steel wool and/or red oxide (automotive-grade) sandpaper. Whatever the approach, rinse and dry thoroughly so that no film or slick surfaces remain.
3. Stabilize surface for painting with Ospho 605 or “Rust Reformer” by Rustoleum or sim.; two treatments may be required. Wipe down with damp rag and dry. Bondo as necessary if corrosion is severe.
4. Replace any missing screws or hardware that secures frame to concrete.
5. Prime with quality metal primer.
6. Reglaze.
7. Reputty using CRL Gray Metal Sash Putty.
8. Prime putty.
9. Paint with quality paint compatible with primer.

6

## 7.1 Recommended Treatment Steel Casement Windows (con't)



Figure 41. Hardware detail

- For Non-Original (vinyl, aluminum-framed) windows
10. Replicate original steel frame to match original profile as closely as possible.
  11. New handles need to recall but not replicate original handle design.



Figure 42. Casement window group, rear elevation



Historic Photo (Figure 21), Exterior primary entrance. Note custom designed front door, three frosted overhead lights, and the large window to the manager's office. Richard and Dion Neutra Papers, Coll 1179, UCLA.



Historic Photo (Figure 22), Interior lobby. Note bench with possible lighting illuminating the floating quality of the bench; the striking pattern of overhead lighting and newel post lighting. Richard and Dion Neutra Papers, Coll 1179, UCLA.

## 7.1. Recommended Treatment Lobby and Elevator

**Existing Condition:** *As noted in the Description, the Lobby originally was a striking composition combining Modern, Art Moderne, and Japanese decorative motifs. Except for overall spatial layout, it has been demolished. There is little evidence as to original condition apart from few archival drawing(s) and the sole available photographs shown at left.*

*Located on the southeast side of the lobby, the small passenger elevator is original and appears to be sound working order. The exterior wood door is original; the glass appears to be original. The interior door width is 32”.*

### Proposed Treatment – Lobby

1. Using archival drawings (UCLA) and photo left, as possible, replicate primary entry door.
2. Carefully disassemble staircase enclosure and mailbox area, where archival photograph indicates a recessed wood bench and possible vertical light fixture in wood newel post. If any part of these elements still exists, it may be possible to repair and restore, or inform a replica.
3. Remove non-original and visually disruptive stair enclosure.
4. Remove later non-compatible angled, L-shaped wooden bench
5. Remove later non-compatible rectangular wood Asian-style tracery flanking steps to ground floor hallway on both east and west ends
6. Remove incompatible ceiling-mounted fluorescent lighting. Using the sole available historic photo as a guide, design a replica or similar or install compatible ceiling fixture
7. Preliminary sketches show a linear series of angled full-height vertical wood studs perpendicular to the south end of the elevator. This is a classic Neutra detail, found across building types. Examine ceiling and floor areas for evidence of connections. Restore.
8. Carefully disassemble later non-compatible interior and exterior floor tile. Per UCLA archival drawings, there may be original L-shaped etched pattern in concrete underneath the tile. This repeating pattern, recalling other Art Deco detailing by 1930s theatre architects such as Morgan Wallis & Clement, is a character-defining feature if extant.
9. Repair concrete steps, patching, filling holes. Stain as required to match existing red color of concrete.

### Proposed Treatment – Elevator

1. Perform regular testing and maintenance, as required by City.
2. Install a 1.5” diameter handrail at the rear of the elevator.
3. Its woodwork needs patching with wood Bondo or Abitron prior to prepping and painting.

7.1 Recommended Treatment—Lobby and Elevator (con't.)



Figures 43 - 46, Lobby: Above left, north elev. Above right, east elev. with elevator. Middle left, East elev. Below left, SW corner, lobby.

## 7.1 Recommended Treatment – Hallways and Staircases



Figure 47. Fourth floor, top of stairs and hallway view with skylight above for natural lighting conditions



Figure 48. Handrail detail

**Existing Condition:** *All the hallways and staircases are virtually identical and are in fair condition. The east end of the east-west main hallway is occupied by a large double-hung window, while the west end leads to others units and the west fire escape. The east end of the north-south hallway leads to unit and the courtyard fire escape. Existing repairs to the rough-cast stucco above the upper wood molding which is largely original and intact, are crude. No original flooring survives. All of the doors to the units are fire doors probably installed in the 1970s or 1980s and will be retained. Notably, the design ensures that no unit's front door opens directly across from another's.*

*Original drawings show that carpet was specified for hallways; however, no specifications were found for the staircases. Based on some remnants of linoleum found on the staircases, it is assumed this material was employed there.*

### Proposed Treatment

1. Repair extensive damage, dry rot and termite infestations, subfloors.
2. Evaluate existing sprinkler system according to the CHBC. No record was obtained regarding the date of installation.
3. Restore missing pieces of angled molding separating upper heavily textured "dash" texture from smooth plaster finish below.
4. Patch, repair existing upper and lower textures to match original.
5. Budget permitting perform analysis to determine original color of paint; repaint an identical or similar color. While paint color is not a character-defining feature, the colors should be appropriate to Neutra's use of interior paint colors in the period of significance.
6. Archival drawings indicate carpet was used for the hallways but there is no physical evidence to indicate that was installed.
7. Carpet, cork, or linoleum is acceptable.

### Staircases and Skylights

**Existing Condition:** *Two wood-framed, plaster-clad staircases serve the building. Oriented north-south, the east staircase is the primary stair leading from the lobby. The west staircase is oriented east-west. Both have identical distinctive carved wood handrails. Both are illuminated by operable skylights to daylight the stairs. The skylights have been painted over.*

### Proposed Treatment

1. Remove paint from skylights to restore daylight illumination as designed. Refurbish as necessary to restore operability.
2. Remove remnants of previous finish on stairs, evaluate for damage, and repair wood sub strate.
3. Reinstall new non-slip compatible finish such as linoleum.
4. Clean and repaint wood handrail; full stripping is not recommended.

## 7.1 Recommended Treatment – Hallways and Staircases (con't.)



Figures 49 – 51, Views of Skylights, stair runs, and "gap" space for vertical shaft of daylight. West stairs, top and bottom. East stairs, middle.

## 7.1 Recommended Treatment: Interior Expressions of Concrete Structure



**Existing Condition:** *Throughout the building there are many instances of what appears to be eccentric expressions of a complex system of reinforced concrete construction. Some of these truncated projections served as ledgers for the pour of the next higher floor. Given early Modernism's public tenet of "rationalized" systems, these idiosyncratic expressions of early experiments with working with reinforced concrete are singular and highly unusual, and thus important character defining features conveying the period of significance.*

### Proposed Treatment

1. Before any intervention into walls or ceilings, review the potential impact on these each of these unique character-defining features with Architect or Preservation Consultant. Minimize impact and restore as is possible and feasible.



Figures 52 – 54, Details, concrete structure



## 7.1 Recommended Treatment – Basement



Figure 55. Incinerator on East side of basement

**Existing Condition:** *The basement is located on the east side of the building, and houses water heaters, the furnace, storage areas, and the old incinerator. While overall the basement appears to be in sound condition, evidence of water infiltration and subsequent damage to floors and walls is present on the southeast quadrant of the building, where the usable basement laundry, storage, plumbing and heating rooms and equipment are located.*

### Proposed Treatment

1. While there is no architectural significance to the basement *per se*, to conform to windows above the ground plane, the high basement windows should be rehabilitated according to the protocols established above for “Steel Casement Windows.”
2. Check concrete walls for water-intrusion and deterioration; repair as necessary.
3. Replace pipes as necessary; consider flexible PEX as alternate to copper.
4. Repair apparent leaks in bathroom on east side of basement



Figure 56. Basement showing windows on East side of building. Note similarity to those in mechanical service volume on roof.

## 7.1 Recommended Treatments: Systems Structural, Fire-Life Safety, MEP (Electrical, Plumbing, HVAC)

### 1. Fire-Life Safety

**Existing Condition:** *To abide with the 1984 Dorothy Mae Ordinance and its predecessors, throughout the were taken that created the ad-hoc conditions today. 1970s a number of incremental fire-life safety measures*

*The building has been partially sprinklered. The existing laundry chute and adjacent incinerator chute opening to the east staircase were enclosed at an unknown time. Two solid heavy fire doors near each end of the hallway were installed, sealing off the hallway ends in the event of a fire.*

*Fire doors replaced the original doors to the units. A sprinkler system was installed, running down the corridors with additional runs branching perpendicular into the entry vestibule of each unit. Current fire sprinkler layout was a previous code minimum.*

*The most egregious change was the enclosure of the original staircase to the stairs leading from the lobby, disfiguring the original spatial configuration of the lobby.*

#### **Proposed Treatment, Life Safety**

The existing sprinkler system appears to be operational and pressurized. It will be tested by a certified sprinkler company and if sound, re-utilized and expanded as needed in order to comply with fire regulations. The fire doors to each unit will be retained; the two fire doors on each floor will also be retained in order to enable the restoration of the open lobby staircase, a primary character defining feature.

### 2. Mechanical

**Existing Condition:** *The existing system consists of gas powered wall heating units, located on exterior walls with metal vent grilles on exterior of building. There is no Central Air or Heat.*

#### **Proposed Treatment, Mechanical**

The proposed system is a VRF (Variable Refrigerant Flow) unit, supplying both hot and cold air to each individual unit. The system is a heat pump, supplying heat through electrical power and cooling from refrigerant lines connected to rooftop condensers.

The units will be placed in each unit's Entry ceiling, a dropped ceiling approximately 18" below the flooring structural diaphragm above. This depth, which is enough space for the unit to sit flush with the ceiling, is the least obtrusive location in the Unit, and only requires minimal ducting in Entry only to supply air to the space.

Supply to the unit will be power and refrigerant. Both can be run inside walls and will require light plaster intervention and repair to match original in both ceilings and walls.

Location will also be coordinated with Architect and/or Preservation Consultant with those walls expected to be removed and replaced for structural reinforcement, avoiding patching or repairing any more existing fabric than necessary.

## 7.1 Recommended Treatments: Systems (con't.) Structural, Fire-Life Safety, MEP (Electrical, Plumbing, HVAC)

### 3. Plumbing: Water, Gas and Sewage

**Existing Condition:** *The water service appears to be centralized, much like the electrical service. Only a single water meter could be located on the sidewalk. There are three water heaters in the basement. It is assumed that the building features a "two-pipe network" that services the whole building. It is also assumed that most of the pipes are original and may contain lead.*

*The gas is also centralized, featuring one meter in the basement. This service runs to the three basement hot water heaters, and also to the individual units to operate heaters and stoves. Sewer lines appear to be adequate but should be checked for quality.*

*There has been no comprehensive upgrades to the plumbing system. Evidence of systemic water leakage, often in the bathrooms, may have compromised some wood framing in ceilings and walls, especially seen in the bowing tiled wall between bathroom and living area in the north central sections of the building. The shower head and curved shower rod are original, and contrary to typical contemporary practice, the shower was mounted on the side of the bathtub.*

#### **Proposed Treatment: Water, Gas, Sewage**

The main water service will be upgraded to a 3" line, with a vault in the sidewalk. The hot and cold water system will originate from the basement and service all units, requiring a new approx. 400-gallon, gas powered hot water heater with recirculating pump. The piping throughout the entire building should be replaced, requiring light intervention and patching of existing plaster to match original.

The gas service will be modified for any new locations of fixtures, but the current service and layout in general will remain.

The individual unit layout of sinks, tub, toilets, etc., will remain intact and conform to original 1928 drawings and execution. The original tubs will remain, and new tub drains and other hardware added as needed. With the exception of four medicine cabinets, all other fixtures are non-original.

### Plumbing (con't.)

In the kitchen, new appliances, new sink, and faucet will be installed; the existing locations for the intake and drains will remain. All replacements will be sensitive to and compatible with the period of significance and with Neutra's decades-long practice of standard, easily accessible parts with simple, clean lines and a "chromium" (chrome) finish. See also Section 7.2, Recommended Treatment, Kitchens.

### 4. Electrical

**Existing Condition:** *The current system features a limited number of meters in the basement at 200 amps each. The amount of meters available will not serve a fully occupied 43-unit building with modern appliances. In the individual units, it is assumed by the visible condition of the outlets and fixtures that most all wiring is original "cloth" wiring and should be upgraded. Most all units feature very little electrical outlets and lighting fixtures. Telecommunications equipment was added to the rooftop in 2006.*

#### **Proposed Treatment: Electrical**

The electrical service will be upgraded to accommodate current building loading. It will remain a centralized system in the basement with new wiring to run throughout the entire building. This will require light intervention / patching of existing fabric for wiring runs. New lighting will remain true to what is believed to be the building's early scheme – wall sconces, based on the evidence of Unit 302. While apparently original, these sconces are not associated with the work of Neutra or Schindler, and may represent developer Miller's wishes or that of a later owner.

As almost all light fixtures have either been removed, new locations will be selected. Fixtures will be new and will be sensitive to and compatible with the period of significance. Convenience outlets will be located on the wall, in existing locations, and as required by owner - as sparsely as possible to avoid excessive damage to existing fabric, guided Section 8-904.2.5, State Historical Building Code, which states that "Receptacle outlet spacing and other related distance requirements shall be waived or modified if determined to be impracticable by the enforcing agency." See also Section 7.2, Recommended Treatment, Lighting.

## 7.1 Recommended Treatments: Systems

### Structural, Fire-Life Safety, MEP (Electrical, Plumbing, HVAC)

#### 5. Structural

**Existing Condition:** *Based on visual observations of the exposed structural elements and the plan review, the structure appears to be in fair to good condition. There were no observed structural deficiencies that would pose immediate significant risk to the occupants. Damage from prior earthquakes could not be seen. There is the potential for damage in a moderate to large seismic event, yet certain positive attributes were found in the building under evaluation by Nous Engineering:*

- a. *There does not appear to be permanent drifts or major deflections of cantilevers.*
- b. *No significant damage or permanent offset exists. -A flexible timber diaphragm with stud walls was encountered in place of non-ductile slab and masonry infill walls.*

*The following items may contribute to increased seismic risk and post-earthquake damage to the buildings in their current state:*

- a. *Select areas of floor framing have been locally damaged. The sub-floor of individual diagonally laid 1.4 boards do not permit true diaphragm performance.*
- b. *Irregular floor plan with re-entrant corners.*
- c. *The concrete columns and beams are likely non-ductile.*
- d. *Connection compatibility between flexible diaphragms and concrete lateral elements*

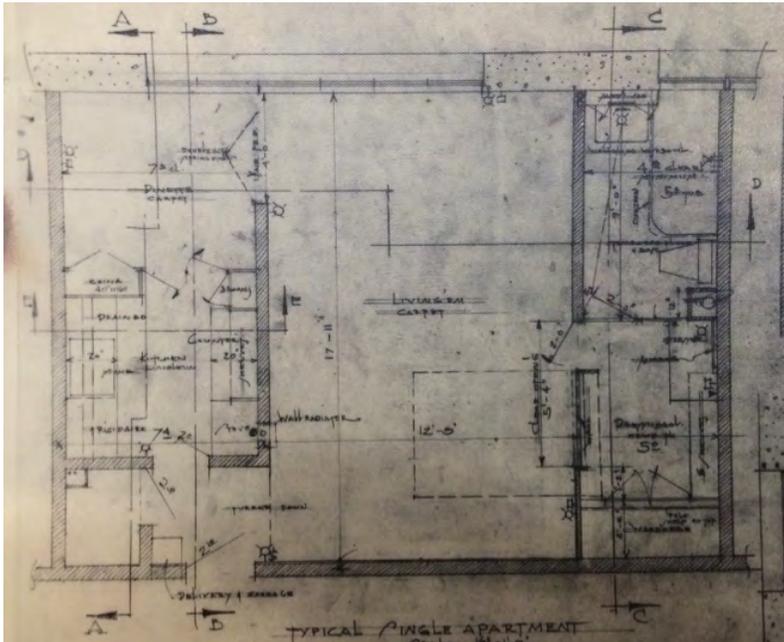
#### Proposed Treatment, Structural

1. Foundations at shear wall locations will either need to be replaced entirely or underpinned. This work is done underground, and should affect very little historic fabric.
2. Connections between the existing concrete frame and existing wood floor diaphragm will need to be reinforced at key locations. These connections will be done inside the diaphragm between floors and will have limited impact on ceiling or wall finishes.
3. The plywood sheathing supporting the wood floor diaphragm will need to be either re-nailed or replaced entirely. Based on the current condition of the flooring (nearly all of original flooring is gone), replacing will affect very little historic fabric.
4. Various existing interior wood stud partition walls will need to be replaced with reinforced concrete shear walls, based on seismic evaluation requirements. These walls will be finished to match historic fabric.

# 7. Recommended Treatments

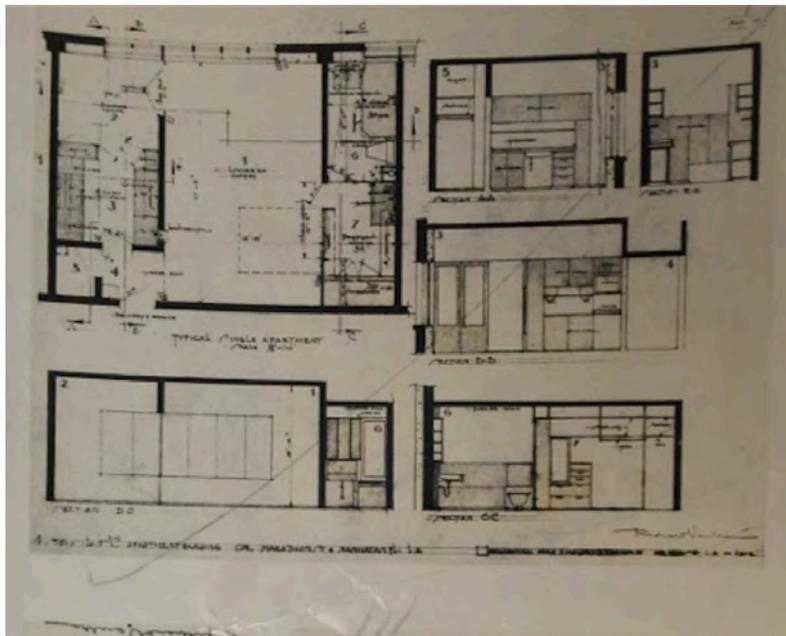
## *2. Interior, Individual Units*

## 7.2 Recommended Treatments: Individual Units



**GENERAL NOTE 1 :** The context for the treatments to the individual units are the original layouts, built largely as indicated here.

**GENERAL NOTE 2 Note:** All disassembly work must be directly supervised by the Architect or Historic Consultant.



Figures 57 above, 58 below.  
Versions, "Typical Floor Plan,"  
Individual Unit,  
UCLA Folder 1134.

## 7.2 Recommended Treatments: Spatial Layouts

**Existing Condition:** *As noted in the Inventory of Spatial Alterations, Section 6.1, many doors and windows have been enclosed. The most drastic changes primarily occurred in the larger units on the east end, with the insertion of a wall or walls to create more room or even additional units and the destruction of the bathroom and dressing room areas. Most other alterations comprised filling in doorways from hall closets to kitchens; filling in the glass-backed bathroom cabinets between bathrooms and dressing areas; and dismantling and closing Murphy bed openings. Such measures have diminished the easy spatial flow and multi-valent functionalism Neutra designed, a character-defining feature throughout his entire oeuvre.*

**The restoration of original spatial conditions in the individual units is top priority.**

### Proposed Treatment:

1. Specific treatments for the Murphy bed openings, kitchen, and bathrooms are included later in this section.
2. For the location of full height non-original walls to be removed in order to reinstate original spatial relationships, see Section 6, Spatial Alterations. These walls are shown in red. After careful disassembly of these full-height non-original walls, reinstate original moldings and baseboards.

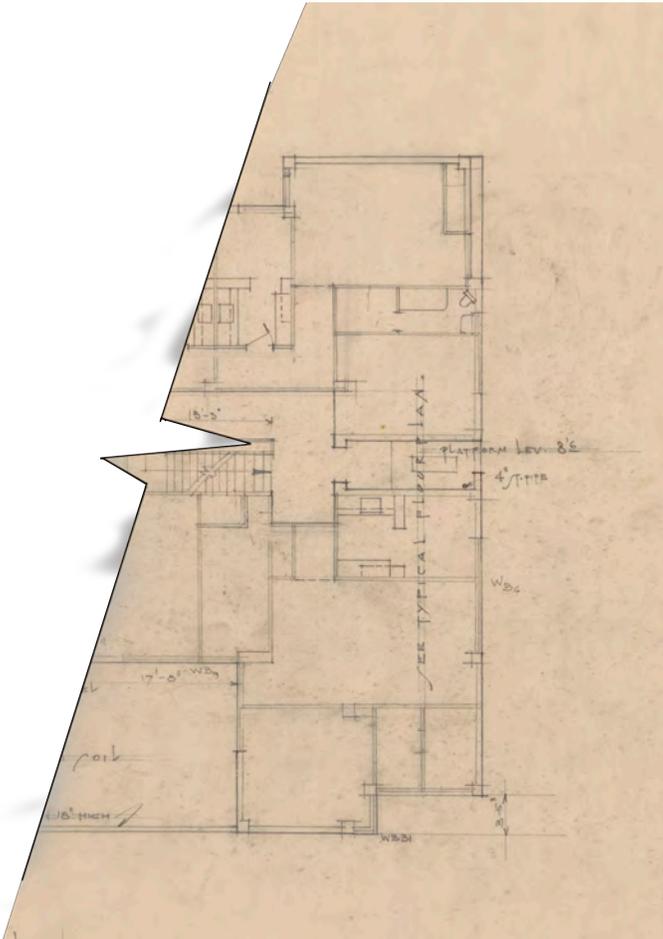


Figure 59. Clip of Original Floor Plan (schematic sketch) showing units on west side of the building.

## 7.2 Recommended Treatments: Moldings and Hinges

**Existing Condition:** *Approximately 60% intact, the moldings for both doors and running along the upper portion of unit walls are very unusual for several reasons. Neither Neutra or Schindler ever used such a highly articulated wall and door molding again; they are a striking contrast to the spare, severe expression of the International Style (in which the frame of an opening is suppressed) throughout the design, including the understated flush panel, single-panel, or two-panel doors that these handsome moldings frame. The design does speak to a more fashionable, traditional sensibility, in vogue with the Art Deco 1930s, which might reflect owner Joseph H. Miller's wish to attract an emerging Hollywood and movie clientele: ultra modern, but ultra contemporary, too.*

*Notably, while the door molding is the same whatever the floor, the wall molding on floors 3 and 4 is slightly taller and with an additional third "step" in its stepped profile than the profile of two steps present on floors 1 and 2. This may reflect the greater status of the upper floors given the access to better views, perhaps commanding a better rent price. While many of these unusual moldings survived, when rooms were altered, the moldings were removed and replaced with nothing (typical for altered walls) or crude replacements (for new door units.)*

### Proposed Treatment – Hinges

1. Depending on condition, clean and retain original **ball-tip hinges**. These are likely to have been originally painted with the door, but rehabilitation might indicate stripping to ensure future ease of use. Alternatively, as ball-tip butt hinges are still widely manufactured, install new as required.

### Proposed Treatment – Moldings

1. Repair existing molding with wood "bondo" or sim., sand, clean, and repaint.
2. For missing wall molding, preferred alternative is to replicate original profile.
3. Door openings that were installed or altered later (with poor craftsmanship and materials) should have these incompatible contemporary frames removed and replaced with replicas of originals or suggested alternative per above.



Figures 60 – 63, general images of moldings, various units.

## 7.2 Recommended Treatments: Moldings and Hinges (con't.)



4. For **encased** Murphy bed door openings, a range of alternatives can be considered according to project goals and what is “technologically and economically feasible.” For example:

1. Outline original Murphy opening in a slightly different paint color or with replica/preferred alternative molding.
2. Install a solid wood panel or one (plastic or glass) that transmits light, enlarging on the original design strategy to exploit “borrowed” light to illuminate the dim DR (Dressing Room) area. Frame with original molding or suggested alternative per above.
3. Reinstall Murphy door and molding.



### NOTE: Molding Differences

Wall moldings present on 3<sup>rd</sup> and 4<sup>th</sup> floors, left above.

Wall moldings present on 1<sup>st</sup> and 2<sup>nd</sup> floors, left below. These are simpler and less articulated, signifying a nuanced difference in status.

Figures 64, 65. Various images show the unusually dense articulated reliefs of molding, never seen in Neutra or Schindler’s work in any other building. The simplicity throughout the building complements this very 1930s Art Deco aspect of the architecture.

## 7.2 Recommended Treatments: Murphy Bed Doors and Openings

**Existing Condition:** *As discussed in Significance, the Murphy Bed is an important character-defining feature of the Jardinette Apartments. In about 15% of the units, the Murphy Bed door and opening has been retained. In most cases, however, the door has been removed; or removed and replaced with an incompatible door and frame; or removed and the wall infilled.*

### Proposed Treatment

1. Retain extant doors and original ball-pint moldings.
2. If opening only is retained and molding intact, alternative strategies include:
  - a. replicate door and install with ball-pin hinges.
  - b. using Neutra's strategy of "borrowed light" to drive light into dressing room (DR) through the glazed bathroom shelf embedded into the wall dividing these two places, employ a stationary panel or movable slider of translucent plastic or tempered glass to illuminate DR.
3. If door and opening painted shut, repair so that door is operable.
4. If later incompatible door installed, replace with alternatives above.
5. It is preferred that the hinges for the Murphy Bed not be removed. However, if there are some portions of A hinge that might prove hazardous or a daily irritant, remove those portions.
6. Where door and/or opening have been removed, depending on "technological or economic feasibility" a range of alternatives are acceptable under the Secretary's Standards. These include alternatives above in addition to highlighting the outline (surface area) of the door. For example, painting the door area in a different saturation or luminosity level of the same color wall paint used elsewhere would provide a remembrance of the door in that original location.



Figure 66, intact Murphy Bed door and original ball-pint molding, Unit 107.

