



DEPARTMENT OF CITY PLANNING

APPEAL REPORT

City Planning Commission

Date: October 24, 2019
Time: After 8:30 a.m.*
Place: Van Nuys, Council Chamber, 2nd Floor
14410 Sylvan St.
Van Nuys, CA 91401

Public Hearing: Required
Appeal Status: Not further appealable to City Council
Expiration Date: October 31, 2019

Case No.: DIR-2019-399-TOC-SPP-1A
CEQA No.: ENV-2019-400-CE
Council No.: 13 – O’Farrell
Plan Area: Wilshire
Specific Plan: Vermont/Western Station
Neighborhood Area Plan
(SNAP) Specific Plan –
Subarea A
(Neighborhood
Conservation)
Certified NC: Wilshire Center-Koreatown
GPLU: Medium Residential
Zone: R3-1
Applicant: Vlad Gold
Gold Capital Group, LLC

Representative: Aaron Brumer
Aaron Brumer & Associates

Appellants: Chang Jin Kim
KH Properties

**Appellants’
Representative:** Toshiro Ohinata
WS Realtors Inc

**PROJECT
LOCATION:** 146 North Berendo Street

**PROPOSED
PROJECT:** Demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan;

REQUEST: **Appeal** of the Director of Planning’s determination conditionally approving a Transit Oriented Communities (TOC) Affordable Housing Incentive Program and Project Permit Compliance Review for the project, pursuant to Section 12.22 A.31 and Section 11.5.7 C of the Los Angeles Municipal Code (LAMC) and the Vermont/Western Station Neighborhood Area (SNAP) Specific Plan Ordinance No. 184,888; and of the Categorical Exemption, ENV-2019-400-CE, as the environmental clearance for the project.

RECOMMENDATION:

1. **Deny** the appeal of DIR-2019-399-TOC-SPP.
2. **Sustain** the action of the Director of Planning in approving DIR-2019-399-TOC-SPP.
3. **Adopt** the Findings of the Director of Planning.

4. **Determine** that, based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (In-Fill Development Project) Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

VINCENT P. BERTONI, AICP
Director of Planning



Christina Toy Lee, Senior City Planner



Tina Vacharkulksemuk, City Planner



Jason Hernández, City Planning Associate

ADVICE TO PUBLIC: * The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300)*. While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission's Office a week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to the agency at or prior to the public hearing. As a covered entity under Title II of the American Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than seven working days prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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- D. "Exhibit A" Project Plans DIR-2019-399-TOC-SPP
- E. Notice of Exemption (ENV-2019-400-CE)

APPEAL REPORT

On July 1, 2019, the Director of Planning approved a 70 percent increase in density, 45 percent increase in Floor Area Ratio (FAR), and 0.5 parking spaces per bedroom consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program for a qualifying Tier 2 project totaling 15 dwelling units, reserving two (2) units for Very Low Income Household occupancy for a period of 55 years, with the following one (1) Additional Incentive to allow a 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum transitional building height in lieu of the maximum 44 feet, 7 ¼ inches otherwise permitted in Subarea A and a 9-foot, ¾-inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 45 feet otherwise permitted per the underlying zone; and a Project Permit Compliance Review for the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

The Director of Planning determined that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (In-Fill Development Project) Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

On July 16, 2019, the Department of City Planning received an appeal of the Director of Planning's decision to conditionally approve a TOC Affordable Housing Incentive Program and a Project Permit Compliance Review under Case No. DIR-2019-399-TOC-SPP.

Background

The subject property consists of a rectangular lot with 50 feet of frontage along the easterly side of Berendo Street, and a uniform depth of 150 feet for a total lot size of 7,500 square feet. The project site is located within the Wilshire Community Plan and Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The site is zoned R3-1, designated for Medium Residential land uses and currently improved with a two-story single-family dwelling and detached garage. According to the topographic survey, dated December 29, 2017, there are seven (7) unprotected Cypressus Macrocarpa trees on-site, which will be removed.

The surrounding area is characterized by level topography and improved streets. Properties to the north, south, east, and west are zoned R3-1, located within Subarea A (Neighborhood Conservation) of the SNAP, and developed with one- to four-story single- and multi-family residential buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school.

Project Summary

The proposed project involves the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building measuring 54 feet, 6 ¾ inches in height. The building will contain 13,432 square feet of floor area with a 2.8:1 FAR. The unit mix will be comprised of one (1) studio unit,

seven (7) one-bedroom units, and seven (7) two-bedroom units. There will be 14 automobile parking spaces, eight (8) bicycle parking spaces, and 1,682 square feet of usable open space.

Pursuant to the TOC Guidelines, the project is eligible for Base Incentives and up to three (3) Additional Incentives for setting aside 15 percent of the base 10 units for Very Low Income Households. The applicant is seeking a discretionary approval of the TOC Housing Incentive Program with the following incentives:

Base Incentives:

1. 60 percent increase in density,
2. 45 percent increase in Floor Area Ratio (FAR); and
3. 0.5 vehicle parking spaces per bedroom,

Additional Incentives:

1. A 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum transitional building height in lieu of the maximum 44 feet, 7 ¼ inches otherwise permitted in Subarea A and a 9-foot, ¾-inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 45 feet otherwise permitted per the underlying zone

The Appeal/Staff Responses

The following is a summary of the appeal and staff response.

Appeal Point 1:

The proposed project will have a significant effect on the brightness and view of my apartment complex.

Staff's Response:

Senate Bill (SB) 743 sets forth guidelines for evaluating aesthetic impacts of a project located in a transit priority area (TPA) under CEQA as follows: "Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area (TPA) shall not be considered significant impacts on the environment." Pursuant to Public Resources Code Section 21099(a)(7), a TPA is defined as an area within one-half mile of a major transit stop that is existing or planned, and a major transit stop is defined as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. Pursuant to Public Resources Code Section 21099(a)(4), an infill site is a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. The City's Zoning Information (ZI) No. 2452 provides further information regarding SB 743 and states that "visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact as defined in the City's CEQA Threshold Guide shall not be considered an impact for infill projects within TPAs pursuant to CEQA."

The proposed project is subject to SB 743 as a residential project on an infill site surrounded by residential uses on all sides and located less than 1,000 feet from the Vermont/Beverly Metro Red Line Station and multiple bus stops such as Metro Bus Line 10, 14, 204, and 754 with an average service interval of approximately 10 minutes and located less than 625 feet from the DASH Wilshire Center/Koreatown with an average service interval of approximately 11 minutes. Therefore, none of the potential aesthetic impacts associated with the project can be considered a significant impact on the environment.

Additionally, per the amended Appendix G Checklist of the CEQA Guidelines, CEQA does not protect private views and only requires an analysis of a project's impact on quality of public views of the site and its surroundings. Public views are those that are experienced from a publicly accessible vantage point.

Finally, there is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). The appellant has not identified an objective standard upon which to base this argument. Consequently there is no substantial evidence to make the finding to deny the proposed project.

STAFF'S RECOMMENDATION:

In consideration of the foregoing, it is submitted that the Director of Planning acted reasonably in conditionally approving a Transit Oriented Communities (TOC) Affordable Housing Incentive Program and Project Permit Compliance Review for the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. Staff recommends that the Los Angeles City Planning Commission deny the appeal, sustain the action of the Director of Planning in approving a Transit Oriented Communities (TOC) Affordable Housing Incentive Program and Project Permit Compliance Review, adopt the Findings of the Director of Planning, and determine that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (In-Fill Development Project) Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

ORIGINAL



APPLICATIONS:

APPEAL APPLICATION

This application is to be used for any appeals authorized by the Los Angeles Municipal Code (LAMC) for discretionary actions administered by the Department of City Planning.

1. APPELLANT BODY/CASE INFORMATION

Appellant Body:

- Area Planning Commission
- City Planning Commission
- City Council
- Director of Planning

Regarding Case Number: DIR-2019-399-TOP-SPP

Project Address: 146 N. Berendo St.

Final Date to Appeal: 07/15/2019

- Type of Appeal:
- Appeal by Applicant/Owner
 - Appeal by a person, other than the Applicant/Owner, claiming to be aggrieved
 - Appeal from a determination made by the Department of Building and Safety

2. APPELLANT INFORMATION

Appellant's name (print): Chang Jin Kim

Company: KH Properties

Mailing Address: 411 N. Oakhurst Dr. # 201

City: Beverly Hills State: CA Zip: 90210

Telephone: (310) 597-0494 E-mail: cjkim@g.ucla.edu

- Is the appeal being filed on your behalf or on behalf of another party, organization or company?

Self Other: _____

- Is the appeal being filed to support the original applicant's position? Yes No

3. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): Toshiro Ohinata

Company: WS Realtors Inc.

Mailing Address: 1855 Industrial St. Suite 721

City: Los Angeles State: CA Zip: 90021

Telephone: (310) 418-6223 E-mail: to72702@aol.com

4. JUSTIFICATION/REASON FOR APPEAL

Is the entire decision, or only parts of it being appealed? Entire Part
 Are specific conditions of approval being appealed? Yes No

If Yes, list the condition number(s) here: _____

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- Specifically the points at issue
- How you are aggrieved by the decision
- Why you believe the decision-maker erred or abused their discretion

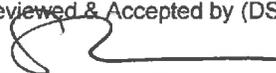
5. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature:  Date: 07/15/2019

6. FILING REQUIREMENTS/ADDITIONAL INFORMATION

- Eight (8) sets of the following documents are required for each appeal filed (1 original and 7 duplicates):
 - Appeal Application (form CP-7769)
 - Justification/Reason for Appeal
 - Copies of Original Determination Letter
- A Filing Fee must be paid at the time of filing the appeal per LAMC Section 19.01 B.
 - Original applicants must provide a copy of the original application receipt(s) (required to calculate their 85% appeal filing fee).
- All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of the receipt.
- Appellants filing an appeal from a determination made by the Department of Building and Safety per LAMC 12.26 K are considered Original Applicants and must provide noticing per LAMC 12.26 K.7, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt.
- A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.
- Appeals of Density Bonus cases can only be filed by adjacent owners or tenants (must have documentation).
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (ZA, APC, CPC, etc.) makes a determination for a project that is not further appealable. [CA Public Resources Code ' 21151 (c)].

| This Section for City Planning Staff Use Only | | |
|--|--|---|
| Base Fee: \$ 89.00 | Reviewed & Accepted by (DSC Planner):  | Date: 7/16/2019 |
| Receipt No: 0101055085 | Deemed Complete by (Project Planner): | Date: |
| <input checked="" type="checkbox"/> Determination authority notified | | <input type="checkbox"/> Original receipt and BTC receipt (if original applicant) |

KH Properties
Chang Jin Kim
411 N. Oakhurst Dr.# 201
Beverly Hills CA 90210

7/15/2019

Development Services Center
201 N. Figueroa St.
Los Angeles CA 90012
Main Public Counter 4th floor.

RE: APPEAL CASE NO. DIR-2019-399-TOC-SPP

To whom it my concern

I am the owner of 140 N. Berendo St. L.A CA 90004 and hereby appeal Case No. DIR-2019-399-
TOP-SPP at 146 N. Berendo St. which is north side abutting location to my property.

My property is townhouse style apartment consisted with one 3 bed room unit and eight 2 bed
room units.

Ground level is parking, second level is living & kitchen, third level is bed rooms.

Windows of all units are facing north and south.

Brightness and view are the important value of my apartment.

If subject Case project is completed, my apartment shall lose brightness and view on north side
and rental value shall be significantly reduced.

If rental value is reduced, re-sale value shall be reduced as well.

Therefore I would like to request for reconsideration of subject Case.

Best Regards

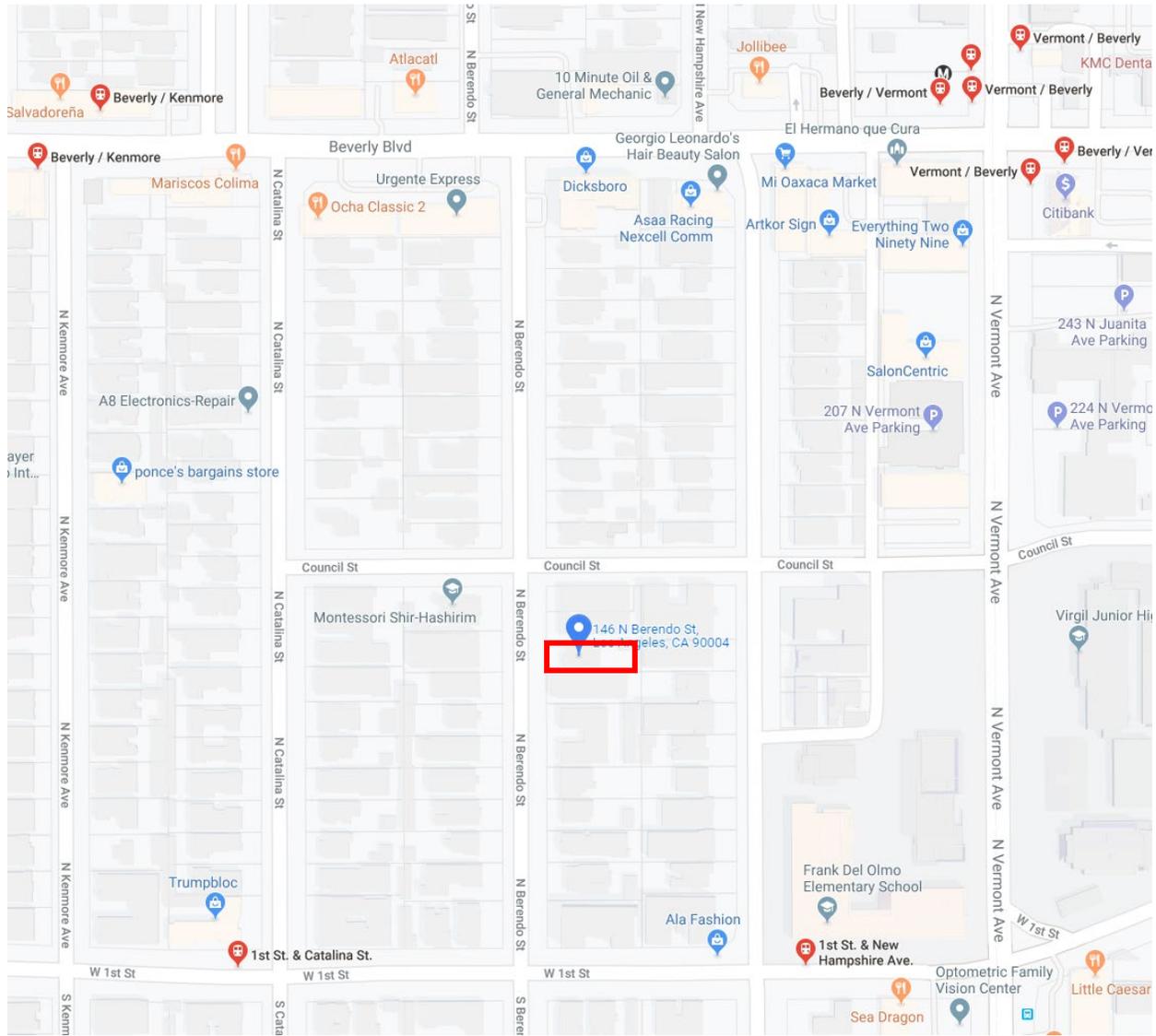
A handwritten signature in black ink, appearing to read 'Chang Jin Kim', written in a cursive style with a large loop at the end.

Chang Jin Kim

EXHIBIT B

Maps

Vicinity Map



ZIMAS Map



Address: 146 N BERENDO ST
APN: 5518027003
PIN #: 138B197 700

Tract: TR 3247
Block: None
Lot: 87
Arb: None

Zoning: R3-1
General Plan: Medium Residential



**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

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CITY OF LOS ANGELES CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

DIRECTOR'S DETERMINATION TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM VERMONT/WESTERN SNAP PROJECT PERMIT COMPLIANCE REVIEW

July 1, 2019

Applicant/Owner

Vlad Gold
Gold Capital Group, LLC
644 N. Fuller Ave. #360
Los Angeles, CA 90036

Representative

Aaron Brumer
Aaron Brumer & Associates
10999 Riverside Dr. #300
North Hollywood, CA 91602

Case No. DIR-2019-399-TOC-SPP

CEQA: ENV-2019-400-CE

Specific Plan Subarea: A – Neighborhood
Conservation

Location: 146 N. Berendo St.

Council District: 13 – O'Farrell

Neighborhood Council: Wilshire Center-
Koreatown

Community Plan Area: Wilshire

Land Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lot 87, Tract TR 3247

Last Day to File an Appeal: July 16, 2019

DETERMINATION

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, as the designee of the Director of Planning, I hereby:

Approve with Conditions a 60 percent increase in density, 45 percent increase in Floor Area Ratio (FAR), and 0.5 parking spaces per bedroom consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program for a qualifying Tier 2 project totaling 15 dwelling units, reserving two (2) units for Very Low Income Household occupancy for a period of 55 years, with the following one (1) Additional Incentives:

- a. **Height.** A 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum transitional building height in lieu of the maximum 44 feet, 7 ¼ inches otherwise permitted in Subarea A and a 9-foot, ¾-inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 45 feet otherwise permitted per the underlying zone;

Pursuant to Los Angeles Municipal Code (LAMC) Section 11.5.7 C and the Vermont/Western Station Neighborhood Area (SNAP) Specific Plan Ordinance No. 184,888, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

Approve with Conditions a Project Permit Compliance Review for the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan;

Determine that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (In-Fill Development Project) Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

CONDITIONS OF APPROVAL

TOC Affordable Housing Incentive Program Conditions

1. **Residential Density.** The project shall be limited to a maximum density of 15 residential dwelling units, including On-Site Restricted Affordable Units.
2. **On-Site Restricted Affordable Units.** Two (2) units shall be designated for Very Low Income Households, as defined by the Los Angeles Housing and Community Investment Department (HCIDLA) and California Government Code Section 65915(c)(2).
3. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.31.
4. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make two (2) units available to Very Low Income Households for sale or rental as determined to be affordable to such households by HCIDLA for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22 A.31, to the satisfaction of HCIDLA, and in consideration of the project's AB 2556 Determination. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA. Refer to the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Background and Housing Replacement (AB 2556 Determination) sections of this determination.
5. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from the Los Angeles Housing and Community Investment Department (HCIDLA) regarding replacement of affordable units, provision of RSO Units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20% of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by HCIDLA shall be provided.
6. **Floor Area Ratio (FAR).** The maximum FAR shall be limited to 2.8:1, or 13,432 square feet.
7. **Automobile Parking.** Automobile parking shall be provided consistent with LAMC Section 12.22 A.31, which permits 0.5 spaces per bedroom for a project located in Tier 2 TOC Affordable Housing Incentive Area and no more than 30 parking spaces per the SNAP.
8. **Height.** The project shall be limited to a maximum building height of 54 feet, 6 ¾ inches, as measured from grade to the highest point of the roof pursuant to the TOC Affordable Housing Incentive Program. Architectural rooftop features may be erected up to 10 feet above the transitional height limit, if the structures and features are set back a minimum of 10 feet from the roof perimeter and screened from view at street level.

