

EXHIBIT E1:

Ordinance Amending Chapter 1A of the Los Angeles Municipal Code

Boyle Heights Community Plan Update

CF 23-0861; CPC-2016-2905-CPU; ENV-2016-2906-EIR

Recommended by the City Planning Commission on April 20, 2023

September 2023

ORDINANCE NO. _____

A proposed ordinance amending Articles 1, 2, 3, 4, 5, 6, 7, and 9 of Chapter 1A of the Los Angeles Municipal Code (LAMC) to adopt zoning districts and applicable rules and regulations to implement the Boyle Heights Community Plan Update.

THE PEOPLE OF THE CITY OF LOS ANGELES

DO HEREBY ORDAIN AS FOLLOWS:

Section 1. Subparagraphs a. and b. of Section 1.5.2.A.5 (*Zoning of Annexed or Unzoned Land*) of Chapter 1A of the LAMC shall be amended to read as follows:

- a. All land or territory annexed to the City after the effective date of this Zoning code (Chapter 1A) is automatically classified [~~LF2-WH1-5~~][~~A1-1L~~] [VN1-MU3-3][RG2-1L] unless the City Council specifically determines otherwise.
- b. The City Council may establish specific zoning by ordinance for land or territory to be annexed. The zoning ordinance may be adopted concurrently with the annexation. Unless the specific zoning is established by ordinance, the Zoning Map shall be amended to indicate the land or territory annexed as [~~LF2-WH1-5~~][~~A1-1L~~] [VN1-MU3-3][RG2-1L] without additional proceedings.

Section 2. Section 1.5.9. shall be added to Chapter 1A of the LAMC to read as follows:

SEC. 1.5.9 MAJOR TRANSIT STOP AREA MAP

A. Applicability

The Major Transit Stop Area Map identifies areas falling within ½ mile of a major transit stop which are subject to specific regulations intended to address the specific nature of transit-rich areas. These specific regulations are outlined in this Zoning Code (Chapter 1A) and are applicable by reference to this Zoning Code Map.

B. Boundaries

Any land designated, using the Department of Public Works, Bureau of Engineering land base dataset, as falling within a ½ mile of a major transit stop, as shown in the shaded portion of the Major Transit Stop Area Map.

C. Amendments

The Director of Planning is authorized to revise the Major Transit Stop Area Map to ensure it reflects the most current and planned major transit stops. No unauthorized person may alter or modify the Major Transit Stop Area map.

Section 3. Section 2C.1.3 shall be added to Chapter 1A of the LAMC to read as follows:

SEC. 2C.1.3 SUB-LOT AREA

The total area within the boundaries of a sub-lot.

A. Intent

To ensure lots are large enough to accommodate automobile parking and provide a semi-public ground story pedestrian access to promote walkability, activate semi-public spaces, and support personalization and community.

B. Applicability

Minimum sub-lot area requirements apply to all sub-lots that include a dwelling unit within a small lot subdivision.

C. Standards

No sub-lot may have an area less than the minimum specified in the applied Alternate Typology (Part 7B).

D. Measurement

1. Sub-lot area is measured as the total area within the boundary of a sub-lot, measured horizontally.
2. Sub-lot area includes all portions of a lot allocated for required easements.
3. Sub-lot area includes all shared access easements.
4. Sub-lot area does not include portions of a lot required for land dedication with the exception of required street corner dedications and dedications for street widening according to Sec. 10.1.8. (Lots Affected By Street Widening).

E. Exceptions

Where no motor vehicle use areas are provided within the boundaries of a sub-lot, the minimum sub-lot area may be reduced to 450 square feet.

F. Relief

A reduction in required sub-lot area may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

Section 4. Section 2C.1.4. shall be added to Chapter 1A of the LAMC to read as follows:

SEC. 2C.1.4 SUB-LOT WIDTH

The horizontal dimension of a sub-lot along a street lot line or a shared pedestrian accessway.

A. Intent

To ensure lots are large enough to accommodate automobile parking and provide a semi-public ground story pedestrian access to promote walkability, activate semi-public spaces, and support personalization and community.

B. Applicability

Minimum sub-lot width requirements apply to all sub-lots that include a dwelling unit within a small lot subdivision.

C. Standards

No sub-lot may have a width less than the minimum specified in the applied Alternate typology (Part 7B).

D. Measurement

1. Where a sub-lot abuts a frontage lot line, sub lot width is measured following the geometry of the frontage lot line.
2. Where a sub-lot does not abut a frontage lot line, sub lot width is measured as the narrowest horizontal dimension of the sub-lot.
3. Sub-lot area includes all shared access easements.

E. Exceptions

Where no motor vehicle use areas are provided within the boundaries of a sub-lot, the minimum sub-lot area may be reduced to 450 square feet.

F. Relief

A reduction in required sub-lot area may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

Section 5. Section 2C.5.2 shall be added to Chapter 1A to read as follows, and all subsequent sections shall be renumbered accordingly:

SEC. 2C.5.2 WALL PLATE HEIGHT

The vertical dimension of the wall of a building that supports the roof structure.

A. Intent

To help reduce the impact of taller building walls along the public realm and from abutting properties.

B. Applicability

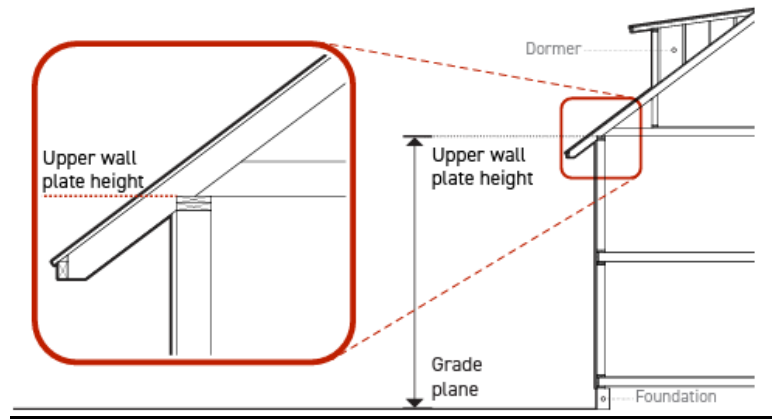
The maximum wall plate height requirement applies to all buildings on a lot where the Form District (Part 2B) specifies a maximum wall plate height standard.

C. Standards

1. No wall plate shall exceed the maximum wall plate height standard.
2. The roof may continue in height up to the maximum height in feet specified by the zoning district.

D. Measurement

Wall plate height is measured along each exterior wall of a building from grade plane to the top of the uppermost wall plate of the building.



E. Relief

1. An increase in the maximum wall plate height of 20% or less may be requested in accordance with Sec. 13B.5.2. (Adjustments).
2. An increase in the maximum wall plate height of more than 20% has to be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

Section 6. Section 2C.6.1.C.3. shall be added to Sec. 2C.6.1. (*Building Width*) of Chapter 1A of the LAMC to read as follows, and all subsequent paragraphs shall be renumbered accordingly:

3. Buildings located on different *sub-lots*, within the same *Small Lot Subdivision* (Div. 7B.3.1), that are separated by less than 6 feet are considered part of the same building for the purpose of measuring building width.

4. ~~3~~—A building on a corner lot within the build-to zone area of overlap is allowed to exceed the maximum building width by up to 40 feet along both primary and side street lot lines.

5. ~~4~~—In order to establish buildings on the same lot as separate buildings for the purpose of measuring maximum building width, a building break meeting the standards in Sec. 2C.2.6.1.E. (Building Break) shall be provided between the buildings.

Section 7. Paragraph 3. of Section 3A.2.2.B. (*Project Activities*) of Chapter 1A of the LAMC shall be amended as follows:

3. For Character Frontage Districts, Character Frontage rule categories apply to project activities as shown in the table below:

	Applicability								
	New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary	Renovation	Maintenance & Repair
CHARACTER FRONTAGE RULES CATEGORIES									
Div. 3D.1. Build-to	●	●							
Div. 3D.2. Parking	●	●		●					
Div. 3D.3. Landscaping	●	●	●	●					
Div. 3D.4. Ground Floor Elevation	●								
Div. 3C.5. Story Height	●								
Div. 3C.6. Articulation	●	●			●				
Div. 3C.7. Features	●				●				
Div. 3C.8. Entrances	●	●			●				
Div. 3C.9. Transparency	●	●			●				
Div. 3C.10. Exterior Materials	●	●			●				
Div. 3C.11. Roof Design	●	●			●				

Section 8. Section 3C.1.3.C.2. shall be added to Sec. 3C.1.3. (*Build-To-Width*) Chapter 1A to read as follows and all subsequent paragraphs shall be renumbered accordingly:

2. When build-to width is specified as “building-based”, the build-to zone shall be occupied by buildings for not less than 50% of the width of the building having the greatest total floor area on the lot.

23. On a corner lot, a chamfered corner no more than 20 feet in width along both street lot lines qualifies as building width in the build-to zone for all applicable stories even where it extends outside of the build-to zone. Chamfered corner width is measured parallel to the frontage lot line.

34. Portions of a building width providing motor vehicle access to a motor vehicle use area through the ground story of a building do not qualify as building width in the build-to zone.

Section 9. Section 3C.2.2. shall be added to Chapter 1A of the LAMC to read as follows:

SEC. 3C.2.2. PARKING BETWEEN BUILDING & STREET

The location of motor vehicle use areas between a building and the public realm.

A. Intent

To control the impact of motor vehicle-dominated areas on the pedestrian experience especially where buildings do not line the majority of the public realm, and to promote a comfortable, safe, engaging, and attractive streetscape, with pedestrian access to active uses and landscaping between the public realm and street-oriented buildings.

B. Applicability

Where specified by the applied *frontage district* (Part 3B), parking between the building and the street requirements apply to frontage yards and *frontage applicable building depth* (Sec. 3A.2.2.C.4) on the ground story.

C. Standards

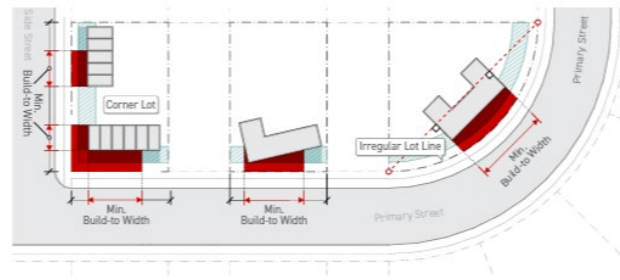
1. Where the applied frontage district (Part 3B) specifies "No":
 - a. No motor vehicle use area may be located between a building that occupies the build-to zone and the frontage lot line, for the portion of the building width provided to comply with a build-to width requirement.
 - b. No motor vehicle use area may be located on the ground story of a building or structure within the frontage applicable

building depth for the portion of the building width provided to comply with a build-to width requirement.

2. Where the applied frontage district (Part 3B) specifies "Yes", no additional limitations to the location of motor vehicle use areas are required to comply with parking between the building and street standards.