## 7.2 Recommended Treatments: Kitchens

**Introductory Note:** *The sizes and proportions of the various Unit Types of the various apartments predictably varies depending on location and whether the flat was a studio or a one-bedroom. However, this is not the case with the kitchens, which range in width from 6'-7" to 8'-3" and in depth from 14'-1" to 15'-7". Neither are the narrowest kitchens reserved for the smallest units (One Type 2 kitchen has a "generous" width of 7'-5", on the same (ground) floor, another kitchen width is 6'-5.")*

*By contrast, the size of the wood kitchen components are apparently identical, reflecting the Modern goal to reduce labor by using standardized parts. However, 24" deep, a typical contemporary depth, could create a narrower central aisle in some units rather than in others.)*

*Below is a list of the original six (6) standardized components present throughout the units. These appear to have been prefabricated off-site and installed. Notably, while "generic," each set components accommodated the concrete structural members unique to each unit, seen in how the diagonal lower shelf below Cabinet F was scribed around projecting structure. No unit is completely intact. All cabinet doors were originally flush-mounted. Finish: "enamel" paint per Neutra drawings.*

### Wooden Extant Kitchen Components

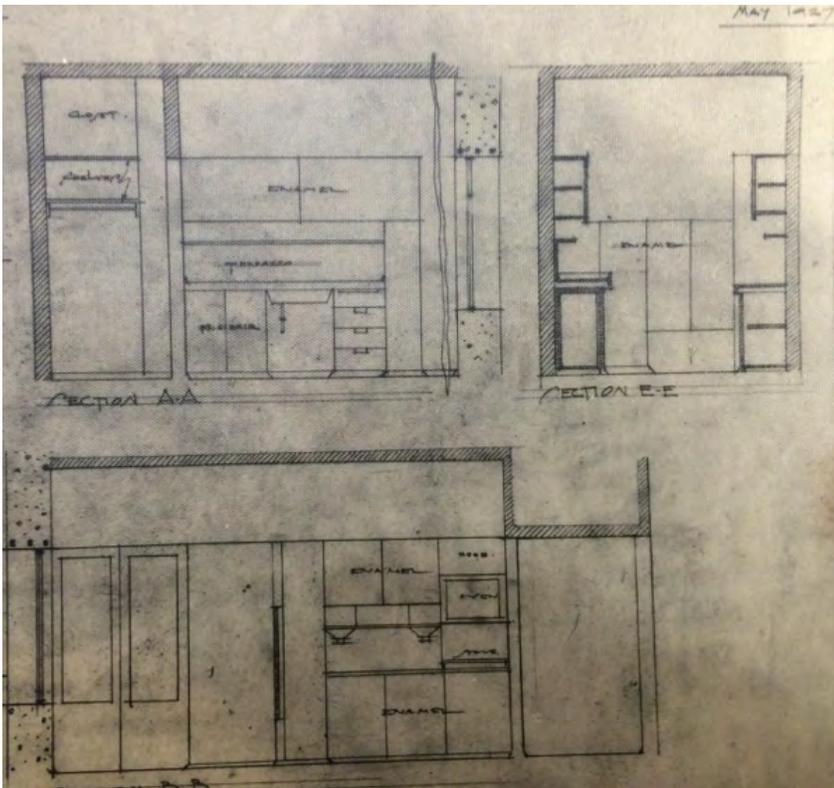
- A. "Lovell Unit" – approx. 36" wide cabinet set. Upper cabinet combines a recessed shallower and shorter cabinet surmounted by a deeper, taller cabinet. The base cabinet is quite low (approximately 30") by contemporary standards. This unusual cabinet is an important feature. 6 doors, total
- B. Glass-fronted china cabinet, approximately 42" tall; 10" deep. Appears to be original in early sketches.
- C. Glass-fronted china cabinet, approximately 36" tall, 6 - 7" deep. While this cabinet does not appear in design sketches, some few are extant. With the broom closet, D, B and C cabinets establish visual boundaries to cooking/cleanup area.
- D. Broom closet.
- E. Tall ice chest holding small refrigerator or even an oven according to early sketches. I.D. approx. 20." Door in plane.
- F. Upper cabinets with 2 long doors, sometimes with diagonally-edged shallow open shelf below. Doors in plane.

**Note on Tile:** Unit 301 is the sole unit featuring original subway tile present between upper and base cabinets. The pattern, running bond, is identical to that of the bathroom, here with a black liner.

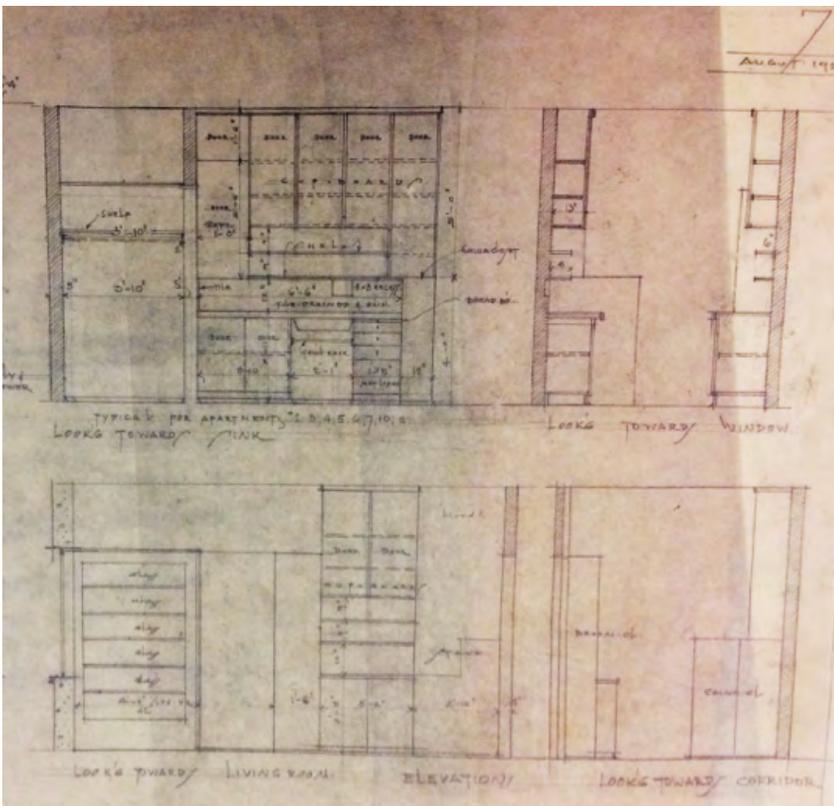


Figures 67 - 69, views of kitchen and original cabinetry, Unit 201. The only non-original portion of the kitchen is the sink-base cabinetry, 24" deep rather than the original 20"-depth of the historic sink counter and cabinetry.

## 7.2 Recommended Treatments: Kitchens (con't.)



Kitchen elevations, UCLA, Folder 1134.  
Figure 70, above – May 1927  
Figure 71, lower – August 1927



## 7.2 Recommended Treatments: Kitchens (con't.)

**Existing Condition:** *While some components have been removed, the remaining components have largely been retained although most are in poor to fair condition.*

### Proposed Treatment:

**1. Preferred Alternative:** Where original cabinet components exist, refurbish. Where not present or altered, install replica of original component with paint-grade lumber; paint as necessary. (Note: a new fridge occupies the space where an ice chest stood. Retain two examples of the ice chest in units that can accommodate both ice chest and fridge.)

a. Repair existing original cabinetry, level/plumb as necessary, sand, prep, and paint.

b. Replace inexpensive "butterfly" hinges as needed; these were likely painted at the same time as the cabinetry and are not character-defining; other surface-mounted similar hinges are acceptable. Round wood painted knobs were original to the design. Few are extant but care should be taken to preserve and rehabilitate them.

c. For removed components/demolished kitchens/later incompatible components, install replicas of original.

d. New cabinetry substrate may be MDF or similar.

e. Retain the two long doors seen in the larger upper cabinet but introduce bi-fold condition, perhaps with a piano hinge, to each long door to improve usability of the space.

**2. Less Preferred Alternative:** For units with 75 percent intact kitchens, and depending on plumbing and construction needs as walls are opened, add replicas of missing components (except for ice chest cabinet, per above.) As a goal, for remaining units, replace all kitchen cabinetry with replicas or contemporary versions of cabinetry that are compatible with and recall the original. This goal applies to nine units 75 percent intact or higher: Units 106, 200, 204, 301, 302, 303, 305, 406, 408. If this goal is not "technologically and economically feasible," at least one unit per floor and, if possible, reflecting a different Type of the 8 Unit Types, should be maintained with as much original historic fabric as possible and installing replicas of missing or altered cabinets. New fixtures and finishes shall be those in use during the Period of Significance and shall reflect Neutra's typical use of standard, robust, simple items.



Figures 72 – 74. More view of kitchen and original cabinetry, Fig. 72, top, Unit 408 especially intact; the shelving below the the upper cabinets shows how architect/builder adapted standard detail to the complex structure. Fig. 72 also shows typical inclusion of the non-original sink base cabinetry; no original sink base remains. Fig. 74, bottom, Unit 301. Fig. 73, middle, shows the typical recessed upper cabinetry, extant in many units.

## 7.2 Recommended Treatments: Bathrooms

### Existing Condition:

No photographs could be obtained showing original bathrooms as executed. It is assumed that all of the bathrooms were the same, differing when structural members provided or required opportunities for variation in toilet placement. While some components (see next page) have been removed, the remaining components have retained integrity although most are in poor to fair condition. Some walls separating living area LR and bathroom BA are curved, possibly indicating concrete beam deflection above the wall.

### Proposed Treatment

1. With Structural Engineer or Architect, review curved interior walls between LR and BA to determine whether curve reflects structural compromise. Condition may be benign and if can remain undisturbed.

2. The subway-style bathroom tile walls are original. Many are painted. The tiles are characterized by a running bond pattern, a very thin grout line, and a thin “liner” colored tile approximately 6” below the distinctive rectangular white trip cap.

The preferred treatment is to strip the tile, especially the elevation with the towel rack (opposite the tub.) If cost for stripping is prohibitive, replicate based on existing unpainted bathrooms elsewhere, *especially maintaining thin grout line that is emblematic of level of craftsmanship and the Period of Significance.*

3. About 50% of the hex floor tile, white with occasional black accents, appears to be intact; it is believed that it exists under later layers of flooring. Repair or replicate.

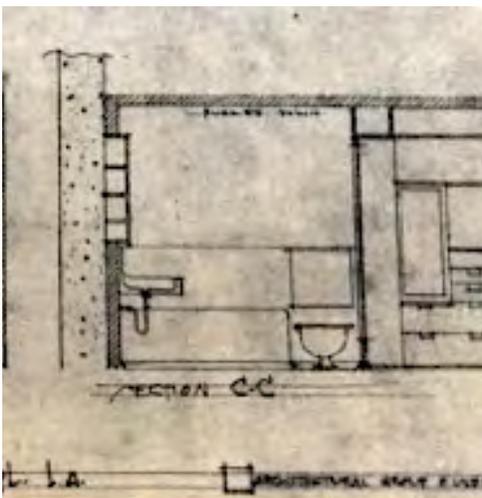
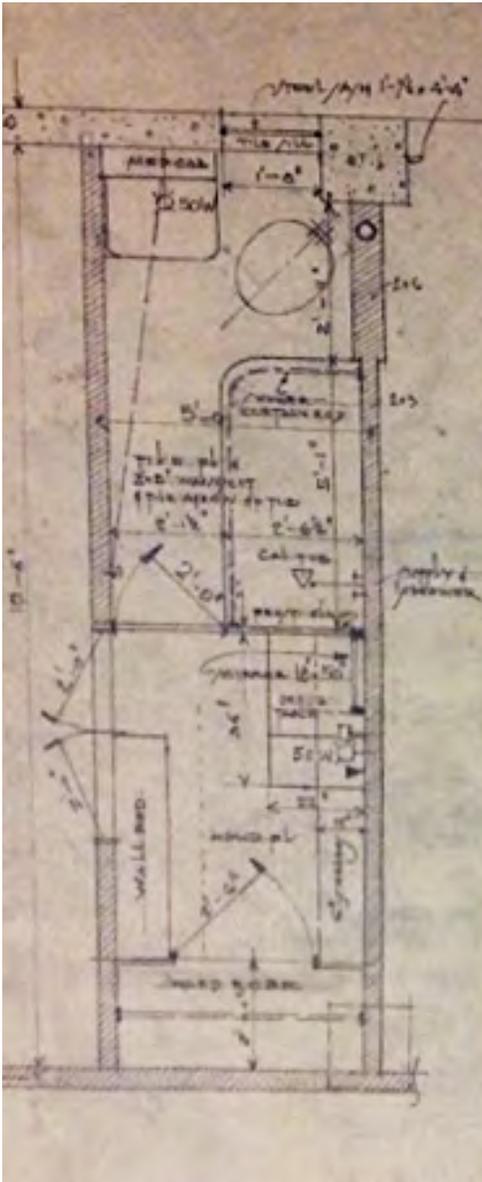
4. Maintain curved shower rail. Many are intact and are present in the archival drawings. Shower arm originally set into side (long) wall.

5. Where extant, retain porcelain bathroom accessories: two soap holders, one towel rack, one toilet tissue-dispenser.

6. Install compatible contemporary mirror and/or medicine cabinet, towel racks, or other bathroom elements as project indicates.

7. Original lavatory was wall hung on exterior wall. Install similar or with base cabinet.

8. Strip original bathtub of paint and (failed) artificial porcelain coating. Remove rust as possible.



Figures 75, 76, plans and section/elevation, typical bathroom and dressing area, DR. UCLA, Coll. 1179. Fig. 75, top, plans for bathroom and DR. Fig. 76, below, shows wall mounted sink attached to exterior wall, line of tile wainscoting, medicine cabinet in bathroom; in DR, cabinet with inset mirror, upper storage and rack (pole.)

## 7.2 Recommended Treatments: - Flooring



**Existing Condition:** *Except for remnants of linoleum here and there no original flooring has survived. Archival drawings indicate that carpet was specified for the main living space, bedroom, and for the dinette area. Linoleum was indicated for the kitchen proper; text was illegible for determining whether carpet or linoleum for the DR, the Dressing Room. It is not known, however, whether carpet was installed per the drawings; it may be that the entire kitchen area had linoleum.*

*Several variations of linoleum, seen left, that could be original were discovered. Notably, in two units (101, manager's unit, and 301) there appears to be a band of linoleum with a wood-grain appearance that surrounds a field, or "carpet," of patterned linoleum.*

### Proposed Treatment:

1. As economically and technically feasible, perform additional discovery of flooring layers to confirm that previously discovered remnants are original; there should be some repetition of linoleum throughout building.
2. Assuming previously discovered remnants, pictured here, new linoleum choices should recall these patterns and colors from the Period of Significance.



Figures 77 – 79, left. Versions of linoleum found in public areas and in units. Fig. 77, top left, shows linoleum on second floor landing, east stair. Fig. 78, middle left, shows linoleum in dressing room/ While very similar to a contemporary product Forbo Real Series, this linoleum is quite aged. Figure 79, bottom left, shows pattern in Units 100, 402.



Figures 80, 81. Figure 80, top, closeup of Figure 78. Figure 81, below, linoleum in a unit lobby.



## 7.2 Recommended Treatment – Lighting



**Existing Condition:** *Virtually all original lighting has been removed with no remaining fixture pieces to witness original locations. As was noted in the Electrical Section of 7.1 Recommended Treatments, there is one historic photo of a wall sconce, pictured below, but there is no proof that this was ever employed at the Jardinette. Unit 302 does retain what appears to be original fixtures; the figured glass covers may be original but bear no relation to lighting designed by Neutra or Schindler. Rather, these curvaceous covers may have been chosen by the developer or installed after the architects and the developer were no longer involved in the project.*

### Proposed Treatment:

1. Review existing wall locations for sconces present in Unit 302 to inform choices for new fixture locations. If not technically or economically feasible, located new fixtures where appropriate to contemporary needs.
2. Choose lighting that is within the Period of Significance and that is compatible with Neutra and Schindler's lighting designs and choices in the 1920s and '30s.



Figures 82 – 84, left. Figure 82, top left, and Figure 83, middle left, show possibly original cover for wall sconce, Unit 302. Figure 84, bottom left, shows fixture without cover. Figure 85, below, shows Neutra-designed light fixture design that possibly is related to the Jardinette, but there is no other documentation to support that, other than that this image was included on a 1928 photographic sheet with other built conditions at the Jardinette Apartments.



JARDINETTE APARTMENTS  
Historic Structure Report  
8.0 Bibliography

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JARDINETTE APARTMENTS  
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CULTURAL HERITAGE BOARD  
Cultural Affairs Department  
Room 1500, City Hall  
Los Angeles, CA 90012  
(213) 485-2433

**REQUEST FOR HISTORIC - CULTURAL MONUMENT DECLARATION**

NAME OF PROPOSED MONUMENT WITHIN THE CITY OF LOS ANGELES: JARDINETTE APARTMENTS

LOCATION: 5128 MARATHON ST. HOLLYWOOD, CA 90038  
(Community) (Zip)

(Cross Streets) WESTERN AND MELROSE

COUNCILMANIC DISTRICT NO. 4 *OK*

OWNER'S NAME & ADDRESS: \_\_\_\_\_

DATE OF CONSTRUCTION OF PROPOSED MONUMENT: \_\_\_\_\_ (City) (Zip)  
1927  
(This information is important)

ARCHITECT: RICHARD NEUTRA (IN EMPLOY OF R.M. SCHINDLER)  
(Identification of the architect is very important)

DESCRIBE ARCHITECTURAL FEATURES: SEE ATTACHED  
(Photograph must be provided)

DESCRIBE HISTORIC-CULTURAL SIGNIFICANCE AS IT PERTAINS TO SEC. 22.130 OF THE LOS ANGELES ADMINISTRATIVE CODE: (If necessary, attach a sheet) \_\_\_\_\_

SEE ATTACHED

SOURCE/S OF INFORMATION: UCLA ART LIBRARY

NAME & ADDRESS OF PROPONENT: LOS ANGELES CONSERVANCY  
849 SOUTH BROADWAY SUITE M-22 LOS ANGELES, CA 90014  
(City) (Zip)

TELEPHONE NO. ( 213 ) 623-CITY DATE: MAY 8, 1986

(This portion to be filled in by Cultural Heritage Board Members)

REASONS FOR DECLARATION/DENIAL: \_\_\_\_\_

BY: \_\_\_\_\_ C.H.B. MEMBER DATE OF BOARD ACTION \_\_\_\_\_

**PLEASE NOTE THAT CULTURAL HERITAGE BOARD ACTION RECOMMENDING DECLARATION IS SUBJECT TO ADOPTION BY THE LOS ANGELES CITY COUNCIL.**

Council File No. \_\_\_\_\_ City Council Action Dated \_\_\_\_\_

## DESCRIPTION

Jardinette is a large, four-story, forty-unit, plain reinforced concrete apartment building in the International style.

The tall slim metal casement windows are arranged in horizontal strips: the columns supporting the building are clearly visible at intervals between windows. Continuous bands of raw concrete, with the original form marks apparent, separate the window rows on each floor and are cantilevered outwards at the corners to form balconies. A pattern of notches beneath the balconies adds sculptural interest, as does the indentation of the central part of the main front. There is a small garden near the entrance and the lobby is outdoors.

## SIGNIFICANCE

The Jardinette apartment block is one of the very most important modern buildings in Los Angeles. It is the earliest work in the United States by Richard Joseph Neutra the most accomplished and influential practitioner of early modernism.

Jardinette, built in 1927, is the first multi-family residential building in America to be designed in the International style. It was instrumental in establishing this style, which was created in Europe, here in America and particularly Los Angeles. The famed Lovell House, designed by Neutra in the same year helped to establish both Neutra's and Los Angeles' architectural leadership in the innovative International style.

The unadorned white box became the supreme form of architectural expression for the succeeding half century. The main aim of the post World War I avant garde European movement was the production of clear, cheap, efficient, uncompromisingly modern mass housing. The Jardinette, Ernst May's Bruchfeldstasse Estate in Frankfurt of 1925, and Walter Gropius' Dessau-Torten housing of 1926 are the world's primary examples. These were quickly followed by the canonical monument of pure modernism: Le Corbusier's Villa Garches. The Jardinette, of all Neutra's work, most clearly shows the European influence; with it orthodox modernism arrived in the United States.

HISTORIC RESOURCES INVENTORY

HABS	HAER	NR	SHL	Loc
UTM: A	11/370200		3772160	
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Ser. No. \_\_\_\_\_

HCN # 390

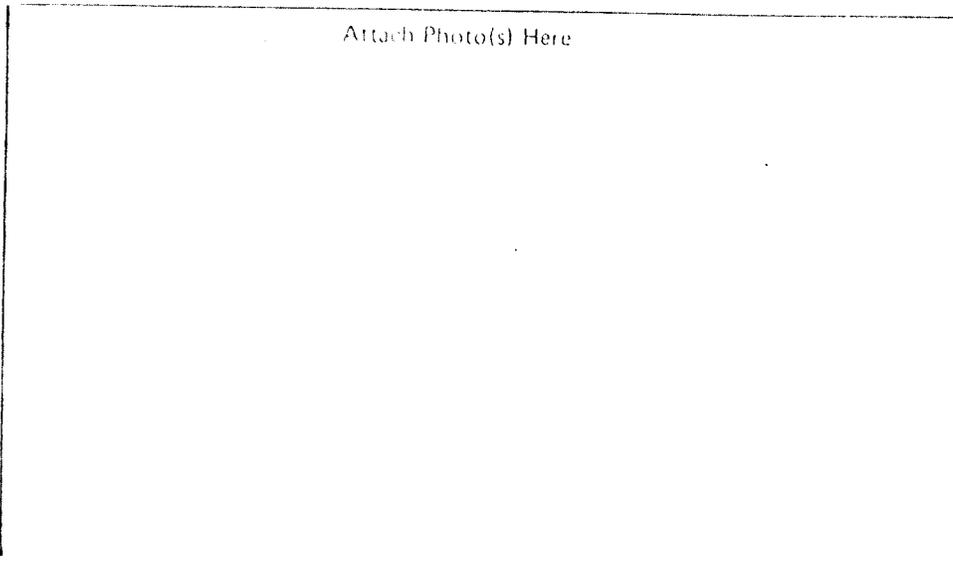
IDENTIFICATION

- Common name: \_\_\_\_\_
- Historic name: Jardinette Apartments
- Street or rural address: 5128 Marathon Avenue  
City Hollywood Zip 90028 County Los Angeles
- Parcel number: \_\_\_\_\_
- Present Owner: Berendo Marathon Apartments Address: 3921 Wilshire Blvd. #402  
City Los Angeles Zip 90010 Ownership is: Public \_\_\_\_\_ Private XX
- Present Use: apartments Original use: apartments

DESCRIPTION

- Architectural style: International Style
- Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

This is a four story reinforced concrete building of early International styling. At the front, the building wraps around a small garden. A series of cantilevered porches step upwards. The windows are in horizontal bands and are of the casement type. Between the windows are vertical bands of concrete. The skeletal framework extends above the roof top. The sides of the building are similar to the front--cantilevered balconies and horizontal windows.



- Construction date: 1927  
Estimated \_\_\_\_\_ Factual XX
- Architect Richard Neutra
- Builder State Construction Co.
- Approx. property size (in feet)  
Frontage 130 Depth 71  
or approx. acreage \_\_\_\_\_
- Date(s) of enclosed photograph(s)  
5/80

13. Condition: Excellent \_\_\_ Good \_\_\_ Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: minor
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up \_\_\_  
Residential XX Industrial \_\_\_ Commercial \_\_\_ Other: \_\_\_\_\_
16. Threats to site: None known XX Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_\_\_
17. Is the structure: On its original site? XX Moved? \_\_\_ Unknown? \_\_\_
18. Related features: None.

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

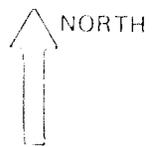
Richard Neutra, one of the twentieth century's master builders, designed this apartment complex in 1927. This was the first building that Neutra designed upon arriving in the United States. He worked with R. M. Schindler during a brief period of his American career. This is the first International Style building in Los Angeles, if not California. The building owes a great deal to Neutra's Bauhaus education showing little influence of F. L. Wright.

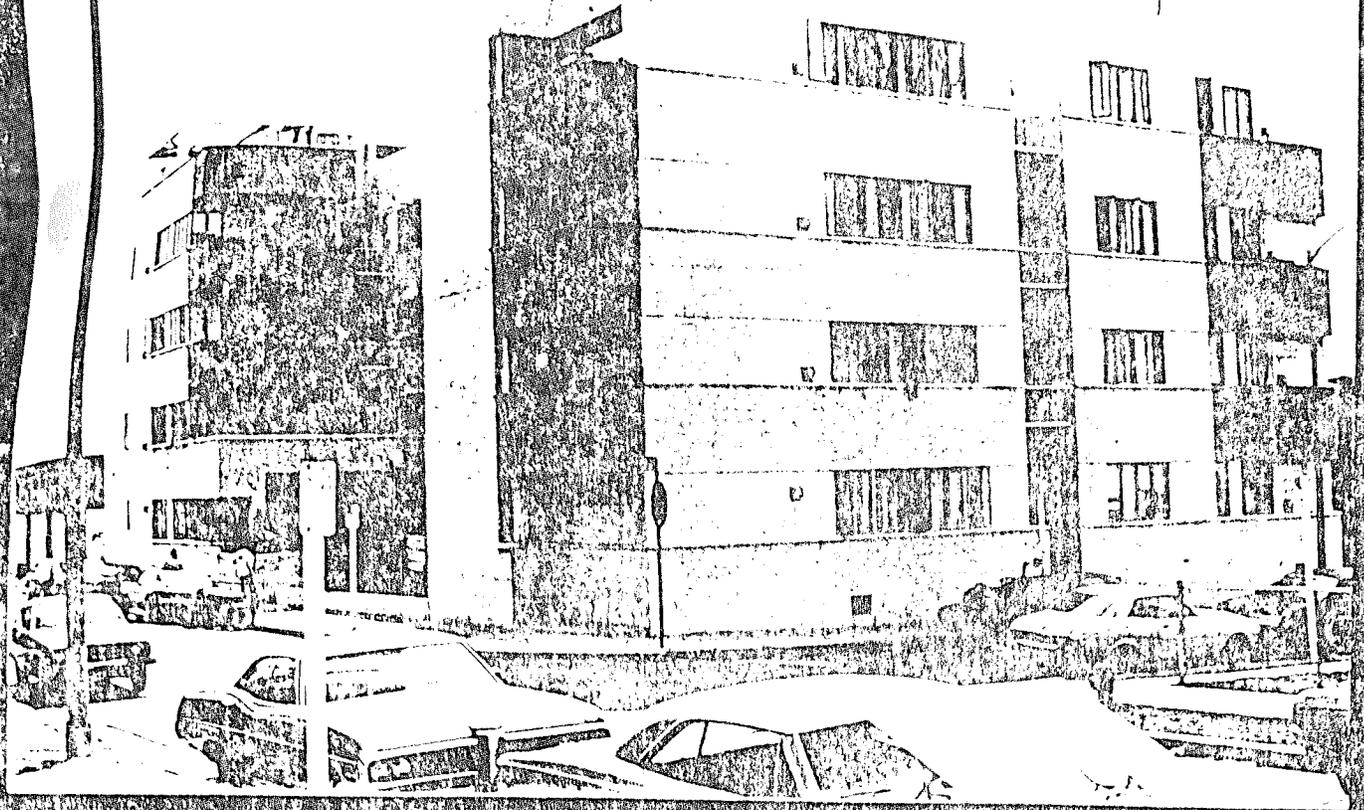
20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
 Architecture XX Arts & Leisure \_\_\_\_\_  
 Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_\_\_  
 Government \_\_\_ Military \_\_\_\_\_  
 Religion \_\_\_ Social, Education \_\_\_\_\_

21. Sources (List books, documents, surveys, personal interviews and their dates).  
 Building Permit, City of Los Angeles,  
 Department of Building and Safety.  
 McCoy, Esther, Richard Neutra, p.13.

22. Date form prepared 5/80  
 By (name) D. Miller, C. Johnson  
 Organization Hollywood Revitalization  
 Address: 1313 Vine Street  
 City Hollywood Zip 90028  
 Phone: 462-0901

Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):





The Jardinette Apartments  
5128 Marathon St., Los Angeles  
Los Angeles County, California

Copy of:  
LOS ANGELES CO. ASSESSOR'S MAP  
5535:17

5535 17

Scale 1" = 60'

WESTERN

AVE.