SNAP Conditions

9. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped “Exhibit A,” and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
10. **Parks First.** Prior to the issuance of a Certificate of Occupancy, the applicant shall complete the following:
 - a. Make a payment to the Department of Recreation and Parks (RAP) for the required Park Fee pursuant to LAMC Section 17.12. Contact RAP staff by email at rap.parkfees@lacity.org, by phone at (213) 202-2682 or in person at the public counter at 221 N. Figueroa St., Suite 400 (4th Floor), Los Angeles, CA 90012 to arrange for payment.
 - b. Make a payment of \$60,200 to the Parks First Trust Fund for the net increase of 14 residential dwelling units. The calculation of a Parks First Trust Fund Fee to be paid pursuant to the Vermont/Western SNAP shall be off-set by the Park Fee paid pursuant to LAMC Section 17.12 as a result of the project.
 - c. The applicant shall provide proof of payment for the Park Fee to the Department of City Planning (DCP), Central Project Planning Division staff to determine the resulting amount of Parks First Trust Fund Fee to be paid. DCP staff shall sign off on the Certificate of Occupancy in the event there are no resulting Parks First Trust Fund Fee to be paid.
 - d. In the event there are remaining Parks First Trust Fund Fee to be paid, the applicant shall make a payment to the Office of the City Administrative Officer (CAO), Parks First Trust Fund. Contact Jennifer Shimatsu of the CAO directly at (213) 978-7628 or Jennifer.Shimatsu@lacity.org to arrange for payment. The applicant shall submit proof of payment for the Parks First Trust Fund Fee to DCP staff, who will then sign off on the Certificate of Occupancy.
 - e. All residential units in a project containing units set aside as affordable for Very Low or Low Income Households that are subsidized with public funds and/or Federal or State Tax Credits with affordability covenants of at least 30 years are exempt from the Parks First Trust Fund.
11. **Open Space.** The project shall provide a minimum of 1,675 square feet of common open space, of which 837.5 square feet must be located at grade level or first habitable room level. The common open space shall be open to the sky, must be at least 600 square feet in size, and have a minimum dimension of 20 feet when measured perpendicular from any point on each of the boundaries of the open space area. Balconies shall have a minimum dimension of six feet.
12. **Bicycle Parking.** The project shall provide a minimum of eight (8) bicycle parking spaces on-site.
13. **Street Trees.** Street trees must be installed and maintained prior to issuance of the building permit or suitably guaranteed through a bond and all improvements must be completed prior to the issuance of a Certificate of Occupancy.

- i. Two (2), 24-inch box shade trees shall be provided in the public right-of-way along Berendo Street, subject to the Bureau of Street Services, Urban Forestry Division requirements. The project site currently includes one existing palm tree within the 50 feet of frontage along Berendo Street. Whether the street tree should remain or should be replaced is subject to the Bureau of Street Services, Urban Forestry Division.
- ii. A tree well cover shall be provided for each new and existing tree in the public right-of-way adjacent to the subject property to the satisfaction of the Bureau of Street Services.
- iii. The applicant shall be responsible for new street tree planting and pay fees for clerical, inspection, and maintenance per the Los Angeles Municipal Code Section 62.176 for each tree.
- iv. An automatic irrigation system shall be provided.

Note: Contact the Urban Forestry Division, Subdivision staff, at (213) 847-3088 for site inspection prior to any street tree work.

14. **Utilities.** All new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made by the applicant for future underground service.
15. **Driveways.** The first 25 feet in length of the driveway shall be constructed of Portland cement concrete, pervious cement, grass-crete, or any other porous surface that reduces heat radiation and/or increases surface absorption, thereby reducing runoff.
16. **Trash, Service Equipment and Satellite Dishes.** Trash, service equipment and satellite dishes, including transformer areas, shall be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. The trash area shall be enclosed by a minimum six-foot high decorative masonry wall. Each trash enclosure shall have a separate area for recyclables. Any transformer area within the front yard shall be enclosed or screened.
17. **Rooftop Appurtenances.** All rooftop equipment and building appurtenances shall be screened from any street, public right-of-way, or adjacent property with enclosures or parapet walls constructed of materials complimentary to the materials and design of the main structure.

Administrative Conditions

18. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
19. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.

20. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
21. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
22. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
23. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
24. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
25. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
26. **Indemnification and Reimbursement of Litigation Costs.** The applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion,

based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.

PROJECT BACKGROUND

The subject property consists of a rectangular lot with 50 feet of frontage along the easterly side of Berendo Street, and a uniform depth of 150 feet for a total lot size of 7,500 square feet. The project site is located within the Wilshire Community Plan and Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The site is zoned R3-1, designated for Medium Residential land uses and currently improved with a two-story single-family dwelling and detached garage. According to the topographic survey, dated December 29, 2017, there are seven (7) unprotected *Cypessus Macrocarpa* trees on-site, which will be removed.

The applicant requests a Project Permit Compliance to permit the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building measuring 54 feet, 6 $\frac{3}{4}$ inches in height. The project consists of 1,682 square feet of open space and 15 parking spaces within the subterranean garage parking level.

The surrounding area is characterized by level topography and improved streets. Properties to the north, south, east, and west are zoned R3-1, located within Subarea A (Neighborhood Conservation) of the SNAP, and developed with one- to four-story single- and multi-family residential buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school.

The applicant is seeking a discretionary approval of the TOC Housing Incentive Program with the following incentives:

Base Incentives:

1. 60 percent increase in density,
2. 45 percent increase in Floor Area Ratio (FAR); and
3. 0.5 vehicle parking spaces per bedroom,

Additional Incentives:

1. A 9-foot, 11 $\frac{1}{2}$ -inch increase in height to permit 54 feet, 6 $\frac{3}{4}$ inches of maximum transitional building height in lieu of the maximum 44 feet, 7 $\frac{1}{4}$ inches otherwise permitted in Subarea A and a 9-foot, $\frac{3}{4}$ -inch increase in height to permit 54 feet, 6 $\frac{3}{4}$ inches of maximum building height in lieu of the maximum 45 feet otherwise permitted per the underlying zone

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within $\frac{1}{2}$ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The project site is located within 2,640 feet from the Vermont/Beverly Metro Red Line Station, which qualifies the site as Tier 3 of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Guidelines). However, the applicant is choosing to utilize Tier 2 incentives and on-site restricted affordable unit percentages.

Pursuant to the TOC Guidelines, the project is eligible for Base Incentives and up to three (3) Additional Incentives for setting aside 15 percent of the base two (2) units for Very Low Income Households. Base Incentives include: (1) an increase of the maximum allowable number of dwelling units permitted by 60 percent, (2) an increase of the maximum allowable floor area ratio (FAR) by 45 percent; and (3) a reduced automobile parking requirement at a ratio of 0.5 spaces per unit. The applicant requests one (1) Additional Incentive for a 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 50 feet otherwise permitted.

The project site is zoned R3-1, which limits residential density of the subject property to a maximum of one dwelling unit for each 800 square feet of lot area. The R3 density allows a maximum base density of 10 units on a 7,500 square-foot lot. The project is permitted a 60 percent increase in density, which allows a maximum of 16 units. The project proposes a total of 15 units, which is within the maximum density permitted.

The TOC Guidelines allow a 45 percent increase in the maximum 3:1 FAR permitted by the underlying zone, thereby allowing a maximum 4.35:1 FAR. The project will contain 13,432 square feet of floor area, which results in a maximum 2.8:1 FAR.

Per the TOC Guidelines, the project containing 15 dwelling units is required to provide a minimum of eight (8) automobile parking spaces based on a ratio of 0.5 spaces per unit. The project proposes 15 parking spaces, thereby satisfying this requirement.

HOUSING REPLACEMENT (AB 2556 DETERMINATION)

On September 27, 2014, Governor Jerry Brown signed Assembly Bill (AB) 2222, as amended by AB 2556 on August 19, 2016, to amend sections of California's Density Bonus Law (Government Code Section 65915). AB 2556 requires applicants of Density Bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

Pursuant to the Determination made by the Los Angeles Housing and Community Investment Department (HCIDLA) dated May 21, 2019, no units are subject to replacement under AB 2556. Refer to the TOC Affordable Housing Incentive Program Background section of this determination for additional information.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS

To be an eligible Transit Oriented Communities (TOC) Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines). A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. **On-Site Restricted Affordable Units.** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
 - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
 - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
 - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
 - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site is located within a Tier 3 TOC Affordable Housing Incentive Area. However, the applicant is choosing to utilize Tier 2 incentives and on-site restricted affordable unit percentages. Therefore, as part of the proposed development, the project is required to reserve at least 12 percent, or two (2) units, of the total 15 units for Very Low Income Households. The project proposes two (2) units restricted to Very Low Income Households. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.

2. **Major Transit Stop.** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

A Major Transit Stop is a site containing a retail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The project site is located approximately 1,000 feet from the Vermont/Beverly Metro Red Line Station. As such, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the Determination made by the Los Angeles Housing and Community Investment Department (HCIDLA) dated May 21, 2019, no units are subject to replacement under AB 2556. As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Section 65915(c)(3).

4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a

Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*
 - a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
 - b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
 - c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

The project is seeking one (1) Additional Incentive for a 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 50 feet otherwise permitted. The project is setting aside 12 percent, or two (2) units, of the total 15 units for Very Low Income Households. As such, the project meets the eligibility requirement for Base and Additional Incentives.

6. **Projects Adhering to Labor Standards.** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is not seeking two (2) Additional Incentives beyond the three (3) permitted in exchange for reserving at least 12 percent of the base 10 units for Very Low Income Households. As such, the project need not adhere to the labor standards required in LAMC Section 11.5.11 and this eligibility requirement does not apply.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of one lot, which is located within a Tier 3 TOC Affordable Housing Incentive Area. As such, this eligibility requirement does not apply.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any Lower Tier and be limited to the Incentives available for the lower Tier.*

The project site is located within a Tier 3 TOC Affordable Housing Incentive Area. However, the applicant has selected a Lower Tier and is providing the percentage of On-Site Restricted Affordable Housing units required for a Tier 2 TOC Affordable Housing Incentive Area. The project is setting aside 12 percent, or two (2) units, of the total 15 units for Very Low Income Households. As such, the project meets the eligibility requirement of a Lower Tier.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project does not consist of 100% On-Site Restricted Affordable units. As such, this eligibility requirement does not apply.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities (TOC) Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentives unless the Director finds that:**
 - a. **The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low, Low, and Moderate Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The list of incentives in the TOC Guidelines were pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. The following incentives allow the developer to increase the building height above the SNAP requirement so that affordable housing units reserved for Very Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two (2) units for Very Low Income Households.

Height: The applicant requests a 9-foot, 11 ½ -inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in lieu of the maximum 50 feet otherwise permitted. The requested increase in height is expressed in the Menu of Incentives in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that provide for affordable housing costs.

- b. **The Incentive will not have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income Households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

VERMONT/WESTERN SNAP FINDINGS

1. **The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.**

- A. Parks First.** Section 6.F of the Vermont/Western Specific Plan requires the applicant to pay a Parks First Trust Fund of \$4,300 for each new residential unit, prior to the issuance of a Certificate of Occupancy. The project proposes the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 15-unit residential building, resulting in a net increase of 14 units. The project is therefore required to pay a total of \$60,200 into the Parks First Trust Fund. The calculation of a Parks First Trust Fund fee to be paid or actual park space to be provided pursuant to the Parks First Ordinance shall be off-set by the amount of any fee pursuant to LAMC Section 17.12 or dwelling unit construction tax pursuant to LAMC Section 21.10.1, et seq. This requirement is reflected in the Condition of Approval. As conditioned, the project complies with Section 6.F of the Specific Plan.
- B. Residentially Zoned Properties.** Section 7.A of the Vermont/Western Specific Plan states that residential uses allowed by the existing residential zoning classification of any lot located within Subarea A shall be permitted, provided that no more than two lots have a total combined lot area of 15,000 square feet may be tied together to form a single building site. Furthermore, parking shall be prohibited in the required front yard areas. The proposed project is located within the R3-1 Zone, which permits one dwelling unit for every 800 square feet of lot area. The subject site is 7,500 square feet in size, allowing a maximum of 10 dwelling units. However, the applicant is seeking a 60 percent increase in the maximum allowable density permitted in the SNAP to allow 15 dwelling units in lieu of the otherwise permitted 10 dwelling units, in exchange for setting aside 12 percent, or two (2) units, of the total 15 units for Very Low Income households per the TOC Affordable Housing Incentive Program. The project has been conditioned to record a covenant with the Los Angeles Housing and Community Investment Department (HCIDLA) to make two (2) units available to Very Low Income Households to ensure the applicant sets aside the required number of units for affordable housing to be eligible for a 60 percent increase from the total density permitted by the SNAP. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 7.A of the Specific Plan.

- C. Commercially Zoned Properties.** Section 7.B of the Vermont/Western Specific Plan states that commercial uses on commercially zoned properties are limited to those uses defined as “Neighborhood Retail” and “Neighborhood Serving” in LAMC Section 13.07 and limited to the ground floor only. The project site is not commercially zoned and does not propose commercial uses. Therefore, Section 7.B of the Specific Plan does not apply.
- D. Schools, Child Care and Community Facilities.** Section 7.C of the Vermont/Western Specific Plan states that public or private schools, child care facilities, parks, community gardens, community facilities, shall be permitted on any lot or lots provided that the building site for those uses has no more than two acres of combined lot area. The project does not include any school, child care or community facilities uses. Therefore, Section 7.C of the Specific Plan does not apply.
- E. Transitional Height.** Section 7.D of the Vermont/Western Specific Plan states that the maximum height of any new building within Subarea A shall not exceed a height that is within 15 feet of the height of the shortest adjacent building on any adjacent lot within the same Subarea. However, in no circumstance can the project exceed the 45-foot height limit of the underlying R3-1 Zone. The Specific Plan further stipulates that roofs and roof structures for the purposes specified in the Los Angeles Municipal Code (LAMC) Section 12.21.1 B.3 of the Code and architectural rooftop features may be erected up to 10 feet above the transitional height limit, if the structures and features are set back a minimum of 10 feet from the roof perimeter and screened from view at street level.

The lowest adjacent property is found to the south and the topographic survey and elevations show that the adjacent residential building is 29 feet, 7 ¼ inches in height, thereby allowing a maximum transitional height limit of 44 feet, 7 ¼ inches on the subject property. However, the applicant is seeking an 11-foot (one story) height increase in the maximum allowable transitional height in the SNAP and underlying zone height in exchange for setting aside 12 percent, or two (2) units, of the total 15 units for Very Low Income households per the TOC Affordable Housing Incentive Program.

| Height Increase | | | |
|-------------------------------|---|-------------------------------------|-----------------|
| | Limit | With TOC | Proposed |
| Transitional Height | 29' 7 ¼" + 15 feet = 44' 7 ¼" | 44' 7 ¼" + 11' = 55' 7 ¼" | 54' 6 ¾" |
| Underlying Zone Height | 45' per R3-1 Zone | 45' + 11' = 56' | |

The proposed building will have a maximum height of 54 feet, 6 ¾ inches, which is within the maximum transitional height limit of 55 feet, 7 ¼ inches per the SNAP and the maximum height limit of 56 feet per the underlying R3-1 Zone. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 7.D of the Specific Plan.

- F. Building Setback.** Section 7.E of the Vermont/Western Specific Plan states that all buildings shall face a public street. The proposed development consists of one residential structure fronting along Berendo Street with a main pedestrian entrance located along the street frontage. Section 7.E. of the Vermont/Western Specific Plan also states that the exterior wall of the building frontage shall be located no closer to the street and no farther from the street than the exterior walls of the adjacent buildings within the same Subarea. The adjacent property to the north is located 29 feet, 9 5/8 inches from the front property line and the adjacent structure to the south is located 14 feet, 8 ½ inches from the front property line. The proposed development is located

15 feet away from the front property line. Therefore, the project complies with Section 7.E of the Specific Plan.

- G. Usable Open Space.** Section 7.F of the Vermont/Western Specific Plan states that residential Projects with two or more dwelling units must provide specified amounts of common and private open space pursuant to the standards set forth in LAMC 12.21 G.2. The Specific Plan further stipulates that 50 percent of the total open space must be provided at ground level or first habitable room level of the project, and that roof decks may be used in their entirety as common or private open space, excluding that portion of the roof within 20 feet of the roof perimeter. Units containing less than three (3) habitable rooms require 100 square feet of open space per unit. Units containing three (3) habitable rooms require 125 square feet of open space per unit. Units containing more than three (3) habitable rooms require 175 square feet of open space per unit. The Vermont/Western SNAP sets forth the minimum usable open space requirement, as shown in the table below:

| SNAP Minimum Usable Open Space | | | |
|--|--------------|-------------------------|------------------------------------|
| | Units | Sq. Ft. Required | Usable Open Space (sq. ft.) |
| Dwelling Units with Less than 3 Habitable Rooms | 8 | 100 | 800 |
| Dwelling Units with 3 Habitable Rooms | 7 | 125 | 875 |
| Dwelling Units with More than 3 Habitable Rooms | 0 | 175 | 0 |
| Total Minimum Usable Open Space | | | 1,675 |
| 50% located at grade or first habitable room level | | | 837.5 |

The project is therefore required to provide a total of 1,675 square feet of open space of which 837.5 square feet must be located at grade level or first habitable room level. The proposed project will consist of a total of 1,682 square feet of usable open space. The applicant proposes 756 square feet of ground floor common open space at the rear yard and 419 square feet of recreational room, for a total of 1,175 square feet of common open space located at grade or first habitable room level. Therefore, as conditioned, the project complies with Section 7.F of the Specific Plan.