D. Measurement

1. The area between a building width and the street is determined as the entire area on a lot bordered by the applicable *street-facing facade* (Sec. 14.1.6.D.) and frontage lot line, for the applicable building width. For corner lots, the area between the building and the street also includes the portion of the lot beyond the width of the building nearest to the intersection, up to the intersecting street lot line.



2. For measuring building width see Sec. 2C.6.1.D.
3. For frontage lot line-facing, see Sec. 14.1.6. (*Facing*).
4. For *street-facing facade*, see Sec. 14.1.6.D. (*Street-Facing Facade*).

E. Exceptions

A driveway located between a street-facing building facade and the frontage lot line may be allowed provided all of the following conditions are met:

1. The automobile access package (Sec. 4C.2.1) specified by the applied *Development Standards District* (Part 4B) allows automobile access to be taken through the frontage lot line associated with a parking setback; and
2. The driveway is no wider than the minimum allowed width. See *Div. 4C.2. (Automobile Access)*.

F. Relief

1. A reduction in the width of the area of the lot or building depth required to comply with parking between building and street standards of 15% or less may be requested in accordance with Sec. 13B.5.2. (*Adjustment*).

2. Modifications to parking between building and street standards may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

Section 10. Subparagraph b. of Section 3D.6.2.C.2. (*Building Layers*) of Chapter 1A of the LAMC shall be amended to read as follows:

b. Top

- i. The top building layer shall include at least twice as many stories as the base building layer and include all remaining above-grade stories not included in the base building layer or include all remaining above-grade stories up to a street stepback of no less than 15 feet in depth. if the building is less than 3 stories, or less than 3 stories without a street stepback of at least 15 feet in depth, the top layer may be composed of 1 story regardless of the height of the base layer.

Section 11. Section 3D.11.1.C.2. (*Roof Form Options*) of Chapter 1A of the LAMC shall be amended to include the following subparagraph:

b. Pitched

A roof composed of 2 or more sloping planes where all roof planes slope up from the exterior perimeter of the building or structure and connect with another roof plane at a central ridge. All roof planes shall have a minimum pitch of 3:12 (3 inch of vertical rise for every 12 inches of horizontal span). Examples of pitched roof forms include hipped, gabled, and gambrel roofs.

Section 12. Section 3D.11.3. shall be added to Sec. 3D.11. (*Roof Design*) of Chapter 1A to read as follows:

SEC. 3D.11.3 OVERHANG

A. Intent

To ensure that a building's roof design contribute to the established architectural character of surrounding neighborhoods or districts.

B. Applicability

Where specified by the applied *Character Frontage District (Div. 3B.7)*, overhang standards apply to all portions of a roof used to comply with Sec. 3D.11.1. (*Roof Form*).

C. Standards

Applicable portions of the roof plane shall extend horizontally beyond the building footprint by no less than the minimum overhang dimension specified by the applied *Character Frontage District (Div. 3B.7)* for all portions of the perimeter of the building footprint.

D. Measurement

Overhang is measured horizontally and perpendicular to the building facade from the face of the outermost building facade to the outer edge of the roof plane for the full perimeter of the building or structure.

E. Relief

1. Up to a 15% reduction to the minimum overhang dimension may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
2. Deviation from overhang standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

Section 13. Section 4C.4.1.E. (*Exception*) of Chapter 1A of the LAMC shall be amended to include the following paragraph:

11. Proximity to Transit

Regardless of the number of required automobile stalls specified by the parking package assigned by the applied Development Standards District, no minimum parking shall be required within ½ mile of a major transit stop - see *Sec. 1.5.9. (Major Transit Stop Area Map)*.

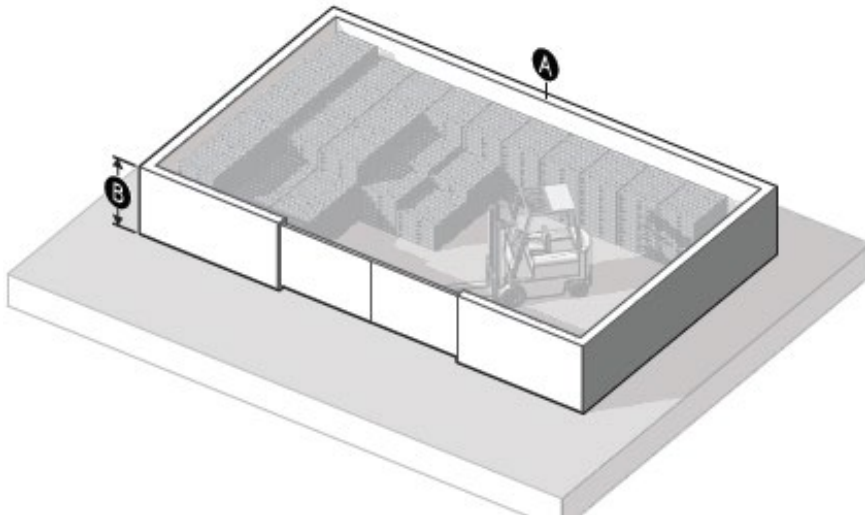
Section 14. Subparagraph d. of Section 4C.8.3.C.2. (*Screening Enclosure*) of Chapter 1A shall be amended to read as follows:

d. ~~All provided fences and walls shall comply~~ In addition to complying with the standards of *Sec. 4C.7.3 (Fence/Wall Design and Installation)*, all provided fences and walls shall be constructed of non-combustible materials.

Section 15. Section 4C.8.3.C.3.b (*S-Screen 2*) of Chapter 1A of the LAMC shall be amended as follows:

b. S-Screen 2

Applicable as required by Article 5. (Use).



SITING	Sec. 4C.8.3.D.
Frontage lot line setback (min)	n/a
Area (max)	n/a
FENCES & WALLS	Sec. 4C.8.3.D.
A) Enclosure (min)	100%
B) Height (min)	6' 8'
Opacity (min)	90%
<u>COVERING</u>	<u>Sec. 4C.8.3.D.</u>
<u>Covered (min)</u>	<u>100%</u>

Section 16. Section 4C.8.3.D. (*Measurement*) of Chapter 1A of the LAMC shall be amended to add paragraph 3 as follows:

3. Covering

For measurement of covered, see *Sec. 14.1.2. (Covered Area (%))*.

Section 17. Section 4C.13.2 (*Freeway Adjacency*) shall be added to Division 4C.13 (*Environmental Protection*) of Chapter 1A of the LAMC to read as follows:

Sec. 4C.13.2. FREEWAY ADJACENCY

A. Intent

1. Protect freeway-adjacent properties from air pollution.
2. Inform the public of health risks associated with vehicle exhaust and particulate matter.

B. Applicability

Freeway adjacency standards apply to all new construction and site modification.

C. Standards

1. Required Signs

- a. Any government owned, leased or operated building, or public park located within 1,000 feet of a freeway shall post a sign to notify the public as follows:

"NOTICE: Air pollution studies show a strong link between the chronic exposure of populations to vehicle exhaust and particulate matter from major roads and freeways and elevated risk of adverse health impacts, particularly in sensitive populations such as young children and older adults. Areas located within 500 feet of the freeway are known to experience the greatest concentration of ultrafine particulate matter and other pollutants implicated in asthma and other health conditions."

- b. The sign shall be posted at a shared main entrance or shared facility. Public parks shall post signage in restrooms. The sign must meet the following requirements:
 - i. A minimum size of 8.5 inches x 11 inches;
 - ii. Garamond bold condensed font type at 28 point size;
 - iii. English or English and Spanish;
 - iv. Durable sign made from plastic or aluminum or other hard surface; and
 - v. Fixed to a wall, door, or other physical structure.

2. Required Screening

Any property abutting a freeway is subject to the screening requirements specified in Sec. 4C.8.2.C.2. (Freeway Screening).

D. Measurement

Reserved.

E. Relief

1. Deviation from any freeway adjacency standard may be requested as a variance in accordance with Sec. 13B.5.3 (Variance).
2. Deviation from freeway screening requirements may be requested as specified in Sec. 4C.8.2.E. (Relief).

Section 18. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended as follows:

Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL	*	Use enclosure	Fully Indoor
		<u>Use Standard Screen</u> applicability	
		Abutting	<ul style="list-style-type: none"> ● Sensitive Use ● Agricultural Use Districts ● Residential Use Districts ● <u>Residential-Mixed Use Districts</u>
		Screening	
		Frontage Screen	F-Screen 4
		Transition Screen	T-Screen 1

Section 19. Section 5B.1.1. (*Open Space 1*), Section 5B.5.2. (*Commercial-Mixed 2*), Section 5B.5.3. (*Commercial-Mixed 3*) and Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended as follows:

Use	Permission	Use Standard	Specification
Cemetery	P*	Building Separation	
		Street (min)	300'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage Screen	F-Screen 2
		Transition Screen	T-Screen 1

Section 20. Section 5B.5.2. (*Commercial-Mixed 2*), Section 5B.5.3. (*Commercial-Mixed 3*), and Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Donation Bin	P*	In conjunction with:	Other allowed uses
		Size	Height: 82" Depth: 50" Width: 60"
		Use Separation	
		Agricultural, or Residential, or Residential-Mixed Use District (min)	100'

		Use setback	
		Frontage Lot Line (min)	20'
		Common Lot Line (min)	10'
		Use Enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.5.2.C.5.
		Supplemental procedures	Sec. 5B.5.2.D.45.

Section 21. Section 5.B.5.3. (*Commercial-Mixed 3*), and Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Car Wash	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Use enclosure	
		Car Wash, mechanized	Fully indoor
		Car wash, self-service	Covered
		Screening	
		Frontage screen	F-Screen 3

		Transition screen	T-Screen 1
		Hours of service and operation (early/late)	7am/7pm
		Outdoor sound system	Prohibited
		Supplemental standards	<i>Sec. 5B.5.3.C.4.</i>

Section 22. Section 5.B.5.3. (*Commercial-Mixed 3*), and Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Fueling Station	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of service and operation (early/late)	7am/7pm
		Outdoor sound system	Prohibited
		Supplemental standards	<i>Sec. 5B.5.3.C.5.</i>

Section 23. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Animal Services:			
Kennel	P*	Use Enclosure	Fully indoor
		Use Separation (min)	
		Residential, or <u>Residential-Mixed</u> Use District (min)	200'
		Relief	C2

Section 24. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Sexually Oriented Business	*	Use Separation (min)	
		Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, or <u>Residential, or</u> <u>Residential-Mixed</u> Use District (min)	500'
		Relief	C2
General	P*	(See Sexually Oriented Business)	
Sexual Encounter	C2*	(See Sexually Oriented Business)	

Section 25. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Motor Vehicle Services			
Commercial Vehicle	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Use enclosure	Fully indoor
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.2.C.2.