ST.

MARATHON

MANHATTAN

P.L.

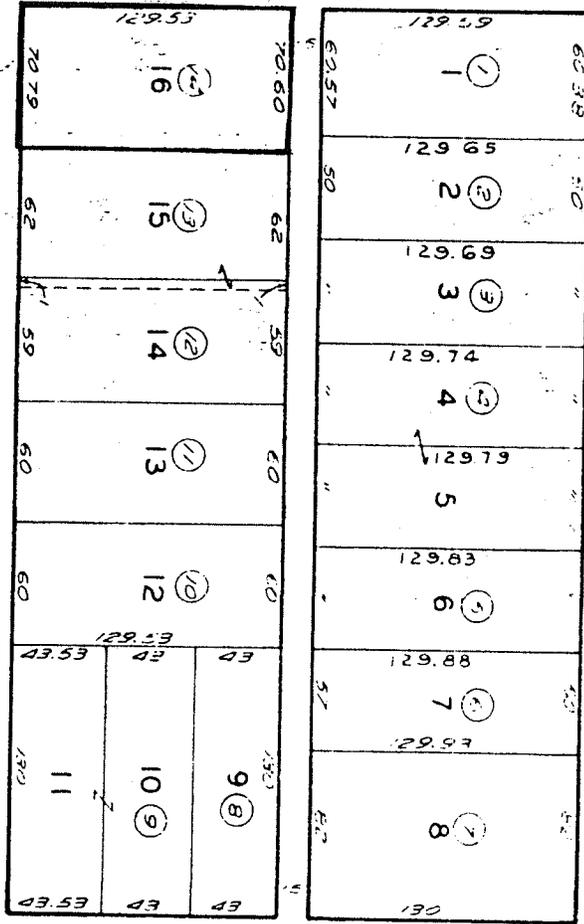
TRACT NO. 3783

M.B. 41-44

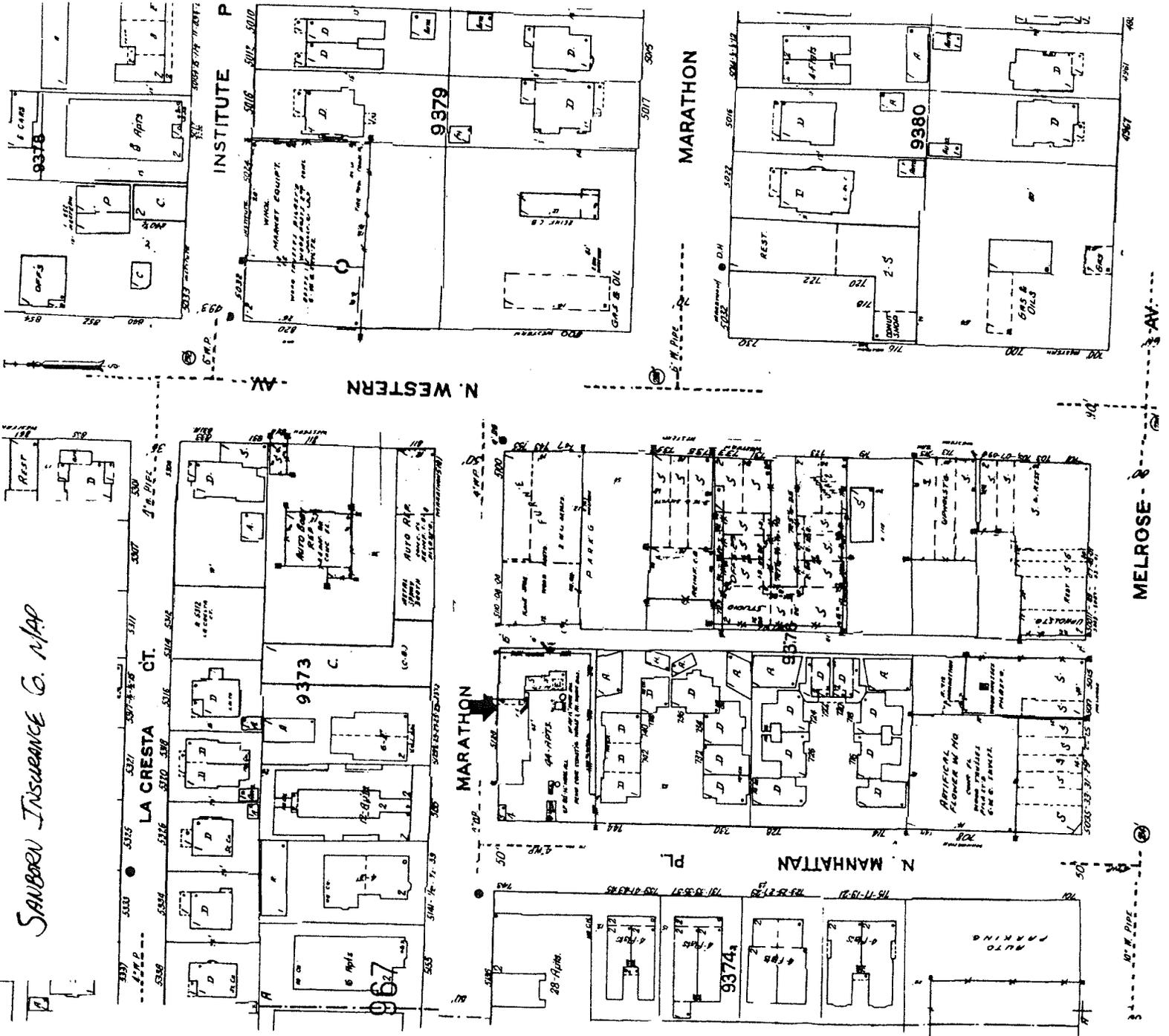
CODE  
4



1873-17



SANBORN Insurance Co. MAP



RECEIVED

NPS Form 10-900  
(3-82)

JUL 11 1985

OMB No. 1024-0018  
Exp. 10-31-84

United States Department of the Interior  
National Park Service

For NPS use only

# National Register of Historic Places Inventory—Nomination Form

received NOV 25 1986

date entered DEC 29 1986

See instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

## 1. Name

historic The Jardinette Apartments

and/or common The Jardinette Apartments

## 2. Location

street & number 5128 Marathon Street N/A not for publication

city, town Los Angeles N/A vicinity of

state California code 06 county Los Angeles code 037

## 3. Classification

<b>Category</b>	<b>Ownership</b>	<b>Status</b>	<b>Present Use</b>
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input checked="" type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input checked="" type="checkbox"/> park
			<input checked="" type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

## 4. Owner of Property

name K.L.C Neutra

street & number 400 S. Main Street

city, town Los Angeles N/A vicinity of state California 90013

## 5. Location of Legal Description

courthouse, registry of deeds, etc. Los Angeles County Hall of Records

street & number 320 West Temple Street

city, town Los Angeles state California

## 6. Representation in Existing Surveys

title A Guide to Architecture in Los Angeles and Southern California has this property been determined eligible?  yes  no

Published by Peregrine Smith, Inc.

date 1977  federal  state  county  local

depository for survey records c/o Dr. David Gebhard, Department of Art

University of California

city, town Santa Barbara state California

---

## 7. Description

---

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>	
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site	
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved	date _____ N/A
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed			

---

### Describe the present and original (if known) physical appearance

The Jardinette consists of a four story, 43-unit apartment complex. It is built in a shallow U-shaped plan and is of reinforced concrete construction. It is designed in an early expression of the International Style. Alterations are minimal.

The building is located on a gently sloping lot at the southeast corner of the intersection of Marathon and Manhattan Place. The north or entry elevation of the structure contains a partially walled courtyard formed by two short wings which project from the extreme east and west ends of the building. Access to the building is gained from a slightly raised and offset porch set into the western wall of the eastern projecting wing.

The design of the structure is austere, exemplifying the most notable characteristics of the early International Style. The only overt use of decorative detail on the exterior of the building is, in fact, a panel of horizontally incised concrete placed directly over the entry area, and the use of simple string courses which gird the building on the northern, eastern, and western elevations. The major remaining design elements on the northern elevation are carried out in broad alternating bands of concrete and steel casement windows. This banding imparts a strong horizontal character to the building. Cantilevered concrete balconies project from each wing at the second, third, and fourth story levels. Concrete planters are set into each balcony. A single balcony projects from the eastern wing at the roof level as part of an area originally designed as a roof garden. Also constructed atop the eastern wing is a false parapet wall extending to a fifth story height. This wall screens a small roof access enclosure from view at the street level.

The eastern and western elevations of the building are similar in design and detail. Stringcourses band the building either as they project from the top of each balcony across the wall surface or from the sill of each set of casement windows. A metal fire escape is set into the wall surface at the western elevation, whereas a metal fire escape is attached to the exterior of the building's wall surface on the eastern elevation. Window articulation on the eastern and western elevations is irregular and is formed by non-continuous ribbon segments of steel casement windows.

The southern elevation consists of a simple flat wall surface articulated by window openings similar to those of the eastern and western elevations. The horizontal stringcourse banding is, however, not carried out on this elevation.

The roof is flat and is ringed by a concrete parapet. The roof is of composite construction and is broken only by vents and a stairway access and machinery penthouse enclosure.



# 9. Major Bibliographical References

See Continuation Sheet, Item 9.

# 10. Geographical Data

Acres of nominated property 0.21 acre

Quadrangle name Hollywood

Quadrangle scale 1:24000

### UTM References

A 

1	1	3	7	9	2	4	0	3	7	7	2	1	3	9
Zone		Easting				Northing								

B 

Zone		Easting				Northing								

C 

Zone		Easting				Northing								

D 

Zone		Easting				Northing								

E 

Zone		Easting				Northing								

F 

Zone		Easting				Northing								

G 

Zone		Easting				Northing								

H 

Zone		Easting				Northing								

### Verbal boundary description and justification

Tract 3783, Lot 16 as recorded in Book of Maps No. 41, Page 44, of Los Angeles County. Boundaries are drawn on lot lines which encompass the historic property.

### List all states and counties for properties overlapping state or county boundaries

state N/A code county N/A code

state code county code

# 11. Form Prepared By

name/title Roger G. Hatheway and Richard Starzak

organization Roger G. Hatheway & Assoc.

date July 5, 1985

street & number 25283 Cabot Road #218

telephone (714) 472-8648

city or town Laguna Hills

state California 92653

# 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national  state  local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature

*Roger G. Hatheway*

title State Historic Preservation Officer

date 11/17/86

For NPS use only

I hereby certify that this property is included in the National Register Entered in the National Register

date 12/29/86

*for [Signature]*  
Keeper of the National Register

Attest:

date

Chief of Registration

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Inventory—Nomination Form**

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received

date entered

Continuation sheet

Item number 7

Page 1

The interior of the structure is simply laid out. At the first story level, it consists of a single narrow corridor leading east to west off of a small reception area which also serves as an elevator lobby. Interior detail is minimal, consisting of industrial type doors and wire glass windows. A simple geometric wood screen shields the corridor from the reception area. The lobby area is eliminated from the design at the second, third, and fourth story levels with only the narrow corridor remaining. The overall impact of the interior of the structure is, therefore, one of stark and reductive architectural realism.

The structure has been modified only by the removal of small awnings on the eastern elevation. The building is, therefore, architecturally unaltered, retaining and presenting the architect's original design intent to an unusual and remarkable degree.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
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Continuation sheet

Item number 8

Page 1

Construction of the Jardinette was begun on September 24, 1927.<sup>2</sup> The design of the apartments was Neutra's first major commission in the United States. Although designed under the name of the firm created with Schindler, the design and client contact was undertaken entirely by Neutra. The client, J.H. Miller, contracted the State Construction Company to build the apartments for an estimated cost of \$105,000. Before construction was completed, Miller was bankrupt and the contractor acquired control of the building and finished the construction. The financial failure of Miller ended the possibility of erecting any future luxury apartments in the planned series although Neutra had already completed the designs. The Jardinette was clearly a major departure from popular architecture in Los Angeles in 1927. It was featured in several American and European journals. The open balconies were originally landscaped, appearing to the observer as terraced gardens.

Immediately following construction of the Jardinette Apartments, Neutra received one of his most important commissions, the design in 1928 of the Health House for Dr. Phillip Lovell on Dundee Drive in Los Angeles. The design of Health House gained Neutra international acclaim and Neutra eventually became one of the foremost worldwide practitioners of the International Style. His subsequent designs included: the Van der Leeuw Research House in Silver Lake (1932); motion picture director Josef Von Sternberg's residence in Los Angeles (1935); the Catalina Ticket Office (1937); and the Los Angeles County Hall of Records (1960).

The Jardinette Apartments stand today both as Neutra's first major commission in the United States, one of the earliest American examples of the use of the International Style. In addition, they represent experimental architecture at its finest in terms of concept, for the basic design principles expressed in the Jardinette Apartments would reappear throughout Neutra's career.

<sup>2</sup> Building Permit Application. Issued and compiled by the Los Angeles Department of Building and Safety, 1905-present, September 24, 1927 #27954.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Inventory—Nomination Form**

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received

date entered

Continuation sheet

Item number 9

Page 1

Building Permit Application. Issued and compiled by the Los Angeles Department of Building and Safety, 1905-present.

Frampton, Kenneth. Modern Architecture: A Critical History. New York: Oxford University Press, 1980, 324 pp.

Gleye, Paul. The Architecture of Los Angeles. Los Angeles: Rosebud Books, 1981, 240 pp.

Hines, Thomas S. Richard Neutra and the Search for Modern Architecture. New York: Oxford University Press, 1982, 356 pp.

Roth, Leland M. A Concise History of American Architecture. New York: Harper & Row, 1979, 400 pp.

"The Garden Apartment House," Christian Science Monitor, July 12, 1928.

Hitchcock, Henry-Russell, Jr. "Foreign Periodicals," Architectural Record, 64 (December 1928), p. 537.

Morgan, Willard D., "C. M. D. Architecture Receives Editorial Acclaim," Central Manufacturing District Magazine, (Los Angeles) April 1930, pp. 32-35.





GC 1323  
Historic Sites Surveys

<u>Repository:</u>	Seaver Center for Western History Research, Natural History Museum of Los Angeles County
<u>Span Dates:</u>	1974-1996, bulk 1974-1978
<u>Conditions Governing Use:</u>	Permission to publish, quote or reproduce must be secured from the repository and the copyright holder
<u>Conditions Governing Access:</u>	Research is by appointment only
<u>Source:</u>	Surveys were compiled by Tom Sitton, former Head of History Department, Natural History Museum of Los Angeles County
<u>Background:</u>	<p>In 1973, the History Department of the Natural History Museum was selected to conduct surveys of Los Angeles County historic sites as part of a statewide project funded through the National Preservation Act of 1966. Tom Sitton was appointed project facilitator in 1974 and worked with various historical societies to complete survey forms. From 1976 to 1977, the museum project operated through a grant awarded by the state Office of Historic Preservation, which allowed the hiring of three graduate students for the completion of 500 surveys, taking site photographs, as well as to help write eighteen nominations for the National Register of Historic Places (three of which were historic districts). The project concluded in 1978.</p>
<u>Preferred Citation:</u>	Historic Sites Surveys, Seaver Center for Western History Research, Los Angeles County Museum of Natural History
<u>Special Formats:</u>	Photographs
<u>Scope and Content:</u>	<p>The Los Angeles County historic site surveys were conducted from 1974 through 1978. Compilation of data for historic sites continued beyond 1978 until approximately 1996, by way of Sitton's efforts to add application sheets prepared for National Register of Historic Places nominations. These application forms provide a breadth of information to supplement the data found on the original survey forms. Research materials in the survey files include clippings, photocopies of articles and photographs taken contemporaneously.</p> <p>The arrangement of the files is by geographic area. Within each geographic area, the folders are in random order.</p> <p>The listing which follows this page was created in 2008 and represents a summary of the collection. The "Notes" column contains excerpts of notes taken from the actual surveys.</p>

Geographic Area	File Number	Building Name	Other Building Names	Street Address	City	Year Built	Architect	Business	Notes
Los Angeles (Pacific Palisades)	169	Rustic Canyon Recreation Center	Uplifters Ranch	601 Latimer Road	Pacific Palisades	1923	W.J. Dodd	Recreation Center	Formerly the Uplifters Clubhouse and a Private Racquet Club. Overall Spanish architectural motif.
Los Angeles (Pacific Palisades)	170	Villa De Leon		17948 Porto Marina Way	Pacific Palisades	1927	Kenneth MacDonald Jr.	Residence	Built of marble, steel, and concrete. Designed in the Italian style. It stands in direct contrast to the homes surrounding it, which are designed in the Spanish style. It is one of the largest villas in Southern California.
Los Angeles (Hollywood)	171	St. Mary of the Angels Church	St. Mary of the Angels	4510 Finley Avenue	Los Angeles	1930	Carleton Winslow, Sr.	Church	The architectural style is a Mediterranean-Spanish Mission adaptation fairly devoid of ornamentation. Parts are done in the Renaissance style/
Los Angeles (Hollywood)	172	Hollywood Boulevard Commercial / Community District		6200-7000 Hollywood Blvd. with adjacent parcels on N. Vine St., N. Highland Ave., and N. Ivar St.	Los Angeles	1915-1939		Commercial	Hollywood Boulevard was transformed from a residential street into a bustling community center over the span of twenty years (1915-35). Serves as a microcosm of this period.
Los Angeles (Hollywood)	173	Paramount Pictures Corp.	Famous Players - Lasky Corporation	5451 Marathon Street	Los Angeles	1921		Motion Picture & Television Studios & Offices	Buildings constructed in groups. The administration building is designed in the Spanish-Colonial style. The gate is stylized Baroque architecture.
Los Angeles (Hollywood)	174	Hollywood Bowl		2301 North Highland Avenue	Hollywood	1929	Frank Lloyd Wright	Outdoor Theater	Located on undeveloped acreage and consists of an acoustical shell, seating for approximately 20,000, and several supportive structures including offices and restroom facilities. The classical horn-shaped shell design is still clearly evident.
Los Angeles (Hollywood)	175	Highland-Camrose Bungalow Village		6809, 6811, 6819, Camrose Dr. - 2103, 2103 1/2, 2105, 2105 1/4, 2105 1/2, 2107 1/2, 2109, 2111, 2111 1/2, 2113, 2115, 2115 1/2 N. Highland Ave., 2122 Woodland Way	Los Angeles	1916-23	Lee Campbell / Taylor Brothers	Private Residence	Designed in the Dutch Colonial Style. Structurally constructed of full sized redwood. The Village is comprised of 14 individually placed craftsman Bungalows. Exterior and interior have mostly original details.
Los Angeles (Hollywood)	176	Pan Pacific Auditorium		7600 Beverly Boulevard	Los Angeles	1935	Walter Wurdeman & Welton Becket	Vacant	Formerly an auditorium. Classic example of Streamline Modern Architecture, popular during the 1930s. Exterior remains in tact, while the interior has undergone significant modifications.
Los Angeles (Hollywood)	177	A and M Records Studio	Charles Chaplin Film Studio	1416 North La Brea Avenue	Los Angeles	1917	Meyer and Holler	Recording Company Studio and Offices	Formerly a motion picture studio. Has the appearance of a row of English cottages. Interior studios reflect more alteration. The various owners have altered the structure as they saw fit for their purposes.
Los Angeles (Hollywood)	178	El Greco Apartments		817 N. Hayworth Ave.	Los Angeles	1929	F. Pierpont Davis and Walter S. Davis	Private Residence	Contains twelve apartments. Modifications have been confined primarily to the kitchens and bathrooms. Organized around a central rectangular courtyard
Los Angeles (Hollywood)	179	Montecito Apartments		6650 Franklin Avenue	Los Angeles	1930-31	Miller	Housing	Excellent example of the Deco Style as used in the apartment house design in Southern California. It is also unaltered and highly visible.
Los Angeles (Hollywood)	180	C.E Toberman Estate		1847 Camino Palmero	Hollywood	1926	Russell & Alpaugh	Private Residence	Estate contains a villa done in the Mediterranean / Spanish Colonial Revival style. Virtually no alteration to the exterior.
Los Angeles (Hollywood)	181	Villa Bonita		1817 Hillcrest Road	Hollywood	1929	Frank Webster	Private Residence	Contains elements of the Classical Revival style. Alterations have been relatively few. Interiors are largely intact.
Los Angeles (Hollywood)	182	Security Trust and Savings	Security Pacific Bank	6381-85 Hollywood Boulevard	Hollywood	1921	John & Donald Parkinson	Commercial	Designed in the Beaux Arts tradition. All design elements are visible. The interior has been extensively remodeled.
Los Angeles (Hollywood)	183	Federal Reserve Bank of San Francisco, Los Angeles Branch		409 West Olympic Boulevard	Los Angeles	1929-30	Parkinson & Parkinson	Central Bank of the United States Branch	One of the earliest examples of the Classical Moderne style in Los Angeles. Mostly unaltered.
Los Angeles (Hollywood)	184	Hollywood Studio Club	Studio Club	1215 Lodi Place	Hollywood	1925	Julia Morgan	Government, Transportation, & Training Center	Made of reinforced concrete. Designed in the Italian / Mediterranean Renaissance Revival style. Graceful and symmetrical.
Los Angeles (Hollywood)	185	Jardinette Apartments		5128 Marathon Street	Los Angeles	1927	Richard J. Neutra	Private Residence	Made of reinforced concrete. Designed in the International style. The design is very austere, exemplifying the early International style.
Los Angeles (Hollywood)	186	Engine Co. No. 27		1355 North Cahuenga Boulevard	Los Angeles	1930	P.K. Schabarum	Government	Designed in the Italian Renaissance Revival style. Made of hard-fired brick. It has survived 55 years without any discernable alterations.

## 9. BUILDING PERMIT HISTORY & ASSESSOR RECORDS

Jardinette Apartments  
HISTORIC STRUCTURES REPORT

DATE: 5 JUNE

Q-MATIC TICKET # 305  
 (office use only)

NAME: barbara lamprecht COMPANY NAME: \_\_\_\_\_

TELEPHONE #: 626 264 7600 FAX #: \_\_\_\_\_

REFERRED BY: \_\_\_\_\_ PHONE #: \_\_\_\_\_

FAXING OPTIONS: Records Counter, LADBS Fax to one of the numbers below (check one):

- |                                                                                                                                      |                                                                                                       |
|--------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> (213) 482-6862<br>Metro Office<br>201 N. Figueroa St., 1 <sup>st</sup> Flr, Rm 110<br>Los Angeles, CA 90012 | <input type="checkbox"/> (818) 374-5013<br>Van Nuys Office<br>6262 Van Nuys Bl.<br>Van Nuys, CA 91401 |
|--------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------|

PROPERTY ADDRESS(ES): Please research the following addresses (IN PERSON: One Address submitted at a time)  
 (FAXING: Up to 3 addresses per request)

5128 MARATHON ST.

Use of Existing Building: APARTMENT

COMMENTS: Reason for Records Request:

HISTORIC BUILDING REHABILITATION

**Information Requested:**

Copies of Documents range from \$0.10 to \$1.50 per page (excluding blueprint copies)  
 Select from the following by checking the box next to it - for further clarification of request, use comments box

<input checked="" type="checkbox"/> BUILDING PERMITS <input checked="" type="checkbox"/> LOT PLAN	<input type="checkbox"/> CERTIFICATES OF OCCUPANCY	<input type="checkbox"/> GRADING DOCUMENTS	For Office Use Only: _____ PCIS _____ IDIS _____ Microfilm _____ Manual Search
<input type="checkbox"/> MECHANICAL PERMITS <input type="checkbox"/> ELECTRICAL PERMITS 1985 - 1990 and 1997 - Present	<input type="checkbox"/> VIOLATIONS	<input type="checkbox"/> MODIFICATIONS/BOARD FILES	
AFFIDAVITS/Z.I.NO. _____			

BLUEPRINTS (\$8.00 Service Fee, plus a SD Surcharge Fee (Section 98.0416 of the LAMC) and \$1.00 per page.

No plans available for Single Family Dwellings and Commercial buildings 3 stories and under, prior to 1978.

To obtain copies of blueprints on file, all of the following requirements must be submitted:

1. A release letter from the current owner.
2. A copy of the current owner's Grant Deed.
3. A release letter from the architect and engineer whose stamp is on the plans.  
 Letters must be on Letterhead and have engineer/architect's stamp and signature.

Escrow closed - PERMIT PROCP 5 JUNE 2016





There are two ways to request a copy of the document image.

- 1) By fax using the request form. Click on the following link [http://www.ladbs.org/permits/permit\\_related\\_forms/Research\\_Request\\_form.pdf](http://www.ladbs.org/permits/permit_related_forms/Research_Request_form.pdf) to download the request form.
- 2) In person. Bring the following summary to one of the following Record counters.