- H. Project Parking Requirements.** Section 7.G.1 of the Vermont/Western Specific Plan sets forth a minimum and maximum parking standard for residential projects, as shown in the tables below:

| SNAP Minimum Parking Spaces | | | |
|---|---|--------------|-----------------------|
| | Parking Space Per Square Feet / Unit | Units | Parking Spaces |
| Dwelling Units with Less than 3 Habitable Rooms | 1 | 1 | 1 |
| Dwelling Units with 3 Habitable Rooms | 1 | 7 | 7 |
| Dwelling Units with More than 3 Habitable Rooms | 1.5 | 7 | 11 |
| Guest | .25 | 15 | 4 |
| Total Minimum Required Spaces | | | 23 |

| SNAP Maximum Parking Spaces | | | |
|---|--------------------------------------|-------|----------------|
| | Parking Space Per Square Feet / Unit | Units | Parking Spaces |
| Dwelling Units with Less than 3 Habitable Rooms | 1 | 1 | 1 |
| Dwelling Units with 3 Habitable Rooms | 1.5 | 7 | 11 |
| Dwelling Units with More than 3 Habitable Rooms | 2 | 7 | 14 |
| Guest | .50 | 15 | 8 |
| Total Maximum Allowed Spaces | | | 34 |

However, the applicant proposes to utilize the Automobile Parking Incentive under the TOC Housing Incentive Program, which allows 0.5 spaces per bedroom in Tier 2 of TOC, inclusive of guest parking spaces, in exchange for setting aside the required percentage of affordable units. The TOC Automobile Parking Incentive replaces the minimum parking requirement in the SNAP; however, the project is still subject to the maximum parking requirement per the SNAP. The project proposes 15 units, requiring a minimum of 11 spaces per the TOC Housing Incentive Program. The SNAP limits the maximum number of automobile parking spaces to 34. The project will provide 15 parking spaces without any guest parking spaces (as permitted by TOC), which is within the minimum and maximum requirements. Therefore, as conditioned and in conjunction with the reduced residential parking spaces per TOC, the project complies with Section 7.G of the Specific Plan.

Furthermore, 7.G.2 of the Vermont/Western Specific Plan requires any residential project with two or more dwelling units to provide one-half (0.5) bicycle parking space per residential unit. The proposed development consists of 15 residential units, thus, requiring eight (8) bicycle parking spaces. The project proposes 18 bicycle spaces located within the ground floor. Therefore, the project complies with Section 8.E of the Specific Plan.

- I. **Conversion Requirements.** Section 8.F of the Vermont/Western Specific Plan sets forth requirements pertaining to the conversion of existing structures to residential condominium uses. The project proposes the demolition of a single-family dwelling and the construction, use, and maintenance of a four-story residential building and does not include the conversion of existing structures to residential condominium uses. Therefore, Section 7.H of the Specific Plan does not apply.
- J. **Development Standards.** Section 7.I of the Vermont/Western Specific Plan requires that all Projects be in substantial conformance with the following Development Standards and Design Guidelines.

Development Standards

- K. **Landscaped Focal Point.** This Development Standard requires all new development Projects to be designed around a landscaped focal point or courtyard. The applicant has submitted a Landscape Plan showing landscaped areas within the front and rear yards of the project site. The front yard will be landscaped with two (2) Chitalpa Tashkentensis tress, shrubbery, and permeable pavers. Therefore, the project complies with this Development Standard.
- L. **Landscape Plan.** This Development Standard requires that all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities shall

be landscaped by lawns and other ground coverings. The applicant has submitted a Landscape Plan which includes a landscaped front yard, as described above. The rear yard will be landscaped with three (3) Australian Willow trees, Iceberg roses, Lomandra Breeze, California Grey Rush, and groundcover. Therefore, the project complies with this Development Standard.

- M. Usable Open Space.** This Development Standard requires that common usable open space must have a dimension of 20 feet and a minimum common open space area of 400 square feet for projects with less than 10 dwelling units and 600 square feet for projects with 10 dwelling units or more. The Development Standard further stipulates that private usable open space, such as balconies with a minimum dimension of six feet may reduce the required usable open space directly commensurate with the amount of private open space provided. The applicant proposes a common open space area that measures approximately 20 feet by 39 feet with a total area of 756 square feet located at the rear yard, an approximately 20-foot by 20-foot recreational room, and 507 square feet of private open space balconies throughout the building. Therefore, the project complies with this Development Standard.
- N. Street Trees.** This Development Standard requires one, 24-inch box shade tree to be planted and maintained in the public right-of-way for every 20 feet of street frontage. The subject site occupies 50 feet of street frontage along Berendo Street, requiring two (2) street trees in the public right-of-way. The Development Standard further requires that an automatic irrigation system be provided within the tree well. The project is conditioned herein to provide two (2) street trees and an automatic irrigation system to the satisfaction of Bureau of Street Services, Urban Forestry Division. Therefore, as conditioned, the project complies with this Development Standard.
- O. Utilities.** The Development Standards require that when new utility service is installed in conjunction with new development or extensive remodeling, all proposed utilities on the project site shall be placed underground. The project does not propose any installation of new utility service at this time. However, in the event new utility lines are to be installed on the site, the Conditions of Approval require all new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made for future underground service. Therefore, as conditioned, the project complies with this Development Standard.
- P. Pedestrian Access.** This Development Standard requires that pedestrian access shall be in the form of walks provided from the public street to the main building entrance and that they provide a view into any existing interior courtyard or landscaped open area. The proposed development offers pedestrian access via a direct path to the main building entrance along Berendo Street. The front yard and pathway are landscaped with trees, shrubbery, and ground cover. Therefore, the project complies with this Development Standard.
- Q. Alley Access.** This Development Standard requires vehicle and pedestrian access from existing alleys or side streets to be preserved and enhanced. The subject site is not accessible via an alley. Therefore, this Development Standard does not apply.
- R. Curb Cuts.** This Development Standard allows no more than one curb cut per lot or 100 feet of lot frontage and further requires curb cuts to be a maximum of 20 feet in width unless more is required by the Department of Transportation (DOT) or the Department of Building and Safety (DBS). There is currently an existing 11-foot, 3-inch curb cut at the northwest portion of the project site. The project is proposing to maintain the existing curb cut. Therefore, the project complies with this Development Standard.

- S. Driveways.** This Development Standard requires that the first 25 feet in length of driveways to be constructed of Portland cement concrete, pervious cement, grass-crete, or any other porous surface that reduces heat radiation and/or increases surface absorption, thereby reducing runoff. The proposed development is accessible from Berendo Street via an approximate 10-foot common driveway with a length of 61 feet. The plans do not indicate the type of material the first 25 feet in length of the driveway will be. As such, a Condition of Approval has been included requiring the first 25 feet in length of the driveway to be constructed of Portland cement concrete, pervious cement, grass-crete, or any other porous surface that reduces heat radiation and/or increases surface absorption, thereby reducing runoff. Therefore, as conditioned, the project complies with this Development Standard.
- T. Parking Lots and Structures.** This Development Standard requires surface parking lots, structures, garages and carports to be located at the rear of buildings. Furthermore, surface parking lots shall be paved with Portland cement concrete, pervious cement, grass-crete, or any other porous surface that will reduce the heat radiation and/or increase the surface absorption. The project includes all of its proposed vehicle parking within a subterranean garage level. The parking is not located within the front yard. Therefore, the project complies with this Development Standard.
- U. Trash, Service Equipment and Satellite Dishes.** This Development Standard requires that trash, service equipment and satellite dishes to be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. Additionally, the trash area shall be enclosed by a minimum six-foot high decorative masonry wall. The applicant proposes a screened recycling area within the subterranean garage level and an enclosed trash area on the first floor level of the building. However, the plans submitted as part of this application do not indicate the location of service equipment and satellite dishes. In the event that any service equipment or satellite dishes are installed in the future, a Condition of Approval has been included requiring that they be located away from Berendo Street. Therefore, as conditioned, the project complies with this Development Standard.
- V. Roofs and Rooftop Appurtenances.** This Development Standard requires that all rooftop equipment be screened from public view or architecturally integrated into the design of the building. No rooftop equipment is proposed at this time. However, in the event that additional rooftop mechanical equipment is proposed in the future, a Condition of Approval has been included requiring said equipment and ducts be screened from view from any street, public right-of-way or adjacent property and the screening wall be solid and match the exterior materials, design and color of the building. Therefore, as conditioned, the project complies with this Development Standard.
- W. Roof Lines.** This Development Standard requires that all roof lines in excess of 40 feet in horizontal length must be broken up through the use of gables, dormers, plant-ions, cutouts or other appropriate means. The east and west elevations of the building measure 36 feet in horizontal length, therefore, not meeting the minimum length requirement for this development standard. The north and south elevations of the building measure 115 feet in horizontal length and provide breaks every 18 to 40 feet in horizontal length. Therefore, the project complies with this Development Standard.
- X. Privacy.** This Development Standard requires that buildings be arranged to avoid windows facing windows across property lines, or the private open space of other residential units. The project abuts residential uses to the north and south. The applicant has provided elevations which depict the windows of existing adjacent structures to the north and south superimposed onto the proposed project. The

elevations show that none of the windows of adjacent residential properties will be effected by the new construction. Given the constraints as an infill development located in an urbanized area, the applicant has demonstrated efforts to arrange windows to avoid directly facing windows across property lines or private open space of other residential units. Therefore, the project complies with this Development Standard.

- Y. Façade Relief.** This Development Standard requires that all exterior building elevations, walls or fences provide a break in the plane for every 20 feet in horizontal length, and every 15 feet in vertical length created by an architectural detail or a change in material. The Specific Plan further requires architectural treatments on the building front elevation to be continued on the sides and back of buildings. All facades of the proposed building comply with the requirement by providing breaks in the plane through the use of varied building material, recessed windows, façade line treatments, modulation, and balconies along the elevations. Therefore, the project complies with this Development Standard.

Design Guidelines

- Z. General Building Design.** This Design Guideline recommends that buildings should be compatible in form with the existing neighborhood atmosphere. The surrounding area is currently developed with one- to four-story single- and multi-family residential buildings. Through an additional TOC incentive, the project will receive a 9-foot, 11 ½ - inch increase in height to permit 54 feet, 6 ¾ inches of maximum building height in exchange for setting aside 12 percent, or two (2) units, of the total 15 units for Very Low Income households per the TOC Affordable Housing Incentive Program. The block in which the project is proposed contains buildings with heights approximately 40 feet and above. In the event a future development is proposed on any of the lots along the westerly side of Berendo Street and in conjunction with the TOC Affordable Housing Incentive Program, the proposed development will not be out-of-scale. Furthermore, the building massing of multiple existing buildings along the block have a lot coverage that take up the majority of their subject lot(s). The proposed project will have a similar lot coverage as those found along the westerly side of Berendo Street. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project satisfies this Design Guideline.
- AA. Architectural Features.** The Design Guidelines encourage courtyards, balconies, arbors, roof gardens, water features, and trellises. Appropriate visual references to historic building forms – especially Mediterranean traditions – are encouraged in new construction. The proposed project provides private balconies throughout multiple levels. Furthermore, the street-facing elevation employs a variety of building materials and articulation by way of recessed balconies, changes in building plane, and transparency. Therefore, the project complies with this Design Guideline.
- BB. Shade.** This Design Guideline recommends that canopies, building overhangs and arbors be incorporated into the design of new structures to provide shade. The building includes projecting balconies, thus providing shade. Therefore, the project satisfies this Design Guideline.
- CC. Building Color.** The Design Guidelines encourage buildings be painted three colors: a dominant color, a subordinate color and a “grace note” color. The project proposes taupe (TE60 by Equitone) as its dominant color, white as its subordinate color, and dark grey as its grace note. Therefore, the project satisfies this Design Guideline.

2. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.

On March 1, 2019, the Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject Project as Categorical Exempt under Section 15332, Case No. ENV-2019-400-CE.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as a habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The proposed project is for the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building measuring 54 feet, 6 ³/₄ inches in height. The project is setting aside 12 percent of the total 15 units for Very Low Income Households. The building will contain 13,432 square feet of floor area with a 2.8:1 FAR. The unit mix will be comprised of one (1) studio unit, seven (7) one-bedroom units, and seven (7) two-bedroom units. There will be 15 automobile parking spaces, 18 bicycle parking spaces, and 1,682 square feet of usable open space.

The site is zoned R3-1 and has a General Plan Land Use Designation of Medium Residential. As shown in the case file, the project is consistent with the applicable Hollywood Community Plan designation and policies and all applicable zoning designations and regulations in conjunction with the TOC Affordable Housing Incentive Program. The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.17 acres. The surrounding area is characterized by level topography and improved streets. Properties to the north, south, east, and west are zoned R3-1, located within Subarea A (Neighborhood Conservation) of the SNAP, and developed with one- to four-story single- and multi-family residential buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school.

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. According to the topographic survey, dated December 29, 2017, there are seven (7) unprotected *Cyprinus Macrocarpa* trees on-site, which will be removed. There are no protected trees on the subject site. The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on

reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project at the time of filing, January 18, 2019, which is the CEQA baseline. As mentioned, the project proposes a multi-family residential building containing 15 dwelling units in an area zoned and designated for such development, through the use of a 60% density increase through the TOC Affordable Housing Incentive Program in exchange for affordable housing. All surrounding lots are developed with single- and multi-family buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school. The project proposes a FAR of 2.8:1 in conjunction with the TOC Affordable Housing Incentive Program, which allows a maximum FAR increase of up to 45 percent, allowing a maximum FAR of 4.35:1 in lieu of the 3:1 FAR otherwise permitted by the underlying zone, for setting aside two (2) units for Very Low Income Households. The proposed building will be four stories in height in an area that is developed with apartment buildings that range in height from two to six stories. In conjunction with the TOC Affordable Housing Incentive Program, the proposed building will not be unusual for the vicinity of the subject site, and will be similar in scope to other residential buildings in the area that use the TOC Affordable Housing Incentive Program in exchange for affordable housing. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. State Route 27 is located approximately 18 miles to the west of the subject property. Therefore, the subject site will not create any impacts within a designated state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site.

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. The Department of City Planning, Office of Historic Resources confirmed that the existing building is not considered historic per an email dated November 27, 2018. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

APPEAL PERIOD - EFFECTIVE DATE

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director's Determination unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at <http://planning.lacity.org>.

Planning Department public offices are located at:

Figueroa Plaza
201 North Figueroa Street
4th Floor
Los Angeles, CA 90012
(213) 482-7077

Marvin Braude San Fernando
Valley Constituent Service Center
6262 Van Nuys Boulevard, Room 251
Van Nuys, CA 91401
(818) 374-5050

West Los Angeles
1828 Sawtelle Boulevard
2nd Floor
Los Angeles, CA 90025
(310) 231-2901

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles, the Marvin Braude Building in the Valley, or West LA office. In order to assure that you receive service with a minimum amount of waiting, Applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org>, or by calling (213) 482-7077, (818) 374-5050, or (310) 231-2901. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:



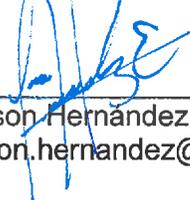
Christina Toy Lee, Senior City Planner

Reviewed by:



Tina Vacharkulksemsuk, City Planner

Prepared by:



Jason Hernandez, City Planning Associate
jason.hernandez@lacity.org

15-UNIT MULTIFAMILY RESIDENCE
146 N BERENDO STREET
LOS ANGELES, CA 90004

PROJECT DATA

Table with 2 columns: Item Number and Description. Includes project address, owner, APNs, tract, map reference, block, lot, lot area, zoning, map subarea, general plan land use, TOC tier, TOC tier 2 density bonus calculation, maximum height, proposed height, required rear + side yards, provided rear + side yards, front yard calculation, buildable area, base RFA, tier 2 FAR bonus, max allowable FAR, proposed FAR, building occupancy, proposed units, construction type, and applicable codes.

ABBREVIATIONS

Table mapping abbreviations to full names. Includes (E), EX, (N), NEW, AB, ANCHOR BOLT, AFF, ABOVE FINISH FLOOR, ALT, ALTERNATING, ALUM, ALUMINIUM, B, BOTTOM, BDR, BEDROOM, BM, BEAM, BO, BOTTOM OF CENTERLINE, CBC, CALIFORNIA BUILDING CODE, CF, COMPACT FLUORESCENT, CJ, CEILING JOIST, CL, CLOSING, CLG, CEILING, CLR, CLEAR, CONN, CONNECTION, D, DIA, DIAMETER, DBL, DOUBLE, DR, DOOR, EE, EACH END, EN, END NAIL, EQ, EQUAL, FB, FACE BLOCKING, FF, FINISH FLOOR, FJ, FLOOR JOIST, FN, FACE NAIL, FTG, FOOTING, GA, GAUGE, GC, GENERAL CONTRACTOR, GL, GLASS, GWB, GYPSUM WALL BOARD, H, HORIZONTAL, HK, HOOK, HR, HOUR, MSTR, MASTER, N/A, NOT APPLICABLE, NIC, NOT IN CONTRACT, NTS, NOT TO SCALE, OC, ON CENTER, OFCI, OWNER FURNISHED, CONTRACTOR INSTALLED, OPP, OPPOSITE, PL, PLATE, PT, PRESSURE TREATED, PTD, PAINTED, PW, PLYWOOD, R, RISER, RCP, REFLECTED CEILING PLAN, RIDG, RIDGE, RO, ROUGH OPENING, ROF, RAFTER, RTD, RATED, SB, SOLID BLOCKING, SC, SOLID CORE, SF, SQUARE FEET, SIM, SIMILAR, SSD, SEE STRUCTURAL DRAWINGS, ST STL, STAINLESS STEEL, T&G, TONGUE AND GROOVE, T, TREAD, TBO, TO BE DETERMINED, THRESH, THRESHOLD, TO, TOP OF, TYP, TYPICAL, UO, UNDERSIDE OF, UON, UNLESS OTHERWISE NOTED, VIF, VERIFY IN FIELD, W, WITH, WD, WOOD, WIC, WALK-IN CLOSET.

SYMBOLS

Table mapping symbols to their meanings. Includes drawing number, sheet number, section reference, detail indication, door tag, ceiling finish indication, elevation indication, window type, and wall type.

FLOOR AREA - ZONING CODE / BUILDING CODE

Table showing floor area breakdown by unit and floor level. Columns include Unit, # Bedrooms, 1st Fl, 2nd Fl, 3rd Fl, 4th Fl, Covered Balconies, and Total. Includes a summary row for the entire building.

FLOOR AREA - SCHOOL FEES

Table showing school fees for different floor levels: Ground Floor, Second Floor, Third Floor, Fourth Floor, and Garage.

COMMON OPEN SPACE CALCULATIONS

Table detailing common open space calculations, including required common open space area, less private open space, and remainder.

BEDROOM & BATHROOM COUNT

Table listing unit types and their corresponding bedroom and bathroom counts. Includes units #101 through #404 and a total row.

VICINITY MAP



PARKING CALCULATIONS

Table detailing parking requirements and calculations. Includes 1) TOC Parking, 2) Minimum Off-Street Parking per SNAP Guidelines, and 3) Guest Parking Requirement.

BICYCLE PARKING

Table detailing bicycle parking requirements and provided spaces.

DRAWING INDEX

Table listing drawing sheets and their titles. Includes architectural sheets (CV, A0.1-A3.9), landscape sheet (L-1), and other sheets.

EXHIBIT 'A' stamp with page number 1 of 2 and case number 21-101-379-7-5-57.