Section 26. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Motor Vehicle Sales & Rental:			
		Use Separation (min)	

Commercial Vehicle	P*	Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Household Moving Truck Rental	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Use enclosure	Fully indoor
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Standard Vehicle	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'

		Relief	C2
		Use enclosure	Fully indoor
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1

Section 27. Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC shall be amended to read as follows:

Use	Permission	Use Standard	Specification
Storage, Outdoor:			
General	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural ₁ or Residential ₁ or <u>Residential-Mixed Use District</u> (min)	200'
		Relief	C2
		Screening	
		Outdoor storage screen	S-Screen 2
		Use Separation (min)	
		Sensitive Use	500'
		Agricultural ₁ or Residential ₁ or <u>Residential-Mixed</u>	500'

Cargo Container	P*	Use District (min)	
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	<i>Sec. 5B.8.2.C.5.</i>
		Supplemental procedures	<i>SEc. 5B.8.2.D.6.</i>
Commercial Vehicle	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Official Motor Vehicle Impound	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'

		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Standard Vehicle	P*	Use Separation (min)	
		Sensitive Use	200'
		Agricultural, or Residential, or Residential-Mixed Use District (min)	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1

Section 28. Amend all Use Standards in the Heavy Industrial Use Category of Section 5B.8.2. (*Industrial 2*) of Chapter 1A of the LAMC. Where the Use Standard contains a Use Separation requirement from Agricultural or Residential Use Districts, the Use Separation requirement shall be amended to read as follows:

Use	Permission	Use Standard	Specification
		Use Separation (min)	
		Agricultural, or Residential, or Residential-Mixed Use District (min)	

Section 29. Section 5C.3.5.C. (*Building Separation*) of Chapter 1A of the LAMC shall be amended to include paragraph 6 as follows:

6. Other buildings on-site.

Section 30. Section 5C.3.15. (*Lot Eligibility*) shall be added to Chapter 1A of the LAMC, as follows, and all subsequent sections shall be renumbered accordingly:

Sec. 5C.3.15. LOT ELIGIBILITY

A. **Intent**

To limit subject uses only to lots having specific qualities required in order to ensure the use is appropriately sited within its surroundings and complies with the intent of the Use District.

B. **Applicability**

Applies only when specified by the Use District as a required use standard.

C. **Standards**

1. Alley Abutting: Where the applied Use District specifies 'Alley Abutting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot that abuts an alley having a width of 15 feet or greater.
2. Boulevard or Avenue Fronting: Where the applied Use District specifies 'Boulevard or Avenue Fronting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot sharing a lot line with a street designated as a Boulevard or Avenue.
3. Industrial Collector Fronting: Where the applied Use District specifies 'industrial collector Fronting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot sharing a lot line with a street designated as an Industrial collector.
4. Corner Lot: Where the applied Use District specifies 'corner lot' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot located at the intersection of two streets.
5. Minimum Lot Area: Where the applied Use District specifies 'Minimum lot Area' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot having an area that is equal to or greater than the minimum area specified by the applied Use District.

D. **Measurement**

1. Alley width is measured as the narrowest horizontal distance between opposite edges of a designated alley.

2. For lot line determination see Sec. 14.1.12 (Lot Line Determination).
3. For lot area measurement see Sec. 2C.1.1.D. (Lot Area, Measurement).

E. Relief

See the allowed uses and use limitations of the applied Use District (Part 5B).

Section 31. Section 6B.1.2. (*Lot Area-Based Districts*) of Chapter 1A of the LAMC shall be amended as follows:

Lot Area-Based Districts		
Density District	Lot Area per Household Dwelling Unit (min SF) Sec. 6C.1.2.	Lot Area per Efficiency Dwelling Unit (min SF) Sec. 6C.1.3.
FA	Limited by Floor Area	Limited by Floor Area
2	200	100
3	300	150
4	400	200
6	600	300
8	800	400
10	1000	500 <u>1000</u>
12	1200	600 <u>1200</u>
15	1500	750 <u>1500</u>
20	2000	1000 <u>2000</u>
25	2500	1250 <u>2500</u>
30	3000	1500 <u>3000</u>
40	4000	2000 <u>4000</u>
50	5000	2500 <u>5000</u>
60	6000	3000 <u>6000</u>
N	Not Permitted	<u>Not Permitted</u>

Section 32. Section 9.3.2.B.1.a of Chapter 1A of the LAMC shall be amended to read as follows:

LOCAL INCENTIVE PROGRAM SETS					
Set	Affordability Requirements				
	ACUTELY LOW INCOME	EXTREMELY LOW INCOME	VERY LOW INCOME	LOWER INCOME	MODERATE
A	n/a	11%	15%	25%	n/a
B	<u>10%</u>	11%	15%	25%	n/a
C	n/a	10%	14%	23%	n/a
D	n/a	10%	14%	23%	n/a
E	n/a	9%	12%	21%	n/a
F	n/a	8%	11%	20%	n/a
G	7%	8%	11%	20%	40%

Section 33. Part 2B (*Form Districts, Table of Contents*) of Article 2 of Chapter 1A of the LAMC shall be amended as follows:

Div. 2B.4. Very Low-Rise Narrow Form Districts

Sec. 2B.4.1 Very Low-Rise Narrow 1 (VN1)

Sec. 2B.4.2 Very Low-Rise Narrow 2 (VN2)

Div. 2B.5. Very Low-Rise Medium Form Districts

Sec. 2B.5.1. Very Low-Rise Medium 1 (VM1)

Sec. 2B.5.2. Very Low-Rise Medium 2 (VM2)

Div. 2B.7. Very Low-Rise Full Form Districts

Sec. 2B.7.1. Very Low-Rise Full 1 (VF1)

Sec. 2B.7.2. Very Low-Rise Full 2 (VF2)

Div. 2B.9. Low-Rise Medium Form Districts

Sec. 2B.9.1 Low-Rise Medium 1 (LM1)

Sec. 2B.9.2 Low-Rise Medium 2 (LM2)

Sec. 2B.9.3 Low-Rise Medium 3 (LM3)

Sec. 2B.9.4 Low-Rise Medium 4 (LM4)

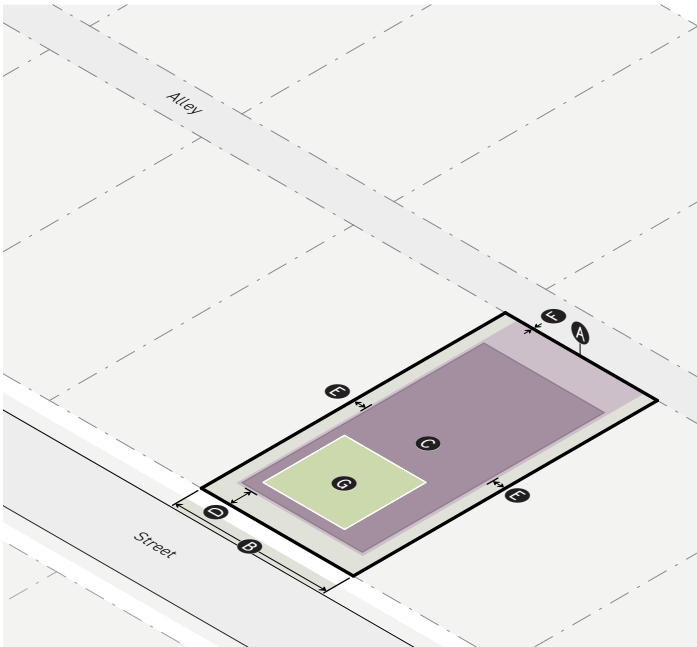
Sec. 2B.9.5 Low-Rise Medium 5 (LM5)

Sec. 2B.9.6 Low-Rise Medium 6 (LM6)

Section 34. Sections 2B.4.1 (*Very Low-Rise Narrow 1*), 2B.4.2 (*Very Low-Rise Narrow 2*), 2B.5.1. (*Very Low-Rise Medium 1*), 2B.5.2. (*Very Low-Rise Medium 2*), 2B.7.2. (*Very Low-Rise Full 2*), 2B.9.3 (*Low-Rise Medium 3*), 2B.9.4 (*Low-Rise Medium 4*), 2B.9.5 (*Low-Rise Medium 5*), and 2B.9.6 (*Low-Rise Medium 6*) shall be added to Article 2 of Chapter 1A of the LAMC, to read as follows:

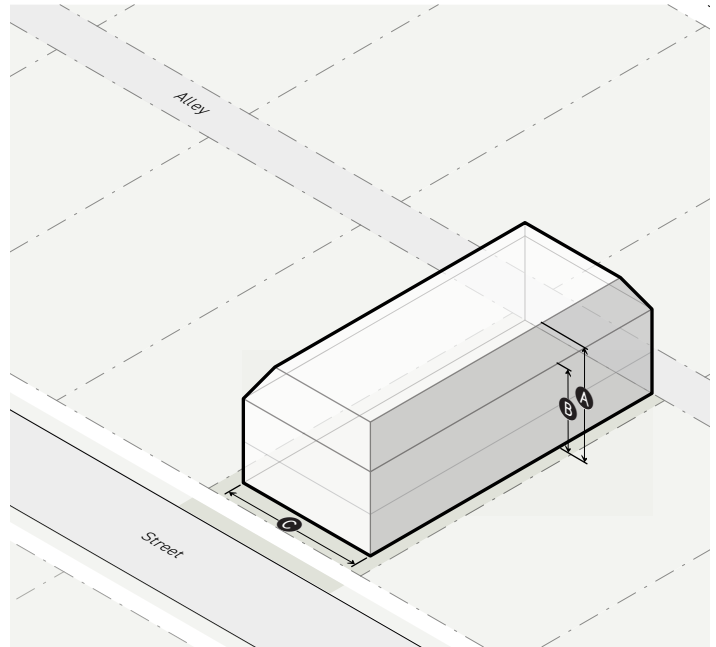
SEC. 2B.4.1. VERY LOW-RISE NARROW 1 (VN1)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	5,000 sf
B	Lot width (min)	40'
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	65%
Building setbacks		
D	Primary street (min)	10'
	Side street (min)	5'
E	Side (min)	3'
	Rear (min)	3'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

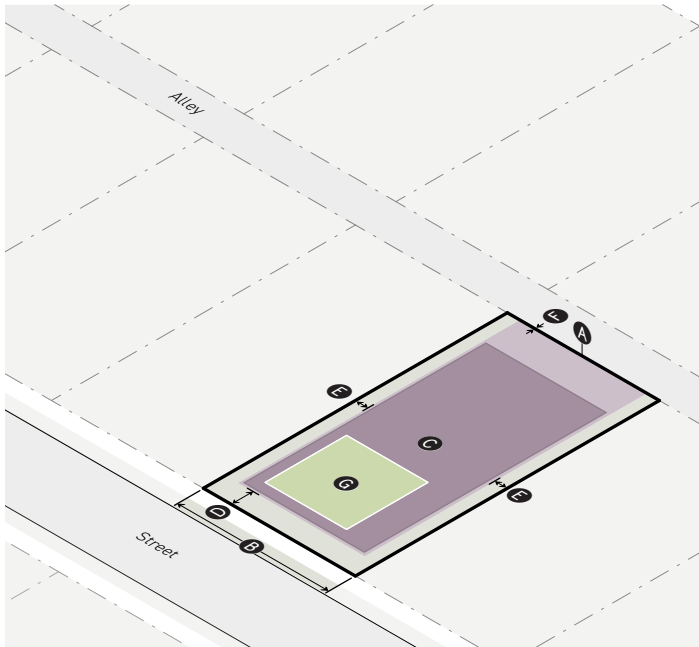
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	FAR (max)	0.6
A	Height in feet (max)	33'
	Height in stories (max)	3
	Bonus	None
2. UPPER STORY BULK		Div. 2C.6.
B	Wall plate height (max)	24'
3. BUILDING MASS		Div. 2C.6.
C	Building width (max)	50'
	Building break (min)	6'