*TR: 3783*

*lot: 16*

**COUNTER HOURS**

MONDAY, TUESDAY, THURSDAY, FRIDAY: 7:30 AM to 4:30 PM  
 WEDNESDAY: 9:00 AM to 4:30 PM

Metro	Van Nuys
201, N. Figueroa St. 1st Floor, Room 110 Record Counter Los Angeles, CA 90012	6262 Van Nuys Blvd Record Counter Van Nuys, CA 91401

Address: 5128 MARATHON *St.*

Document Type	Sub Type	Document Date	Document Number	Reel Batch Frame
BUILDING PERMIT		9/24/1927	1927LA27954	HIST: P1177 001 2285
BUILDING PERMIT	NEW CONSTRUCTION	9/24/1927	1927LA27954	IDIS: P5181 01142 0000 thru P5181 0001 HIST: P1177 001 2285
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/23/1936	1936LA06574	IDIS: P5261 02310 0000 thru P5261 0001 HIST: P1257 001 2111
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/25/1936	1936LA06574	HIST: P1257 001 2111
BUILDING PERMIT	BLDG-ALTER/REPAIR	11/18/1936	1936LA32624	HIST: P1266 001 2277
BUILDING PERMIT	BLDG-ALTER/REPAIR	11/18/1936	1936LA32624	IDIS: P5270 02748 0000 thru P5270 0001 HIST: P1266 001 2277
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/20/1941	1941 07255	HIST: P1338 002 0804
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/20/1941	1941LA07256	IDIS: P5344 00403 0000 thru P5344 0001 HIST: P1338 002 0804
BUILDING PERMIT	BLDG-ALTER/REPAIR	11/21/1947	1947LA34725	HIST: P1401 001 1806
BUILDING PERMIT	BLDG-ALTER/REPAIR	11/21/1947	1947LA34725	IDIS: P5428 01801 0000 thru P5428 0001 HIST: P1401 001 1806
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/13/1959	1959LA26520	IDIS: P5781 00507 0000 thru P5781 0001 HIST: P1678 002 1387
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/13/1959	1959LA26526	HIST: P1678 002 1388
BUILDING PERMIT	BLDG-ALTER/REPAIR	10/3/1960	1960LA71663	HIST: P1687 002 0348

*Dup*

Document Type	Sub Type	Document Date	Document Number	Reel Batch Frame
BUILDING PERMIT	BLDG-ALTER/REPAIR	10/3/1960	1960LA71663	IDIS: P5794 01373 0000 thru P5794 0001 HIST: P1687 002 0348
BUILDING PERMIT	ALTERATION	7/5/1974	1974LA93176	HIST: 00000 000 0000 HIST: P1816 002 1306
BUILDING PERMIT	BLDG-ALTER/REPAIR	7/5/1974	1974LA93176	IDIS: P5947 00625 0000 thru P5947 0001 HIST: P1816 002 1306
BUILDING PERMIT	ALTERATION	8/26/1986	1986LA44575	HIST: P0125 003 0364
BUILDING PERMIT	BLDG-ALTER/REPAIR	8/26/1986	1986LA44575	IDIS: P6101 02384 0000 thru P6101 0001 HIST: P0125 003 0364
BUILDING PERMIT	ALTERATION	11/15/1993	1993SP14619	HIST: P0424 001 0487
BUILDING PERMIT	BLDG-ALTER/REPAIR	3/21/2006	05016-10000-04722	
CERTIFICATE OF OCCUPANCY		10/21/1929		HIST: O196 1 0264
CERTIFICATE OF OCCUPANCY		10/21/1929	1927LA27954	IDIS: O0690 00146 0000 HIST: O449
COMMISSION	BAAB BOARD FILE APPLICATION	1/27/1987	BF 870176	HIST: 00000 000 0000
COMMISSION	BAAB BOARD LETTER	2/24/1987	BF 870176	HIST: B0136 006 0483
COMMISSION	BAAB BOARD LETTER	12/31/1987	BF 870176	HIST: B0186 003 0111
DISASTER INSPECTION FILE	EARTHQUAKE	1/24/1994		IDIS: E0044 2 95 thru E0044 2 96
ELECTRICAL PERMIT		4/2/1987	0487F3475	HIST: T0091 005 0297
MECHANICAL PERMIT	PLUMBING	3/3/1987	0387E1801	HIST: T0087 006 0302
PLAN MAINTENANCE		8/25/1986	1986LA44575	HIST: H0674 001 0363
PLAN MAINTENANCE		3/21/2006	05016-10000-04722	HIST: J2647 1 321
RANGE FILE	MISCELLANEOUS	4/13/1983		HIST: R0103 002 0328
RANGE FILE	MISCELLANEOUS	2/12/1986		HIST: M0153 002 0178
RANGE FILE	MISCELLANEOUS	2/12/1986		IDIS: R752 00723 0000 thru R752 00723 0001
RANGE FILE	MISCELLANEOUS	6/27/1986		HIST: M0181 001 0189
RANGE FILE	MISCELLANEOUS	6/2/1987		HIST: M0244 001 0246
RANGE FILE	MISCELLANEOUS	6/2/1987		IDIS: R752 00724 0000 thru R752 00724 0002
RANGE FILE	MISCELLANEOUS	10/22/1993		HIST: M0871 009 0329
RANGE FILE	MISCELLANEOUS	11/15/1993		HIST: M0884 003 0341
RANGE FILE	MISCELLANEOUS	8/4/1994		HIST: M0907 004 0348
RANGE FILE	MISCELLANEOUS	12/12/1995		HIST: M0973 001 0022
ZONING INFORMATION	FILE	11/12/1986	ZI 145-5101	HIST: M0208 004 0012
ZONING INFORMATION	FILE	10/4/1988	ZI 145-390	HIST: M0337 009 0028
ZONING INFORMATION	FILE	10/4/1988	ZI 145-5101	HIST: M0337 009 0027

Document Type	Sub Type	Document Date	Document Number	Reel Batch Frame
ZONING INFORMATION	FILE	10/1/1992	ZI 145-2343	HIST: M0808 004 0424

**All Applications Must be Filled Out by Applicant**

Edge Form 1

BUILDING DIVISION

PLANS AND SPECIFICATIONS  
and other data must also be filed

**1**

**DEPARTMENT OF BUILDING AND SAFETY**

**Application for the Erection of Buildings**

CLASS "A" "B" "C"

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

- First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.
- Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
- Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st Floor. CITY CLERK PLEASE VERIFY

Lot No. \_\_\_\_\_ Block \_\_\_\_\_  
(Description of Property)  
Lot 16 Tract 3783 B 41 - Maps Page 44  
L.A. COUNTY

O. K. City Clerk  
By \_\_\_\_\_ Deputy

TAKE TO FIRST FLOOR 242 SO. BROADWAY

District No. 21 M. B. Page 11 F. B. Page 26  
No. COR. MANHATTAN PL. & MARATHON Street  
(Location of Job)

O. K. City Engineer  
By \_\_\_\_\_ Deputy

ENGINEER PLEASE VERIFY

(USE INK OR INDELIBLE PENCIL)

1. Purpose of Building Apartment No. of Rooms 109 No. of Families 43
2. Owner's name J. H. MILLER Phone \_\_\_\_\_
3. Owner's address 707 FINANCIAL CENTER BLDG. L.A.
4. Architect's name ARCHITECTURAL GROUP F. IND. & COM. Phone OR 4302
5. Contractor's name STATE CONSTRUCTION CO. Phone 94-6612
6. Contractor's address 6001 STA MONICA BLVD.
7. TOTAL VALUATION OF BUILDING \$105,000  
(Including Plumbing, Gas Fitting, Sinks, Casework, Elevators, Painting, Finishing, all Labor, etc.)
8. Any other building or permit for a building on lot at present? no How used? not used
9. Size of proposed building 126'-0" x 71'-0" Size of lot 130'-0" x 71'-0" feet
10. Number of stories in height 4 Height to highest point 51'-0"
11. Material of foundation CONCRETE Character of soil hard clay
12. Material of exterior walls concrete
13. Material of interior construction wood 2x6 STUDS F. BENCH PART 2x4 SPLAT
14. Material of floors wood
15. Material of roof B composition

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree, if a permit is issued, that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and State Laws.

APPROVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <b>37954</b>	Plans and specifications checked and found to conform to Ord. 118887, State Laws, etc.	Application checked and found O. K.	RECEIVED SEP 24 1927 TOWLU
	[Signature]	[Signature]	

*Ch. 27/27 [Signature]*  
*C. N. # 265*

FOR DEPARTMENT USE ONLY

APPLICATION	O.K. <i>[Signature]</i>
CONSTRUCTION	O.K. <i>[Signature]</i>
ZONING	O.K. <i>[Signature]</i>
SET-BACK LINE	O.K. <i>[Signature]</i>
ORD. 33761 (N. S.)	O.K. <i>[Signature]</i>
FIRE DISTRICT	O.K. <i>[Signature]</i>

REMARKS

1000 Bbls cement

35 TONS STEEL

Lathing and Plastering ~~Ordinance~~

will be compiled with

*[Signature]*  
Owner or Authorized Agent

*[Large handwritten signature]*

3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth.

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 5128 Marathon Ave (House Number and Street)
New location of building } 5128 Marathon Ave (House Number and Street)
Between what cross streets } Western &

Approved by City Engineer. Deputy.

- 1. Purpose of PRESENT building... Apt House Families... Rooms...
2. Use of building AFTER alteration or moving... Apt House Families... Rooms...
3. Owner (Print Name)... Garden Apts Phone...
4. Owner's Address... 5128 - Marathon
5. Certificated Architect... State License No... Phone...
6. Licensed Engineer... State License No... Phone...
7. Contractor SUN-RAY AWNING CO. State License No. 17368 Phone 76 8333
8. Contractor's Address 7607 Do Main St
9. VALUATION OF PROPOSED WORK \$ 800
10. State how many buildings NOW on lot and give use of each.
11. Size of existing building... x... Number of stories high... 4... Height to highest point...
12. Class of building... Material of existing walls... Ciment Exterior framework (Wood or Steel)
Describe briefly and fully all proposed construction and work:

Set standards on canopy out to within 1 ft from curb - to comply with ordinance.

Fill in Application on other Side and Sign Statement (OVER)

FOR DEPARTMENT USE ONLY
PERMIT NO. 6574
Plans and Specifications checked
Zone
Fire District
No.
Street Widening
Application checked and approved
Date 3/27/36
Inspector [Signature]



3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM Lot Tract Present location of building } 5128 Marathon (House Number and Street) New location of building } (House Number and Street) Between what cross streets } Approved by City Engineer Deputy.

- 1. Purpose of PRESENT building. Apt 1 House Families Rooms
2. Use of building AFTER alteration or moving. Families Rooms
3. OWNER (Print Name). WESTERN LOAN Phone
4. Owner's Address. 5128 Marathon One
5. Certificated Architect. License No. Phone
6. Licensed Engineer. License No. Phone
7. Contractor SUN-RAY AWNING CO. State License No. 17388 Phone 768333
8. Contractor's Address. 7607 Po Main St 89.00
9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 87.00
10. State how many buildings NOW on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
11. Size of existing building. x. Number of stories high. Height to highest point.
12. Class of building. C. Material of existing walls. Exterior framework. (Wood or Steel) Describe briefly and fully all proposed construction and work:

Remove canopy - according to Ordinance Permit #91 to maintain issued Mar 30, 1936

Fill in Application on other Side and Sign Statement (OVER)

FOR DEPARTMENT USE ONLY PERMIT NO. 32624 Fee... 150 Stamp here when Permit is issued NOV 18 1936 Plans W.M. Taggart 11/18/36 [Signature] Inspector [Signature]

PLANS, SPECIFICATIONS and other data must be filed if required.

*Wampy*  
**NEW CONSTRUCTION**

Size of Addition..... Size of Lot.....x..... Number of Stories when complete.....  
Material of Foundation..... Width of Footing..... Depth of footing below ground.....  
Width Foundation Wall..... Size of Redwood Sill.....x..... Material Exterior Walls.....  
Size of Exterior Studs.....x..... Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x..... Second Floor.....x..... Rafters.....x..... Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here..... **SUN-RAY AWNING CO.**  
(Owner or Authorized Agent)

By..... *Art Ray*

**FOR DEPARTMENT USE ONLY**

Application .....	Fire District .....	Bldg. Line .....	Termite Inspection.....
Construction.....	Zoning .....	Street Widening .....	Forced Draft Ventil.....

(1)  
**REINFORCED CONCRETE**  
Barrels of Cement.....  
Tons of Reinforcing Steel.....

(2)  
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from  
..... Street  
Sign Here..... *Hubert*  
(Owner or Authorized Agent)

(3)  
No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)

(4)  
There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS: .....

3

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM Lot Tract Present location of building 5128 Marathon Street, (House Number and Street) New location of building (House Number and Street) Between what cross streets Approved by City Engineer Deputy.

1. Purpose of PRESENT building Families Rooms (Store, Residence, Apartment House, Hotel, or any other purpose) 2. Use of building AFTER alteration or moving Families Rooms 3. Owner (Print Name) Western Loan & Building Co, Phone 4. Owner's Address 1005 So. Hill St. 5. Certificated Architect State License No. Phone 6. Licensed Engineer State License No. Phone 7. Contractor A. HOFFMAN & SONS, INC. State License No. 30449 Phone TR 5685 8. Contractor's Address 9. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 175.00 10. State how many buildings NOW on lot and give use of each (Residence, Hotel, Apartment House, or any other purpose) 11. Size of existing building x Number of stories high Height to highest point 12. Class of building Material of existing walls Exterior framework (Wood or Steel) Describe briefly and fully all proposed construction and work:

To recover about twenty rope Awnings on the "Garden Apartments". 4705

Fill in Application on other Side and Sign Statement 200 (OVER)

FOR DEPARTMENT USE ONLY PERMIT NO. 7255 PLANS Rec'd Plans and Specifications checked Zone Fire District No. Corrections verified Bldg. Line Street Widening Ft. Ft. Plans, Specifications and Applications rechecked and approved Application checked and approved Date 3/28/44 Clerk Required Valuation Included SPRINKLER Specified Yes-No Inspector C. A. Kelso

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....
Material of Foundation.....Width of Footing.....Depth of footing below ground.....
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here. HOEGEL & SONS, INC.
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY
Application ..... Fire District..... Bldg. Line..... Termite Inspection.....
Construction..... Zoning..... Street Widening..... Forced Draft Ventil.....
(1) REINFORCED CONCRETE
Barrels of Cement.....
Tons of Reinforcing Steel.....
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from
..... Street
Sign Here.....
(Owner or Authorized Agent)
(3) No required windows will be obstructed.
Sign Here.....
(Owner or Authorized Agent)
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here.....
(Owner or Authorized Agent)

REMARKS: .....

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. 16 Tract 3729 Location of Building 5128 Marathon St. Between what cross streets...

- 1. Present use of building Apartments
2. State how long building has been used for present occupancy 5 Yrs
3. Use of building AFTER alteration or moving Same
4. Owner Miss Rosa Nambor
5. Owner's Address Same
6. Certified Architect Nwab
7. Licensed Engineer Gen J Fordyce
8. Contractor Owner
9. Contractor's Address

10. VALUATION OF PROPOSED WORK \$1000
11. State how many buildings NOW on lot and give use of each 1 - Apartment
12. Size of existing building 70 x 120 Number of stories high 3 Height to highest point 33
13. Material Exterior Walls Masonry
14. Describe briefly all proposed construction and work

NEW CONSTRUCTION
15. Size of Addition 35 x 3 ft on lot 70 x 120 Number of stories when complete 4
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists
17. Size of Stairs Material of Floor Size of Balcony 7 x 12 type of Flooring

I hereby certify that to the best of my knowledge and belief the above application is correct and that the building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

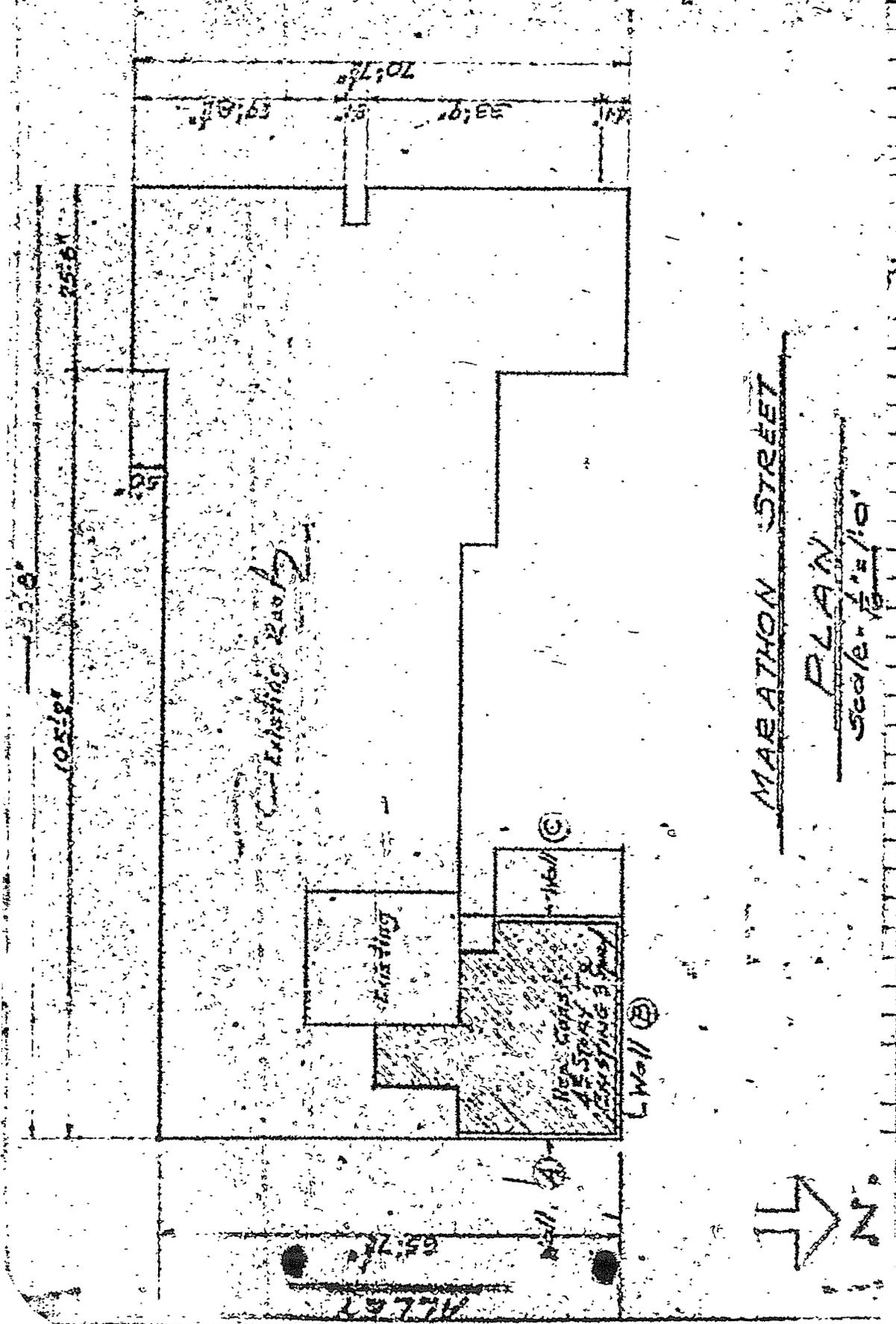
Signature: Gen J Fordyce

Table with columns: PLAN CHECKED, REINFORCED CONCRETE, FEES, and various signature fields for inspectors and officials.

8659

No fireward involved.  
 21 July 1947 - Office completed field with additional  
 information at the field.  
 of the...  
 Staff...

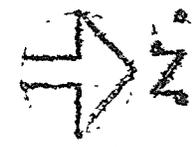
NORTH MANHATTAN PLACE



MARATHON STREET

PLAN

Scale 1/8" = 1'-0"



3

APPLICATION TO ALTER - REPAIR - DEMOLISH  
AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.  
2. Plot Plan Required on Back of Original.

1. LEGAL LOT 16	BLK.	TRACT #3783	DIST MAP
2. BUILDING ADDRESS 5128 Marathon St.		APPROVED	ZONE
3. BETWEEN CROSS STREETS Marathon St.		AND Manhattan Place	FIRE DIST
4. PRESENT USE OF BUILDING Apartment house		NEW USE OF BUILDING Same	INSIDE KEY
5. OWNER Roza Mambar	PHONE HU 32545		COR. LOT
6. OWNER'S ADDRESS 669 S. Union Ave.	P. O. L.A.	ZONE 17	REV. COR. LOT SIZE
7. CERT ARCH	STATE LICENSE	PHONE	
8. LIC. ENGR William M. Taggart	STATE LICENSE S.E. 297	PHONE DU 30216	REAR ALLEY SIDE ALLEY
9. CONTRACTOR <i>owner</i>	STATE LICENSE	PHONE	BLOG. LINE
10. CONTRACTOR'S ADDRESS <i>same as above</i>		P. O.	ZONE
11. SIZE OF EXISTING BLDG. 126 x 69	STORIES 4	HEIGHT 50	NO. OF EXISTING BUILDINGS ON LOT AND USE one apartment house

3 5128 Marathon St. DISTRICT OFFICE L.A.

12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONG. BLOCK <input checked="" type="checkbox"/> CONCRETE	ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONG. <input type="checkbox"/> OTHER	ROOFING	SPRINKLERS REQ'D. SPECIFIED
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 1300. <sup>00</sup>			BLDG. AREA
14. SIZE OF ADDITION	STORIES	HEIGHT	VALUATION APPROVED
15. NEW WORK: (DESCRIBE) Bracing of parapet walls.	EXT. WALLS	ROOFING	APPLICATION CHECKED
			PLANS CHECKED
			CORRECTIONS VERIFIED
			PLANS APPROVED
			APPLICATION APPROVED
			INSPECTOR PARAPETS
TYPE III-A	GROUP H-2	MAX. OCC.	P.C. <i>3 02</i>
			S.P.C.
			B.P. <i>90</i>
			I.F.
			O.S.
			RM. <i>905</i>
			<i>C70</i>

VALIDATION CASHIER'S USE ONLY

LA 26520 MAR-13-59 15928 A = 2 CS 3.00  
 MAR-13-59 15929 A = 1 CS 2.90



3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plat Plan Required on Back of Original.

Form fields 1-11: LEGAL LOT, BUILDING ADDRESS (5128 Marathon St.), BETWEEN CROSS STREETS (Waltton Pl. and Gower St.), PRESENT USE OF BUILDING (Apt.), OWNER (Mr. William Fabinovity), OWNER'S ADDRESS (5128 Marathon St.), CONTRACTOR (Robert Williams), CONTRACTOR'S ADDRESS (1210 W. Bennett St.), SIZE OF EXISTING BLDG. (4 stories, 40' height, 1 unit).

3 5128 Marathon St. DISTRICT OFFICE LA

Form fields 12-15: MATERIAL (WOOD, STUCCO), VALUATION (\$475.00), SIZE OF ADDITION, NEW WORK (Wet Sandblast), APPLICATION CHECKED, PLANS CHECKED, CORRECTIONS VERIFIED, PLANS APPROVED, APPLICATION APPROVED.

Form fields: TYPE (V), GROUP (R), MAX. OCC. (-), P.C. (NONE), S.P.C., B.P. (3), I.F. (50), O.S., C/O

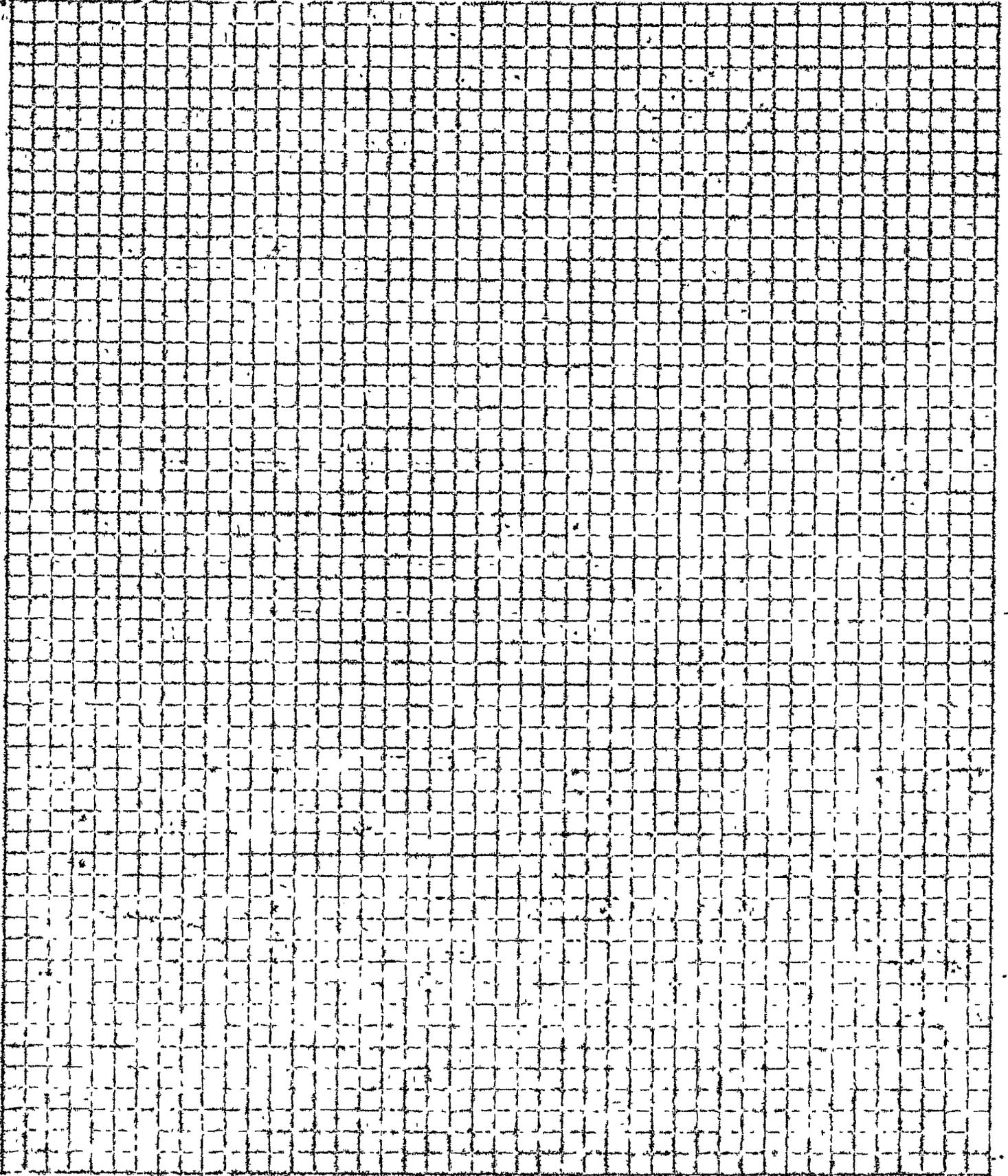
VALIDATION CASHIER'S USE ONLY

LA 71663 OCT-3-60 64112 A-1 CS 3.50

LEGAL DESCRIPTION

01-240 91173 4-1-02 270

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



APPLICATION TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

Form with fields for LEGAL DESCR., LOT, BLK, TRACT, PRESENT USE OF BUILDING, JOB ADDRESS, OWNER'S NAME, ENGINEER, CONTRACTOR, etc. Includes handwritten entries like 'Apts', 'Stairwell Enclosures - Comply with Fire Safety Standards', and 'None'.

Form with fields for P.C. No., PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID, and CASHIER'S USE ONLY section with handwritten dates and amounts.