ARCHITECT: Aaron Brumer & Assoc, Architects
10999 Riverside Drive, Suite 300
North Hollywood, CA 91602
(310) 422-9234

LANDSCAPE:

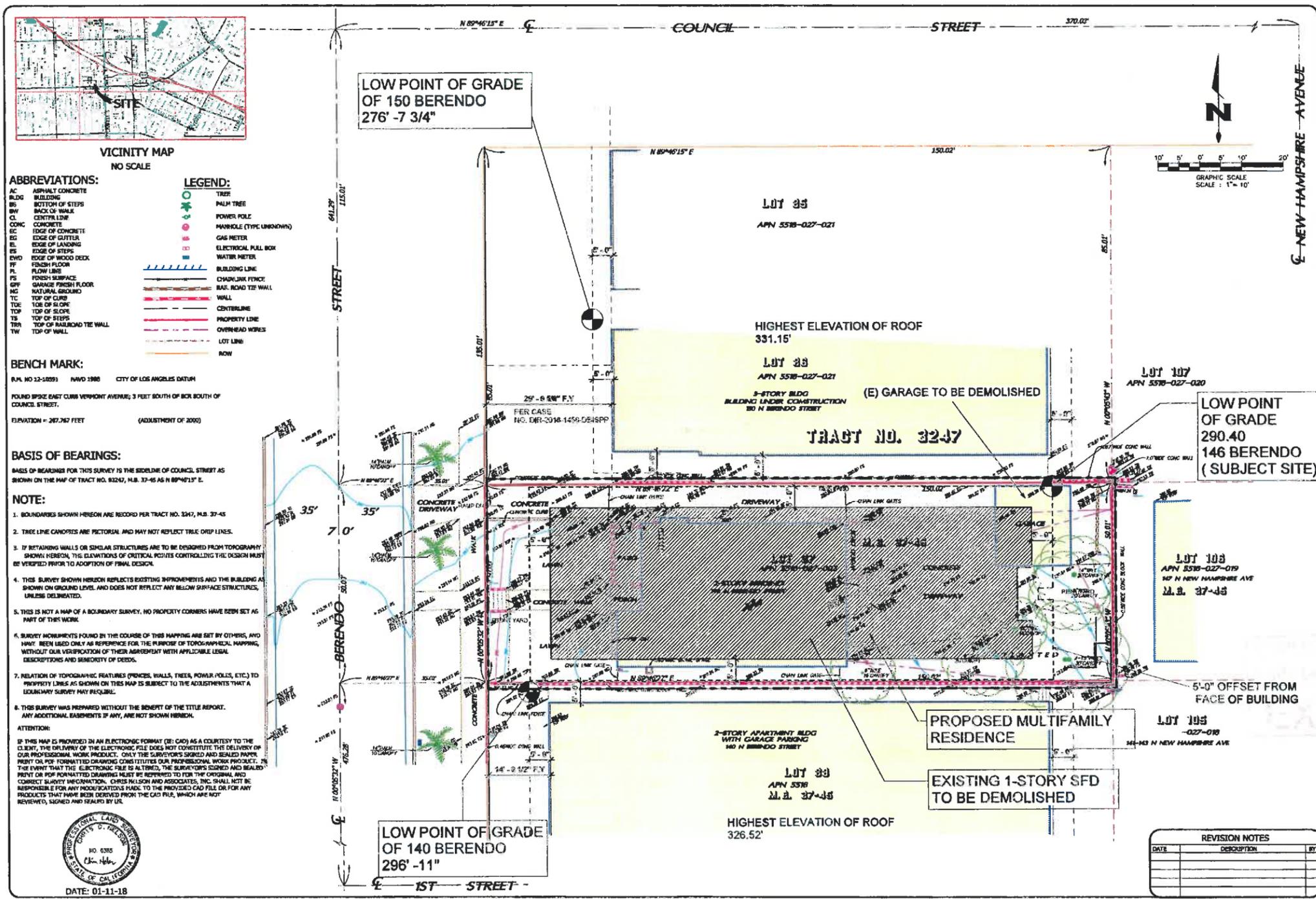
PROJECT: 15-UNIT MULTIFAMILY RESIDENCE
146 N Berendo Street
Los Angeles, CA 90004

Table with columns for Issue Date and Description. Includes entries for Project Permit Compliance Submittal and Revised City Planning Submittal.

STAMP: [Blank stamp area]

DRAWING TITLE: COVER SHEET

CV



- ABBREVIATIONS:**
- AC ASPHALT CONCRETE
 - BLDG BUILDING
 - BS BOTTOM OF STEPS
 - BW BACK OF WALL
 - CL CENTERLINE
 - CONC CONCRETE
 - EC EDGE OF CONCRETE
 - EG EDGE OF CUTLER
 - EL EDGE OF LANDING
 - ES EDGE OF STEPS
 - EWD EDGE OF WOOD DECK
 - FF FINISH FLOOR
 - FL FLOW LINE
 - FS FRESH SURFACE
 - GFF GARAGE FINISH FLOOR
 - NG NATURAL GROUND
 - TC TOP OF CURB
 - TUE TOP OF SLOPE
 - TOP TOP OF SLOPE
 - TS TOP OF STEPS
 - TW TOP OF RAILROAD THE WALL
 - TW TOP OF WALL
- LEGEND:**
- TREE
 - PALM TREE
 - POWER POLE
 - MANHOLE (TYPE UNKNOWN)
 - GAS METER
 - ELECTRICAL PULL BOX
 - WATER METER
 - BUILDING LINE
 - CHAINLINK FENCE
 - BAR. ROAD TYP. WALL
 - WALL
 - CENTERLINE
 - PROPERTY LINE
 - OVERHEAD WIRES
 - LOT LINE
 - ROW

BENCH MARK:
 RAN NO 12-10591 NAD 8380 CITY OF LOS ANGELES DATUM
 FOUND BRK EAST CURB VERMONT AVENUE, 3 FEET SOUTH OF BCR SOUTH OF COUNCIL STREET.
 ELEVATION = 267.767 FEET (ADJUSTMENT OF 2000)

BASIS OF BEARINGS:
 BASIS OF BEARINGS FOR THIS SURVEY IS THE SIDELINE OF COUNCIL STREET AS SHOWN ON THE MAP OF TRACT NO. 82243, M.S. 37-45 AS N 89°46'15" E.

- NOTE:**
1. BOUNDARIES SHOWN HEREON ARE RECORD PER TRACT NO. 3247, M.S. 37-45
 2. TREE LINE CAPNOTES ARE PICTORIAL AND MAY NOT REFLECT TRUE DRIP LINES.
 3. IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM TOPOGRAPHY SHOWN HEREON, THE ELEVATIONS OF CRITICAL POINTS CONTROLLING THE DESIGN MUST BE VERIFIED PRIOR TO ADOPTION OF FINAL DESIGN.
 4. THIS SURVEY SHOWN HEREON REFLECTS EXISTING IMPROVEMENTS AND THE BUILDING AS SHOWN ON GROUND LEVEL AND DOES NOT REFLECT ANY BELOW SURFACE STRUCTURES, UNLESS DELINEATED.
 5. THIS IS NOT A MAP OF A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
 6. SURVEY MEASUREMENTS FOUND IN THE COURSE OF THIS MAPPING ARE SET BY OTHERS, AND HAVE BEEN USED ONLY AS REFERENCE FOR THE PURPOSE OF TOPOGRAPHICAL MAPPING, WITHOUT OUR VERIFICATION OF THEIR AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
 7. RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLLS, ETC.) TO PROPERTY LINES AS SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS THAT A BOUNDARY SURVEY MAY REQUIRE.
 8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF THE TITLE REPORT. ANY ADDITIONAL EASEMENTS IF ANY, ARE NOT SHOWN HEREON.

ATTENTION:
 IF THIS MAP IS PROVIDED IN AN ELECTRONIC FORMAT (E-CAD) AS A COURTESY TO THE CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. ONLY THE SURVEYOR'S SIGNED AND SEALED PAPER PRINT OR PDF FORMATTED DRAWING CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THAT THE ELECTRONIC FILE IS ALTERED, THE SURVEYOR'S SIGNED AND SEALED PRINT OR PDF FORMATTED DRAWING MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. CHRIS NELSON AND ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE PROVIDED CAD FILE OR FOR ANY PRODUCTS THAT HAVE BEEN DERIVED FROM THE CAD FILE, WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.



DATE: 01-11-18

ARCHITECT:
 Aaron Brunner & Assoc, Architects
 10969 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (818) 422-9224

LANDSCAPE:

PROJECT:
 16-UNIT MULTIFAMILY RESIDENCE
 146 N Berendo Street, Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION | ISSUE DATE | DESCRIPTION | STATUS |
|------------|-------------------------------------|------------|-------------|--------|
| 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | | |
| 09/18/2018 | REVISED CITY PLANNING SUBMITTAL | | | |
| | | | | |
| | | | | |
| | | | | |

DRAWING TITLE

SURVEY

A0.1

PREPARED BY:
Chris Nelson
 & Associates, Inc.
 PROFESSIONAL LAND SURVEYORS
 31206 Via Coronado, Suite 111, Westlake Village, CA 91380
 Phone: 818.351.1190 Fax: 818.351.1841

PREPARED FOR:
MICHEAL MARYLANDER
 146 N BERENDO STREET,
 LOS ANGELES, CA 90004

TOPOGRAPHIC SURVEY
 LOT 87, TRACT NO. 3247
 M.S. 37-45
 146 N BERENDO STREET,
 CITY OF LOS ANGELES, COUNTY OF LOS ANGELES,
 CA 90004

JOB NO. 17-4442
 SCALE: 1" = 10'
 DATE: DEC. 29, 2017
 DRAFTED: SDN

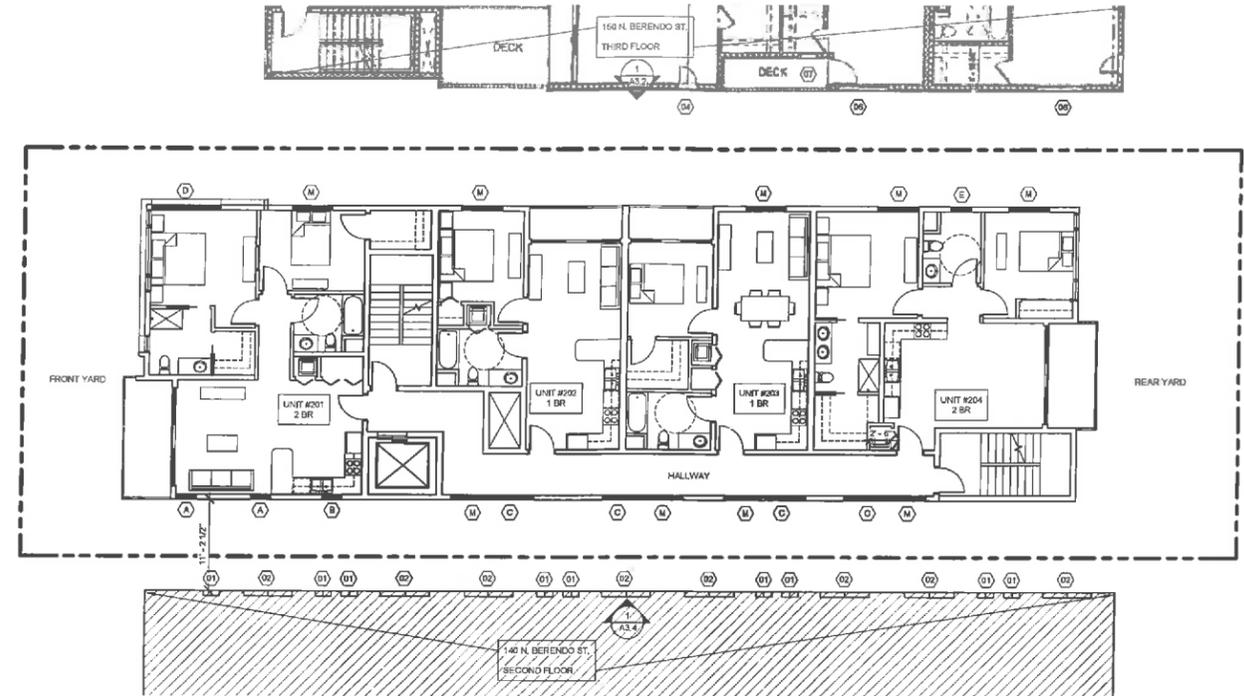
SHEET NO.
1
 OF 1 SHEET

| REVISION NOTES | | |
|----------------|-------------|----|
| DATE | DESCRIPTION | BY |
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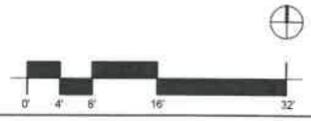
EXHIBIT "A"
 Page No. 3 of 20
 Case No. PLA-2019-399-706-378

| (E) WINDOW'S RELATIONSHIP TO (N) WINDOWS | | |
|--|-------------------|------------------|
| ADDRESS | (E) WINDOW NUMBER | DIMENSIONS (WxH) |
| 148 N. BERENDO | (A) | 2'-6" x 8' |
| | (B) | 2'-6" x 4' |
| | (C) | 5'-4" x 6" |
| 150 N. BERENDO | (D) | 2'-3" x 6'-6" |
| | (E) | 5'-7" x 5' |
| | (F) | 1'-10" x 7'-10" |

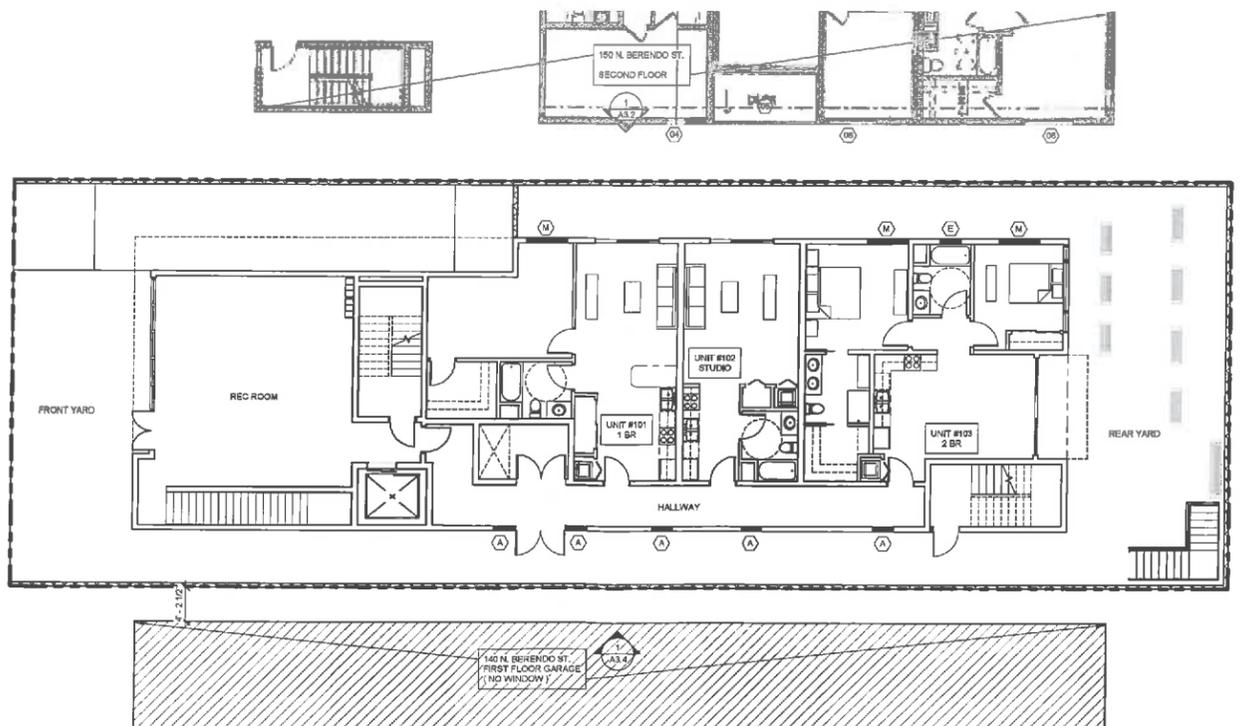
| (N) WINDOWS | | |
|----------------|---------------|------------------|
| ADDRESS | WINDOW NUMBER | DIMENSIONS (WxH) |
| 148 N. BERENDO | (A) | 2'-6" x 8' |
| | (B) | 2'-6" x 4' |
| | (C) | 5'-4" x 6" |
| | (D) | 8'-8" x 5' |
| | (E) | 2'-6" x 6'-6" |
| (F) | 5' x 4'-6" | |



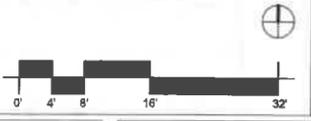
2 SECOND FLOOR PLAN / WINDOW ADJACENCY STUDY
 1/8" = 1'-0"



| (E) WINDOW'S RELATIONSHIP TO (N) WINDOWS | | |
|--|-------------------|------------------|
| ADDRESS | (E) WINDOW NUMBER | DIMENSIONS (WxH) |
| 150 N. BERENDO | (M) | 2'-0" x 8'-4" |
| | (N) | 12' x 8' |
| | (O) | 5'-7" x 5' |
| 148 N. BERENDO | (A) | 2'-6" x 8' |
| | (E) | 2'-6" x 6'-6" |
| | (M) | 5' x 4'-6" |



1 FIRST FLOOR PLAN / WINDOW ADJACENCY STUDY
 1/8" = 1'-0"



ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY RESIDENCE
 148 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 01/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 06/19/2016 | REVISED CITY PLANNING SUBMITTAL |

| ISSUE DATE | DESCRIPTION |
|------------|-------------|
| | |
| | |

| STAMP |
|-------|
| |

CREATING TITLE
 FIRST & SECOND FLOOR PLAN / WINDOW ADJACENCY STUDY

A0.3

| E) WINDOWS RELATIONSHIP TO NE WINDOW | | |
|--------------------------------------|---------------|------------------|
| NE WINDOW | | |
| ADDRESS | WINDOW NUMBER | DIMENSIONS (W/H) |
| 146 N. BERENDO | (A) | 2'-6" x 8' |
| | (B) | 2'-6" x 4' |
| | (C) | 5' x 6'-6" |
| | (D) | 2'-6" x 4'-6" |
| | (E) | 8'-6" x 7'-6" |
| | (F) | 5' x 6'-6" |