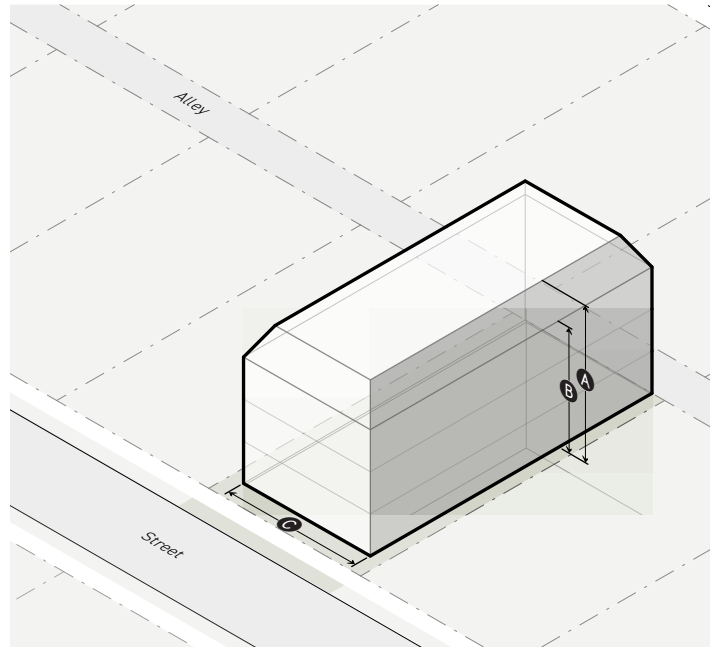
SEC. 2B.4.2. VERY LOW-RISE NARROW 2 (VN2)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	5,000 sf
B	Lot width (min)	40'
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	65%
Building setbacks		
D	Primary street (min)	10'
	Side street (min)	5'
E	Side (min)	3'
	Rear (min)	3'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

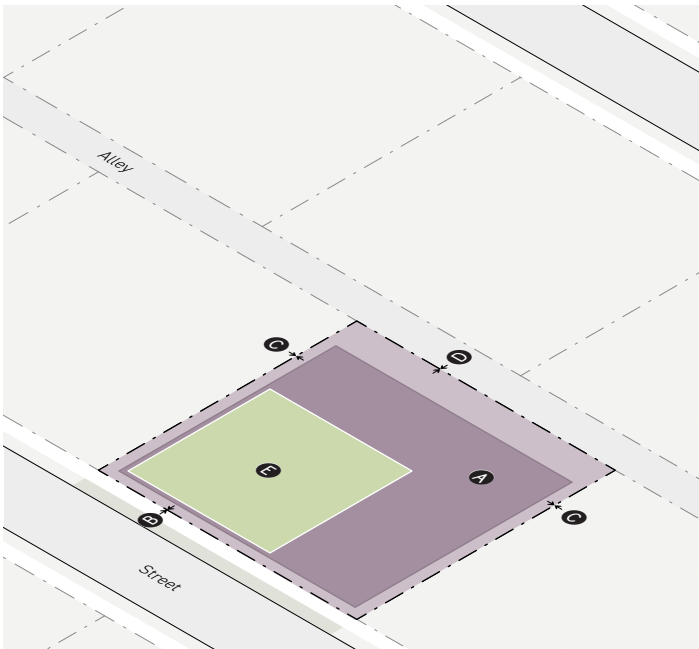
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	Base FAR (max)	1.0
A	Height in feet (max)	45'
	Height in stories (max)	4
	Bonus FAR (max)	1.5
2. UPPER STORY BULK		Div. 2C.6.
B	Wall plate height (max)	36'
3. BUILDING MASS		Div. 2C.6.
C	Building width (max)	50'
	Building break (min)	6'

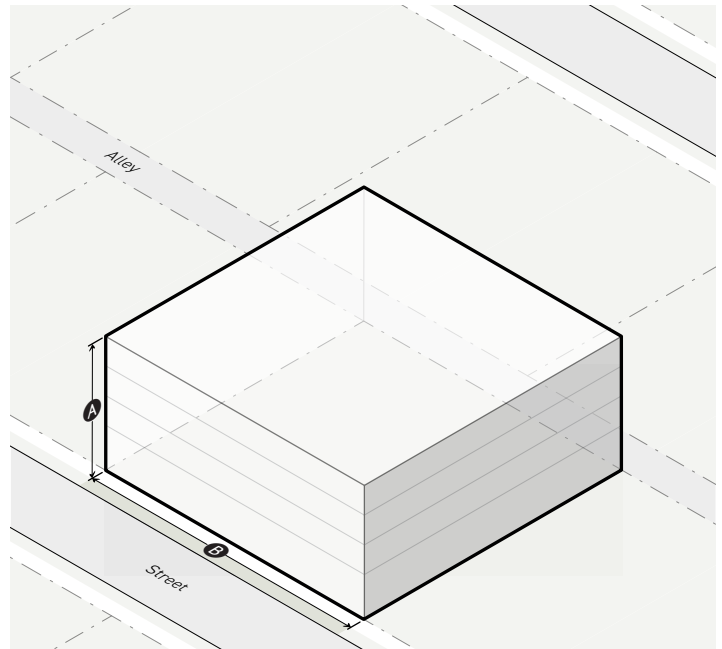
SEC. 2B.5.1. VERY LOW-RISE MEDIUM 1 (VM1)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	n/a
B	Lot width (min)	n/a
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	85%
Building setbacks		
D	Primary street (min)	0'
	Side street (min)	0'
E	Side (min)	0'
	Rear (min)	0'
F	Alley (min)	0'
	Special: All (min)	15'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	30%
	Residential amenity space (min)	10%

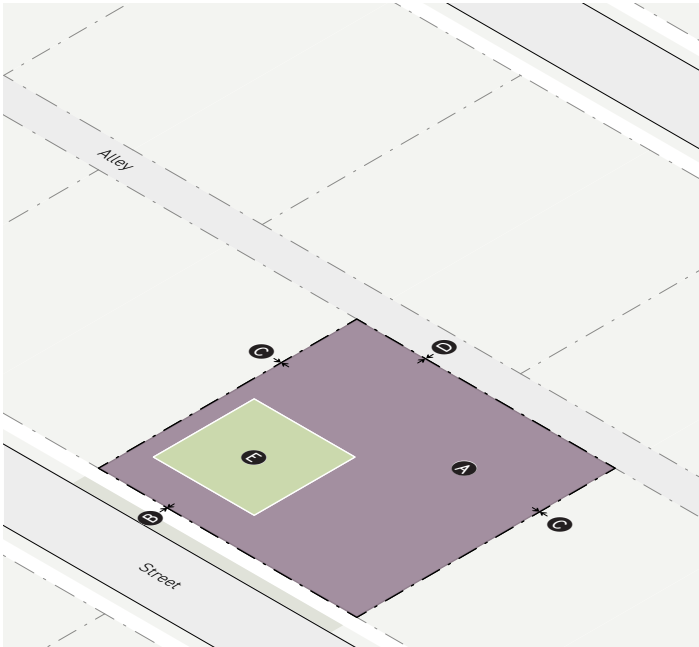
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	FAR (max)	1.5
A	Height in feet (max)	45'
	Bonus	None
2. BUILDING MASS		Div. 2C.6.
C	Building width (max)	210'
	Building break (min)	15'

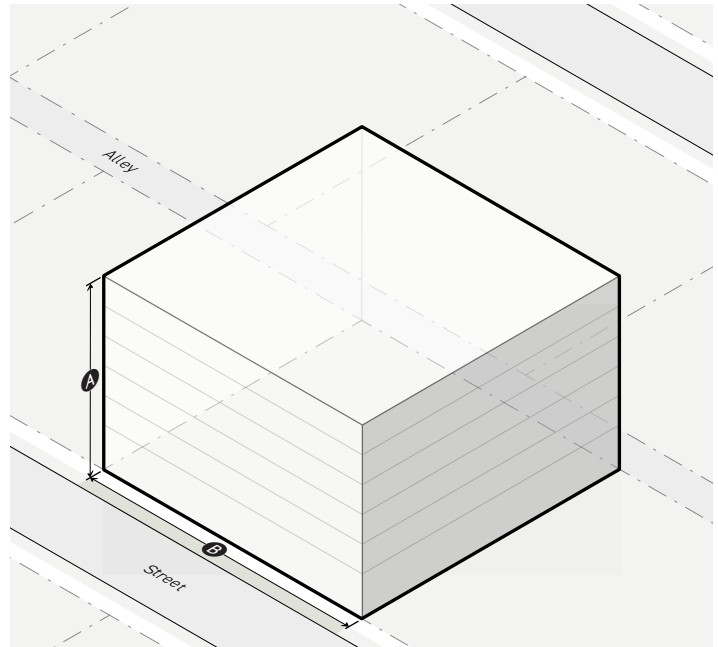
SEC. 2B.5.2. VERY LOW-RISE MEDIUM 2 (VM2)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

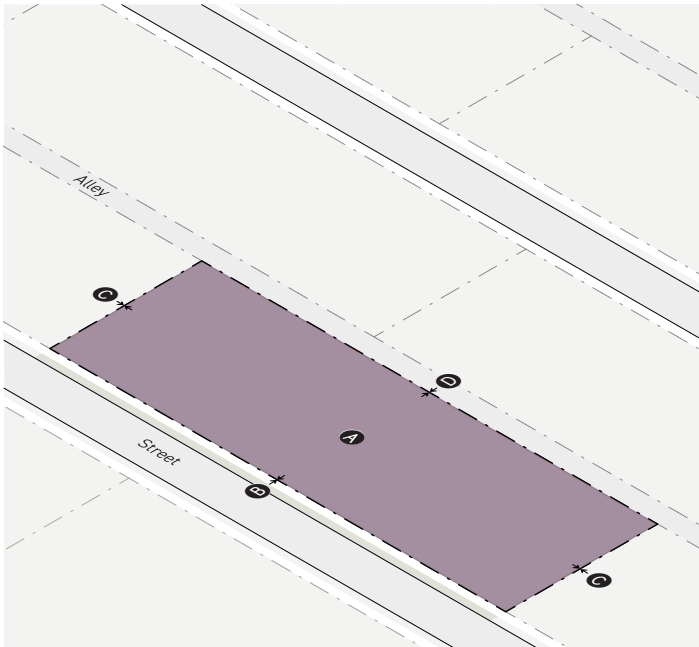
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
FAR (max)		1.5
A Height in feet (max)		65'
Bonus		None
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		210'
Building break (min)		15'