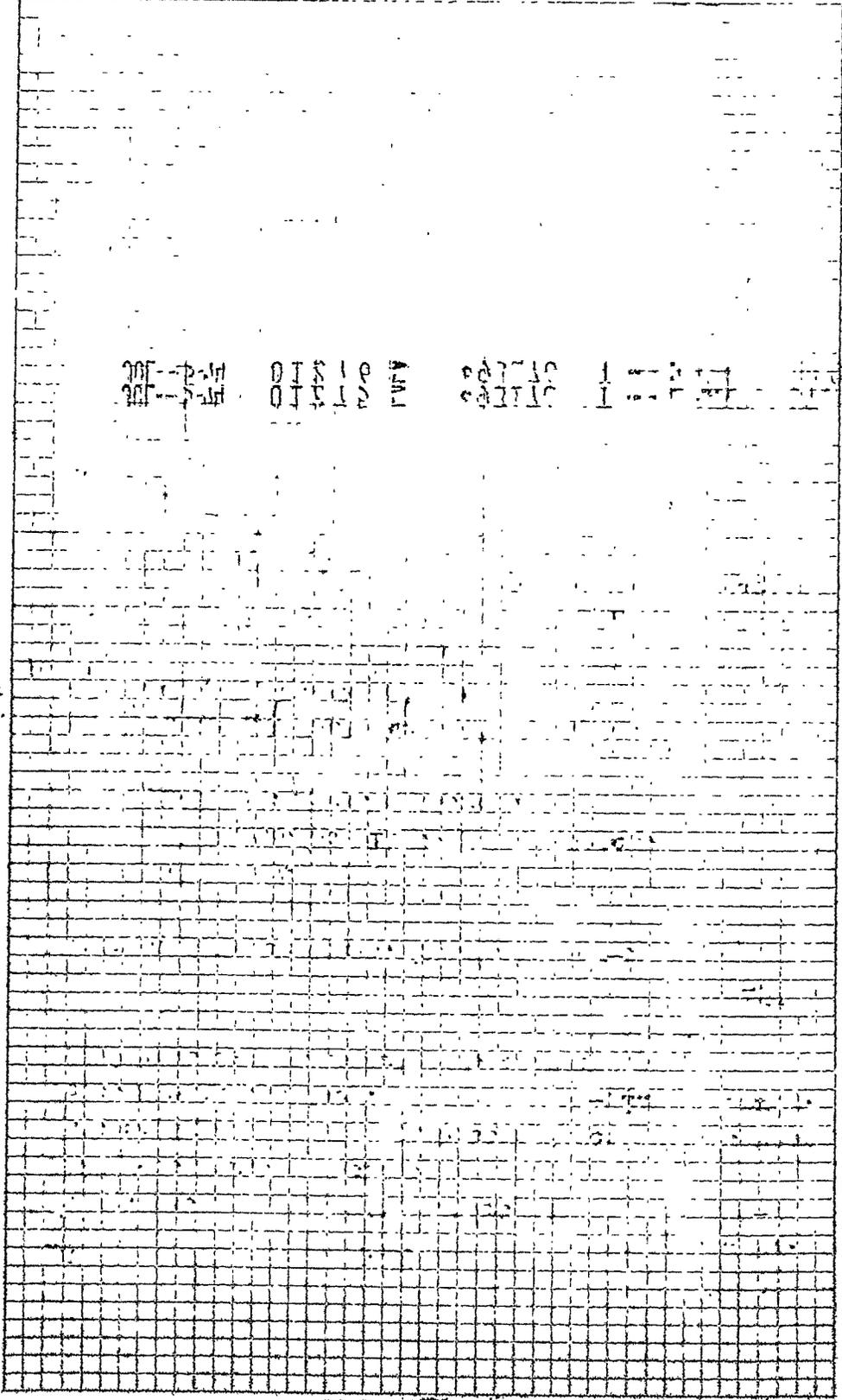
STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Form for STATEMENT OF RESPONSIBILITY with signature lines for Owner/Agent and Bureau of Engineering, and various approval checkboxes for Sewers, Driveway, Highway Dedication, Flood Clearance, Conservation, Fire, Plumbing, and Planning.

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



Garage  
Studio  
Office  
Bed Room

3

APPLICATION FOR INSPECTION

CITY OF LOS ANGELES DEPT OF BUILDING AND SAFETY

TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

Form with fields for LEGAL DESCR., LOT, BLOCK, TRACT, COUNCIL DISTRICT NO., DIST. MAP, PRESENT USE OF BUILDING, NEW USE OF BUILDING, JOB ADDRESS, BETWEEN CROSS STREETS, OWNER'S NAME, OWNER'S ADDRESS, ENGINEER, ARCHITECT OR DESIGNER, ARCHITECT OR ENGINEER'S ADDRESS, CONTRACTOR, SIZE OF EXISTING BLDG., CONST. MATERIAL, JOB ADDRESS, VALUATION, NEW WORK, NEW USE OF BUILDING, TYPE, DWELL UNITS, GUEST ROOMS, PC, SPC, BP, LF, O/S, DIST OFFICE, P.C. No., PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. Date 8/25/86 Lic. Class B/C-10 Lic. Number B-439166 Contractor [Signature]

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.); I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.); I am exempt under Sec. B. & P. C. for this reason Date 8/25/86 Owner's Signature [Signature]

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.). Policy No. 8/25/86 Insurance Company [Signature] Certified copy is hereby furnished. Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety. Date 8/25/86 Applicant's Signature [Signature]

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California. Date [Signature]

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.). Lender's Name [Signature] Lender's Address [Signature]

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed [Signature] (Owner or Agent having property owner's consent) Position OWNER Date 8/25/86

12500300335 *Heintz* 8-25-82

[Faint, illegible text]

ON LOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH





Bldg-Alter/Repair Apartment Regular Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY</b>	Issued on: 03/21/2006 Last Status: Permit Finald Status Date: 06/13/2006
--------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
TR 3783		16		M B 41-44	141B193 389	5535 - 017 - 014

**3. PARCEL INFORMATION**

Area Planning Commission - Central LADBS Branch Office - LA Council District - 13 Community Plan Area - Hollywood Census Tract - 1917.10	District Map - 141B193 Energy Zone - 9 Near Source Zone Distance - 2.9 Thomas Brothers Map Grid - 593-H6
------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------

ZONES(S): RD1.5-1XL

**4. DOCUMENTS**

ZI - ZI-1940 Wilshire Cntr/Koreatown Redeve	ORD - ORD-164689	CPC - CPC-1986-831
ZA - ZA-2002-4927-CU	HCM - LA-390	CDBG - LARZ-Central City
ZA - ZA-2004-5959-CU	HCM - US-86003524	
ZA - ZA-2004-5969-CU	CRA - ZI 1940 KOREATOWN	

**5. CHECKLIST ITEMS**

**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):  
 HOPKINS, TIMOTHY P AND GRACIELA T      2010 WILSHIRE BLVD STE I002      LOS ANGELES CA 90057

Tenant:  
 - AT & T WIRELESS      12900 PARK PLAZA DR.      CERRITOS, CA 90703      (562) 924-0000

Applicant: (Relationship: Other)  
 MARC CRAM -      18071 FITCH AVE.      IRVINE, CA 92614      (949) 809-4999

7. EXISTING USE	PROPOSED USE
(05) Apartment	

**8. DESCRIPTION OF WORK**

CONSTRUCTION OF AN UNMANNED TELECOMMUNICATION FACILITY WITH ANTENNAS ON ROOF AND EQUIPMENT IN THE BASEMENT.

9. # Bldgs on Site & Use: APARTMENT

**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Salem Garawi      DAS PC By:  
 OK for Cashier: Salem Garawi      Coord. OK:  
 Signature:      Date:

For inspection requests, call toll-free (888) LA4BUILD (524-2845).  
 Outside LA County, call (213) 482-0000 or request inspections via  
[www.ladbs.org](http://www.ladbs.org). To speak to a Call Center agent, call 311. Outside  
 LA County, call (213) 473-3231.

**For Cashier's Use Only**      W/O #: 51604722

**11. PROJECT VALUATION & FEE INFORMATION**

Permit Valuation:	Final Fee Period	PC Valuation:
Permit Valuation: \$70,000		
FINAL TOTAL Bldg-Alter/Repair	859.97	
Permit Fee Subtotal Bldg-Alter/Repair	652.50	
Handicapped Access		
Plan Check Subtotal Bldg-Alter/Repair	65.25	
Off-hour Plan Check	32.63	
Plan Maintenance	13.05	
Fire Hydrant Refuse-To-Pay		
E.Q. Instrumentation	7.00	
O.S. Surcharge	15.41	
Sys. Surcharge	46.23	
Planning Surcharge	22.90	
Planning Surcharge Misc Fee	5.00	
Permit Issuing Fee	0.00	
Sewer Cap ID:		Total Bond(s) Due:

**12. ATTACHMENTS**

Plot Plan

Payment Date: 03/21/06  
 Receipt No: LA06-092137  
 Amount: \$859.97  
 Method: Check

**2006LA89848**



\* P 0 5 0 1 6 1 0 0 0 0 4 7 2 2 F N \*

**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

05016 - 10000 - 04722

**14. APPLICATION COMMENTS:**

\*\* Approved Seismic Gas Shut-Off Valve may be required. \*\*

**15. BUILDING RELOCATED FROM:**

**16. CONTRACTOR, ARCHITECT & ENGINEER NAME**

**ADDRESS**

**CLASS**

**LICENSE #**

**PHONE #**

(C) WESTOWER COMMUNICATIONS INC  
(E) IWEKAOGWU, FRANCIS EGBULE

9961 SIDNEY HAYES RD,  
6372 CHIPOLA CT,

ORLANDO, FL 32824  
CHINO, CA 91710

B

744137  
C53339

(949) 553-3917



CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

**3 APPLICATION FOR INSPECTION** **TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY**

**INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.**

LOT <b>15&amp;16</b>	BLOCK <b>3783</b>	TRACT	CITY CLERK REF NO.	DIST. MAP <b>141B 193</b>
1. PRESENT USE OF BUILDING <b>(0) Apt</b>			NEW USE OF BUILDING <b>( ) same</b>	
2. JOB ADDRESS <b>5128 Marathon St</b>			SUITE/UNIT NO.	FIRE DIST.   COUN. DIST. <b>4</b>
3. BETWEEN CROSS STREETS AND <b>Manhattan</b> AND <b>Western</b>			LOT TYPE <b>cor</b>	LOT SIZE
5. OWNER'S NAME ( ) TENANT ( ) BUILDING <b>Fidelity Federal Bank</b>			PHONE <b>818-222-0400</b>	LOT SIZE
6. OWNER'S ADDRESS <b>4565 Colorado Bl</b>			CITY <b>Glendale</b>	ZIP <b>91209</b>
7. ENGINEER			BUS. LIC. NO.	ACTIVE STATE LIC. NO.
8. ARCHITECT OR DESIGNER			BUS. LIC. NO.	ACTIVE STATE LIC. NO.
9. ARCHITECT OR ENGINEER'S ADDRESS			CITY	ZIP
10. CONTRACTOR <b>Central Roof</b>			BUS. LIC. NO. <b>056442-71</b>	ACTIVE STATE LIC. NO. <b>663149</b>
11. SIZE OF EXISTING BLDG. WIDTH   LENGTH   STORIES   HEIGHT			NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. FRAMING MATERIAL OF EXISTING BLDG. EXT. WALLS   ROOF   FLOOR			DOCUMENTS/EASEMENTS <b>390</b> <b>ZI 145-39</b> <b>ZI 145-2343</b>	
13. JOB ADDRESS <b>5128 Marathon St</b>			SUITE/UNIT NO.	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING <b>43sqgs \$ 6800.00</b>			DIST. OFF. <b>LA</b>	P.C. RECD
15. NEW WORK (Describe) <b>Reroof</b>			GRADING	SEISMIC
16. NEW USE OF BUILDING <b>Apt</b>			SIZE OF ADDITION	STORIES
17. TYPE GROUP OCC.   MAX OCC.			BUILDING PLANS CHECKED	
18. DWELL UNITS BUILDING AREA   ZONING AREA			APPLICATION APPROVED <b>89539</b>	
19. GUEST ROOMS PARKING REQ'D   PARKING PROVIDED			INSPECTION ACTIVITY	
20. P.C.   G.P.I.   NP   CONT. INSP.			B & S 09-5-3 (R.7/80)	
21. S.P.C.   P.M.			CASHIER'S USE ONLY	
22. B.P.   E.I.			CLAIMS FOR REFUND OF FEES PAID ON PERMITS EXPIRE: 1. Within one year from date of payment of fee, or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	
23. T.F.   F.H.			80.40   .68	
24. S.D.   O.S.S.				
25. ISS. OFF.   O.S.S.			SPRINKLERS REQ'D SPEC.	
26. SP   P.C. NO.			C/O   ENERGY   DAS	

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.

**NEW AFFIDAVITS**

PLAN CHECK EXTENDED TO \_\_\_\_\_ PER \_\_\_\_\_

ADMINISTRATIVE APPROVAL DATED \_\_\_\_\_ BY \_\_\_\_\_

**PLAN CHECKED**

HOUSING MITIGATION FEE ORDINANCE  
 REQUIRED  EXEMPT

**ASBESTOS NOTIFICATION**

Check Box:  Notification letter sent to AQMD or EPA.  
 I declare that notification of asbestos removal is not applicable to this project.

Signature: *Maria de la Cruz* Date: *11/18/89*

---

**DECLARATIONS AND CERTIFICATIONS**

**16. LICENSED CONTRACTORS DECLARATION**

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date: *11/18/89* Lic. Class: *C-39* Lic. Number: *663149* Contractor: *Maria de la Cruz* (Signature)

**17. OWNER-BUILDER DECLARATION**

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).

I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason: \_\_\_\_\_

Date: \_\_\_\_\_ Contractor's Signature: \_\_\_\_\_

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3900, Lab. C.).

Policy No. \_\_\_\_\_ Insurance Company \_\_\_\_\_

Certified copy is hereby furnished.

Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date: *11/18/89* Applicant's Signature: *Maria de la Cruz*

Applicant's Mailing Address: \_\_\_\_\_

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE**

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Law of California.

Date: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

**NOTICE TO APPLICANT:** If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

**19. CONSTRUCTION LENDING AGENCY**

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name: \_\_\_\_\_ Lender's Address: \_\_\_\_\_

**20. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.**

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof shall be responsible for the performance or results of any work described herein, in the condition of the property or not upon which such work is performed (See Sec. 91.0202 LAMC).

Signed: *Maria de la Cruz* (Owner or agent having property owner's consent) Date: *11/18/89*

Signed: \_\_\_\_\_ (Inspector) Date: \_\_\_\_\_

Bureau of Engineering

ADDRESS APPROVED  
DRIVEWAY  
HIGHWAY  
DEDICATION

REQUIRED  
COMPLETED

Public Works Improvement  
Required YES  NO  PERMIT

FLOOD CLEARANCE

SEWERS  
RES. NO.  
CERT. NO.

#  
SEWERS AVAILABLE  
NOT AVAILABLE  
SFC PAID  
SFC DUE

Grading  
PRIVATE SEWAGE SYSTEM APPROVED

Comm. Safety  
CEQA  
APPROVED FOR ISSUE  NO FILE  FILE CLOSED

Fire  
APPROVED (TITLE 19) (L.A.M.C.-5700)  
APPROVED - HYDRANT UNIT ROOM 920 CHE

CRA  
APPROVED FOR REDEV. PROJECT  
TRANSPORTATION  
APPROVED FOR DRIVEWAY LOCATION  
APPROVED FOR CHD \*

Planning  
WORK SHEET #  
APPROVED UNDER CASE #  
LANDSCAPE / XERISCAPE  
SIGHT PLAN REVIEW

Housing  
HOUSING AUTHORITY AFFIDAVIT NO

Construction Tax  
RECEIPT NO  
Cultural Affairs  
DWELLING UNITS

Rent Stabilization Division

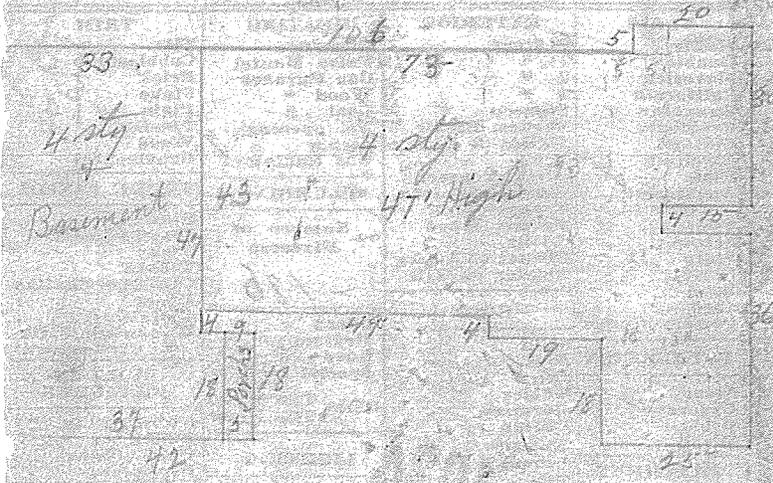
LEGAL DESCRIPTION  
**CULTURAL HERITAGE COMMISSION**  
433 South Spring St., 10th Floor  
Los Angeles, CA 90013

*O.K. Jay M. Over*  
11-15-87

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

↑  
ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

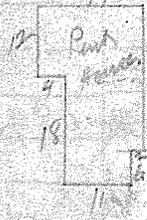
side walls + cross beams concrete  
 no concrete floor except basement



- $4 \times \frac{1}{2} \times 3 \times 18 = 180.$
- $4 \times 37 \times 18 = 2664.$
- $4 \times 33 \times 47 = 6204.$
- $4 \times 44 \times 43 = 8428.$
- $4 \times 19 \times 47 = 3572.$
- $4 \times 10 \times 65 = 2600.$
- $4 \times 15 \times 36 = 2160.$
- $4 \times 15 \times 30 = 1800.$
- $4 \times 5 \times 5 = 100.$

Part House

- $12 \times 17 = 204$
- $18 \times 11 = 198$
- $3 \times 12 = 36$



Basement

- $37 \times 18 = 666$
- $33 \times 47 = 1531$
- $\hline 22176$
- $\hline 17736$
- $\hline 2016$
- $\hline 354720$

ING DESCRIPTION BLANK

FORM NO. 172 E.W.H.

PARCEL ~~43~~ 14

Book 5533  
Index  
Page 19

No. 5128 Marathon  
Tract 3783  
Lot No. 16 Block No.  
Examined by Date 1929

CLASS	ROOF	LIGHTING	DECORATING
Apartment House	Flat, Hip, Plain	Gas, Electric	Fancy
Hotel	Tile, Tin	Good, Medium	Medium
Rooming House	Shingle, Gravel	Cheap	Cheap
Stores & Apts.	Composition	PARTITIONS	ELEVATOR
" & Hotel	Asbestos		
Church, School	Construction	Brick, Tile	Hand, Freight
Residence 7.00%	Good Medium	Concrete	Automatic
Theatre 4.50%	Cheap	Plaster	Electric
Bungalow 6.84%			
FOUNDATION	HEATING	INSIDE FINISH	Miscellaneous
Concrete	Fireplaces	Woodwork	Fire Escapes
	Wood, Coal, Oil	Plain	Metal Window
	or Gas Furnace	Ornamental	Sprinkler
EXTERIOR	Steam	Stock	" Basement
Bay Windows		Special	" Entire Bldg.
Balconies	PLUMBING	BUILT-IN FEATURES	CONDITION
1st, 2nd, 3rd, 4th	No. of Fixtures	Buffet, Pat. Beds	Good
Number.....		Refrigerator	Medium
Enameled Br.		Bookcases	Poor
Pressed Brick		Plain, Ornamental	
Blue		STORE FRONT	
Terra Cotta	Good, Medium	Plate in Copper	
Art Stone, Plaster	Cheap	" " Wood	
Good, Med., Cheap	Sewer	Sheet Glass	
	Cesspool		

OCCUPANCY	Living Room	Bnt	1	2	3	4	5	6	7
Owner, Rented, Vacant	Bed								
Year Built	Bath								
Basement:	Kitchen								
Finished	Hardwood Floor								
Unfinished	Hardwood Fin.								
Cement Floor	Storage								
1st Floor ± Grade	Store								
No. of Stories	Cement Floor								
	Unfinished								
	Lobby								

OWNER:	BUILDING VALUES
No. of Permit	CLASS
Date 599	NO. CU. FT.
Estimated Cost of Bldg., \$ 34680	NO. SQ. FT. 28134
Cost Factor Checked 40410	AT \$ 235
Computations " 44450	BLDG. COST \$ 66114
Entered on Map Book	BSMT. COST \$ 2887
Compared	HEAT COST \$
	TOTAL COST \$ 68951
	PER CENT DEP. 12.5
	% UTILITY DEP.
	DEP. VALUE \$ 62055
	ASSESSED VALUE \$ 10500

COPIED FOR 1934  
ALL OLD SLIP FOR DETAILS

SECOND. Payment and/or performance of every obligation, covenant, promise or agreement hereto contained. TO HAVE AND TO HOLD said property upon the following express TRUSTS, to-wit:

- A. Trustor promises and agrees, during continuance of these Trusts:
1. For the purpose of protecting and preserving the security of this Deed of Trust: (a) to properly care for and keep said property in good condition and repair; (b) not to remove or demolish any building thereon; (c) to complete in good and workmanlike manner any building which may be constructed thereon, and to pay when due all claims for labor performed and materials furnished therefor; (d) to comply with all laws, ordinances and regulations requiring any alterations or improvements to be made thereon; (e) not to commit or permit any waste or deterioration thereof; (f) not to commit, suffer or permit any act to be done in or upon said property in violation of any law or ordinance; (g) to cultivate, irrigate, fertilize, fumigate, prune and/or do any other act or acts, all in a timely and proper manner, which, from the character or use of said property, may be reasonably necessary to protect and preserve said security, the specific enumerations herein not excluding the general.
  2. To provide, maintain and deliver to Beneficiary fire insurance satisfactory to and with loss payable to Beneficiary. The amount collected under any fire insurance policy shall be credited first, to accrued interest; next, to expenditures hereunder and any remainder upon the principal, and interest shall thereupon issue upon the amount so credited upon principal; provided, however, that at option of Beneficiary, the entire amount so collected or any part thereof may be released to Trustor, without liability upon Trustor for such release.
  3. To appear in and defend any action or proceeding purporting to affect the security of this Deed of Trust, the interests of Beneficiary or the rights, powers and duties of Trustee hereunder; and to pay all costs and expenses, including cost of evidence of title and attorney's fees in a reasonable sum, in any such action or proceeding in which Beneficiary and/or Trustee may appear.
  4. To pay before default or delinquency: (a) all taxes, assessments or incumbrances (including any debt secured by Deed of Trust), which appear to be prior liens or charges upon said property or any part thereof, including assessments on apartment water stock, and any accrued interest cost or penalty thereon; (b) all costs, fees and expenses of these Trusts, including cost of evidence of title and Trustee's fees in connection with sale, whether completed or not, which amounts shall become due upon delivery to Trustee of Declaration of Default and Demand for Sale, as hereinafter provided.
  5. To pay within thirty days after expenditure, without demand, all sums expended by Trustee or Beneficiary under the terms hereof, with interest from date of expenditure at the rate of ten per cent per annum.
- B. Should Trustor fail or refuse to make any payment or do any act, which he is obligated hereunder to make or do, at the time and in the manner herein provided, then Trustee and/or Beneficiary, each in his sole discretion, may, without notice to or demand upon Trustor and without releasing Trustor from any obligation hereof:
1. Make or do the same in such manner and to such extent as may be deemed necessary to protect the security of this Deed of Trust, either Trustee or Beneficiary being authorized to enter upon and take possession of said property for such purposes.
  2. Commence, appear in or defend any action or proceeding affecting or purporting to affect the security of this Deed of Trust, the interests of Beneficiary or the rights, powers and duties of Trustee hereunder, whether brought by or against Trustor, Trustee or Beneficiary; or
  3. Pay, purchase, contest or compromise any prior claim, debt, lien, charge or incumbrance which in the judgment of either may affect or appear to affect the security of this Deed of Trust, the interests of Beneficiary or the rights, powers and duties of Trustee hereunder.
- Provided, that neither Trustee nor Beneficiary shall be under any obligation to make any of the payments or do any of the acts above mentioned, but, upon election of either or both to do, employment of an attorney is authorized and payment of such attorney's fees is hereby secured.
- C. Trustor shall be under no obligation to notify any party hereto of any action or proceeding of any kind in which Trustee, Beneficiary and/or Trustor shall be named as defendant, unless brought by Trustee.
- D. Acceptance by Beneficiary of any sum in payment of any indebtedness secured hereby, after the date when the same is due, shall not constitute a waiver of the right either to require prompt payment, when due, of all other sums so secured or to declare default as herein provided for failure so to pay.
- E. Trustor may, at any time, or from time to time, without liability therefor and without notice, upon written request of Beneficiary and presentation of this Deed of Trust and the note secured hereby for endorsement, and without affecting the personal liability of any person for payment of the indebtedness hereby secured, the effect of this Deed of Trust upon the remainder of said property:
1. Reconvert any part of said property;
  2. Consent in writing to the making of any map or plat thereof; or
  3. Join in granting any easement thereon.
- F. Upon payment of all sums secured hereby and surrender to Trustee, for cancellation, of this Deed of Trust and the note secured hereby, Trustee, upon receipt from Beneficiary of a written request reciting the fact of such payment and surrender, shall reconvey, without warranty, the estate then held by Trustee and the grantee in such reconveyance may be described in general terms as "the person or persons legally entitled thereto," and Trustee is authorized to retake this Deed of Trust and such note. The retake in such reconveyance of any matters or facts shall be conclusive proof against all persons of the truthfulness thereof.
- G. 1. Should breach or default be made by Trustor in payment of any indebtedness and/or in performance of any obligation, covenant, promise or agreement herein mentioned, then Beneficiary may declare all sums secured hereby immediately due, and in such case, shall execute and deliver to Trustee a written Declaration of Default and Demand for Sale and shall surrender to Trustee this Deed of Trust, the note and receipts or other documents evidencing any expenditure secured hereby. Thereafter there shall be recorded in the office of the recorder of the county or counties wherein said real property or some part thereof is situated, a notice of such breach or default and of election to sell or cause to be sold the herein described property to satisfy the obligations hereof.
2. After three months shall have elapsed following such recitation of said notice, Trustee, without demand on Trustor, shall sell said property as herein provided, having first given notice of the time and place of such sale in the manner and for a time not less than that required by the laws of the State of California for sales of real property under Deeds of Trust.
3. Trustee may postpone sale of all, or any portion, of said property by public announcement at the time fixed by said notice of sale, and may thereafter postpone said sale from time to time by public announcement at the time fixed by the preceding postponement; and without further notice it may sell such sale at the time to which the same shall be so postponed, provided, however, that the sale, or any postponement thereof must be made at the place fixed by the original notice of sale.
4. At the time of sale so fixed, Trustee may sell the property so advertised, or any part thereof, either as a whole or in separate parcels at its sole discretion, at public auction, to the highest bidder for cash in United States gold coin, all payable at time of sale, and after any such sale and the payment made, shall execute and deliver to such purchaser a deed or deeds conveying the property so sold, but without covenant or warranty, express or implied, regarding title, possession or incumbrances. Trustor hereby agrees to surrender immediately and without demand possession of said property to such purchaser. The retake in such deed or deeds of any matters or facts affecting the regularity or validity of said sale shall be conclusive proof of the truthfulness thereof and such deed or deeds shall be conclusive against all persons as to all matters or facts therein recited. Trustee, Beneficiary, any person on behalf of either, or any other person, may purchase at such sale.
- H. Trustee shall apply the proceeds of any such sale to payment of:
1. (a) Expenses of sale; (b) all costs, fees, charges and expenses of Trustee and of these Trusts, including cost of evidence of title and Trustee's fee in connection with sale.
  2. All sums expended under the terms hereof, not then repaid, with accrued interest at the rate of Ten per cent per annum.
  3. Accrued interest on said note.
  4. Unpaid principal of said note; or if more than one, the unpaid principal thereof pro rata and without preference or priority; and
  5. The remainder if any to the person or persons legally entitled thereto, upon proof of such right.
- I. This Deed of Trust in all its parts applies to, inures to the benefit of, and binds all parties hereto, their heirs, legatees, devisees, administrators, executors, successors and assigns.
- J. Trustee accepts these Trusts when this Deed of Trust, duly executed and acknowledged, is made a public record as provided by law. In this Deed of Trust, whenever the context so requires, the masculine gender includes the feminine and/or neuter, and the singular number includes the plural.

WITNESS the hand of Trustor, the day and year first above written.

HERBERT K. RITTER  
GRACE RITTER

State of California,  
County of Los Angeles, ss. On this 9th day of September, 1927, before me, Mella S. Hisbet, a Notary Public in and for said County, personally appeared Herbert K. Ritter and Grace Ritter, husband and wife, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same.