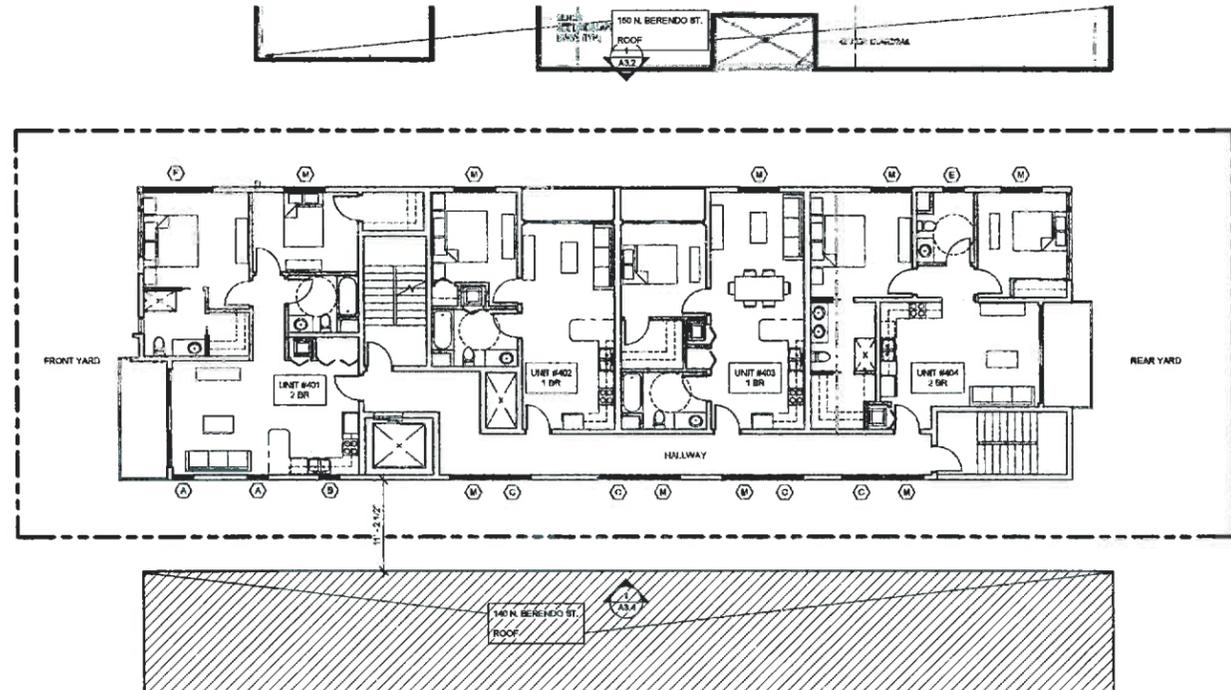
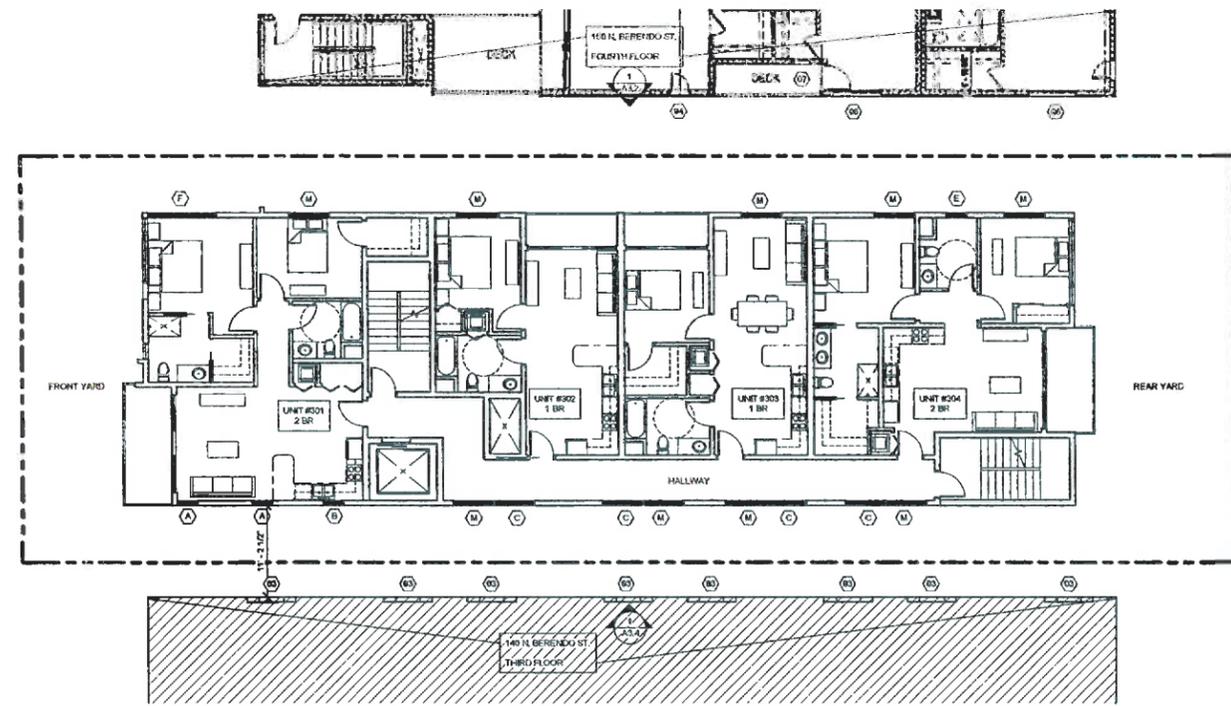


EXHIBIT "A"
 Page No. 4 of 20
 Case No. 212-2019-300-700-317

2 FOURTH FLOOR PLAN / WINDOW ADJACENCY STUDY
 1/8" = 1'-0"

| E) WINDOWS RELATIONSHIP TO NE WINDOWS | | |
|---------------------------------------|---------------|------------------|
| ADDRESS | WINDOW NUMBER | DIMENSIONS (W/H) |
| 140 N. BERENDO | (A) | 5' x 6' |
| | (B) | 2'-0" x 6'-6" |
| | (C) | 5'-2" x 5' |
| | (D) | 1'-12" x 7'-10" |

| NE WINDOWS | | |
|----------------|---------------|------------------|
| ADDRESS | WINDOW NUMBER | DIMENSIONS (W/H) |
| 145 N. BERENDO | (A) | 2'-6" x 8' |
| | (B) | 2'-6" x 4' |
| | (C) | 5' x 6'-6" |
| | (D) | 2'-6" x 4'-6" |
| | (E) | 8'-6" x 7'-6" |
| | (F) | 5' x 6'-6" |



1 THIRD FLOOR PLAN / WINDOW ADJACENCY STUDY
 1/8" = 1'-0"

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION | ISSUE DATE | DESCRIPTION | STATUS |
|--------------|-------------------------------------|------------|-------------|--------|
| 1 02/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | | |
| 2 08/18/2019 | REVISED CITY PLANNING SUBMITTAL | | | |
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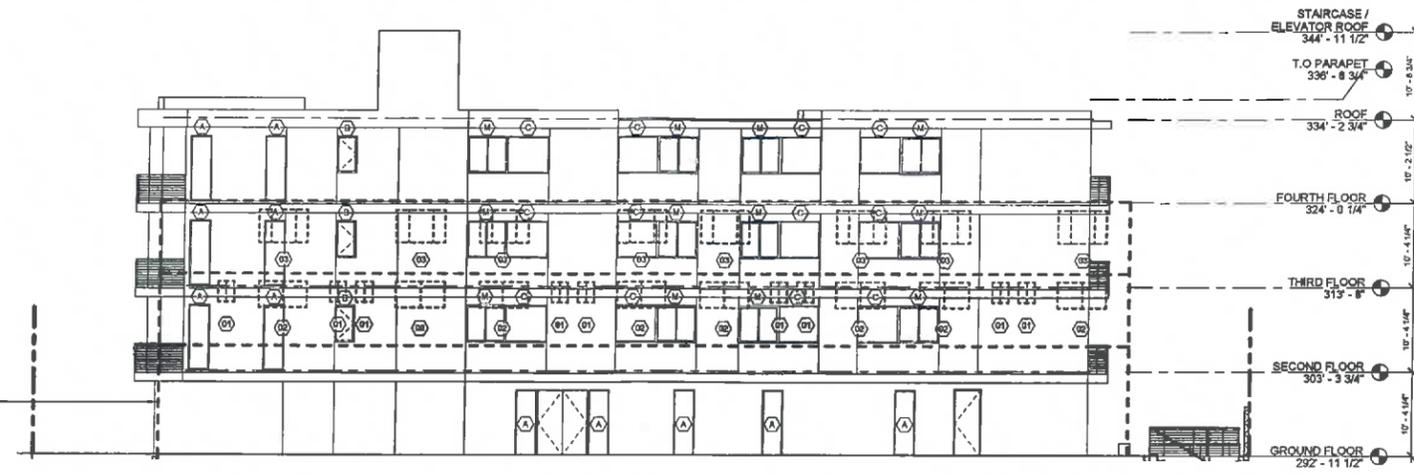
TITLE:
 THIRD & FOURTH FLOOR PLAN / WINDOW
 ADJACENCY STUDY

A0.4

EXHIBIT "A"
 Page No. 5 of 20
 Case No. 018-2019-349-TOC-37P

| (E) WINDOWS RELATIONSHIP TO (N) WINDOWS | | |
|---|-------------------|------------------|
| ADDRESS | (E) WINDOW NUMBER | DIMENSIONS (WxH) |
| 140 N. BERENDO | (A) | 2' x 2'-6" |
| | (B) | 8' x 2'-2" |
| | (C) | 8' x 4' |
| (N) WINDOWS | | |
| ADDRESS | WINDOW NUMBER | DIMENSIONS (WxH) |
| 140 N. BERENDO | (A) | 2'-0" x 8' |
| | (B) | 2'-0" x 4' |
| | (C) | 3' x 4'-8" |
| | (M) | 5' x 4'-8" |

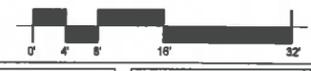
OUTLINE OF 140 N. BERENDO BEYOND



2 WINDOW ADJACENCY STUDY ELEVATION 01
 1/8" = 1'-0"

| (E) WINDOWS RELATIONSHIP TO (N) WINDOWS | | |
|---|-------------------|------------------|
| ADDRESS | (E) WINDOW NUMBER | DIMENSIONS (WxH) |
| 150 N. BERENDO | (M) | 2'-0" x 8'-4" |
| | (N) | 12' x 8' |
| | (O) | 8'-7" x 8' |
| | (P) | 1'-10" x 7'-4" |
| (N) WINDOWS | | |
| ADDRESS | WINDOW NUMBER | DIMENSIONS (WxH) |
| 148 N. BERENDO | (A) | 2'-0" x 8' |
| | (D) | 8'-0" x 7' |
| | (E) | 2'-0" x 4'-4" |
| | (F) | 8'-0" x 7'-4" |
| | (M) | 5' x 4'-8" |

OUTLINE OF 150 N. BERENDO BEYOND



1 WINDOW ADJACENCY STUDY ELEVATION 02
 1/8" = 1'-0"

ARCHITECT:
 Aaron Brumer & Asso., Architects
 10090 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (818) 422-9234

LANDSCAPE:

PROJECT:
 16-UNIT MULTIFAMILY RESIDENCE
 140 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|--------------|-------------------------------------|
| 1 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 2 08/15/2019 | REVISED CITY PLANNING SUBMITTAL |
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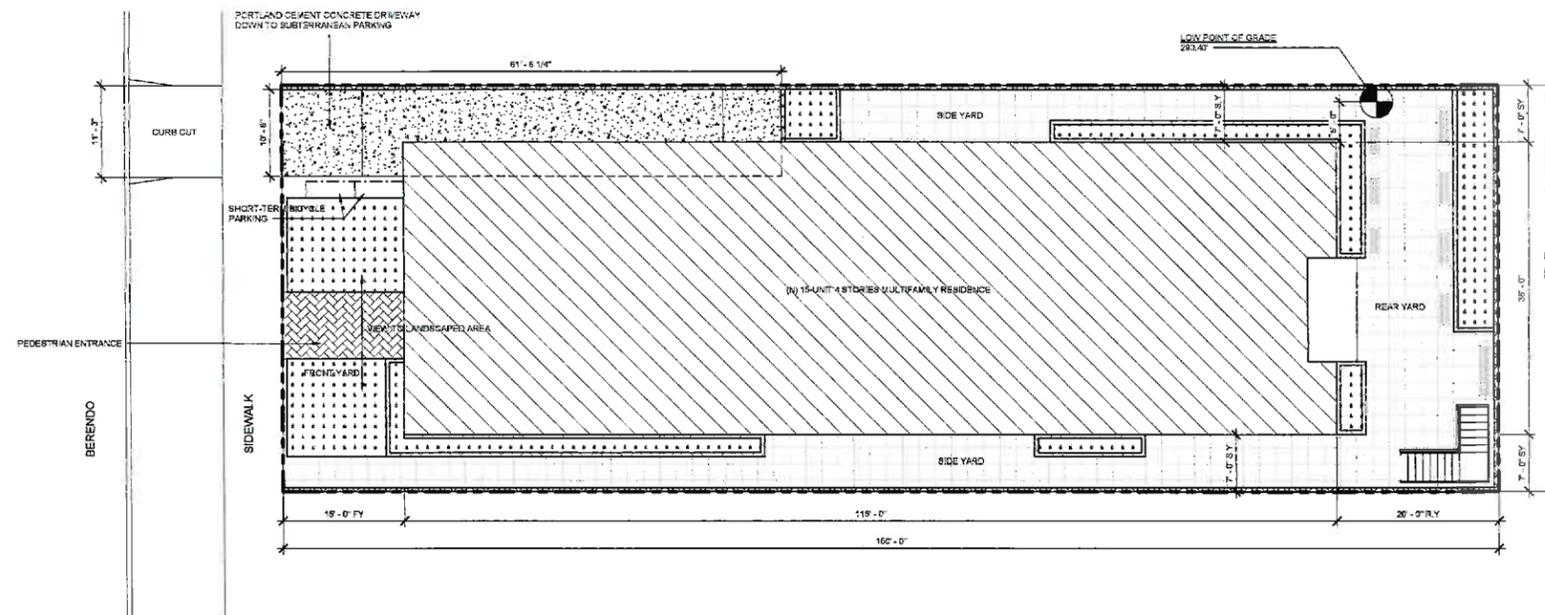
| ISSUE DATE | DESCRIPTION |
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STAMP

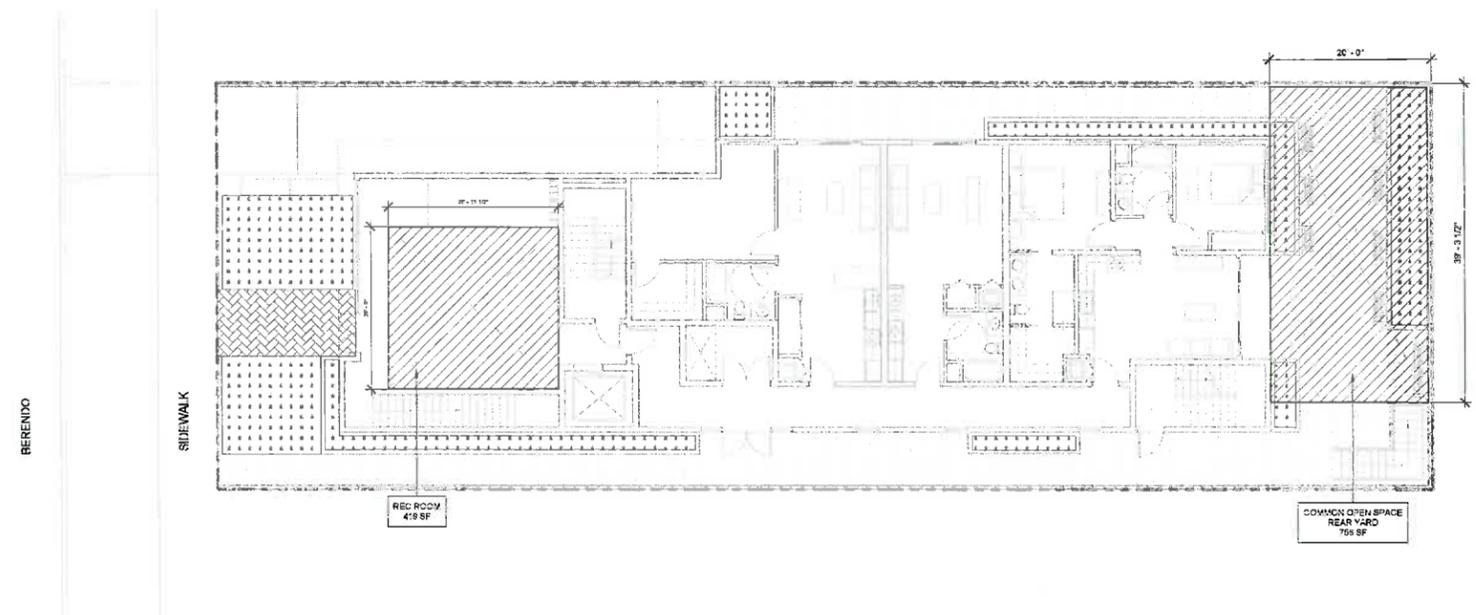
DRAWING TITLE
 WINDOW ADJACENCY STUDY ELEVATIONS

A0.5

EXHIBIT "A"
 Page No. 6 of 20
 Case No. 2014-399-Tol-3pp



2 PLOT PLAN
 1/8" = 1'-0"



1 OPEN SPACE DIAGRAM AT FIRST FLOOR
 1/8" = 1'-0"

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 302
 North Hollywood, CA 91602
 (310) 422-9234