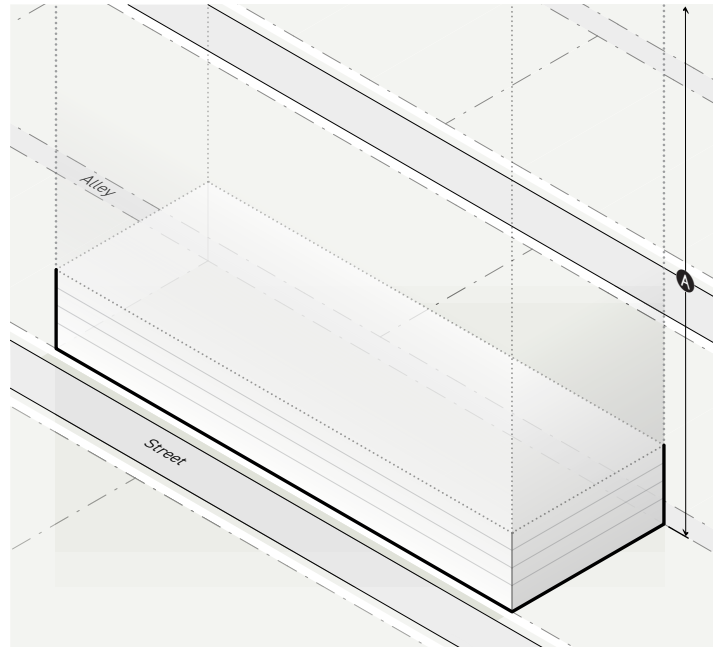
SEC. 2B.7.2. **VERY LOW-RISE FULL 2 (VF2)**

A. Lot Parameters



1. LOT SIZE		<i>Div. 2C.1.</i>
Lot area (min)		n/a
Lot width (min)		n/a
2. COVERAGE		<i>Div. 2C.2.</i>
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		<i>Div. 2C.3.</i>
G Lot amenity space (min)		n/a
Residential amenity space (min)		n/a

B. Bulk and Mass



1. FAR & HEIGHT		<i>Div. 2C.4.</i>
FAR (max)		1.5
A Height (max)		n/a
Bonus		None
2. BUILDING MASS		<i>Div. 2C.6.</i>
Building width (max)		n/a
Building break (min)		n/a

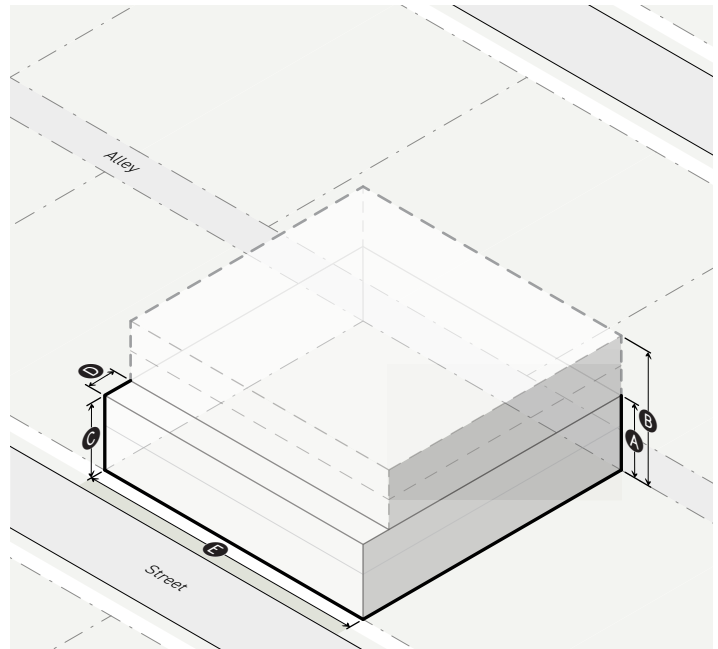
SEC. 2B.9.3. **LOW-RISE MEDIUM 3 (LM3)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	n/a
B	Lot width (min)	n/a
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	100%
Building setbacks		
D	Primary street (min)	0'
	Side street (min)	0'
E	Side (min)	0'
	Rear (min)	10'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	Base FAR (max)	1.5
A	Base height in stories (max)	2
	Bonus FAR	2.5
B	Bonus height in stories (max)	4
2. UPPER-STORY BULK		Div. 2C.5.
Street step-back		
C	Stories without step-back (max)	2
D	Primary street step-back depth (min)	10'
	Side street step-back depth (min)	n/a
3. BUILDING MASS		Div. 2C.6.
E	Building width (max)	140'
	Building break (min)	15'

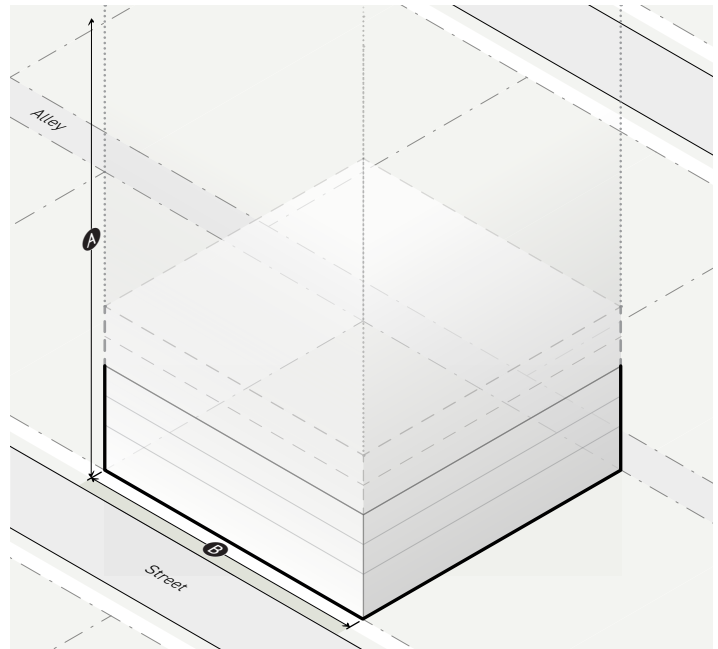
SEC. 2B.9.4. **LOW-RISE MEDIUM 4 (LM4)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		10'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

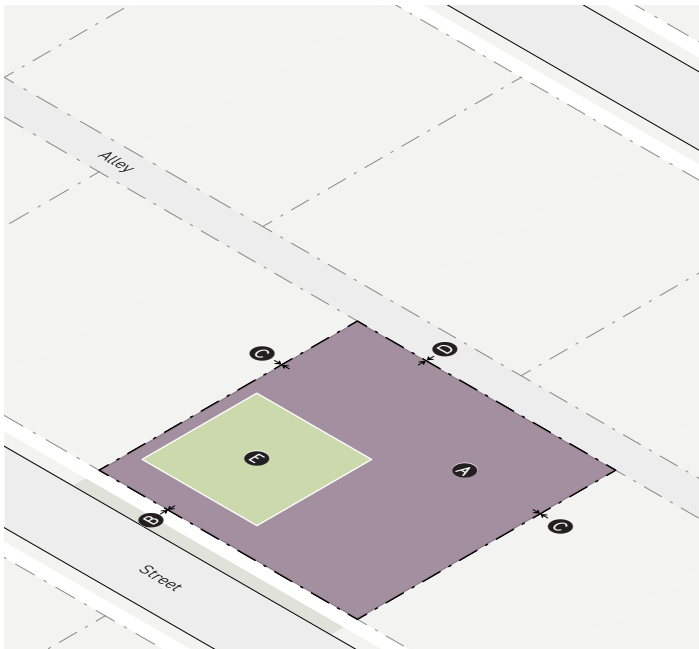
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		1.5
Base height in feet (max)		n/a
Bonus FAR (max)		3.0
Bonus height in feet (max)		n/a
2. BUILDING MASS		Div. 2C.6.
A Building width (max)		210'
Building break (min)		15'

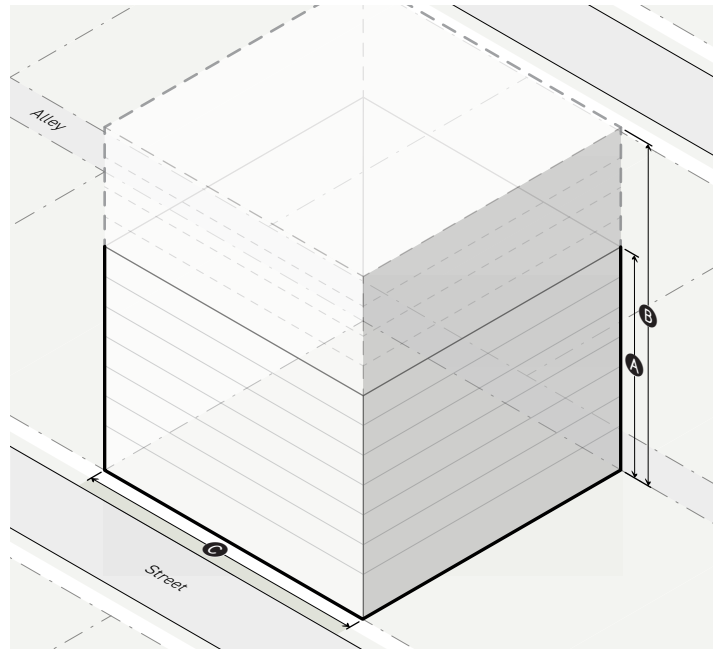
SEC. 2B.9.5. **LOW-RISE MEDIUM 5 (LM5)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		20%
Residential amenity space (min)		10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		2.0
A Base height in feet (max)		75'
Bonus FAR (max)		4.0
A Bonus height in feet (max)		120'
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		210'
Building break (min)		15'

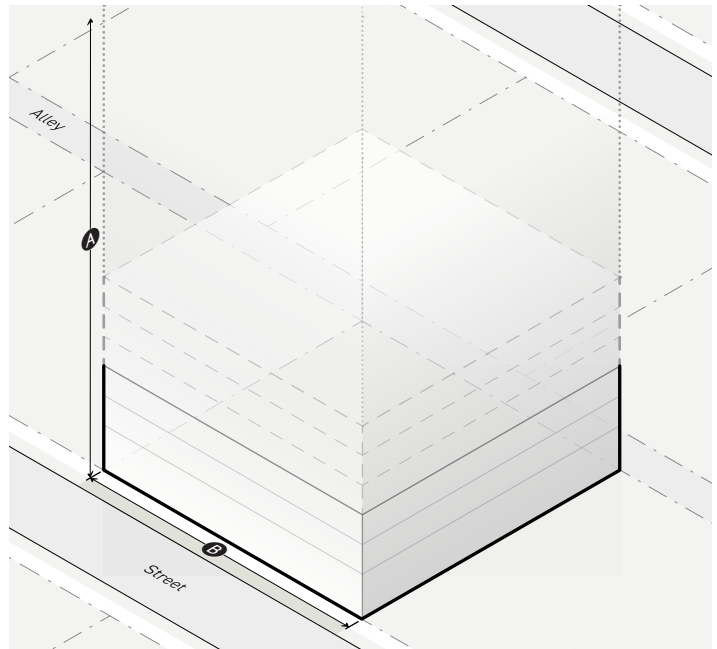
SEC. 2B.9.6. **LOW-RISE MEDIUM 6 (LM6)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		10'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		1.5
Base height in feet (max)		n/a
Bonus FAR (max)		4.0
Bonus height in feet (max)		n/a
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		140'
Building break (min)		15'