WITNESS my hand and official seal.

(Notarial Seal) Mella S. Hisbet Notary Public  
in and for said County and State. My Commission Expires Dec 12, 1927

#60. Copy of original recorded at request of Title Insurance & Tr. Co. Sep 23, 1927 at 8:30 A.M. Copyist #10. Compared. C.L. Logan, County Recorder. By *L.C. Brown* Deputy

Esrow No. 24157-S

GRANT DEED.

CELIA JACOBSON and LOUIS JACOBSON, her husband, in consideration of Ten and No/100 Dollars, to them in hand paid, the receipt of which is hereby acknowledged, do hereby Grant to J.H. Miller, a widower, sometimes known as Joseph H. Miller, all that real property situated in the City of and County of Los Angeles, State of California, described as follows: Lot Sixteen (16) of Tract Number Thirty seven Hundred Eighty-Three (3783) as per map recorded in Book 41, Page 44 of Maps, Records of said County.

Subject to: 1st, Taxes for the fiscal year 1927-28. 2nd, Conditions, restrictions, reservations, rights, rights of way and easements now of record, if any.

WITNESS their hands this 21st day of May, 1927.

LOUIS JACOBSON  
CELIA JACOBSON

State of Illinois,  
County of Cook, ss. On this 27th day of May, 1927, before me, James J. Gleason

KODAK SAFETY FILM

a Notary Public in and for said County, personally appeared Celia Jacobson and Louis Jacobson, her husband, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same.

WITNESS my hand and official seal the day and year in this Certificate first above written.

(Notarial Seal) in and for said County and State. James J. Glassner Notary Public

State of Illinois, Cook County,)ss. I, Robert M. Switzer, County Clerk of the County of Cook, Do Hereby Certify, that I am the lawful custodian of the official records of Notaries Public of said County, and as such officer am duly authorized to issue certificates of magistracy, that James J. Glassner, whose name is subscribed to the proof of acknowledgment of the annexed instrument, in writing, was, at the time of taking such proof of acknowledgment, a Notary Public in and for Cook County, duly commissioned, sworn and acting as such and authorized to take acknowledgments and proofs of deeds or conveyances, of lands, tenements or hereditaments, in said State of Illinois, and to administer oaths; all of which appears from the records and files in my office; that I am well acquainted with the handwriting of said Notary and verily believe that the signature to the said proof of acknowledgment is genuine.

In Testimony Whereof, I have hereunto set my hand and affixed the seal of the County of Cook at my office in the City of Chicago, in the said County, this 27 day of May, 1927. County Court Seal) Robert M. Switzer, County Clerk

#739. Copy of original recorded at request of Title Guarantee & Tr. Co. Sep 28 1927 at 8:30 A.M. Copyist #10. Compared. C.L. Logan, County Recorder. By L.C. Brown Deputy

QUIT CLAIM DEED. ANTONIO PAZZELLI, a married man, in consideration of Ten Dollars, to him in hand paid, the receipt of which is hereby acknowledged, does hereby release and forever quitclaim to PAOLINA PAZZELLI, his wife, as her separate property, all that real property in the City of and County of Los Angeles, State of California, described as:

Lots Sixteen (16) and Seventeen (17) in Tract Number 6434, as per map recorded in Book 74, Page 2 of Maps, in the office of the County Recorder of said Los Angeles County.

WITNESS my hand this 26th day of September, 1927.

State of California, County of Los Angeles,)ss. On this 26th day of September, 1927, before me, Kathryn F. Lovejoy, a Notary Public in and for said County, personally appeared Antonio Pazzelli, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same. WITNESS my hand and official seal.

(Notarial Seal) in and for said County and State. Kathryn F. Lovejoy Notary Public

#1323. Copy of original recorded at request of Grantee Sep 28 1927 18 min. past 10 A.M. Copyist #10. Compared. C.L. Logan, County Recorder. By L.C. Brown Deputy

THIS MORTGAGE, Made this 26th day of September, 1927, by Rebecca Fisher, a widow, herein called Mortgagor, to SUSAN A. PARMELE, a widow, herein called Mortgagee.

WITNESSETH: That Mortgagor hereby mortgages to Mortgagee all that property in the City of Pasadena, County of Los Angeles, State of California, described as:

Lot Twenty-six (26) of the Thomas and Galbraith tract, as per map recorded in Book 18, Page 8, Miscellaneous Records of said County.

FOR THE PURPOSE OF SECURING: FIRST, Payment of the indebtedness evidenced by one promissory note (and any renewal or extension thereof) substantially in form as follows:

NOTE SECURED BY A MORTGAGE

\$200.00

Pasadena, California, September 26th, 1927

On or before December 2nd, 1929, after date, for value received I promise to pay to Susan A. Parmele, a widow, or order, at the sum of Two Hundred Dollars, with interest from September, 26, 1927, until paid, at the rate of seven (7%) per cent per annum, payable quarterly. Should interest not be so paid it shall become part of the principal and thereafter bear like interest. Should default be made in payment of interest when due, the whole sum of principal and interest shall, at the option of the holder of this note, become immediately due. Principal and interest payable in United States gold coin.

Rebecca Fisher

For Satisfaction of MORTGAGE Official Records 317

in the said County of Los Angeles the day and year in this certificate first above written.

(Notarial Seal)

Gertrude P. Peters, Notary Public

in and for the County of Los Angeles State of California.

#580 Copy of original recorded at request of Title Guarantee & Tr. Co. Sep 30 1927 at 8:30 A M Copyist 58 Compared C L Logan County Recorder By *B. S. Stager* Deputy

Grant Deed. Joseph H. Miller, a widower of the City and County of Los Angeles, in the State of California in consideration of Seventy five hundred and no/100 Dollars, to him in hand paid, the receipt of which is hereby acknowledged, does hereby grant to Jacob Levin as Trustee all that real property in the City of Los Angeles County of Los Angeles, State of California, described as: Lot Sixteen (16) of Tract number Thirty-seven Hundred Eighty-three (3783) in the City of and County of Los Angeles, State of California, as per map recorded in Book 41, page 44, of Maps in the office of the County Recorder of said County. Subject, however, to a Mortgage securing a principal indebtedness of \$100,000 to Western Loan and Building Company and a Deed of Trust to said grantee, securing a total principal indebtedness of \$25,000 evidenced by 23 promissory notes in said Deed of Trust described. To Have and to Hold to the said grantee his successors in trust, heirs or assigns forever. Witness grantor's hand this 17th day of September, 1927.

Joseph H. Miller.

State of California County of Los Angeles )SS On this 22nd day of September, 1927 before me Jessie A. Haddock a Notary Public in and for said County, personally appeared Joseph H. Miller, a widower known to me to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same. Witness my hand and official seal.

(Notarial Seal)

Jessie A. Haddock, Notary Public

in and for said County and State. My Commission Expires April 12, 1931.

#935 Copy of original recorded at request of Grantee Oct 1, 1927 at 1 min. past 9 A M Copyist 58 Compared C L Logan County Recorder By *B. S. Stager* Deputy

For RECONVEYANCE See Book 7572, Page 236 Official Records

Deed of Trust. This Deed of Trust, made this 13th day of September, 1927, between Lena Marie Garner, a widow, herein called Trustor, California Trust Company, a corporation, of Los Angeles, California, herein called Trustee, and Andrew L. Mausy, herein called Beneficiary, Witnesseth: That Trustor hereby grants to Trustee, in trust, with power of sale, all that property in the City of Los Angeles, County of Los Angeles, State of California, described as: Lot Fourteen (14) of the Lewis Figueroa Street Tract, as per map recorded in book 7, page 141 of Maps, Records of said County. Subject to a Trust Deed for \$3000.00 recorded concurrently herewith. For the Purpose of Securing: First. Payment of the indebtedness evidenced by one promissory note (and any renewal or extension thereof) substantially in form as follows:

\$464.04 Los Angeles California, September 13, 1927  
In instalments as herein stated, for value received, I promise to pay to Andrew L. Mausy or order, at - the principal sum of Four Hundred Sixty-four and 04/100 Dollars, with interest from August 20th 1927 on unpaid principal at the rate of seven (7) per cent per annum; principal and interest payable in installments of Fifteen and no/100 Dollars or more on the 20th day of each month, beginning on the 20th day of September, 1927 and continuing until said principal and interest have been paid. Each payment shall be credited first, on interest then due; and the remainder on principal; and interest shall thereupon cease upon the principal so credited. Should default be made in payment of any installment when due, the whole sum of principal and interest shall, at the option of the holder of this note, become immediately due. Principal and interest payable in United States gold coin. This note is secured by a Deed of Trust to California Trust Company, a corporation, of Los Angeles, California.

Lena Marie Garner.

to the following described property: lot No. 11, St. Albans Lake Place Tract as per map book 14, page 46 of maps in the office of the recorder of Los Angeles County, on record in the name of Blanche A. Miller. The property is located on Glendale Blvd. about 500 feet south of Fletcher. North 569 feet of lot 40; all of lots 41, 42, 43; south 30 feet of lot 44 of Tract 3345, map book 42, pages 63 and 64, map records of Los Angeles County. Located at 569 North Rossmore Avenue, property is in name of Rossmore Holding Corporation. And I further certify that I offered the aforesaid described real property in separate and distinct lots or parcels of land, and failing to receive a bid therefor, I did then offer the same as a whole or as one lot, piece or parcel for the sum of \$4,000.00. And that the said real estate is subject to redemption in lawful money of the United States, pursuant to the Statute in such cases made and provided. Given under my hand this 17 day of November, A.D. 1930.

Wm. I. Traeger, Sheriff,  
By W. D. Gilman, Deputy.

#807 Copy of original recorded at request of Sheriff, Nov. 21, 1930, 9:22 A.M. Copyist  
#131 Compared, C. L. LOGAN, County Recorder, By *N. Crowell* (42) Deputy.  
\$1.20-6

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EXTENSION OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS: That whereas, heretofore, to-wit: on the 21st day of September, 1927, a certain Indenture of Mortgage was executed by Marguerite E. Wolter, Mortgagor, to David D. Bartleson and Ida M. Bartleson, his wife, as joint tenants, Mortgagees, securing a note of even date therewith in the sum of \$1200.00 which mortgage is now of record in the office of the county recorder of Los Angeles County, California, in Book 8027 page 69 Official Records of said county; and Whereas, it is mutually desired by all parties thereto that the maturity of said note and mortgage be extended and that its terms and conditions remain the same. NOW, THEREFORE, in consideration of one dollar in hand paid by the mortgagor to said mortgagee, the receipt whereof is hereby acknowledged, said mortgagee hereby extends the date of maturity of said note and mortgage from the 21st day of September, 1930, to the 21st day of September, 1933, said note and mortgage to be and remain in all other respects the same as if this extension had not been granted. The mortgagor hereby accepts said extension and undertakes and binds her heirs and assigns to the further condition that there are no other liens or encumbrances on the mortgaged property made subsequent to the date of said mortgage. Witness the hands of the mortgagee, and mortgagor this 19th day of November, 1930.

Signed, Sealed and Delivered  
in the Presence of -----  
Marguerite E. Wolter (SEAL)  
Ida M. Bartleson (SEAL)

State of California, County of Los Angeles )ss. On this 19th day of November, A.D. 1930, before me, E.L. Chandler, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Ida M. Bartleson and Marguerite E. Wolter, known to me to be the persons whose names are subscribed to the within Instrument, and acknowledged to me that they executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(NOTARIAL SEAL) E. L. Chandler, Notary Public in and for said County and State. My Commission Expires May 19, 1933.

#931 Copy of original recorded at request of Bank of Italy N.T. & S. Assn. Nov. 21, 1930, 9:42 A.M. Copyist #131 Compared, C. L. LOGAN, County Recorder, By *N. Crowell* (42) Deputy.  
\$1.00-5

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COMMISSIONER'S DEED Foreclosure of Mortgage

THIS INDENTURE, Made the 20th day of November, nineteen hundred and thirty; Between E. E. Allen, as Commissioner duly appointed by the Superior Court of the County of Los Angeles, State of California, in the action hereinafter mentioned, to make sale of the property hereinafter described, the party of the first part, And Western Loan & Building Company, a corporation, the party of the second part, WITNESSETH: Whereas, in and by a certain Judgment and Decree, made by the said Superior Court on the 26th day of September, 1929, and entered on the 30th day of September, 1929; in a certain action then pending in said Court, wherein Western Loan & Building Company a corporation, was the Plaintiff, and Joseph H. Miller, et al were the defendants. No. 264843, to which said judgment reference is hereby made and which is incorporated herein by this reference, it was among other things ordered, adjudged and decreed that all and singular the mortgaged premises described in the complaint in said action, and specifically described in said judgment and decree, should be sold at public auction by the said party of the first part

M. S. H.  
S. M. C.  
E. L. C.  
E. L. C.

as such Commissioner, in the manner required by law, and according to the course and practice of said Court; and that said Commissioner should execute the usual certificate and deeds to the purchaser or purchasers, as required by law; and whereas, the said Commissioner did, at the hour of 12 o'clock M. on the 19th day of November, 1929, after due public notice had been given, as required by the laws of this State and the course and practice of said Court, duly sell at public auction, in the said County of Los Angeles, in conformity with said judgment or decree, and the provisions of law, the premises in the said decree or judgment mentioned, at which sale the premises in said judgment or decree, and hereinafter described, were fairly struck off to the said Western Loan & Building Company, a corporation, the said party hereto of the second part, for the sum of One hundred fourteen thousand eight hundred thirty-one and 27/100 Dollars, being the highest bidder, and that being the highest sum bid for the same; And whereas, the said party of the second part thereupon paid to the said Commissioner the said sum of money so bid; And whereas, the said Commissioner thereupon made the usual certificate in duplicate of the said sale in due form of law, and delivered one thereof to the said purchaser and caused the other to be filed in the office of the County Recorder of said County of Los Angeles; and whereas, more than twelve months have elapsed since the date of said sale, and no redemption has been made of the premises so sold as aforesaid, NOW, THIS INDENTURE WITNESSETH: That the said party of the first part, the said Commissioner, in order to carry into effect the sale so made by him as aforesaid, in pursuance of said judgment and decree, and in conformity to the Statute in such case made and provided, and also in consideration of the premises and of the sum of One hundred fourteen thousand eight hundred thirty-one and 27/100 Dollars, so bid and paid by the said purchaser, the said party of the second part, the receipt whereof is hereby acknowledged, does, by these presents, grant, bargain, sell and convey unto the said party of the second part, and to its successors and assigns forever, all that certain lot, piece or parcel of land situate, lying and being in the said County of Los Angeles, State of California, and bounded and particularly described as follows, to-wit: Lot sixteen (16) Tract 3783, in the City of and County of Los Angeles, State of California, as per map recorded in Book 41, page 44 of Maps in the office of the County Recorder of said County. TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof. TO HAVE AND TO HOLD all and singular the said premises hereby conveyed, or intended so to be, together with the appurtenances, unto the said party of the second part, its successors and assigns forever. IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal, the day and year first above written.

R. E. Allen, Commissioner (SEAL)

State of California, County of Los Angeles )ss. On this 20th day of November, in the year nineteen hundred and thirty, before me, Dorothy Jacobsen, a Notary Public in and for the said County of Los Angeles, State of California, residing therein, duly commissioned and sworn, personally appeared R. E. Allen, the within named Commissioner, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(NOTARIAL SEAL)  
and for said County, State of California.

Dorothy Jacobsen, Notary Public in

#1099 Copy of original recorded at request of Grantee, Nov. 21, 1930, 10:40 a.m. Copyist  
#131 Compared, C. L. LOGAN, County Recorder, By *C. Cravell* (42) Deputy.  
#1.50-10

BRUCE McDONALD Co. Kansas City, Mo.  
Executed in settlement for balance of purchase price of merchandise.

KNOW ALL MEN BY THESE PRESENTS: That the undersigned, R. E. Bradley, of No. 3863, Street Adair Street, City Los Angeles, County Los Angeles, State California (hereinafter called Mortgagor) for and in consideration of the sum of One Dollar and other good and valuable considerations to Mortgagor paid by Bruce McDonald Company, (hereinafter called Mortgagee), the receipt of which is hereby acknowledged, do sell, assign, transfer and set over unto the said Mortgagee, its legal representatives, successors and assigns, the following described goods and chattels complete with all attachments and equipments thereon, the delivery and acceptance of which is hereby acknowledged by Mortgagor, to-wit: One Only (1) No. 4-320-X 90 Meek Reel Oven, Complete and it is expressly under-

in and for said County and State.

#457. Copy of original recorded at request of National Title Ins. Co. Dec. 12, 1933, 8:30 A.M. Copyist #164. Compared. C.L. Logan, County Recorder, by M. Whitney Deputy \$3.70-S. B.

Assignment of Deed of Trust. For value received, the undersigned hereby grants, assigns and transfers to Sidney Leroy Carle and Grover Cleveland Carle, brothers, as joint tenants, all beneficial interest under that certain Deed of, or Transfer in Trust dated November 6th, 1930, executed by Harry Haruo Matsumoto, a single man, Trustor, to Title Guarantee and Trust Company, a corporation, Trustee, and recorded as Instrument No. 64, November 13th, 1930, in Book 10489, page 9 of Official Records in the office of the County Recorder of Los Angeles County, California, describing Land therein:--

Together with the note or notes therein described or referred to, the money due and to become due thereon with interest, and all rights accrued or to accrue under said Deed of, or transfer in trust. Dated this 12th day of December, 1933.

State of California, County of Los Angeles, )ss. Sarah A. Pollock. On this 12th day of December, 1933, before me, Lester B. Zillgitt, a Notary Public in and for said County, personally appeared Sarah A. Pollock, a widow, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that she executed the same. Witness my hand and official seal.

(Notarial Seal) Lester B. Zillgitt, Notary Public in and for said County and State.

#814. Copy of original recorded at request of Assignee, Dec. 13, 1933, 12:27 P.M. Copyist #164. Compared. C.L. Logan, County Recorder, by M. Whitney Deputy \$1.00-S. B.

Quitclaim Deed. Allen T. Crutcher, Grace M. Crutcher, C.C. McWhinney, and Irma McWhinney, in consideration of One and no/100 Dollars, and other valuable consideration, to us in hand paid, the receipt of which is hereby acknowledged, do hereby release, remise and forever quitclaim to Western Loan & Building Company, a corporation in liquidation under the supervision and direction of Friend W. Richardson, Building and Loan Commissioner of the State of California, all that real property in the City of Los Angeles, County of Los Angeles, State of California, described as:

Lot Sixteen (16) of Tract No. 2783, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 41, page 44 of Maps, in the office of the County Recorder of said County.

witness our hands this 8th day of December, 1933.

Allan T. Crutcher Grace M. Crutcher. C.C. McWhinney Irma McWhinney.

C.K. D.L.A. S.F.

State of California, County of San Francisco, )ss.

On this 8th day of December, 1933, before me, Mary F. Redding, a Notary Public in and for said County, personally appeared Allan T. Crutcher, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same. Witness my hand and official seal.

(Notarial Seal) Mary F. Redding, Notary Public in and for the City and County of San Francisco, State of California. My Commission Expires July 14, 1937.

State of California, County of Los Angeles, )ss.

On this 9th day of December, A.D. 1933, before me, Dorris L. Akeley, a Notary Public in and for said County and State, personally appeared C.C. McWhinney and Irma McWhinney, husband and wife, and Grace M. Crutcher, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same. In Witness Whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(Notarial Seal) Dorris L. Akeley, Notary Public in and for said County and State.

#760. Copy of original recorded at request of Grantee, Dec. 13, 1933, 11:42 A.M. Copyist #164. Compared. C.L. Logan, County Recorder, by M. Whitney Deputy \$1.10-S. B.

Chattel Mortgage. This Mortgage, made the 16th day of October, 1933, by Sadie A. Borton, a widow, of Los Angeles, California, Mortgagor, To John Hancock Mutual Life Insurance Company, a corporation of Boston, Mass. Mortgagee.

Witnesseth: That the Mortgagor mortgages to the Mortgagee certain personal property situated in the buildings 7000 and 7002 Oakwood Avenue and 365 and 369 No.

Substitution of Grantor's Name See Bk. 13162 Pg. 329

U.S.I.R.S. \$126.50 Cancelled

RE 4325

GRANT DEED

WESTERN LOAN AND BUILDING COMPANY, a corporation, grantor, of Salt Lake City, County of Salt Lake, State of Utah hereby GRANTS AND CONVEYS to ROZA MAMBAR, a single woman grantee of Los Angeles, California for the sum of TEN AND NO/100 (\$10.00) DOLLARS, the following described tract of land in Los Angeles County, State of California Lot Sixteen (16), of Tract Number Thirty-seven Hundred Eighty-three (3783), in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 41, Page 44 of Maps, in the office of the County Recorder of said County. Subject, however, to all taxes and assessments, and subject to all easements, rights of way, restrictions, and conditions of record.

WITNESS, the hand of said grantor, this sixth day of June A.D., one thousand nine hundred and forty-five.

(Seal)

Signed in presence of:  
E. C. Simper  
Hazel M. Jensen

WESTERN LOAN AND BUILDING COMPANY

By C. J. Sumner Vice President  
R. B. Ritchie Secretary

STATE OF UTAH County of Salt Lake) SS.

On this sixth day of June, 1945, before me B. A. Christenson a Notary Public in and for the County of Salt Lake, State of Utah, residing therein, duly commissioned and sworn, personally appeared C. J. Sumner and R. B. Ritchie known to me to be the Vice President and Secretary, respectively, of WESTERN LOAN AND BUILDING COMPANY, the corporation described in and that executed the within instrument and also known to me to be the persons who executed the same on behalf of the corporation therein named and they acknowledged to me that such corporation executed the same. IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official seal, at my office in Salt Lake City, County of Salt Lake, State of Utah, the day and year in this Certificate first above written.

(Seal)

B. A. Christenson Notary Public

In and for the County of Salt Lake, State of Utah.

My commission expires April 19, 1949

Recorded at Request of Title Insurance & Trust Co. June 25, 1945, P.M. Copyist #139, Compared Name

B. Beatty, County Recorder,  
21.00-4.H

By [Signature] Deputy

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THIS DEED of TRUST, Made this 4th day of June, 1945, Between Ethel Reiterman and Alice A. Reiterman, herein called TRUSTOR, whose address is 1445 Pasqualito Drive (Street and Number) San Marino (City) California (State), TITLE INSURANCE AND TRUST COMPANY a California corporation, herein called TRUSTEE, and THOMAS JOHNSON INVESTMENT COMPANY, herein called BENEFICIARY, WITNESSETH: That Trustor IRREVOCABLY GRANTS, TRANSFERS AND ASSIGNS to TRUSTEE IN TRUST, WITH POWER OF SALE, that property in City of Pasadena, Los Angeles County, California, described as: The Northerly 8 feet of Lot 2 and all of Lot 3 (except the Northerly 4 feet thereof) in Block B, Tract No. 11292, as per map recorded in Book 201, Page 19 of Maps in the office of the Los Angeles County Recorder. TOGETHER WITH the rents, issues and profits thereof, SUBJECT, HOWEVER, to the right, power and authority hereinafter given to and conferred upon Beneficiary to collect and apply such rents, issues and profits. For the Purpose of securing payment of the indebtedness evidenced by one promissory note substantially in the following form and performance of each agreement of Trustor herein contained.

\$7800.00

Pasadena, California

No. E30399

June 4th, 1945

In installments as herein stated, for value received, I promise to pay to THOMAS JOHNSON INVESTMENT COMPANY, or order, at Pasadena, California the sum of Seventy eight hundred DOLLARS with interest from June 4th, 1945 on unpaid principal at the rate of five (5) per cent per annum; principal and interest payable in installments of seventy-two & 15/100 Dollars or more on the 4th day of each calendar month, beginning on the 4th day of July, 1945 and continuing until said principal and interest have been paid.

Each payment shall be credited first on interest then due and the remainder on principal; and interest shall thereupon cease upon the principal so credited. Should default be made in payment of any installment when due the whole sum of principal and interest shall become immediately due at the option of the holder of this note. Principal and interest payable in lawful money of the United States. If action be instituted on this note I promise to pay such sum as the Court may fix as attorney's fees. This note is secured by a Deed of Trust to Title Insurance and Trust Company, a California corporation.

Privilege is reserved of paying this note at any time by payment of principal, accrued interest and 90 days bonus interest.

Ethel Reiterman  
Alice A. Reiterman

FOR ASSIGNMENT TO  
[Signature]  
See Book 201, Page 19 of Official Records, D

FOR RECONVEYANCE  
[Signature]

HAROLD W. KENNEDY, County Counsel  
1100 Hall of Records  
Los Angeles 12, California  
Madison 8-9211

Attorney for Public Administrator

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
FOR TITLE INSURANCE & TRUST CO.  
SEP 13 1960 AT 8 A.M.  
RAY E. LEE, County Recorder

FEE \$3.60 3 B

IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA  
IN AND FOR THE COUNTY OF LOS ANGELES

In the Matter of the Estate of )  
ROZA NAMBAR, )  
Deceased. )

NO. 424678

ORDER CONFIRMING SALE AS A UNIT OF  
REAL AND PERSONAL PROPERTY, AUTHOR-  
IZING ADMINISTRATOR TO PAY COM-  
MISSION TO REAL ESTATE BROKER AND  
TO SATISFY LIENS AND ENCUMBRANCES  
FROM THE PROCEEDS OF SALE ACCORDING  
TO THE TERMS OF SALE

HAROLD W. KENNEDY, COUNTY COUNSEL  
1100 HALL OF RECORDS  
LOS ANGELES, CALIFORNIA  
MADISON 8-9211

The return and petition of Baldo N. Kristovich, Public Adminis-  
trator of the County of Los Angeles, as administrator of the estate  
of Roza Nambar, deceased, for confirmation of sale of real and per-  
sonal property sold as a unit, hereinafter described, and petition  
for authority to pay real estate commission, Harold W. Kennedy, County  
Counsel, by Wilcox R. Stoddard, Deputy County Counsel, appearing as  
attorney for said petitioner, coming on regularly to be heard on July  
13, 1960, in Department 4 of the above entitled court, before the  
Honorable Frank S. Balthis, Judge presiding, the court, after examin-  
ing said return and petitions and hearing the evidence presented, both  
oral and documentary, and being fully advised in the premises, finds  
that all of the allegations of said return and petitions are true,  
and that notice of the time, place, and terms of sale and all notices  
of said hearing, including special notices, have been duly given in  
the manner and form and for the period required by law; that said  
sale was legally made and fairly conducted; that said property was

1 appraised within one year prior to said sale; that the bid so re-  
2 turned in at least 90% of the appraised value and is not dispro-  
3 portionate to the value of said property and complies with all of  
4 the provisions of the law; that a sum exceeding said bid at least  
5 10% on the first Ten Thousand Dollars and no cents (\$10,000.00) bid  
6 and 5% on the amount of bid in excess of Ten Thousand Dollars and  
7 no cents (\$10,000.00), exclusive of the expense of a new sale, cannot  
8 be obtained; that the court hereby confirms said sale accordingly.