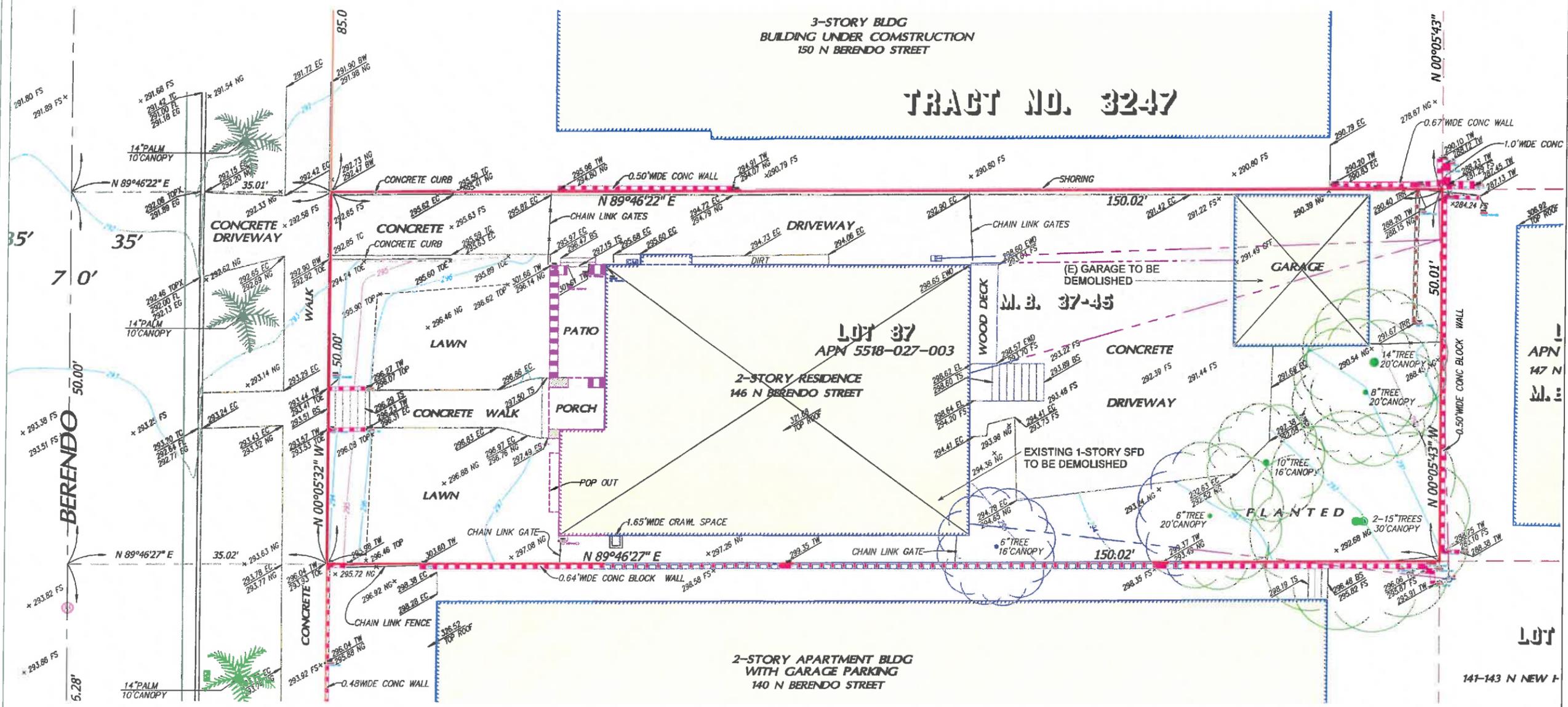
LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY RESIDENCE
 148 N. Berendo Street
 Los Angeles, CA 90034

| ISSUE DATE | DESCRIPTION | ISSUE DATE | DESCRIPTION | STATUS |
|------------|-------------------------------------|------------|-------------|--------|
| 01/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | | |
| 05/15/2019 | REVISED CITY PLANNING SUBMITTAL | | | |
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DRAWING TITLE
 OPEN SPACE DIAGRAM AT FIRST PLAN & PLOT PLAN

A1.1



ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10988 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

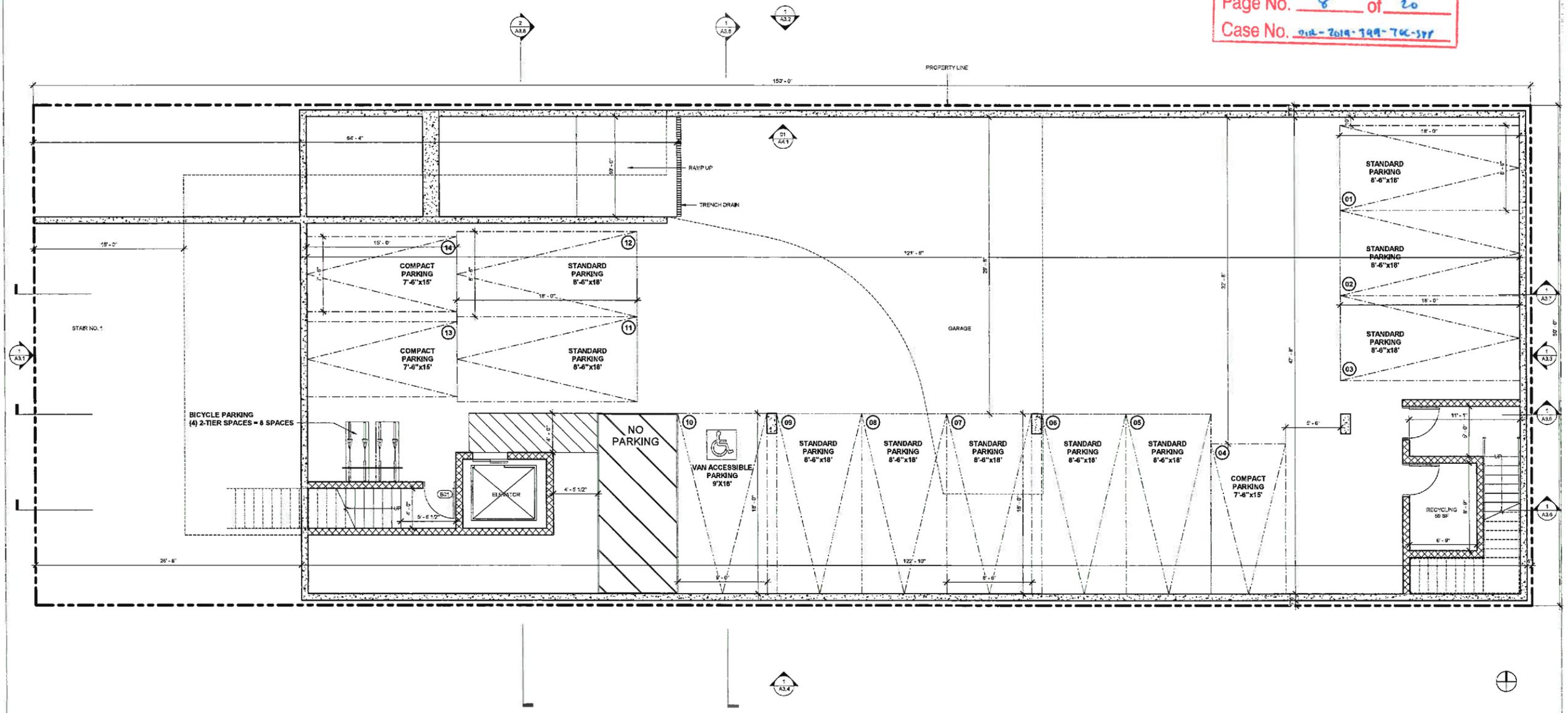
LANDSCAPE:

PROJECT:
 14-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION | ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|------------|-------------|
| 01/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | |
| 01/18/2019 | REVISED CITY PLANNING SUBMITTAL | | |
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| STAMP | DRAWING TITLE |
|-------|--------------------------|
| | DEMOLITION PLAN & SURVEY |

A1.2



1 GARAGE LEVEL PLAN
 1/4" = 1'-0"

KEYNOTES

LEGEND

| | | | |
|--|-------------------------|--|-------------------------------------|
| | CONCRETE WALL-SSD | | "ENERGY STAR" COMPLIANT EXHAUST FAN |
| | CMU WALL-SSD | | SMOKE DETECTOR |
| | 2 X 6 WD STUD WALL-SSC | | CARBON MONOXIDE DETECTOR |
| | 2 X 4 WD STUD WALL-SSC | | |
| | DEMISING WALL | | |
| | 1-HR RATED CONSTRUCTION | | |
| | 2-HR RATED CONSTRUCTION | | |

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.G.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GAB BOTH SIDES. AT WEET LOCATION, INSTALL CEMENT BOARD ON THE SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR U.G.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORWAY THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 13599 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-8234

LANDSCAPE:

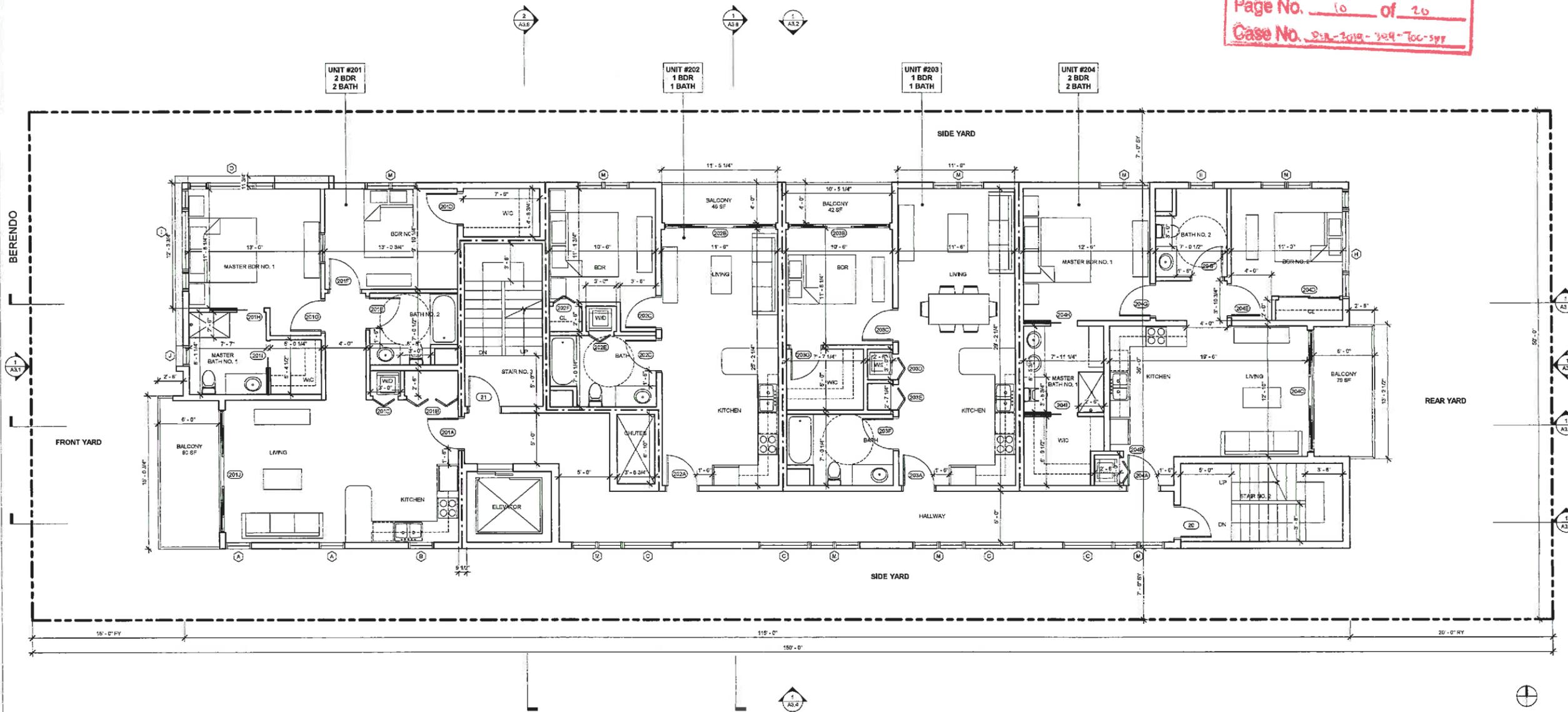
PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION | ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|------------|-------------|
| 10/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | |
| 06/18/2019 | PRE/SECT OF PLANNING SUBMITTAL | | |

STAMP

DRAWING TITLE
 GARAGE LEVEL PLAN

A2.0



1 SECOND FLOOR PLAN
 1/4" = 1'-0"

KEYNOTES

LEGEND

- CONCRETE WALL- 8SD
- CMU WALL- 8SD
- 2 X 6 WD STUD WALL- 8SD
- 2 X 4 WD STUD WALL- 8SD
- DEMISING WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- "ENERGY STAR" COMPLIANT EXHAUST FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.C.N.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
3. AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" CWB BOTH SIDES AT MEET LOCATION. INSTALL CEMENT BOARD ON WE' SIDE OF WALL.
4. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
5. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR U.C.N.
6. ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10299 Riverside Drive, Suite 330
 North Hollywood, CA 91602
 (818) 422-8234

LANDSCAPE:

PROJECT:
 16-UNIT MULTIFAMILY
 RESIDENCE
 145 N Berendo Street
 Los Angeles, CA 90034

| ISSUE DATE | DESCRIPTION |
|------------------|-------------------------------------|
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| 2 05 / 16 / 2019 | REVISED CITY PLANNING SUBMITTAL |

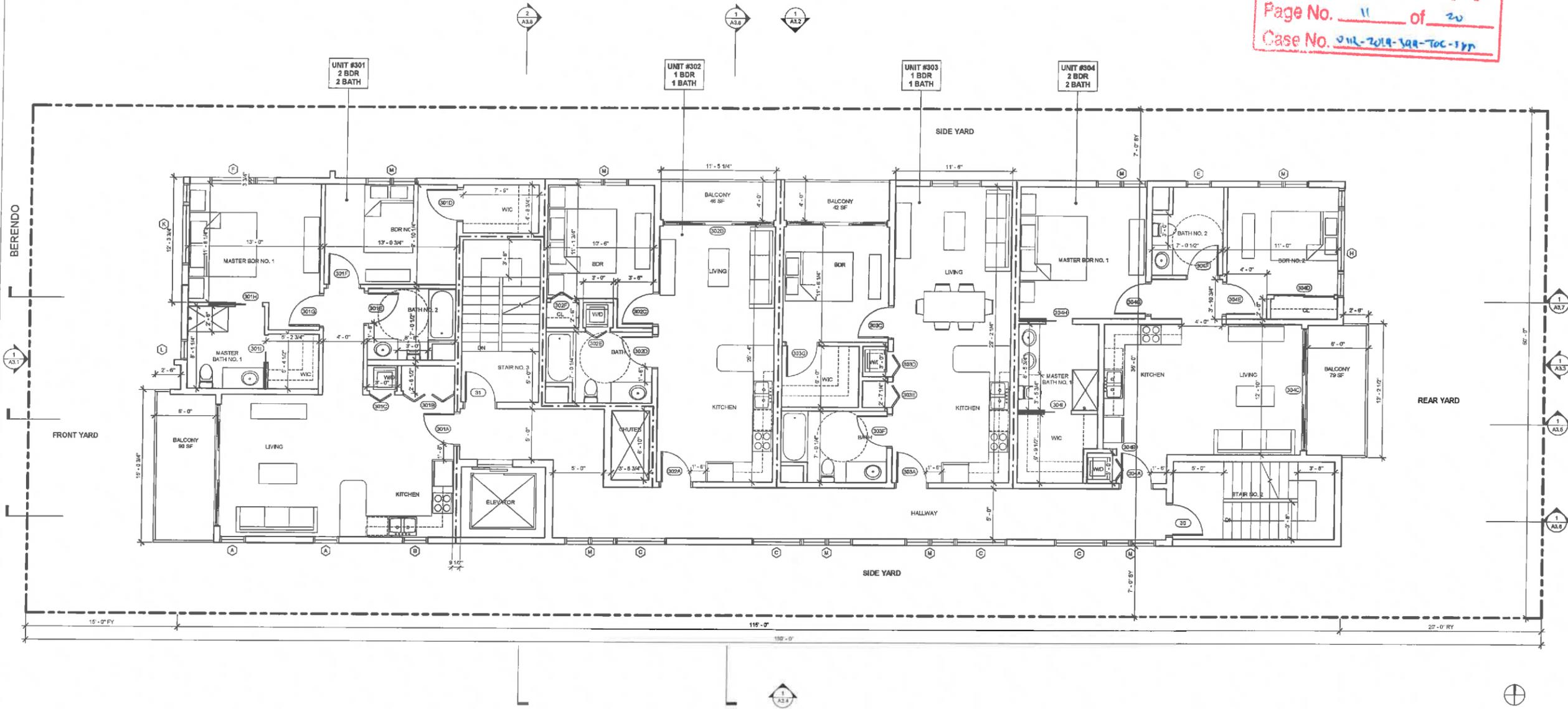
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STAMP

DRAWING TITLE
 SECOND FLOOR PLAN

A2.2

EXHIBIT "A"
 Page No. 11 of 20
 Case No. 0112-2019-348-TOC-TYP



1 THIRD FLOOR PLAN
 1/8" = 1'-0"

KEYNOTES

LEGEND

SHEET NOTES

| | |
|--|-------------------------|
| | CONCRETE WALL - SSD |
| | CMU WALL - SSD |
| | 2X 6 WD STUD WALL - SSD |
| | 2X 4 WD STUD WALL - SSD |
| | DEMISING WALL |
| | 1-HR RATED CONSTRUCTION |
| | 2-HR RATED CONSTRUCTION |

| | |
|--|-------------------------------------|
| | "ENERGY STAR" COMPLIANT EXHAUST FAN |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |

- ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" DWS BOTH SIDES AT JECT LOCATION. INSTALL Gypsum BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 8" FROM THE ADJACENT PERPENDICULAR WALL TO THE THRESHOLD OF THE HINGE SIDE OF THE DOOR, U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDINGS IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10989 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