Section 35. Part 3B (*Frontage Districts, Table of Contents*) of Article 3 of Chapter 1A of the LAMC shall be amended to read as follows:

Div. 3B.2. Multi-Unit Frontages

Sec. 3B.2.1 Multi-Unit 1 (MU1)

Sec. 3B.2.2 Multi-Unit 2 (MU2)

Sec. 3B.2.3 Multi-Unit 3 (MU3)

Div. 3B.3 General Frontages

Sec. 3B.3.1. General 1 (G1)

Sec. 3B.3.2. General 2 (G2)

Div. 3B.4. Shopfront Frontages

Sec. 3B.4.1. Shopfront 1 (SH1)

Sec. 3B.4.2. Shopfront 2 (SH2)

Sec. 3B.4.3. Shopfront 3 (SH3)

Div. 3B.8. Dual Frontages

Sec. 3B. 8.1. Alley Market (AL1)

Sec. 3B.8.2. Alley Shopfront (AL2)

Sec. 3B.8.3. Greenway 1 (GW1)

Div. 3B.9 Character Frontages

Sec. 3B.9.1. Historic Core (CHC1)

Sec. 3B.9.2. Daylight Factory (CDF1)

Sec. 3B.9.3. Daylight Factory / River (CDR1)

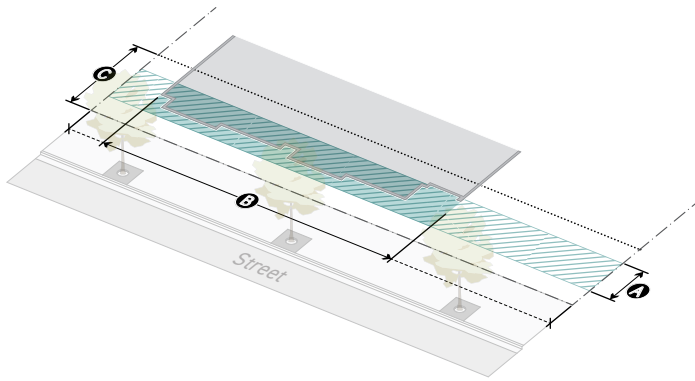
Sec. 3B.9.4. Character Commercial 1 (CC1)

Sec. 3B.9.5. Character Residential 1 (CR1)

Section 36. Sections 3B.2.3. (*Multi-Unit 3*), 3B.3.2. (*General 2*), 3B.4.3. (*Shopfront 3*), 3B.8.3. (*Greenway 1*), 3B.9.4. (*Character Commercial 1*), and 3B.9.5. (*Character Residential 1*) shall be added to Article 3 of Chapter 1A, to read as follows:

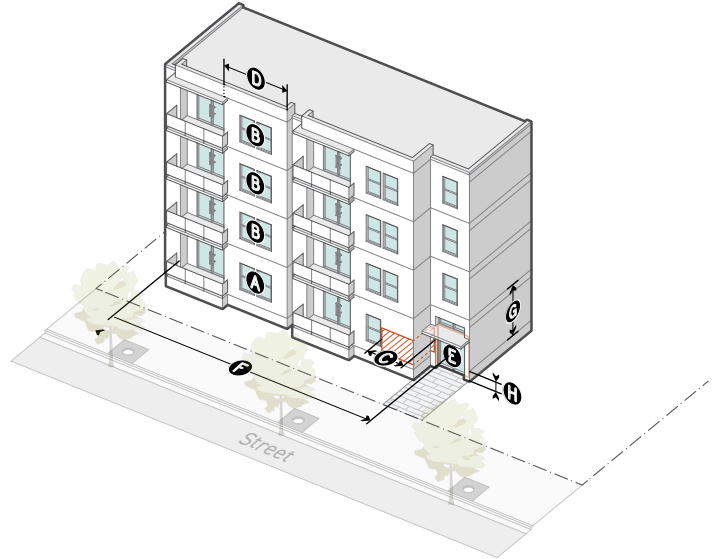
SEC. 3B.2.3. MULTI-UNIT 3 (MU3)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	15'
B Build-to width (min)	60%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A3	A3

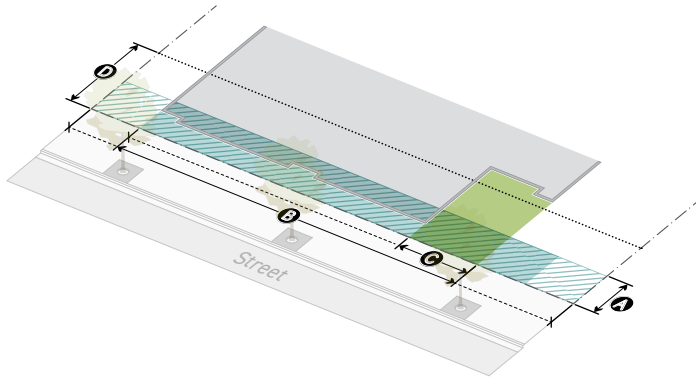
B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	30%	20%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	12'	12'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/2'	-2'/2'

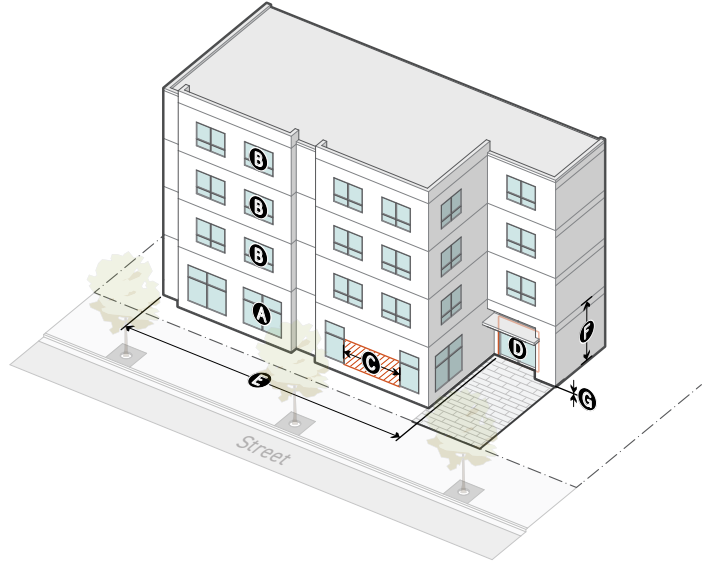
SEC. 3B.3.2. **GENERAL 2 (G2)**

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	15'
B Build-to width (min)	70%	40%
C Pedestrian amenity allowance (max)	20%	5%
PARKING	<i>Div. 3C.2.</i>	
D Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

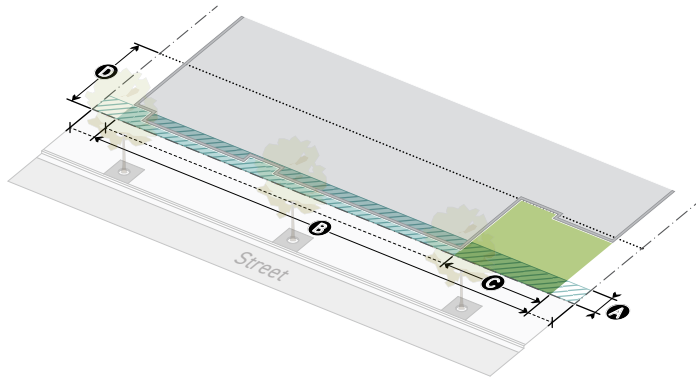
B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	40%	30%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	12'	12'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/5'	-2'/5'

SEC. 3B.4.3. SHOPFRONT 3 (SH3)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	50%
C Pedestrian amenity allowance (max)	20%	0%
PARKING	<i>Div. 3C.2.</i>	
D Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

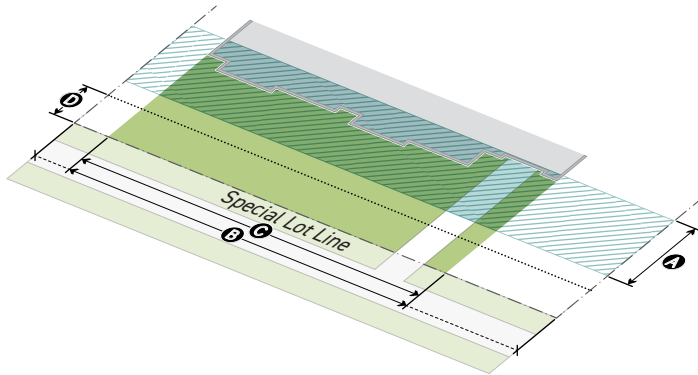
B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	60%	40%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	15'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	50'	75'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	14'	14'
Nonresidential	14'	14'
G Ground floor elevation (min/max)		
Residential	-2'/2'	-2'/2'
Nonresidential	-2'/2'	-2'/2'

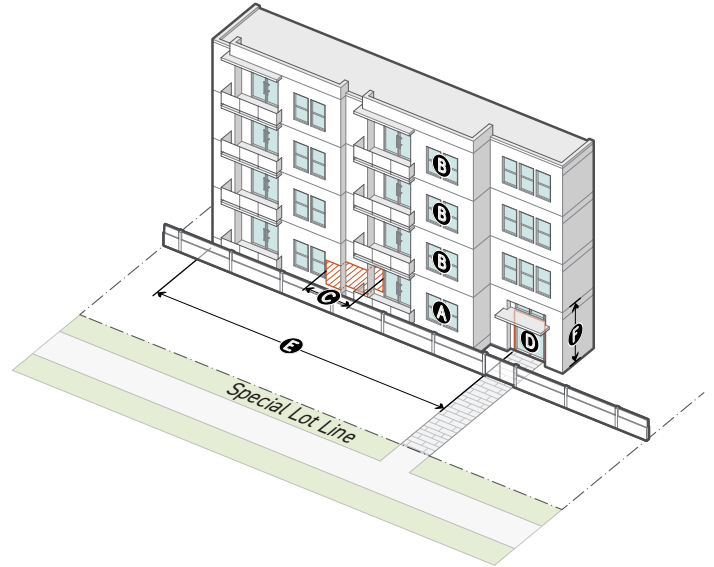
SEC. 3B.8.3. **GREENWAY 1 (GW1)**

A. Lot



	Special	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>		
Applicable stories (min)	1	1	1
A Build-to depth (max)	25'	25'	25'
B Build-to width (min)	70%	70%	40%
C Pedestrian amenity allowance (max)	100%	20%	5%
PARKING	<i>Div. 3C.2.</i>		
D Setback (min)	10'	5'	5'
LANDSCAPING	<i>Div. 3C.3.</i>		
Frontage planting area (min)	75%	30%	30%
Frontage yard fence & wall type allowed:	A3	A3	A4