9       **IT IS THEREFORE ORDERED, ADJUDGED AND DECREED** by this court that  
10 Baldo M. Kristovich, Public Administrator of the County of Los  
11 Angeles, is the duly appointed, qualified and acting administrator  
12 of the estate of Rosa Manbar; that the sale as a unit of said real  
13 and personal property to William Rabinovits and Rose Rabinovits,  
14 husband and wife as joint tenants, for the sum of \$194,600.00 in  
15 cash, the amount of \$191,825.00 representing the value of the real  
16 property and the amount of \$2,775.00 representing the value of the  
17 personal property, be and the same is hereby confirmed, and upon  
18 receipt of the purchase price, and upon compliance with the terms of  
19 said sale by said purchasers, the said Baldo M. Kristovich, Public  
20 Administrator, as administrator of said estate is directed to execute  
21 to said purchasers a deed of conveyance thereof and to execute any  
22 and all other documents necessary to transfer said real and personal  
23 property to said purchasers.

24       **IT IS FURTHER ORDERED, ADJUDGED AND DECREED** by this court that  
25 a commission of \$9,780.00, being 5% of the amount of sale be and the  
26 same is hereby ordered paid by said administrator from the proceeds  
27 of sale to Arthur Doctor, a real estate broker duly licensed by the  
28 State of California, who procured the bid which was confirmed; that  
29 said administrator is further authorized and directed to pay from the  
30 proceeds of sale all liens and encumbrances upon said property so  
31 that said property can be conveyed and transferred to said purchasers  
32 according to the terms of said sale; that said administrator is

1635

HAROLD W. KENNEDY, COUNTY COUNSEL  
1100 HALL OF RECORDS  
LOS ANGELES, CALIFORNIA  
MADISON 8-9211

1 further authorized and directed to pay from the proceeds of said all  
2 sales taxes, if any, due and owing from said sale; that the said  
3 and personal property so sold in open court as a unit is  
4 as follows:

5 Lot 16 of Tract No. 3783, in the city of Los Angeles,  
6 county of Los Angeles, state of California, as per map  
7 recorded in book 41, page 44 of Maps, in the office of  
8 County Recorder of said county, improved, 5126 Marathon  
9 Street, Los Angeles, California.

10 TOGETHER WITH: Furniture and furnishings of decedent  
11 located in premises at above address.

12 DATED: July 22, 1960.

13 *BJS*

14 FRANK S. BALTHIS  
15 Judge of the Superior Court  
16 FRANK S. BALTHIS

17 THE DOCUMENT TO WHICH THIS CERTIFICATE IS AT-  
18 TACHED IS A FULL, TRUE AND CORRECT COPY OF THE  
19 ORIGINAL ON FILE AND OF RECORD IN MY OFFICE.  
20 SAME HAVING BEEN FILED *Jul 25 1960*  
21 ATTEST..... AUG 1 1960  
22 HAROLD J. OSTLY County Clerk and Clerk of the Superior  
23 Court of the State of California, in and  
24 for the County of Los Angeles.  
25 BY *[Signature]* DEPUTY

HAROLD W. KENNEDY, COUNTY COUNSEL  
1100 HALL OF RECORDS  
LOS ANGELES, CALIFORNIA  
MADISON B-9217

RECORDED  
INDEXED  
AUG 1 1960  
LOS ANGELES COUNTY CLERK  
OFFICE  
1100 HALL OF RECORDS  
LOS ANGELES, CALIFORNIA  
LTC BOX 211  
CALIFORNIA BANK  
OPEN ESCROWED MAIL

7-18-60

1635

21120

ADMINISTRATOR'S DEED

Baldo M. Krivorich  
~~XXXXXXXXXXXX~~, as administrator

of the estate

of Rosa Mambar

deceased,

in consideration of One hundred ninety four thousand Dollars (\$194,600.00) six hundred and 00/100 - - - - -

cash, receipt of which is hereby acknowledged, does hereby grant and convey to William Rabinovitz and Rose Rabinovitz, husband and wife, as joint tenants



all right, title, and interest of decedent at the time of her death, and all right, title, and interest that the estate may have subsequently acquired by operation of law, or otherwise, in and to the real property in the County of Los Angeles State of California, described as follows:

Lot 16 of tract 3783, in the city of Los Angeles, county of Los Angeles, State of California, as per map recorded in book 41, page 44 of Maps, in the office of the county recorder of said county.

Subject to 1960-61 taxes, conditions, restrictions, reservations, covenants, easements, rights and rights of way of record.



RECORDED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, CALIF. FOR TITLE INSURANCE & TRUST CO. SEP 13 1960 AT 8 A.M. RAY E. LEE, County Recorder

Reference is hereby made to the orders rendered by the Superior Court of the State of California, in and for the County of Los Angeles, the notices given, and the proceedings, had in the matter of the estate of Rosa Mambar deceased, probate number 424678, and particularly to the order confirming sale and directing conveyance of said real property, dated July 25, 1960, a certified copy of which order is filed concurrently herewith in the office of the recorder of the County of Los Angeles State of California, and reference is hereby made to said order and recordation thereof, and this deed is given pursuant to said proceedings and order.

In witness whereof, this instrument is executed this 29th day of July 1960.

*Baldo M. Krivorich*  
As administrator of the Estate of Deceased.

STATE OF CALIFORNIA, } ss.  
County of Los Angeles

On the 29th day of July, 1960, before me, DONALD H. NELSON, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared ~~Baldo M. Krivorich~~ as Administrator of the estate of Rosa Mambar, deceased, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that as Administrator of the estate of said deceased he executed the same.

WITNESS my hand and Official Seal.

*Donald H. Nelson*  
Notary Public in and for the County of Los Angeles, State of California.  
My Commission Expires Mar. 23, 1962

1636

1639

RECORDING REQUESTED BY

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
FOR TITLE INSURANCE & TRUST CO.

SEP 13 1960 AT 8 A.M.  
RAY E. LEE, County Recorder

WHEN RECORDED MAIL TO

William Rabinovitz  
9003 Wilshire Blvd.  
Beverly Hills, California  
Escrow 156-17829-G

SPACE ABOVE THIS LINE FOR RECORDER'S USE

AFFIX I.R.S. §. NONE IN THIS SPACE  
Consideration less than \$100.00

FEE  
\$2

### Grant Deed

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

WILLIAM RABINOVITZ and ROSE RABINOVITZ, his wife,

hereby GRANT(S) to

WILLIAM RABINOVITZ and ROSE RABINOVITZ, husband and wife, as tenants in common

the following described real property in the  
county of Los Angeles . state of California:

Lot 16 of Tract 3783, in the City of Los Angeles, as per map recorded  
in Book 41 page 44 of Maps, in the office of the county recorder of  
said county.

Dated: August 31, 1960

*William Rabinovitz*  
William Rabinovitz

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } SS.

On September 1, 1960, before me, the under-  
signed, a Notary Public in and for said County and State, personally  
appeared William Rabinovitz and  
Rose Rabinovitz

*Rose Rabinovitz*  
Rose Rabinovitz

\_\_\_\_\_, known to me  
to be the person whose names were subscribed to the within  
instrument and acknowledged that they executed the same.  
WITNESS my hand and official seal.

(Seal) *Roy C. Floberg*  
Roy C. Floberg  
Name (Typed or Printed)

Notary Public in and for said County and State

If executed by a Corporation, the Corporation Form of  
Acknowledgment must be used.

Title Order No. 5362884

Escrow No. 91085

1639

RECORDING REQUESTED BY

3761

AND WHEN RECORDED MAIL TO

RECORDED IN OFFICIAL RECORDS  
LOS ANGELES COUNTY, CALIF.  
FOR TITLE INSURANCE & TRUST CO.  
17 Min. Past 10 A.M. SEP 24 1963  
RAY E. LEE, County Recorder

FEE  
\$2  
C

Name: Mr. and Mrs. William Rabinovitz  
Street Address: 711 N. Sierra Drive  
City & State: Beverly Hills, California

SPACE ABOVE THIS LINE FOR RECORDER'S USE

none  
AFFIX I.R.S. \$.....IN THIS SPACE

# Grant Deed

TO 405 C

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
WILLIAM RABINOVITZ AND ROSE RABINOVITZ, husband and wife

hereby GRANT(S) to  
WILLIAM RABINOVITZ AND ROSE RABINOVITZ, husband and wife, as  
community property

the following described real property in the  
County of LOS ANGELES, State of California:

PARCEL 1: Lot Nineteen (19) of Block One Hundred Ten (110), Sheet No. 20,  
Map of Beverly Hills, recorded at Page 90, in Book 85 of Maps,  
in the office of the County Recorder of said county.

PARCEL 2: Lot 90 of Westminster Square, as per map recorded in book 9,  
page 49 of maps, in the office of the county recorder of said  
county;

EXCEPT the east 6 feet thereof condemned for public alley.  
Case No. 146195, Superior Court.

PARCEL 3: Lot 16 of Tract 3783, in the City of Los Angeles, as per map  
recorded in Book 41 page 44 of Maps, in the office of the  
county recorder of said county.

PARCEL 4: Lot 37, Tract 3783, as per map recorded in book 41, page 44,  
of Maps, in the office of the County Recorder of said County.

ALSO the east 2 inches of Lot 36 in said Tract 3783.

Dated: September 3, 1963

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } SS.  
On September 3, 1963 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
William Rabinovitz and  
Rose Rabinovitz

William Rabinovitz  
Rose Rabinovitz

\_\_\_\_\_, known to me  
to be the person S whose name S subscribed to the within  
instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

(Seal)  
Signature Ruth N. Ross  
RUTH N. ROSS

My Commission Expires 11/1/67  
Notary Public in and for said State

If executed by a Corporation the Corporation Form of  
Acknowledgment must be used.

Title Order No. 6123200-816

Escrow No. \_\_\_\_\_

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

MELVILLE H. NAHIN  
Attorney at Law  
5150 Wilshire Blvd., Suite 507  
Los Angeles, Calif. 90036

Name  
Street  
Address  
City &  
State

4186

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
45<sup>Min.</sup> Past 11 A.M APR 7 1964  
RAY E. LEE, County Recorder

FILE  
\$2  
B

SPACE ABOVE THIS LINE FOR RECORDER'S USE

AFFIX \$ None L. R. STAMPS IN THIS SPACE

TO 492 C 19.1

# Quitclaim Deed

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
WILLIAM RABINOVITZ, husband of Rose Rabinovitz

hereby REMISE, RELEASE AND FOREVER QUITCLAIM to  
ROSE RABINOVITZ, a married woman,

the following described real property in the  
State of California:

County of Los Angeles

- PARCEL 1: Lot Nineteen (19) of Block One Hundred Ten (110),  
Sheet No. 20, Map of Beverly Hills, recorded at  
Page 90, in Book 85 of Maps, in the office of  
the County Recorder of said county.
- PARCEL 2: Lot 90 of Westminster Square, as per map recorded in book 9,  
page 49 of maps, in the office of the county recorder of  
said county;  
EXCEPT the east 6 feet thereof condemned for public alley.  
Case No. 146195, Superior Court.
- PARCEL 3: Lot 16, Tract 3783, in the City of Los Angeles, county  
of Los Angeles, State of California, as per map recorded  
in book 41 page 44 of Maps, in the office of the county  
recorder of said county.
- PARCEL 4: Lot 37, Tract 3783, as per map recorded in book 41,  
page 44, of Maps, in the office of the County Recorder  
of said County.  
ALSO the east 2 inches of Lot 36 in said Tract 3783.

Dated March 10, 1964

STATE OF CALIFORNIA,  
COUNTY OF Los Angeles } ss.

On March 10, 1964 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
William Rabinovitz

William Rabinovitz

\_\_\_\_\_, known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.

(Seal)

Signature Marga Simons

MARGA SIMONS

Name (Typed or Printed)

Notary Public in and for said State

If executed by a Corporation the Corporation Form of  
Acknowledgment must be used.

Title Order No. \_\_\_\_\_

Escrow or Loan No. \_\_\_\_\_

RECORDING REQUESTED BY

3825

AND WHEN RECORDED MAIL TO

RECORDED  
OFFICIAL RECORDS  
LOS ANGELES COUNTY, CALIF.  
RAY E. LEE, RECORDER

FEB 23 3 52 PM 1968

Name  
Street  
Address  
City &  
State

Rose Rabinovitz  
711 North Sierra Drive  
Beverly Hills, California

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Mail tax statements to:  
William Rabinovitz  
Post Office Box 48352  
Briggs Station  
Los Angeles, Calif.  
90048

AFFIX \$ None I. R. STAMPS IN THIS SPACE

FEE  
\$2  
R

TO 402-1 C

### Quitclaim Deed

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Rose Rabinovitz,  
a married woman

hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to William Rabinovitz, husband of  
Rose Rabinovitz, as his sole and separate property

the following described real property in the  
state of California:

county of Los Angeles

Parcel 1: Lot 90 of Westminster Square, as per map recorded in book 9, page 49 of maps, in  
the office of the County Recorder of said county

EXCEPT the east 6 feet thereof condemned for public alley. Case No. 146195,  
Superior Court.

Parcel 2: Lot Nineteen (19) of Block One Hundred Ten (110), Sheet No. 20, Map of Beverly Hills,  
recorded at Page 90, in Book 85 of Maps, in the office of the County Recorder of said  
County.

Parcel 3: Lot 16 of Tract 3783, in the city of Los Angeles, as per map recorded in Book 41 page 44  
of Maps, in the office of the county recorder of said county.

Parcel 4: Lot 37 of Tract 3783, in the city of Los Angeles, as per map recorded in book 41, page 44,  
of Maps, in the office of the County Recorder of said County.  
Also the east 2 inches of Lot 36 in said Tract 3783.

Dated May 26, 1964  
STATE OF CALIFORNIA,  
COUNTY OF Los Angeles } ss.  
On May 26, 1964 before me, the under-  
signed, a Notary Public in and for said State, personally appeared

Rose Rabinovitz  
Rose Rabinovitz

Rose Rabinovitz, known to me  
to be the person whose name is subscribed to  
the within instrument and acknowledged that she  
executed the same.

WITNESS my hand and official seal.

(Seal)  
Signature Ruth N. Ross  
My commission expires January 23, 1967.

Name (Typed or Printed)  
Notary Public in and for said State  
If executed by a Corporation the Corporation Form  
of Acknowledgment must be used.

Title Order No. \_\_\_\_\_  
Escrow or Loan No. \_\_\_\_\_

MAIL TAX STATEMENTS AS DIRECTED ABOVE

FEB 23 1968

3825

RECORDING REQUESTED BY

2012

AND WHEN RECORDED MAIL TO

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.

Name  
Street  
Address  
City &  
State

William Rabinovitz  
Post Office Box 48352  
Briggs Station  
Los Angeles, California  
90048

11 Min. Past 10 A.M. FEB 26 1968

RAY E. LEE, County Recorder

FEE  
\$2  
A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO

Name  
Street  
Address  
City &  
State

William Rabinovitz  
Post Office Box 48352  
Briggs Station  
Los Angeles, California  
90048

AFFIX I.R.S. \$ None.....IN THIS SPACE

### Grant Deed

TO 405 C

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

William Rabinovitz

hereby GRANT(S) to

William Rabinovitz, Trustee,

the following described real property in the  
County of Los Angeles, State of California:

Parcel 1: Lot 90 of Westminster Square, as per map recorded in book 9, page 49 of maps, in the office of the County Recorder of said county; EXCEPT the east 6 feet thereof condemned for public alley. Case No. 146195, Superior Court.

Parcel 2: Lot Nineteen (19) of Block One Hundred Ten (110), Sheet No. 20, Map of Beverly Hills, recorded at Page 90, in Book 85 of Maps, in the office of the County Recorder of said County.

Parcel 3: Lot 16 of Tract 3783, in the City of Los Angeles, as per map recorded in Book 41, page 44 of Maps, in the office of the County Recorder of said county.

Parcel 4: Lot 37 of Tract 3783, in the City of Los Angeles, as per map recorded in book 41, page 44, of Maps, in the office of the County Recorder of said county. Also, the east 2 inches of Lot 36 in said Tract 3783.

Dated May 27, 1964

*William Rabinovitz*  
William Rabinovitz

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } ss.

On February 23, 1968, before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
William Rabinovitz

known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that he executed the same.  
WITNESS my hand and official seal.

Signature *Alvin Wechsler*  
Alvin Wechsler

Name (Typed or Printed)



(This area for official notarial seal)

Title Order No. \_\_\_\_\_ Escrow or Loan No. \_\_\_\_\_

MAIL TAX STATEMENTS AS DIRECTED ABOVE

FEB 26 1968

2012

RECORDING REQUESTED BY

3507

AND WHEN RECORDED MAIL TO

Name William Rabinovitz  
Street Address 711 North Sierra Drive  
City & State Beverly Hills, California

RECORDED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, CALIF.

40 Min. 2 P.M. OCT 25 1968  
Past

RAY E. LEE, County Recorder

SPACE ABOVE THIS LINE FOR RECORDER'S USE

FEE \$2 S

AFFIX I.R.S. 9...None...IN THIS SPACE

### Grant Deed

TO 405 C

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

William Rabinovitz

hereby GRANT(S) to

William Rabinovitz, Trustee, William Rabinovitz Trust

the following described real property in the County of Los Angeles, State of California:

Parcel 1: Lot 90 of Westminster Square, as per map recorded in book 9, page 49 of maps, in the office of the County Recorder of said county: EXCEPT the east 6 feet thereof condemned for public alley. Case No. 146195, Superior Court.

Parcel 2: Lot Nineteen (19) of Block One Hundred Ten (110), Sheet No. 20, Map of Beverly Hills, recorded at Page 90, in Book 85 of Maps, in the office of the County Recorder of said County.

Parcel 3: Lot 16 of Tract 3783, in the City of Los Angeles, as per map recorded in Book 41, page 44 of Maps, in the office of the County Recorder of said county.

Parcel 4: Lot 37 of Tract 3783, in the City of Los Angeles, as per map recorded in book 41, page 44, of Maps, in the office of the County Recorder of said county.  
Also, the east 2 inches of Lot 36 in said Tract 3783.

Dated May 27, 1964

*William Rabinovitz*  
William Rabinovitz

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } ss.

On May 27, 1964 before me, the undersigned, a Notary Public in and for said State, personally appeared William Rabinovitz

known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.

WITNESS my hand and official seal.

Signature *Ruth N. Ross*  
RUTH N. ROSS  
(Name Typed or Printed)

My commission expires January 23, 1967.

(This area for official notarial work)

Title Order No. Escrow or Loan No.

Mail Tax Statements to Return Address Above

1 OCT 25 68

3507

AUG 31 1973

6585

TITLE INSURANCE & TRUST CO.

AND WHEN RECORDED MAIL TO

Name Mr. William Rabinovitz  
Street Address 1054 Loma Vista Drive  
City & State Beverly Hills, Calif. 90210

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
47 Min. Past 4 P.M. AUG 31 1973  
Registrar-Recorder

FEE  
\$3  
G

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO

Name Same as above address  
Street Address  
City & State

DOCUMENTARY TRANSFER TAX \$0  
X Consideration less than \$100.00.

Greta Rabinovitz  
Greta Rabinovitz

D.T.T. \$

TO 402 CA (12-68)

### Quitclaim Deed

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, GRETA RABINOVITZ, wife of the Grantee herein

hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to WILLIAM RABINOVITZ, her husband as his sole and separate property

the following described real property in the City of Los Angeles county of Los Angeles state of California:

Lot 16 of Tract No. 3783, as per map recorded in Book 41, page 44 of Maps, in the office of the County Recorder of said County.

Dated August 9, 1973

Greta Rabinovitz  
Greta Rabinovitz

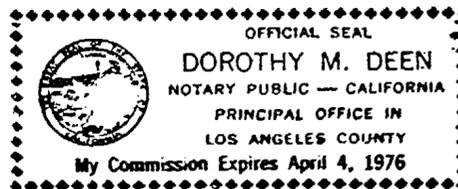
STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } ss.  
On August 15, 1973, before me, the undersigned, a Notary Public in and for said State, personally appeared Greta Rabinovitz

known to me to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same. WITNESS my hand and official seal.

Signature Dorothy M. Deen

Name (Typed or Printed)

If executed by a Corporation the Corporation Form of Acknowledgment must be used.



(This area for official notarial seal)

Title Order No. 0882215

Escrow or Loan No. 11649-B

MAIL TAX STATEMENTS AS DIRECTED ABOVE

AUG 31 1973

10 10 27 15 18 15

AUG 31 1973

ID BY

TITLE INSURANCE & TRUST CO.

AND WHEN RECORDED MAIL TO

Name 5128 Marathon Street Property  
Street Address 15250 Ventura Boulevard, Suite #804  
City & State Sherman Oaks, California 91403

6586

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
47 min. past 4 P.M. AUG 31 1973  
Registrar-Recorder

FEE  
\$3  
9

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO

Name  
Street Address Same as above address  
City & State

DOCUMENTARY TRANSFER TAX \$.....  
COMPUTED ON FULL VALUE OF PROPERTY CONVEYED,  
OR COMPUTED ON FULL VALUE LESS LIENS AND  
ENCUMBRANCES REMAINING AT TIME OF SALE.  
Signature of Declarant or Agent determining tax. Firm Name

DOCUMENTARY TAX  
FILED

### Grant Deed

TO 405.1 CA (1-70)

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, WILLIAM RABINOVITZ,  
Trustee

hereby GRANT(S) to 5128 MARATHON STREET PROPERTY, a Limited Partnership

the following described real property in the City of Los Angeles  
County of Los Angeles, State of California:

Lot 16 of Tract No. 3783, as per map recorded in Book 41, page 44 of Maps, in the  
office of the County Recorder of said County.

Dated July 31, 1973

*William Rabinovitz*  
William Rabinovitz

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } SS.

On August 15, 1973, before me, the under-  
signed, a Notary Public in and for said State, personally appeared

WILLIAM RABINOVITZ,

known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that he executed the same.  
WITNESS my hand and official seal.

Signature *Dorothy M. Deen*  
Dorothy M. Deen  
Name (Typed or Printed)

OFFICIAL SEAL  
DOROTHY M. DEEN  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
LOS ANGELES COUNTY  
My Commission Expires April 4, 1976

(This area for official notarial seal)

Title Order No. 0892215

Escrow or Loan No. 11649-B

MAIL TAX STATEMENTS AS DIRECTED ABOVE

AUG 31 1973

AUG 31 1973

RECORDING REQUESTED BY

Stewart-Walt Co. of Title Co.

186961/JW

AND WHEN RECORDED MAIL TO

77- 636630

Name BERENDO-MARATHON PROPERTY  
Street Address C/O PWT PROPERTIES, LTD.,  
10801 NATIONAL BLVD. SUITE 601  
City & State LOS ANGELES, CALIFORNIA 90064

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CA  
JUN 16 1977 AT 8 A.M.  
Recorder's Office

MAIL TAX STATEMENTS TO

Name  
Street Address SAME AS ABOVE  
City & State

FEE  
\$4  
2N

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Partnership Grant Deed

TO 1925 CA (B-74)

THIS FORM FURNISHED BY TICOR TITLE INSURERS

A P N

The undersigned grantor(s) declare(s):

Documentary transfer tax is . . . 167.75 . . .

44

( ) computed on full value of property conveyed, or

(XX) computed on full value less value of liens and encumbrances remaining at time of sale.

( ) Unincorporated area: (XX) City of . . . Los Angeles . . . and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged.

5128 MARATHON STREET PROPERTY,

a LIMITED partnership organized under the laws of the State of  
hereby GRANTS to

BERENDO-MARATHON PROPERTY, A LIMITED PARTNERSHIP

the following described real property in the City of Los Angeles  
County of LOS ANGELES, State of California:

LOT 16 OF TRACT No. 3783, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 41, PAGE 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Dated: MAY 31, 1977

5128 MARATHON STREET PROPERTY

STATE OF CALIFORNIA

COUNTY OF

} ss.

By [Signature] Partner  
By [Signature] Partner

On . . . before me, the undersigned, a Notary Public in and for said State, personally appeared

known to me to be . . . of the partners of the partnership that executed the within instrument, and acknowledged to me that such partnership executed the same.  
WITNESS my hand and official seal.

Signature

Name (Typed or Printed)

(This area for official notarial seal)

Title Order No.

Escrow or Loan No.

MAIL TAX STATEMENTS AS DIRECTED ABOVE

(Partnership)

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES

SS 77-636630

TITLE INSURANCE  
AND TRUST  
A TRIST COMPANY 2.

On JUNE 1, 1977

before me, the undersigned, a Notary Public in and for said State, personally appeared  
ASHTON B. SEVERSON AND SAM F. ZERKE, JR.

STAPLE HERE

Known to me  
to be TWO of the partners of the partnership  
that executed the within instrument, and acknowledged to me  
that such partnership executed the same.

WITNESS my hand and official seal.

Signature *[Handwritten Signature]*



(This area for official notarial use)

RECORDING REQUESTED BY

COMMONWEALTH LAND  
TITLE COMPANY

82-1134943

362

AND WHEN RECORDED MAIL TO

Name: Dr. Carl I. Blau  
Street Address: c/o Robert Trimas & Associates  
16311 Ventura Blvd, Suite 920  
City & State: Encino, California 91436

RECORDED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
31 MIN. 3 P.M. NOV 10 1982  
PAST.

MAIL TAX STATEMENTS TO

Name:  
Street Address: same as above  
City & State:

FEE  
\$5  
2 M

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Partnership Grant Deed

TO 1925 CA (12-78)

THIS FORM FURNISHED BY TICOR TITLE INSURERS

A. P. N.

The undersigned grantor(s) declare(s):  
Documentary transfer tax is \$357.50 44  
( ) computed on full value of property conveyed, or  
( X ) computed on full value less value of liens and encumbrances remaining at time of sale.  
( ) Unincorporated area: ( X ) City of Los Angeles, and

5535-17-14

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Berendo-Marathon Property,  
a limited partnership organized under the laws of the State of California  
hereby GRANTS to

Carl I. Blau, a Single Man

the following described real property in the City of Los Angeles  
County of Los Angeles, State of California:

Lot 16 of Tract No. 3783, as per map recorded in Book 41, Page 44 of Maps,  
in the office of the County Recorder of said County.

Dated: October 22, 1982

Berendo-Marathon Property,  
a Limited Partnership  
By PNT Properties, LTD., a Limited  
Partnership General Partner  
By Philip W. Twente, General Partner

STATE OF CALIFORNIA }  
COUNTY OF \_\_\_\_\_ } SS.

On \_\_\_\_\_ before me, the under-  
signed, a Notary Public in and for said State, personally appeared

known to me to be \_\_\_\_\_ of the partners of the  
partnership that executed the within instrument, and acknowledged  
to me that such partnership executed the same.  
WITNESS my hand and official seal.

Signature \_\_\_\_\_

Name (Typed or Printed)

(This area for official notarial seal)

Title Order No. 820-5437

Escrow or Loan No. 11928/CF

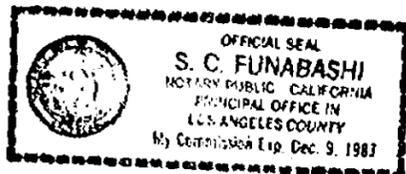
MAIL TAX STATEMENTS AS DIRECTED ABOVE

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) ss.