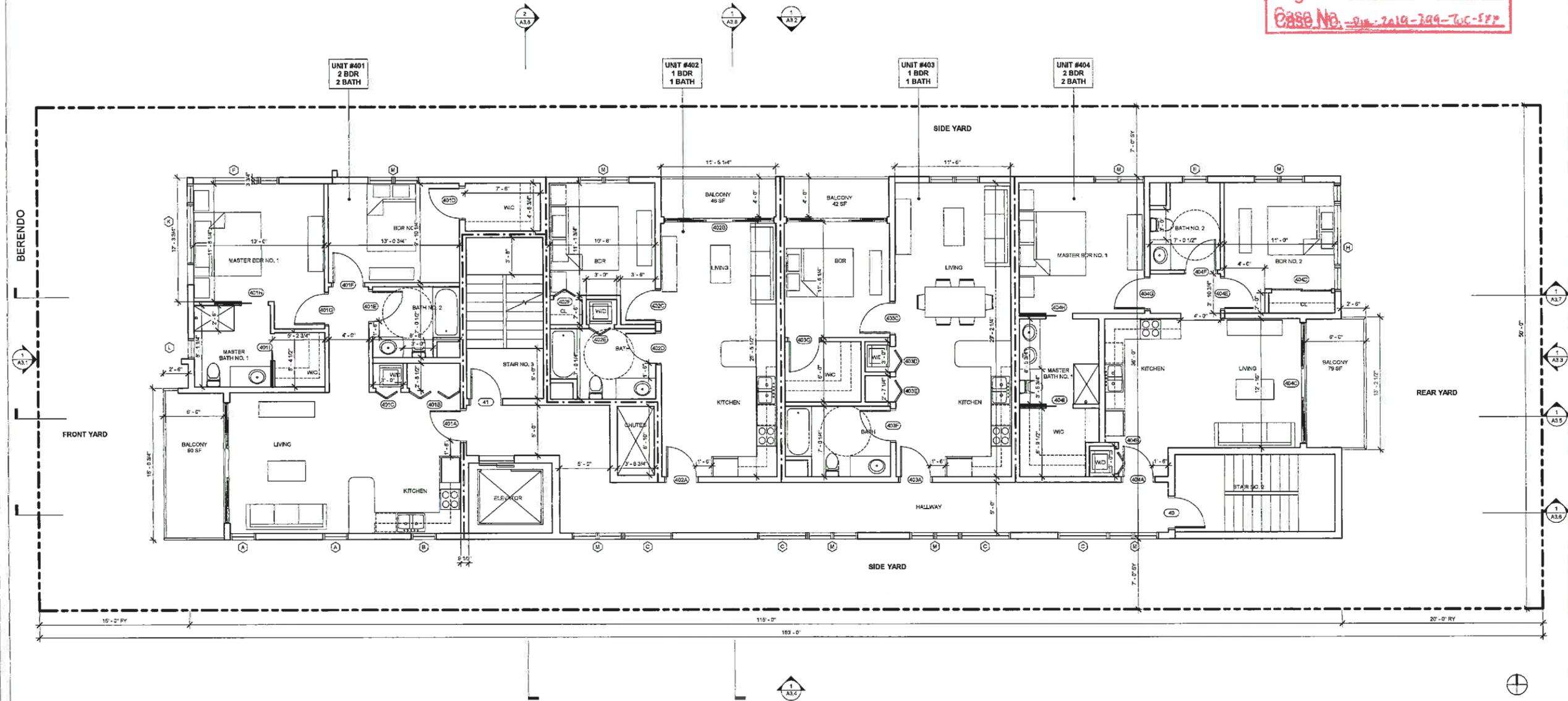
| ISSUE DATE | DESCRIPTION |
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| 1 01/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 2 02/18/2019 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION |
|------------|-------------|
| | |
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| | |

STAMP

DRAWING TITLE
 THIRD FLOOR PLAN

A2.3



1 FOURTH FLOOR PLAN
 1/4" = 1'-0"

KEYNOTES

| | |
|----------|-------------------------|
| [Symbol] | CONCRETE WALL-SSD |
| [Symbol] | CMU WALL-SSD |
| [Symbol] | 2 X 6 W/ STUD WALL-SSD |
| [Symbol] | 2 X 4 W/ STUD WALL-SSD |
| [Symbol] | DEMISING WALL |
| [Symbol] | 14HR RATED CONSTRUCTION |
| [Symbol] | 24HR RATED CONSTRUCTION |

LEGEND

| | |
|----------|-------------------------------------|
| [Symbol] | 'ENERGY STAR' COMPLIANT EXHAUST FAN |
| [Symbol] | SMOKE DETECTOR |
| [Symbol] | CARBON MONOXIDE DETECTOR |

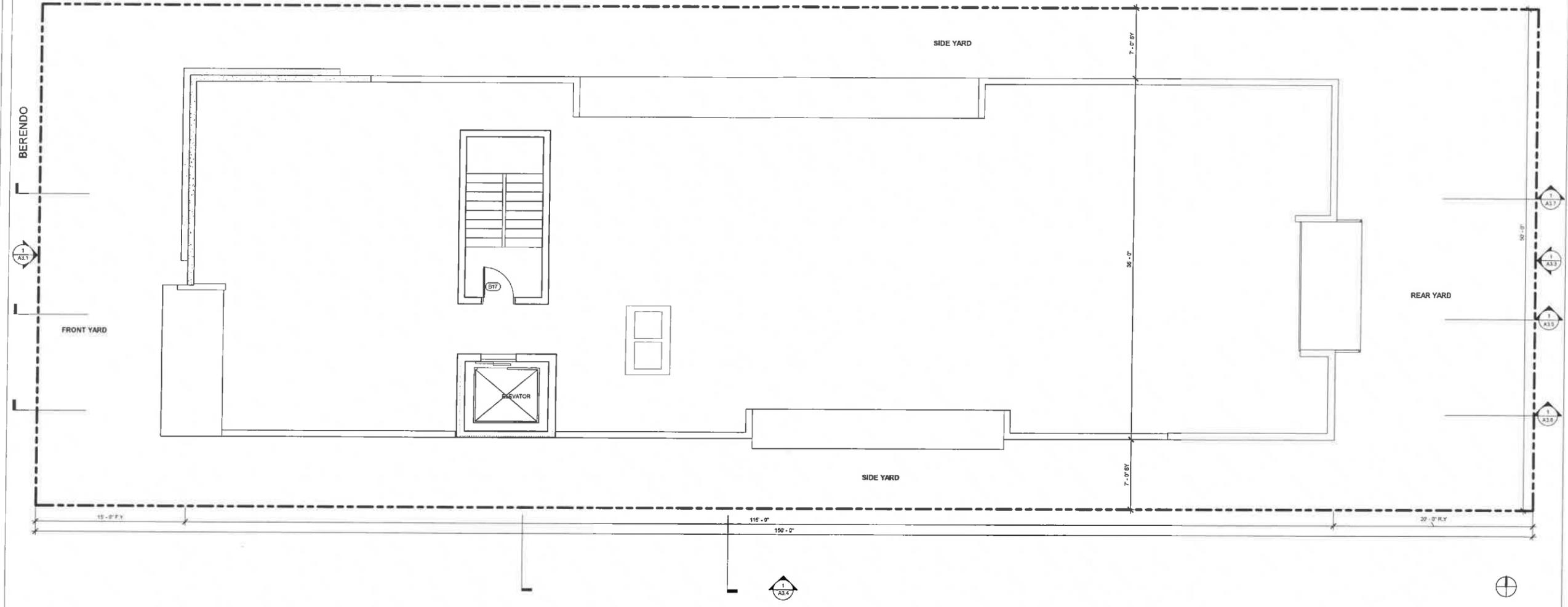
SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.G.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT THE LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR U.G.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

| <p>ARCHITECT: Aaron Brumer & Assoc. Architects 15969 Riverside Drive, Suite 300 North Hollywood, CA 91602 (310) 422-9224</p> | <p>LANDSCAPE:</p> | <p>PROJECT: 15-UNIT MULTIFAMILY RESIDENCE 148 N Berendo Street Los Angeles, CA 90004</p> | <table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01/18/2018</td> <td>PROJECT PERMIT COMPLIANCE SUBMITTAL</td> </tr> <tr> <td>09/19/2018</td> <td>REVISED CITY PLANNING SUBMITTAL</td> </tr> </tbody> </table> | ISSUE DATE | DESCRIPTION | 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL | 09/19/2018 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION | | | | | | | | |
| 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL | | | | | | | | |
| 09/19/2018 | REVISED CITY PLANNING SUBMITTAL | | | | | | | | |
| | | | <table border="1"> <thead> <tr> <th>ISSUE DATE</th> <th>DESCRIPTION</th> <th>STAMP</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | ISSUE DATE | DESCRIPTION | STAMP | | | |
| ISSUE DATE | DESCRIPTION | STAMP | | | | | | | |
| | | | | | | | | | |
| | | | <p>DRAWING TITLE: FOURTH FLOOR PLAN</p> | | | | | | |

A2.4

EXHIBIT "A"
 Page No. 13 of 20
 Case No. D1A-2014-309-TC-399



1 ROOF PLAN
 1/8" = 1'-0"

KEYNOTES

LEGEND

SHEET NOTES

| | | | |
|--|--------------------------|--|-------------------------------------|
| | CONCRETE WALL - SSD | | 'ENERGY STAR' COMPLIANT EXHAUST FAN |
| | CMU WALL - SSD | | SMOKE DETECTOR |
| | 2 X 6 WD STUD WALL - SSD | | CARBON MONOXIDE DETECTOR |
| | 2 X 4 WD STUD WALL - SSD | | |
| | DEMISING WALL | | |
| | 1-HR RATED CONSTRUCTION | | |
| | 2-HR RATED CONSTRUCTION | | |

- ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWS BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 3" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

ARCHITECT:
 Auston Brumer & Assoc, Architects
 10369 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY RESIDENCE
 145 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|--------------|-------------------------------------|
| 1 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 2 05/18/2018 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION |
|------------|-------------|
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STAMP

DRAWING TITLE
 ROOF PLAN

A2.5



1 WEST EXTERIOR ELEVATION
 3/8" = 1'-0"

ARCHITECT:
 Aaron Bruner & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

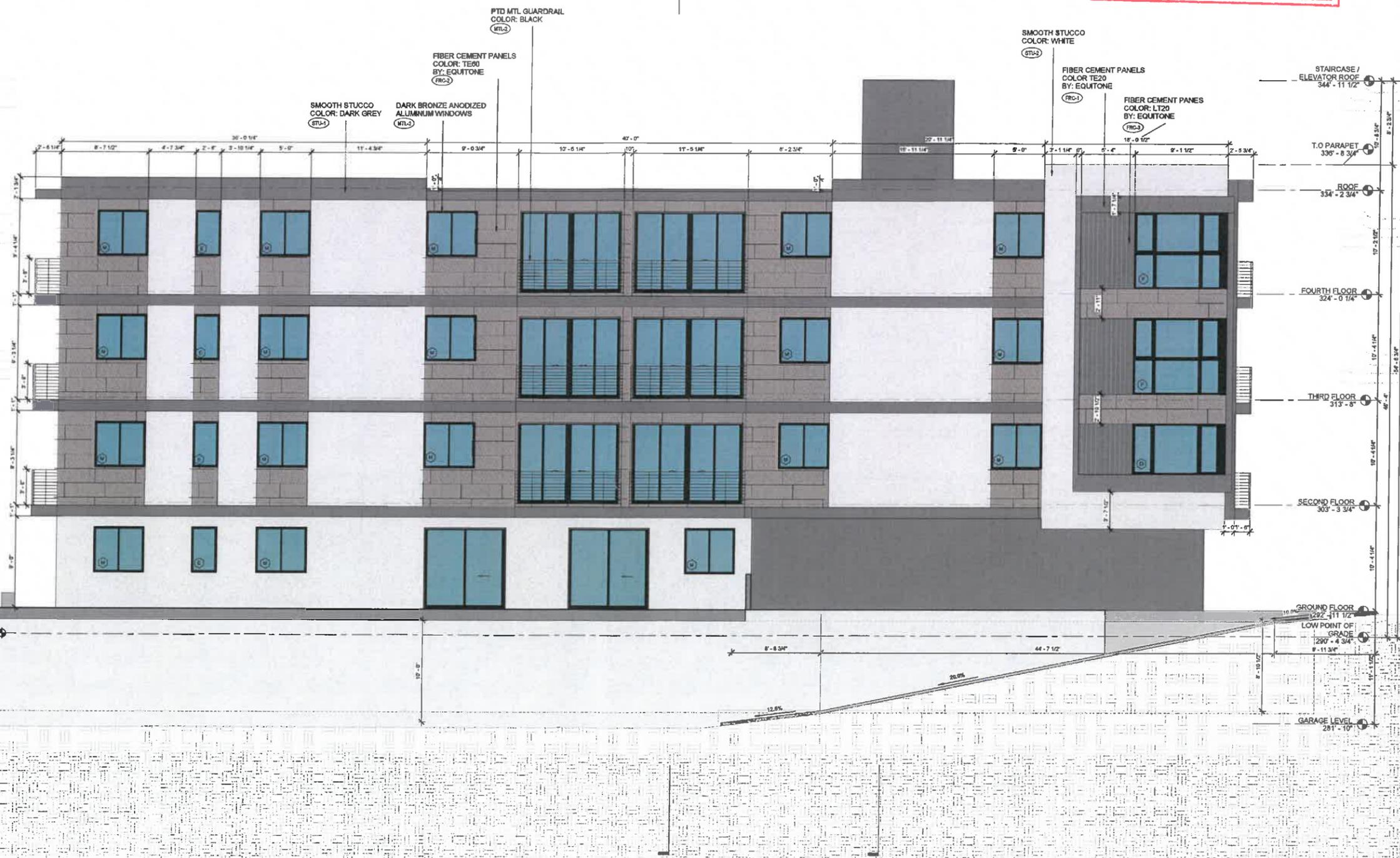
| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 01/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 04/16/2019 | REVISED CITY PLANNING SUBMITTAL |

| ISSUE DATE | DESCRIPTION |
|------------|-------------|
| | |
| | |

| PROPOSED TITLE |
|--------------------------|
| WEST EXTERIOR ELEVATIONS |

A3.1

EXHIBIT "A"
 Page No. 15 of 20
 Case No. 01N-2014-399-TK-SFP



1 NORTH EXTERIOR ELEVATION
 1/4" = 1'-0"

ARCHITECT:
 Aaron Bruner & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 16-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

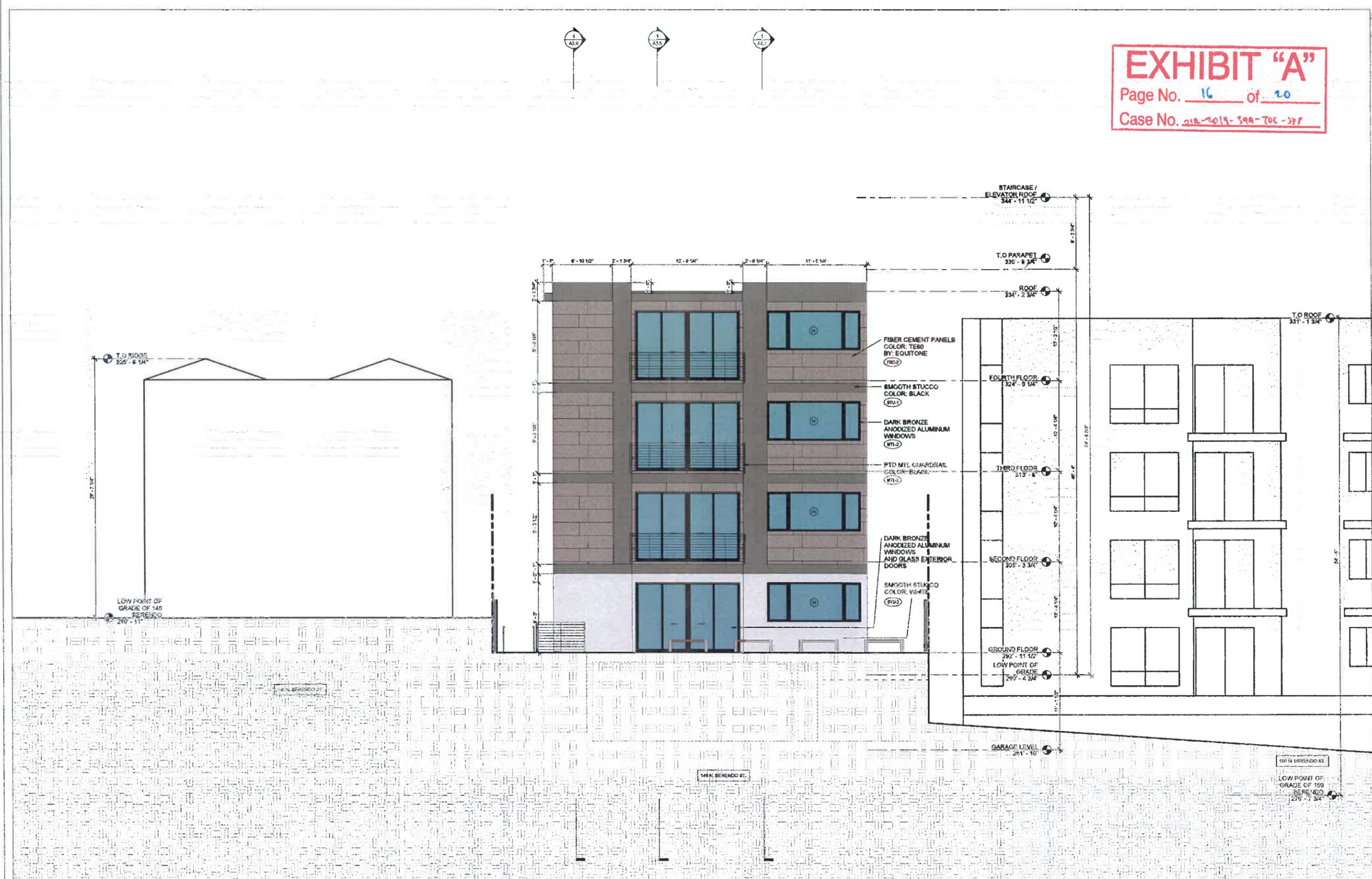
| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 01/18/2012 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 08/19/2019 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION |
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DRAWING TITLE
 NORTH EXTERIOR ELEVATION

A3.2



1 EAST EXTERIOR ELEVATION
 1/4" = 1'-0"

ARCHITECT:
 Aaron Steiner & Assoc. Architects
 10939 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (818) 422-8234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 149 N. BERENDO STREET
 LOS ANGELES, CA 90004

| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 09/16/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 06/18/2019 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION |
|------------|-------------|
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APPROVALS:
 EAST EXTERIOR ELEVATION