B. Facade



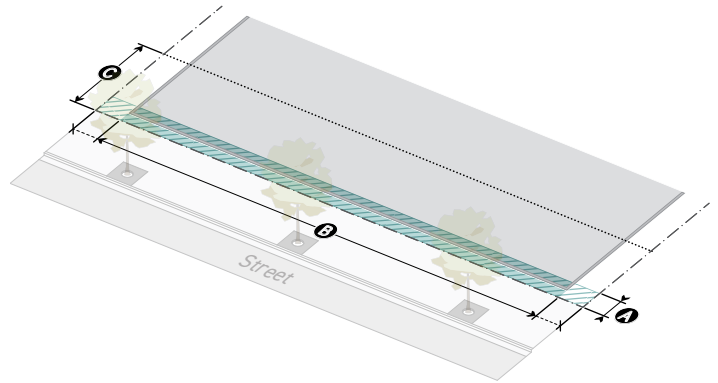
	Special	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>		
Transparent area			
A Ground story (min)	20%	40%	20%
B Upper stories (min)	20%	20%	20%
C Active wall spacing (max)	30'	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>		
D Street-facing entrance	Required	Required	Required
E Entrance spacing (max)	75'	75'	100'
Entry feature	n/a	n/a	n/a
GROUND STORY	<i>Div. 3C.6.</i>		
F Ground story height	14'	14'	14'
Ground floor elevation (min/max)	-2'/5'	-2'/5'	-2'/5'

SEC. 3B.9.4. **CHARACTER COMMERCIAL (CC1)**

A. Intent

The Character Commercial 1 Frontage provides standards intended to reinforce the prevailing architectural characteristics of streetcar oriented commercial districts established during the late 19th and early 20th centuries. Such districts are characterized by one and two story brick buildings containing rows of small storefronts that were originally built to serve some of the city’s earliest neighborhoods. Key features include the decorative application of brick, shopfront and roofline cornices, recessed entrances, and large shopfront windows. Buildings that retain the qualities of early commercial districts adhere to a well-defined street wall with high ground floor activation. By providing a set of targeted design standards that regulate these key features the Character Commercial 1 Frontage ensures that new development contributes to the established architectural character of the city’s earliest commercial districts.

B. Lot



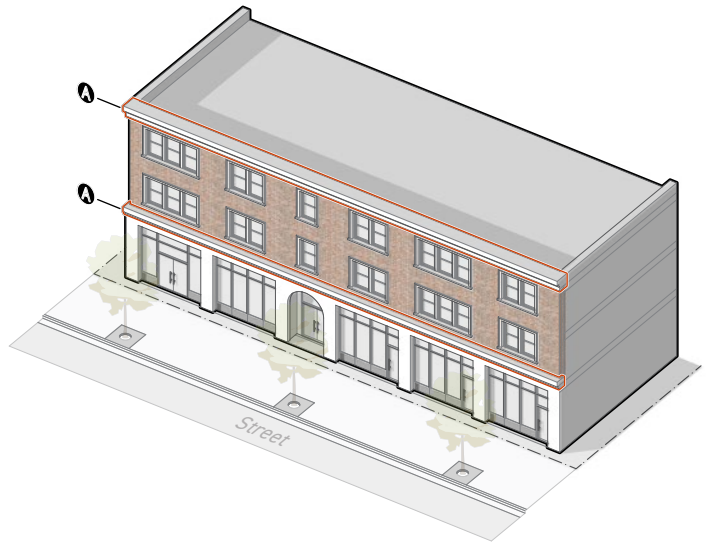
	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	2	2
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
Pedestrian amenity allowance (max)	15%	10%
PARKING	<i>Div. 3D.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Frontage planting area (min)	0%	0%
Frontage yard fence & wall type allowed:	A1	A1

C. Stories



	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	-2'/2'	-2'/2'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	14'	14'

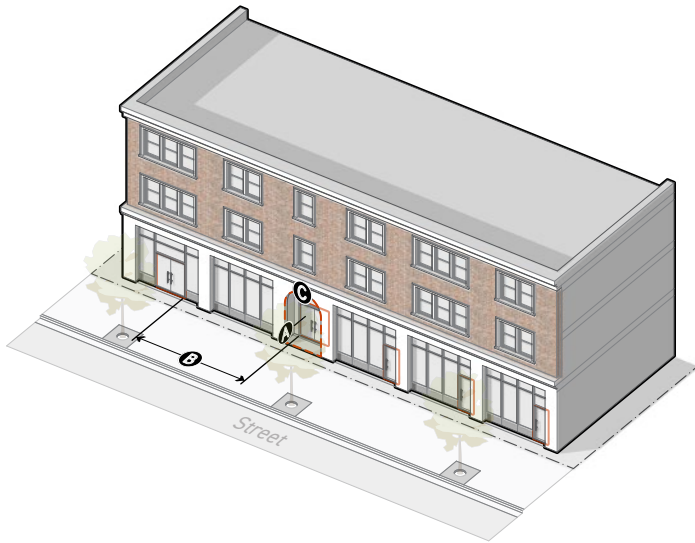
D. Facade



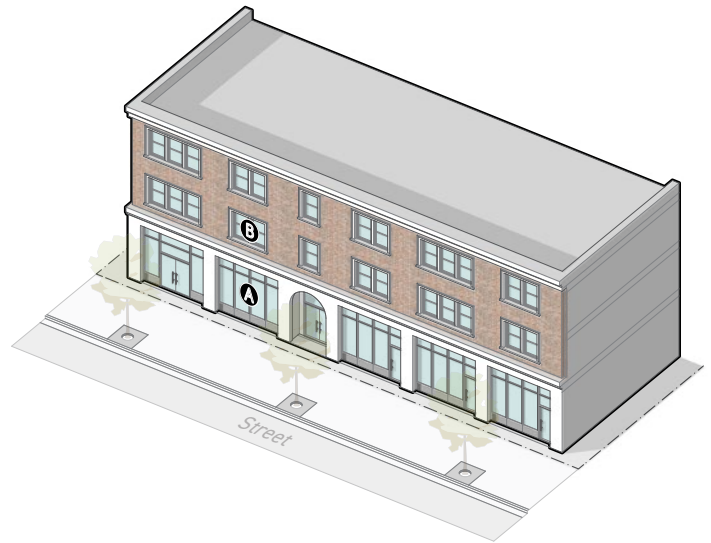
	Primary	Side
ARTICULATION	<i>Div. 3D.6.</i>	
A Base-top*	Required	Required

* Applicable for first 2 stories

E. Doors



F. Windows

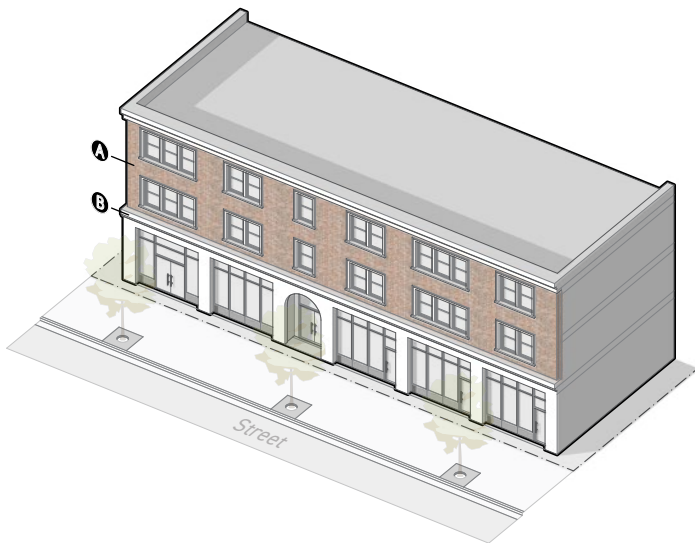


	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	Required
B Entrance spacing (max)	50'	50'
Entry feature	Required	Required
Options	<ul style="list-style-type: none"> • Recessed entry • Covered entry • Storefront bay 	
C Focal entry feature	1	0

	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	50%/70%	50%/70%
Active wall spacing (max)	20'	30'
Window recession (min)	6"	6"
Bulkhead	Required	Required
B Upper stories (min/max*)	30%/60%	30%/60%
Window recession (min)	3"	3"

* Applicable for first 2 stories

G. Cladding



H. Roof



EXTERIOR MATERIALS		Div. 3D.10.
A Principal material coverage (min) *		70%
Exterior material options		<ul style="list-style-type: none"> • Brickwork • Stonework • Glazed tile • Concrete
B Accessory material coverage (max) *		30%
Exterior material options		<ul style="list-style-type: none"> • Brickwork • Stonework • Concrete • Metal • Wood • Glazed tile
Number of accessory materials (max)		2

ROOF DESIGN		Div. 3D.11.
A Roof form (options)		<ul style="list-style-type: none"> • Flat

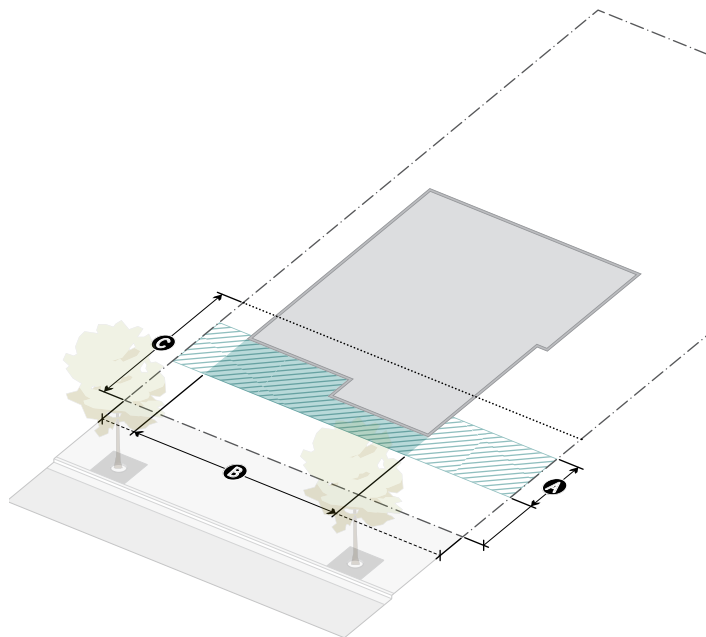
* Applicable for first 2 stories

SEC. 3B.9.5. CHARACTER RESIDENTIAL 1 (CR1)