82- 1134943

On November 5, 1982, before me, the undersigned, a Notary Public in and for said State, personally appeared PHILIP W. TWENTE, known to me to be a general partner of PWT Properties, Ltd., a partnership, said partnership being known to me to be one of the partners of Berendo-Marathon Property, the partnership that executed the within instrument and acknowledged to me that he executed the same as a partner of the partnership first above named, that said partnership executed the same as a partner of Berendo-Marathon Property, and that said last named partnership executed the same.

WITNESS my hand and official seal.



A handwritten signature in cursive script, appearing to read "S. C. Funabashi", is written over a horizontal line.

84 1513119

RECORDING REQUESTED BY

COMMONWEALTH LAND  
AND RECORDED MAIL TAX DEED AND UNLESS  
OTHERWISE SHOWN RE: OWN MAIL TAX STATEMENTS TO

Name: KERRIGAN LYNCH OF CALIFORNIA  
Street Address: 400 S. Main Street Suite 100  
City: Los Angeles, Ca. 90013

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CA  
DEC 28 1984 AT 8 A.M.  
Recorder's Office

FEE  
\$4  
V

Title Order No. 2410971-4 Escrow No. 600-50646

THIS SPACE FOR RECORDER'S USE

Parcel No. 5535-17-14

GRANT DEED

44

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$ 210.65

Computed on full value of property conveyed, or

Computed on full value less value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

CARL I. BLAU, a single man

hereby GRANT(S) to KERRIGAN LYNCH OF CALIFORNIA, INC., a California Corporation

the following described real property in the City of Los Angeles  
County of Los Angeles State of California:

Lot 16 of Tract 3783, as per map recorded in Book 41, page 44 of maps, in the office of the County Recorder of said County.

5535-17-14

Dated October 9, 1984

*Carl I. Blau*  
Carl I. Blau

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES

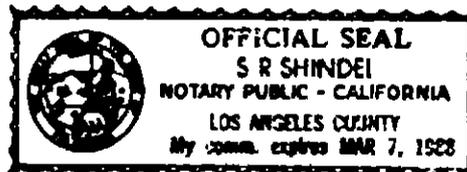
On 16 OCTOBER 1984

before me, the undersigned, a Notary Public in and for said State, personally appeared  
CARL I. BLAU

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same

WITNESS my hand and official seal

Signature: *S R Shindei*



(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE, IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name Street Address City & State

FATCOLA 72

8410971-4

RECORDING REQUESTED BY

85- 991150

AND WHEN RECORDED MAIL TO

Name: KLC Neutra 79  
Street Address: 400 South Main Street, #100  
City & State: Los Angeles, CA 90013

MAIL TAX STATEMENTS TO

Name: KLC Neutra 79  
Street Address: 400 South Main Street, #100  
City & State: Los Angeles, CA 90013

RECORDED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
4 MIN. 8 A.M. AUG 27 1985  
PAST.

FEE  
\$5  
S

SPACE ABOVE THIS LINE FOR RECORDER'S USE

### Corporation Quitclaim Deed

CAT. NO. NN00576  
TO 1920 CA (1-83)

THIS FORM FURNISHED BY TICOR TITLE INSURERS

ALL  
PTN.

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ \*None

( ) computed on full value of property conveyed, or

( ) computed on full value less value of liens and encumbrances remaining at time of sale.

( ) Unincorporated area: ( x ) City of Los Angeles, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
**Kerrigan Lynch of California, Inc.**

a corporation organized under the laws of the State of **California**

hereby REMISES, RELEASES AND QUITCLAIMS to **KLC Neutra 79, a California Limited Partnership**

the following described real property in the **Los Angeles** County of **Los Angeles**, State of California:

**Lot 16 of Tract No. 3783, as per map recorded in Book 41, Page 44 of maps in the office of the County Recorder of said county.**

\*"This deed is from an agent to his principal, the purchase was made with the funds of the principal and is exempt pursuant to Ordinance 9443."

"This is a bonafide gift and the grantor received nothing in return, R&T 11911."

In Witness Whereof, said corporation has caused its corporation name and seal to be affixed hereto and this instrument to be executed by its \_\_\_\_\_ President and \_\_\_\_\_ Secretary thereunto duly authorized.

Dated: December 28, 1984

Kerrigan Lynch of California, Inc.

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } SS.

By Philip C. Lynch President

On December 28, 1984 before me, the undersigned, a Notary Public in and for said State, personally appeared Philip C. Lynch

By \_\_\_\_\_ Secretary

personally known to me or proved to me on the basis of satisfactory evidence to be the person who executed the within instrument as the Corporate President, and \_\_\_\_\_

personally known to be or proved to me on the basis of satisfactory evidence to be the person who executed the within instrument as the \_\_\_\_\_ Secretary of the Corporation that executed the within instrument and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors. WITNESS my hand and official seal.



Signature Lori Mae Lerman

(This area for official notarial seal)

Title Order No. \_\_\_\_\_ Escrow or Loan No. \_\_\_\_\_

MAIL TAX STATEMENTS AS DIRECTED ABOVE

AMERICAN TITLE CO.

SEE WHEN RECORDED FOR THE DEED AND OTHER INSTRUMENTS WHICH REQUIRE MAIL TAX STATEMENTS TO

86-410646

Name Nisim Asulin  
Street Address 1285 South La Brea Suite 202  
City & State Los Angeles, California

RECORDED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
31 MIN. 2 P.M. APR 2 1986  
PAST.

MAIL TAX STATEMENTS TO  
Name Same as above  
Street Address Same as above  
City & State Same as above

MAIL TAX STATEMENTS TO  
TITLE NUMBER 0-3366-02 TRACT M 3195

FEE \$27 N  
A.E.H.E. 2

SPACE ABOVE THIS LINE FOR DOCUMENT 2

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) <sup>44</sup>  
DOCUMENTARY TRANSFER TAX is \$ 516.75  
 computed on full value of property conveyed, or  
 computed on full value less value of liens or encumbrances remaining at time of sale.  
 unincorporated area  city of Los Angeles, AND

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
KLC NEUTRA 79, a California Limited Partnership

hereby GRANT(s) to  
NISIM ASULIN, a married man, as his Separate property

the following described real property in the City of Los Angeles  
County of Los Angeles, State of California:

Lot 16 of Tract No: 3783 in the City of Los Angeles, County of  
of Los Angeles, State of California, as per map recorded in Book  
41 page 44 of Maps in the Office of the county recorder of said  
county.

5535-017-014

Dated March 17th, 1986 KLC NEUTRA 79, a California Limited Partnership

STATE OF CALIFORNIA }  
COUNTY OF } SS  
On this day of in the year  
before me, the undersigned, a Notary Public in and for said State, personally  
appeared  
 personally known to me  
 proved to me on the basis of satisfactory evidence  
to be the person whose name is subscribed to this instrument, and acknowl-  
edged to me that he (she or they) executed it.

PHILIP LYNCH

Signature: NOTARY PUBLIC IN AND FOR SAID STATE (THIS LINE FOR OFFICE OF NOTARY PUBLIC)

MAIL TAX STATEMENTS AS DIRECTED ABOVE.

PARTNERSHIP

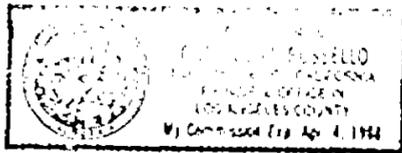
STATE OF California }  
COUNTY OF Los Angeles } ss

On this 17th day of March in the year 1986  
before me, the undersigned, a Notary Public in and for said State, personally  
appeared Philip Lynch

Especially known to me  
[ ] known to me on the basis of satisfactory evidence  
to be the person that executed this instrument, on behalf of the partnership  
and acknowledged to me that said partnership executed it.

Signature *Charles W. Russello*  
NOTARY PUBLIC IN AND FOR SAID STATE  
Charles W. Russello

86- 410646 2



(This area for official seal)

RECORDED DOCUMENT



ACCOMMODATION

AND WHEN RECORDED MAIL THIS DEED / NO. UNLESS OTHER INFO SHOWN BELOW. MAIL TAX STATEMENTS TO:

90 2134309

ACCOMMODATION

NAME Kest Investments  
ADDRESS C/O Ben Freeman  
CITY & STATE 828 N. Spaulding Ave  
ZIP Los Angeles, CA 90046  
Title Order No. Escrow No.

RECORDED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
1 MIN. 2 P.M. DEC 28 1990

FEE \$5 G

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED 44

The undersigned declares that the documentary transfer tax is \$ 11.00 and is  
 computed on the full value of the interest or property conveyed, or is  
 computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land, tenements or realty is located in  
 unincorporated area  city of Los Angeles and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
Nisim Asulin, a married man, as his separate property  
hereby GRANT(S) to

Kest Investments, a California Partnership  
the following described real property in the  
county of Los Angeles, state of California:

Lot 16, of Tract No. 3783, as per map recorded in Book 41 Page 44 of Maps, in the office of the County Recorder of said County.

Property located at 5128 Marathon Street (RE:#517)

Dated September 26, 1990

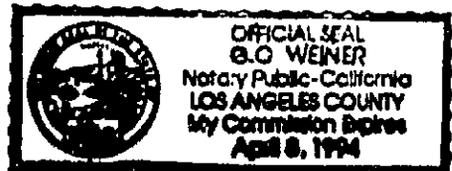
Nisim Asulin [Signature]

STATE OF CALIFORNIA }  
COUNTY OF Los Angeles } ss.

On SEPT 26, 1990 before me, the undersigned, a Notary Public in and for said State, personally appeared Nisim Asulin

\_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.  
WITNESS my hand and official seal.

Signature [Signature]



(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name Street Address City & State

CAL-1 (Rev. 3-78)

ACCOMMODATION

90 2134310

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL THIS DEED, AND UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

NAME BEN FREEMAN
STREET BETTY FREEMAN
CITY 828 North Spaulding Ave
ST/ZIP Los Angeles, Calif 90046

Title Order No.
Escrow No. 00

RECORDED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA

1 MIN. 2 P.M. DEC 28 1990
PAST.

FEE \$25

A.F.N.F. 94

SPACE ABOVE THIS LINE FOR RECORDER'S USE

QUITCLAIM DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$ 11.00

computed on full value of property conveyed, or

computed on full value less value of liens or encumbrances remaining at time of sale, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

KEST INVESTMENTS, A CALIFORNIA PARTNERSHIP

hereby remise, release and forever quitclaim to

BEN FREEMAN AND BETTY FREEMAN, HUSBAND AND WIFE AS JOINT TENANTS

the following described real property in the City of Los Angeles, County of Los Angeles, State of California, described as

LOT 16 OF TRACT NO. 3783, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 41 PAGE 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

5535-017-014

KEST INVESTMENTS, A CALIFORNIA PARTNERSHIP

BY: Michael Kest

BY: Ben Freeman

Dated: December 4, 1990

STATE OF CALIFORNIA
COUNTY OF Los Angeles

On December 4, 1990 before me, the undersigned, a Notary Public in and for said County and State, personally appeared

PARTNERSHIP

STATE OF California

COUNTY OF Los Angeles

On this 7th day of December, 1990 before me, the undersigned, a Notary Public in and for said State, personally appeared Michael Kest and Ben Freeman

personally known to me

proved to me on the basis of satisfactory evidence

to be the person that executed this instrument, on behalf of the partnership and acknowledged to me that the partnership executed it

Signature

Charles W. Rusello
NOTARY PUBLIC IN AND FOR SAID STATE



OFFICIAL SEAL
CHARLES W. RUSSELLO
NOTARY PUBLIC CALIFORNIA
PRINCIPAL OFFICE IN
LOS ANGELES COUNTY
My Commission Expires May 22, 1992



OFFICIAL SEAL
CHARLES W. RUSSELLO
NOTARY PUBLIC CALIFORNIA
PRINCIPAL OFFICE IN
LOS ANGELES COUNTY
My Commission Expires May 22, 1992

90-2134310

(This area for official seal)

Notary seal)

RECORDING REQUESTED BY  
**GATEWAY TITLE COMPANY**

**93-1297217**

RECORDED/FILED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
1 MIN. 9 A.M. JUL 7 1993  
PAST

AND WHEN RECORDED MAIL TO  
FIDELITY FEDERAL BANK  
P.O. Box 1631  
Glendale, California 91209-1630

Att: REO Dept. REO# 714

FEE \$8 V  
2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

The undersigned declares under penalty of perjury that the following declaration is true and correct:  
1) The grantee herein (was) ~~beneficiary~~ the foreclosing beneficiary  
2) The amount of the unpaid debt together with costs was ..... \$ 1,205,981.23  
3) The amount paid by the grantee at the trustee's sale was ..... \$ 630,000.00  
4) The documentary transfer tax is ..... \$ none  
5) Said property is in ( ) unincorporated area; (x) City of Los Angeles, California  
county of Los Angeles  
Date July 1, 1993

GATEWAY MORTGAGE CORPORATION

By Barbara M. Breeden  
Barbara M. Breeden, Asst. Sec.

**TRUSTEE'S DEED UPON SALE**

Loan No.: 21-02-2025013  
TDF No. 6313

This Indenture is made with reference to the DEED of Trust hereinafter described and is made between

GATEWAY MORTGAGE CORPORATION, a California Corporation, as Trustee, or Successor Trustee, or Substituted Trustee and the Grantee hereinafter named.

TRUSTOR: BEN FREEMAN and BETTY FREEMAN

BENEFICIARY: FIDELITY FEDERAL BANK, a Federal Savings Bank

Recorded December 28, 1990 as Instr. No. 90 2134311 In book  
page of Official Records in the office of the Recorder of Los Angeles County,  
said deed of trust describes the following property:

Lot 16 of Tract No. 3783, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 41, Page 44 of maps, in the Office of the County Recorder of said County.

APN 5535-017-014

This instrument filed for record by Gateway Title Company as an accommodation only. It has not been examined as to its execution or as to its effect upon the title.

Whereas, the above named trustor did, by the trust deed referred to above, grant and convey to the trustee named therein, the property heretofore described to secure, among other obligations, payment of a note or notes with interest according to the terms thereof; and Whereas, the holder of said note did execute and deliver to trustee written declaration of default and demand for sale and notice of default and election to cause the undersigned to sell said property which notice was

Recorded February 23, 1993 as Instr. No. 93-339401 In book  
page of said Official Records

Thereafter, a notice of trustee's sale, stating that said trustee would sell the above described property at public auction to the highest bidder for cash on July 1, 1993 at 11:15 A.M. at the exit to the Pasadena Municipal Court, 200 N. Garfield Avenue, Pasadena, California.

MAIL TAX STATEMENT TO THE ADDRESS SHOWN ABOVE

93-1297217

2

said notice was posted for not less than twenty days before the date of sale therein fixed, as follows; in one public place in the said city of Pasadena, California

wherein said property was to be sold, to wit: on a bulletin board South entrance, County Courts Building, Pasadena, Ca.

and also in a conspicuous place on said property to be sold; and said Trustee did cause a copy of said Notice to be published once a week for twenty days before the date of sale therein fixed in Metropolitan News-Enterprise

a newspaper of general circulation printed and published in the city or district in which said real property is situated, the first date of such publication being June 10, 1993 ; and

Said notice was also recorded at least 14 days prior to the sale in the office of the county recorder of the county in which the property heretofore described is located.

Whereas, copies of said recorded Notice of Default and of said Notice for Sale were mailed, served or published in accordance with Section 2924b of the Civil Code to or upon all those who were entitled in compliance with all requirements of law; and

Whereas, all applicable statutory provisions to the state of California and all of the provisions of said Deed of Trust have been complied with as to acts to be performed and notices to be given; and

Whereas Trustee did at the time and place of sale fixed as aforesaid, then and there sell, at public auction, to said Grantee, being the highest bidder therefore, the property hereinafter described, for the sum of \$ 630,000.00 Pro Tanto of the indebtedness then secured by said Deed of Trust.

Now, therefore, Trustee in consideration of the premises recited and of the sum above mentioned bid and paid by Grantee, the receipt whereof is hereby acknowledged, and by virtue of the authority vested in it by said Deed of Trust, does, by these presents GRANT AND CONVEY without any covenant or warranty, express or implied all that certain property herein before described, to

FIDELITY FEDERAL BANK, a Federal Savings Bank

In Witness Whereof, the undersigned caused its corporate name and seal to be hereunto affixed

GATEWAY MORTGAGE CORPORATION

Dated July 1, 1993

By Richard Ekstrand, Senior Vice-President  
Barbara M. Breeden, Ass't Secretary

STATE OF CALIFORNIA )  
COUNTY OF Los Angeles )

On July 1, 1993, before me, Diane L. Sox, Notary Public

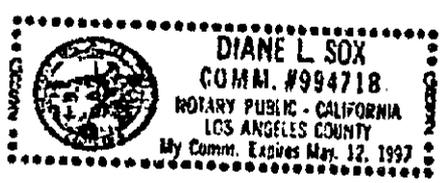
personally appeared Richard Ekstrand and Barbara M. Breeden

personally known to me (or known to me on the basis of reliable information) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

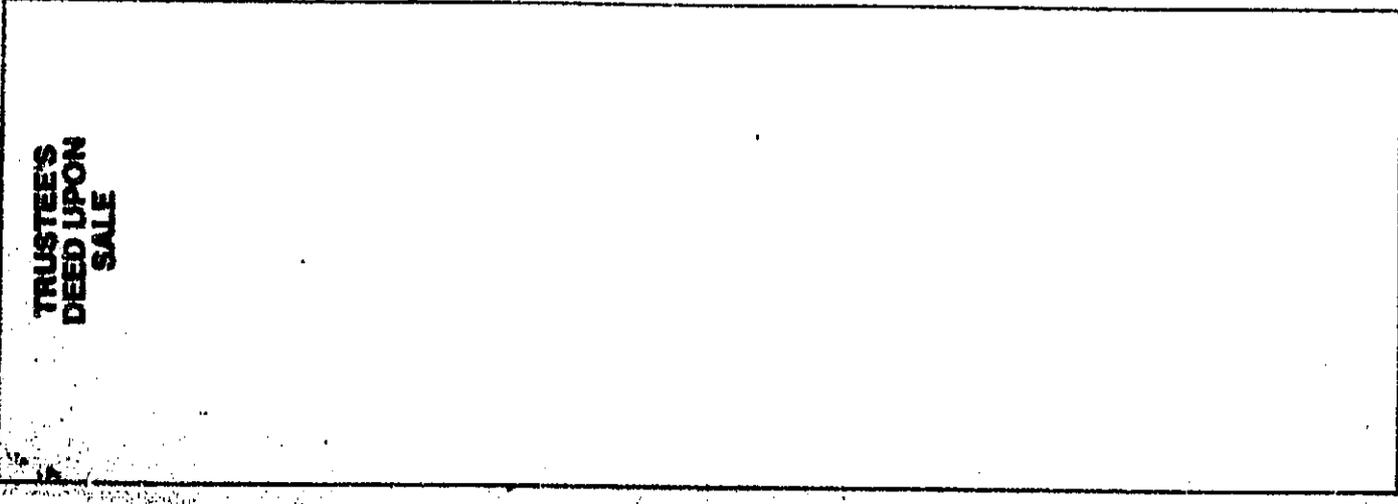
WITNESS my hand and official seal.

Signature Diane L. Sox

(seal)



(This area for official notarial seal)



RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

NAME  
STREET ADDRESS  
CITY & STATE  
**TIMOTHY & GRACIELA HOPKINS**  
**419 Main Street #107**  
**Huntington Beach, CA 92648**

NAME  
STREET ADDRESS  
CITY & STATE  
**Timothy & Graciela Hopkins**  
**419 Main Street #107**  
**Huntington Beach, CA 92648**

93 2429737

RECORDED/FILED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA  
31 MIN. 1 P.M. DEC 13 1993  
PAST

FEE \$8 E  
2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

APN: 5535-017-014

Grant Deed

Escrow #9316912 Order #3990166RS

The undersigned grantor(s) declare(s): <sup>\$709.50 - (80)</sup>  
Documentary transfer tax is \$ <sup>\$2,902.50 - (40)</sup>

- (  ) computed on full value of property conveyed, or
- (  ) computed on full value of liens and encumbrances remaining at time of sale.
- (  ) Unincorporated area: (  ) City of Los Angeles, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

**\*\*FIDELITY FEDERAL BANK, A FEDERAL SAVINGS BANK\*\***

hereby GRANTS(S) to **\*\*\* TIMOTHY P. HOPKINS AND GRACIELA T. HOPKINS, HUSBAND AND WIFE AS COMMUNITY PROPERTY \*\*\***

the following described real property in the City of Los Angeles  
County of Los Angeles, State of California:

Lot 16 of Tract No. 3783, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 41, page 44 of maps, in the office of the County Recorder of Said County

Dated November 22, 1993

FIDELITY FEDERAL BANK, A FEDERAL SAVINGS BANK

BY: William Strocco  
WILLIAM STROCCO, VICE PRESIDENT

BY: F.N. Bailard  
F.N. BAILARD, SENIOR VICE PRESIDENT

State of CALIFORNIA  
County of \_\_\_\_\_  
On \_\_\_\_\_ before me, \_\_\_\_\_  
DATE NAME, TITLE OF OFFICER - E.G. "JANE DOE, NOTARY PUBLIC"  
personally appeared \_\_\_\_\_  
NAME(S) OF BROWER(S)

personally known to me OR -  proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal.

SIGNATURE OF NOTARY

CAPACITY CLAIMED BY SIGNER

- INDIVIDUAL
- CORPORATE OFFICER(S) \_\_\_\_\_ TITLE(S)
- PARTNER(S)  LIMITED  GENERAL
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN/CONSERVATOR
- OTHER: \_\_\_\_\_

SIGNER IS REPRESENTING:  
NAME OF PERSON(S) OR ENTITY(IES)

Title Order No. \_\_\_\_\_ Escrow or Loan No. \_\_\_\_\_

FORM 8C-147

MAIL TAX STATEMENTS AS DIRECTED ABOVE

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

2

No. 6189

State of California

County of Los Angeles

**93 2429737**

On 11-30-93 before me,

E.G. Smith  
NAME, TITLE OF OFFICER - E.G., "JANE DOE, NOTARY PUBLIC"

personally appeared William Strocco and Ted Baird  
NAME(S) OF SIGNER(S)

personally known to me - OR -  proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

E.G. Smith  
SIGNATURE OF NOTARY

**OPTIONAL SECTION**

**CAPACITY CLAIMED BY SIGNER**

Though statute does not require the Notary to fill in the data below, doing so may prove invaluable to persons relying on the document.

- INDIVIDUAL
- CORPORATE OFFICER(S)
- TITLE(S)
  - PARTNER(S)  LIMITED
  - GENERAL
  - ATTORNEY-IN-FACT
  - TRUSTEE(S)
  - GUARDIAN/CONSERVATOR
  - OTHER: \_\_\_\_\_

**SIGNER IS REPRESENTING:**

NAME OF PERSON(S) OR ENTITY(IES)

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED AT RIGHT:

Though the date requested here is not required by law, it could prevent fraudulent reattachment of this form.

OPTIONAL SECTION  
TITLE OR TYPE OF DOCUMENT \_\_\_\_\_

NUMBER OF PAGES \_\_\_\_\_ DATE OF DOCUMENT \_\_\_\_\_

SIGNER(S) OTHER THAN NAMED ABOVE \_\_\_\_\_

This page is part of your document - DO NOT DISCARD



20121780584



Pages:  
0005

Recorded/Filed in Official Records  
Recorder's Office, Los Angeles County,  
California

11/21/12 AT 08:00AM

FEEES :	28.00
TAXES :	NFPR
OTHER :	0.00
PAID :	NFPR



LEADSHEET



201211210180020

00006803744



004446828

SEQ:  
01

DAR - Title Company (Hard Copy)



THIS FORM IS NOT TO BE DUPLICATED

t21

E46443

2



RECORDING REQUESTED BY:  
WHEN RECORDED MAIL TO:  
Omninet Capital, LLC  
9420 Wilshire Boulevard, 4th Floor  
Beverly Hills, California 90212  
Attn: Michael Daniel

Space above this line for Recorder's Use

MAIL TAX STATEMENTS TO:  
Omninet Capital, LLC  
9420 Wilshire Boulevard, 4th Floor  
Beverly Hills, California 90212  
Attn: Michael Daniel

DOCUMENTARY TRANSFER TAX \$Not a public record  
.... Computed on the consideration or value of property conveyed; OR  
.... Computed on the consideration or value less liens or encumbrances remaining at time of sale.

UNDERSIGNED  
Signature of Declarant or Agent determining tax – Firm Name

Order No. \_\_\_\_\_  
Escrow No. 2429001336-JH

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, TIMOTHY P. HOPKINS AND GRACIELA T. HOPKINS, husband and wife as community property, hereby grant to OMNINET JARDINETTE, LP, a Delaware limited partnership, the real property in the City of Los Angeles, County of Los Angeles, State of California, described on Exhibit "A" attached hereto and incorporated herein by reference (the "Property").

The Property conveyed hereby is subject to (i) non-delinquent general and special real property taxes; (ii) matters of record; and (iii) all matters that would be disclosed or apparent by a survey and/or inspection of the Property.

Dated: 11-16-12

TIMOTHY P. HOPKINS AND GRACIELA T. HOPKINS, husband and wife as community property

[Signature]  
TIMOTHY HOPKINS

[Signature]  
GRACIELA HOPKINS

2565/016777-0007  
4669072

Mail Tax Statements to Return Address Above

State of California )  
County of Los Angeles )

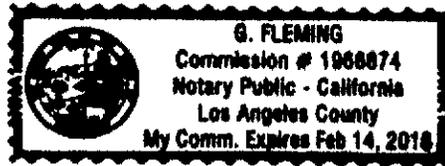
On Nov 16<sup>th</sup>, 2012, before me, G. Fleming, Notary Public,  
(here insert name and title of the officer)

personally appeared Timothy Hopkins and Graciela Hopkins,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument, and acknowledged to me that he/she/they executed the same  
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the  
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *G. Fleming*



(seal)

State of California )  
County of \_\_\_\_\_ )

On \_\_\_\_\_, before me, \_\_\_\_\_, Notary Public,  
(here insert name and title of the officer)

personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument, and acknowledged to me that he/she/they executed the same  
in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the  
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

(seal)

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EXHIBIT "A"

LEGAL DESCRIPTION OF REAL PROPERTY

THAT CERTAIN REAL PROPERTY SITUATED IN THE STATE OF CALIFORNIA,  
COUNTY OF LOS ANGELES, AND DESCRIBED AS FOLLOWS:

LOT 16 OF TRACT NO. 3783, IN THE CITY OF LOS ANGELES, COUNTY OF LOS  
ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 41, PAGE 44  
OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5535-017-014

2565/016777-0007  
4669072

**ILLEGIBLE NOTARY SEAL DECLARATION**

**GOVERNMENT CODE 27361.7**

I certify under penalty of perjury that the notary seal on the document to which this statement is attached reads as follows:

Name of Notary G. FLEMING

Date Commission Expires FEB 14, 2016

Notary Identification Number 1966874

(For Notaries commissioned after 1-1-1992)

Manufacturer/Vendor Identification Number NNA1

(For Notaries commissioned after 1-1-1992)

Place of Execution of this Declaration BREA

Date 11/20/12



Abraham Resendis / DPS - Agent