A3.3

EXHIBIT "A"
 Page No. 11 of 20
 Case No. 018-2018-399-706-377



1 SOUTH EXTERIOR ELEVATION
 1/4" = 1'-0"

ARCHITECT:
 Ares Brumer & Assoc, Architects
 10999 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 148 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 01/18/2018 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 05/18/2018 | REVISED CITY PLANNING SUBMITTAL |
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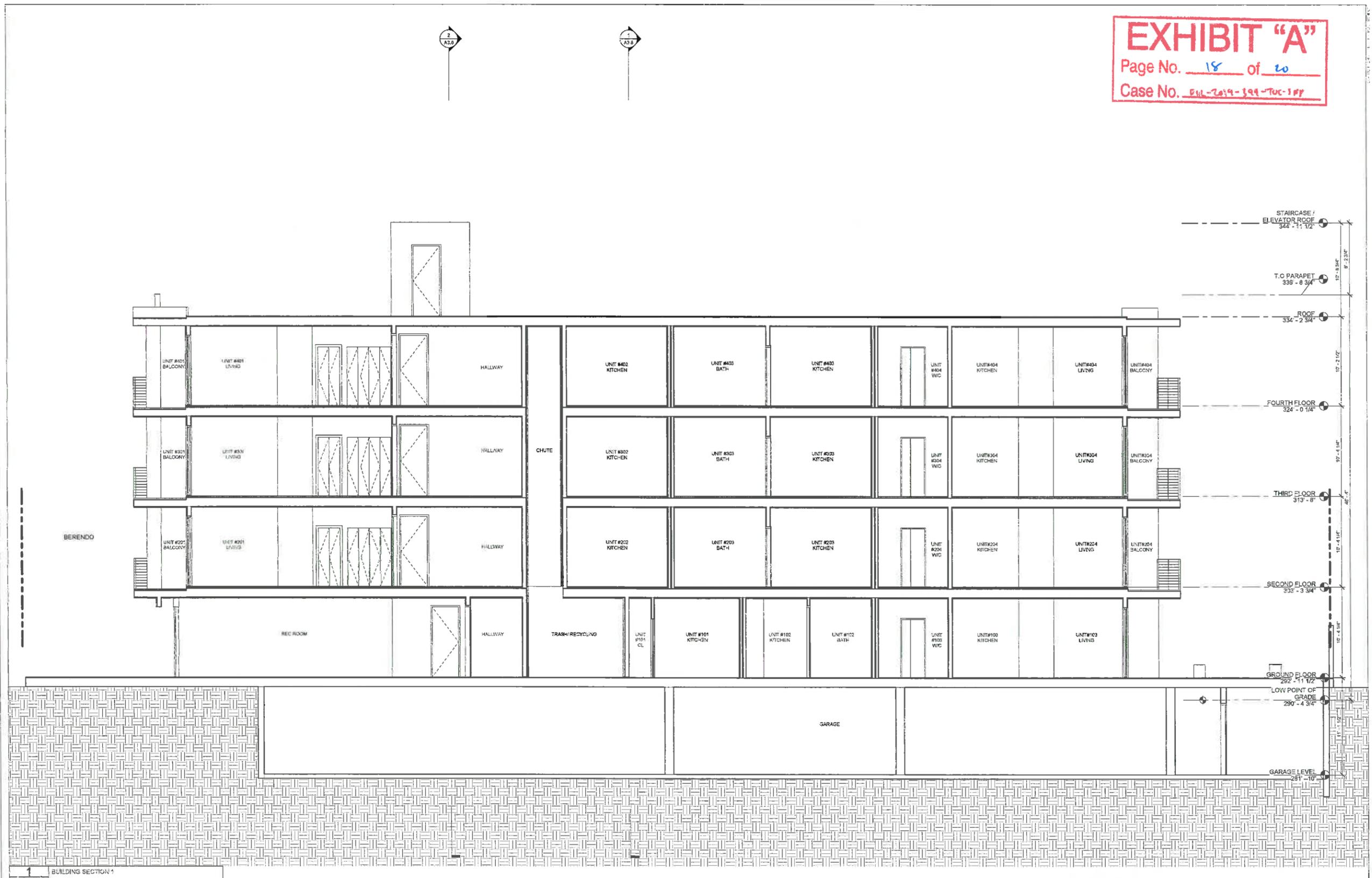
| ISSUE DATE | DESCRIPTION |
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DRAWING TITLE
 SOUTH EXTERIOR ELEVATION

A3.4

EXHIBIT "A"
 Page No. 18 of 20
 Case No. DL-2019-399-TUC-187



BUILDING SECTION 1
 1/4" = 1'-0"

ARCHITECT:
 Aaron Brumer & Assoc, Architects
 10599 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-6234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|------------------|-------------------------------------|
| 1 01 / 08 / 2016 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 2 06 / 19 / 2019 | REVISED CITY PLANNING SUBMITTAL |
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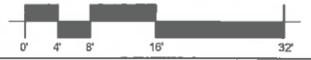
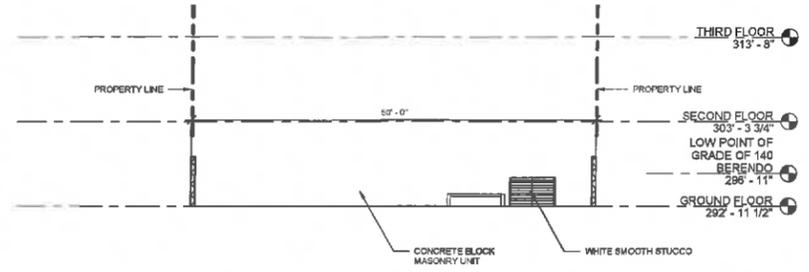
| ISSUE DATE | DESCRIPTION |
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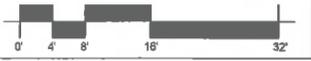
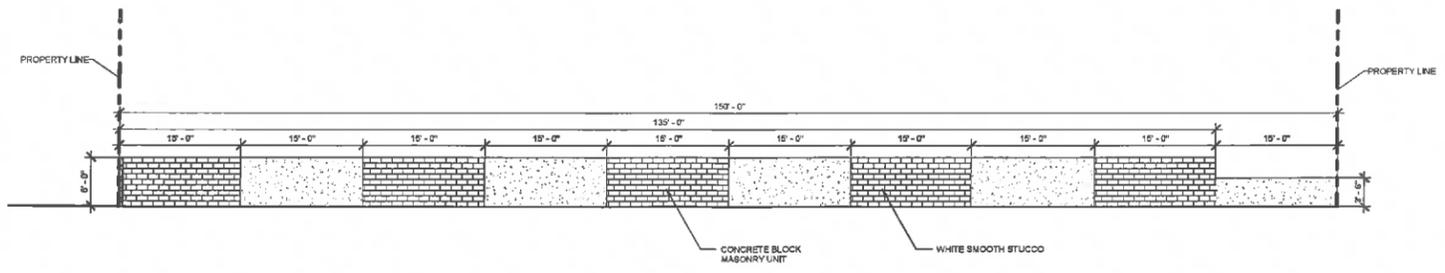
DRAWING TITLE
 BUILDING SECTION 01

A3.5

EXHIBIT "A"
 Page No. 19 of 20
 Case No. 212-2019-399-70C-51P



2 BLOCK WALL ELEVATION EAST
 1/8" = 1'-0"



1 BLOCK WALL ELEVATION NORTH
 1/8" = 1'-0"

ARCHITECT:
 Aaron Brumar & Assoc, Architects
 10399 Riverside Drive, Suite 300
 North Hollywood, CA 91602
 (310) 422-9234

LANDSCAPE:

PROJECT:
 15-UNIT MULTIFAMILY
 RESIDENCE
 146 N Berendo Street
 Los Angeles, CA 90004

| ISSUE DATE | DESCRIPTION |
|------------|-------------------------------------|
| 07/18/2019 | PROJECT PERMIT COMPLIANCE SUBMITTAL |
| 09/18/2019 | REVISED CITY PLANNING SUBMITTAL |
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| ISSUE DATE | DESCRIPTION |
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DRAWING TITLE
 BLOCK WALL ELEVATION

A4.1

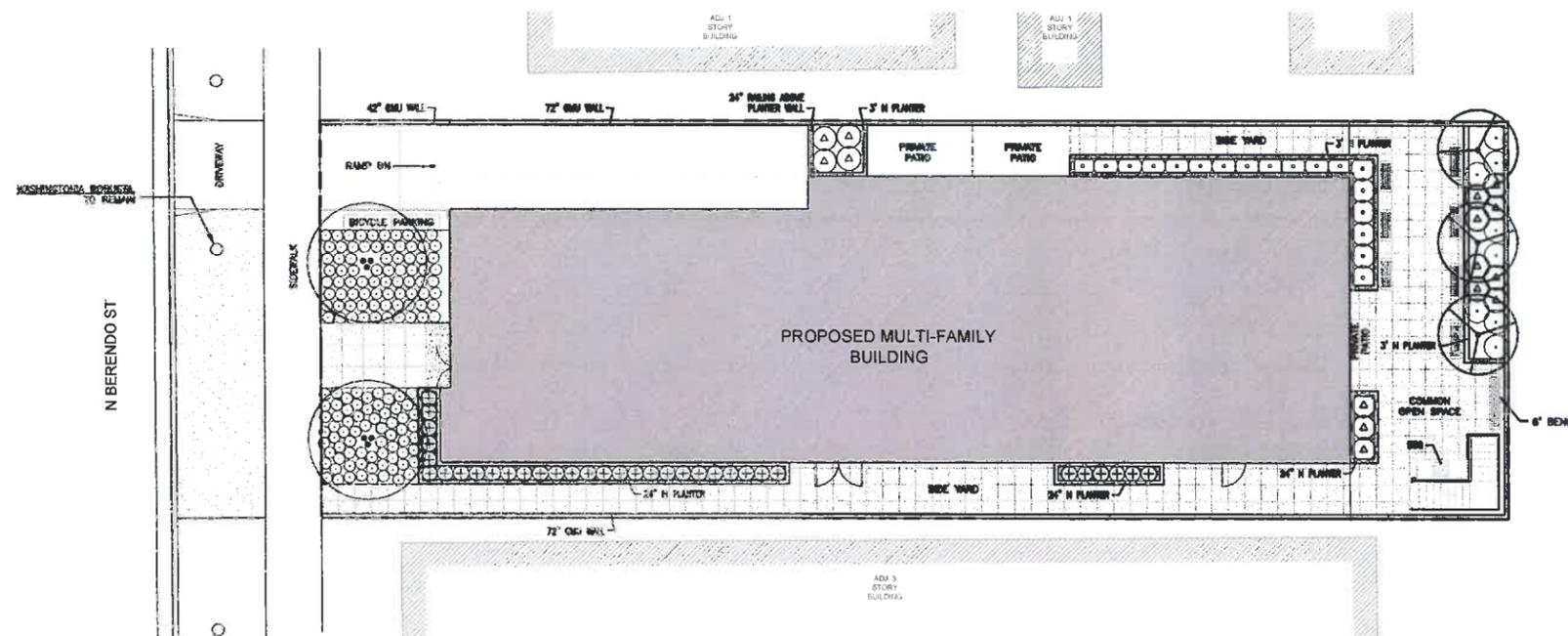
PLANT PALETTE IMAGES



GELERA PARVIFOLIA CHITALPA TASHKENTENSIS KURAFIA SOD CAREX DVULSA



ILEX VOMITORIA 'NANA' ROSA FLORBUNDA 'ICEBERG' LOMANDRA 'BREEZE' JUNCUS PATENS



WATER EFFICIENT LANDSCAPE ORDINANCE
PROJECT INFORMATION

| | |
|---|---|
| DATE: | JUNE 28, 2019 |
| TOTAL LANDSCAPE AREA: | 1,244 SQ. FT. |
| PROJECT TYPE: | RESIDENTIAL DEVELOPMENT |
| WATER SUPPLY TYPE: | POTABLE, LOS ANGELES WATER AND POWER |
| PROPERTY OWNER & APPLICANT: | VLAD GOLD 438 N CANON DRIVE BEVERLY HILLS, CA 90210 VLADGOLD37@GMAIL.COM 310.463.3080 |
| LANDSCAPE ARCHITECT: | JEFF MARRELL, P.L.A. CA#5774 JMD LANDSCAPE ARCHITECTURE 330 ARDEN AVENUE, SUITE 130 GLENDALE, CA 91203 323-481-3808 |
| I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE WORKSUBMITTAL PACKAGE* | |
| The following items will be incorporated into the final irrigation design plans and specifications: | |
| <ol style="list-style-type: none"> 1. A "smart controller" that receives local, real-time ET data 2. Master valves and flow sensor 3. Rain sensing device 4. Anti-drain check valves, as needed 5. Pressure regulator 6. Hydrozones will be properly designated 7. No overhead irrigation within 24" of non-permeable surfaces. 8. Subsurface or low-voltage irrigation will be used for irregularly shaped areas, or areas less than 10 feet in width. | |

NOTE: Refer to Project Cover Sheet for Assessor's parcel number, Legal Description, Vacinity Map, Zoning designations, and other related property information.

LANDSCAPE GOALS AND OBJECTIVES

The approach to the landscape improvements of the development address the following key objectives:

1. Provide an attractive street frontage that complements the landscape character of the adjacent area. Existing driveway pattern to be protected in place.
2. Provide planting that helps manage storm water at the engineered plantings.
3. Utilize landscape plant selection and grouping along with irrigation techniques in order to stay within the required water-use budget.
4. Provide planting and irrigation that can be successfully maintained in a multi-family development with common practices.

TREES LEGEND

| | SIZE | WATER USE | QUANT. |
|---|---------|-----------|--------|
| FRONT YARD - FLOWERING CHITALPA TASHKENTENSIS 'MORNING CLOUD' | 36" BOX | L | 2 |
| STORMWATER BASIN ACCENT TREE GELERA PARVIFOLIA - AUSTRALIAN WILLOW | 24" BOX | L | 3 |

SHRUBS AND GROUNDCOVERS LEGEND

| SYM. | BOTANICAL NAME - COMMON NAME | SPACING | SIZE | WATER USE | QUANT. |
|------|--|----------|-------|-----------|--------|
| ○ | CAREX DVULSA - BERKLEY SEDGE | 18" O.C. | 1 GAL | L | 147 |
| ○ | JUNCUS PATENS - CALIFORNIA GREY RUSH | PER PLAN | 5 GAL | L | 23 |
| ⊕ | ILEX VOMITORIA 'NANA' - DWARF YAUPOH HOLLY | PER PLAN | 5 GAL | L | 34 |
| ○ | LOMANDRA LONGIFOLIA 'BREEZE' - LOMANDRA BREEZE | PER PLAN | 5 GAL | M | 12 |
| △ | ROSA FLORBUNDA 'ICEBERG' - ICEBERG ROSES | PER PLAN | 5 GAL | M | 11 |
| △ | PHYLLA NODIFLORA - 'KURAFIA' SOD | N/A | SOD | L | 434 SF |

- NOTES:
1. Final shrub and groundcover quantities shall be determined upon completion of Construction Documents.
 2. A 3" layer of mulch shall be provided in shrub beds and unplanted areas.
 3. Root barriers shall be installed for trees trees within 6' of hardscape per County standard details. Root barriers shall be located at edge of hardscape and extend beyond center of tree a minimum of 6' in each direction.

EXHIBIT "A"
Page No. 20 of 20
Case No. 019-2019-399-TAC-378



330 ARDEN AVENUE, STE 103
GLENDALE, CA 91203
323.481.3808
WWW.JMDLAC.COM

15-UNIT MULTI-FAMILY
DEVELOPMENT
148 N. BERENDO AVENUE
LOS ANGELES, CA 90004

| REVISIONS | DATE |
|-----------|------|
| 1. | |
| 2. | |
| 3. | |
| 4. | |
| 5. | |
| 6. | |
| 7. | |
| 8. | |



DRAWING STATUS:
PRELIMINARY DESIGN
DRAWN BY: JMM
CHECKED BY:
PROJECT NO. 18-0488
DATE: 2019.06.28

SHEET CONTENTS:
PRELIMINARY
LANDSCAPE
PLAN

SHEET NUMBER:

L-1

COUNTY CLERK'S USE

CITY OF LOS ANGELES
 OFFICE OF THE CITY CLERK
 200 NORTH SPRING STREET, ROOM 395
 LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION
 (PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

DIR-2019-399-TOC-SPP

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2019-400-CE

PROJECT TITLE

COUNCIL DISTRICT

13

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

146 N. Berendo St. (between Council St and 1st St) Map attached.

PROJECT DESCRIPTION:

Four-story, 13,432 square-foot, 15-unit residential building

 Additional page(s) attached.

NAME OF APPLICANT / OWNER:

Vlad Gold

CONTACT PERSON (If different from Applicant/Owner above)

(AREA CODE) TELEPHONE NUMBER

EXT.

310.403.3969

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

 STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

 CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) 15332-Class 32 OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

 Additional page(s) attached

In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services

 None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project. The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Jason Hernández

STAFF TITLE

City Planning Associate

ENTITLEMENTS APPROVED

Transit Oriented Communities, Project Permit Compliance Review

FEE:

\$5,774 + surcharges

RECEIPT NO.

0103991916

REC'D. BY (DCP DSC STAFF NAME)

Latanya Roux

DISTRIBUTION: County Clerk, Agency Record

Rev. 3-27-2019

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

DAVID H. J. AMBROZ
CAROLINE CHOE
KAREN MACK
MARC MITCHELL

VERONICA PADILLA-CAMPOS
DANA M. PERLMAN
VACANT

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

JUSTIFICATION FOR CATEGORICAL EXEMPTION CASE NO. ENV-2019-400-CE

On March 1, 2019, the Department of City Planning determined that the proposed project is exempt from Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject Project as Categorically Exempt under Section 15332, Case No. ENV-2019-400-CE.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The proposed project is for the demolition of a two-story single-family dwelling and detached garage, and the construction, use and maintenance of a four-story, 13,432 square-foot, 15-unit residential building measuring 54 feet, 6 ³/₄ inches in height. The project is setting aside 12 percent of the total 15 units for Very Low Income Households. The building will contain 13,432 square feet of floor area with a 2.8:1 FAR. The unit mix will be comprised of one (1) studio unit, seven (7) one-bedroom units, and seven (7) two-bedroom units. There will be 15 automobile parking spaces, 18 bicycle parking spaces, and 1,682 square feet of usable open space.

The site is zoned R3-1 and has a General Plan Land Use Designation of Medium Residential. As shown in the case file, the project is consistent with the applicable Hollywood Community Plan designation and policies and all applicable zoning designations and regulations in conjunction

with the TOC Affordable Housing Incentive Program. The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.17 acres. The surrounding area is characterized by level topography and improved streets. Properties to the north, south, east, and west are zoned R3-1, located within Subarea A (Neighborhood Conservation) of the SNAP, and developed with one- to four-story single- and multi-family residential buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school.

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. According to the topographic survey, dated December 29, 2017, there are seven (7) unprotected *Cypressus Macrocarpa* trees on-site, which will be removed. There are no protected trees on the subject site. The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project at the time of filing, January 18, 2019, which is the CEQA baseline. As mentioned, the project proposes a multi-family residential building containing 15 dwelling units in an area zoned and designated for such development, through the use of a 60% density increase through use the TOC Affordable Housing Incentive Program in exchange for affordable housing. All surrounding lots are developed with single- and multi-family buildings. The property at the southwest corner of Council Street and Berendo Street is developed with a school. The project proposes a FAR of 2.8:1 in conjunction with the TOC Affordable Housing Incentive Program, which allows a maximum FAR increase of up to 45 percent, allowing a maximum FAR of 4.35:1 in lieu of the 3:1 FAR otherwise permitted by the underlying zone, for setting aside two (2) units for Very Low Income Households. The proposed building will be four stories in height in an area that is developed with apartment buildings that range in height from two to six stories. In conjunction with the TOC Affordable Housing Incentive Program, the proposed building will not be unusual for the vicinity of the subject site, and will be similar in scope to other residential buildings in the area that use the TOC Affordable Housing Incentive Program in exchange for affordable housing. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a

portion of Topanga State Park. State Route 27 is located approximately 18 miles to the west of the subject property. Therefore, the subject site will not create any impacts within a designated state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site.

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. The Department of City Planning, Office of Historic Resources confirmed that the existing building is not considered historic per an email dated November 27, 2018. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.