A. Intent

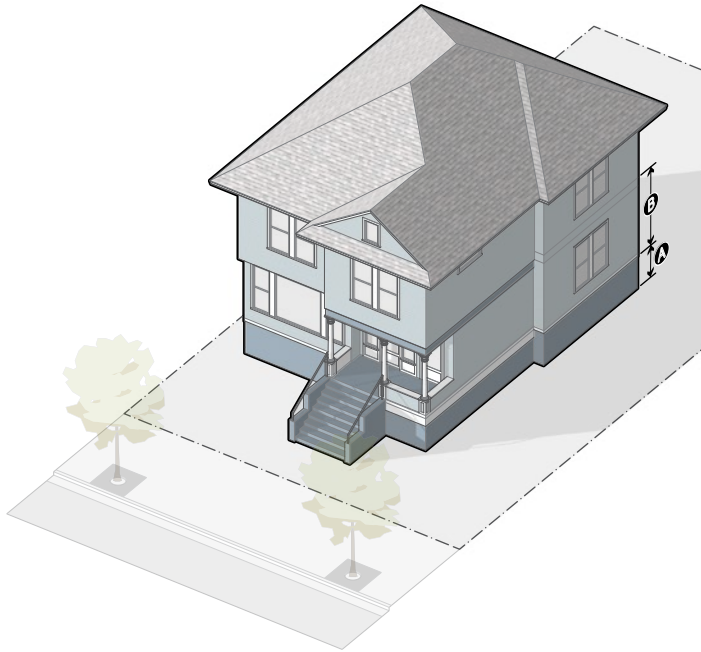
The Character Residential 1 Frontage provides standards intended to reinforce the prevailing architectural characteristics of the city’s residential neighborhoods established throughout the late 19th and early 20th centuries. Such neighborhoods are characterized by an eclectic mix of residential architecture, including Late-Victorian, Queen Anne, and Craftsman architectural styles. Together these styles share some unifying characteristics, such as building forms articulated by a prominent pitched roof or series of pitched roofs, entries featuring a covered front porch, and textured exterior wall surfaces of lap or shingle siding. Other common neighborhood characteristics include homes setback behind a front yard and parking areas hidden from view behind the main building. By providing a set of targeted design standards that regulate these key features the Character Residential 1 Frontage ensures that new development contributes to the established architectural character of the city’s earliest residential neighborhoods.

B. Lot



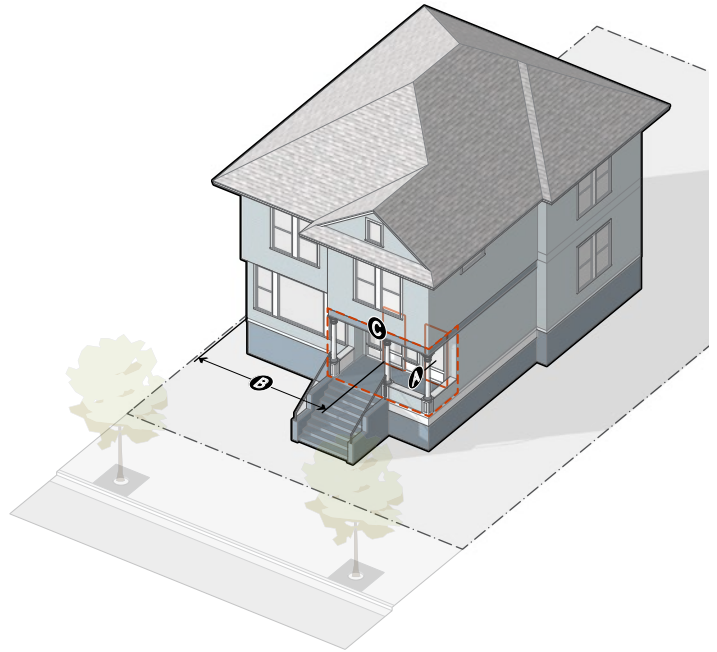
	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	3	3
A Build-to depth (max)	10'	15'
B Build-to width (min)	50%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3D.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

C. Stories



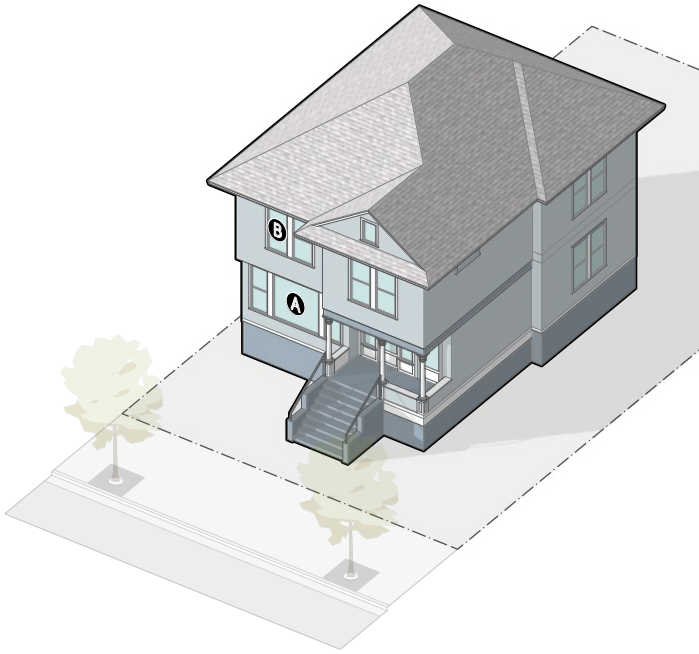
	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	1.5'/5'	1.5'/5'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	n/a	n/a

D. Doors



	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	n/a
B Entrance spacing (max)	50'	50'
Entry feature	Required	n/a
Options	• Porch	
C Focal entry feature	n/a	n/a

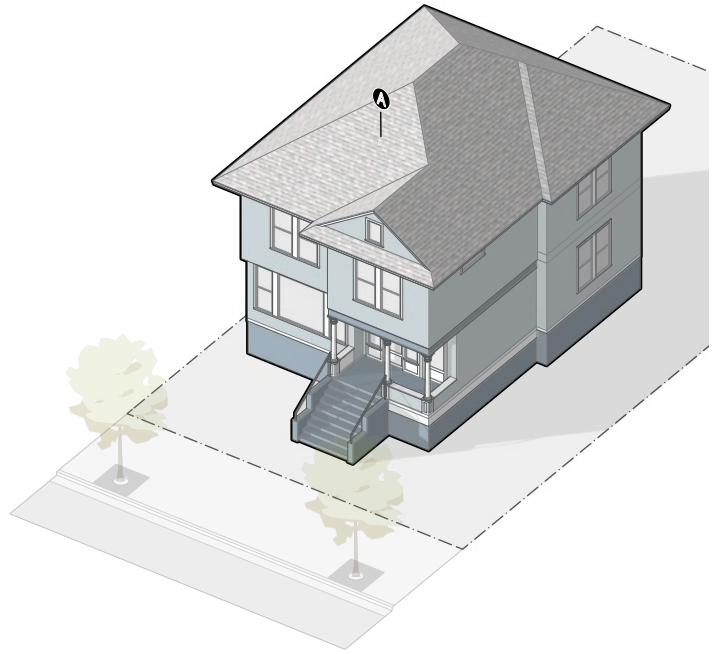
E. Windows



	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	10%/35%	7%/35%
Active wall spacing (max)	10'	15'
Window recession (min)	1"	1"
B Upper stories (min/max) *	10%/35%	7%/35%
Window recession (min)	1"	1"

* Applicable for first 3 stories

F. Roof



	<i>Div. 3D.11.</i>
ROOF DESIGN	
A Roof form (options)	• Pitched
Overhang (min)	10"

Section 37. Part 4B. (*Development Standards Districts, Table of Contents*) of Article 4 of Chapter 1A of the LAMC shall be amended to read as follows:

Div. 4B.3. District 3

Sec. 4B.3.1. Intent

Sec. 4B.3.2. Standards

Div. 4B.4. District 3

Sec. 4B.4.1. Intent

Sec. 4B.4.2. Standards

Section 38. Section 4B.3.1. (*Intent*), Section 4B.3.1. (*Standards*), Section 4B.4.1 (*Intent*), and Section 4B.4.2 (*Standards*) shall be added to Article 4 of Chapter 1A of the LAMC as follows:

DIV. 4B.3. DISTRICT 3

SEC. 4B.3.1. INTENT

Development Standards District 3 prioritizes the pedestrian experience while enabling mobility for motor vehicles. Pedestrian access standards ensure easy access from the public-right-of-way to building entrances, facilitating pedestrian movement. Required automobile parking is moderate in order to ensure sites can accommodate some vehicular access within a walkable environment. Parking facilities must meet design standards to ensure pedestrian mobility, safety, and comfort are not hindered, and buildings provide active frontages along primary streets. On-site signs are sized and located to support a pedestrian-oriented public realm.

SEC. 4B.3.2. STANDARDS

PEDESTRIAN ACCESS	<i>Div. 4C.1.</i>	
Pedestrian access package	Package 2	
AUTOMOBILE ACCESS	<i>Div. 4C.2.</i>	
Automobile access package	Package 2	
AUTOMOBILE PARKING	<i>Div. 4C.4.</i>	
Automobile parking stalls	Package C	
Change of use parking exemption (max)	n/a	
Parking structure design	Primary St.	Side St.
Parking Garage		
Ground Story	Wrapped	Screened
Upper Stories	Screened	Screened
Integrated Parking		
Ground Story	Wrapped	Screened
Upper Stories	Screened	Screened
SIGNS	<i>Div. 4C.11.</i>	
On-site sign regulations	Package 2	
DEVELOPMENT REVIEW	<i>Div. 4C.14.</i>	
Development review threshold	Package 1	

See Part 4C. (Development Standards Rules) for additional development standards that apply.

DIV. 4B.4. DISTRICT 4

SEC. 4B.4.1. INTENT

Development Standards District 4 prioritizes the pedestrian experience. Pedestrian access standards facilitate pedestrian circulation by improving pedestrian access from the public realm to the interior of buildings through frequent, direct and convenient access to building entrances. Parking for automobiles is not mandated, encouraging uses to orient toward pedestrian traffic in a walkable and transit rich environment. Parking facilities must meet high design standards to ensure pedestrian mobility, safety, and comfort are not hindered, and buildings provide active frontages along each segment of the public right-of-way. On-site signs are sized and located to support a pedestrian-oriented public realm.

SEC. 4B.4.2. STANDARDS

PEDESTRIAN ACCESS			<i>Div. 4C.1.</i>
Pedestrian access package			Package 1
AUTOMOBILE ACCESS			<i>Div. 4C.2.</i>
Automobile access package			Package 1
AUTOMOBILE PARKING			<i>Div. 4C.4.</i>
Automobile parking stalls			Package A
Change of use parking exemption (max)			n/a
Parking structure design			
	Primary St.	Side St.	
Parking Garage			
Ground Story	Wrapped	Wrapped	
Upper Stories	Screened	Screened	
Integrated Parking			
Ground Story	Wrapped	Wrapped	
Upper Stories	Wrapped	Screened	
SIGNS			<i>Div. 4C.11.</i>
On-site sign regulations			Package 2
DEVELOPMENT REVIEW			<i>Div. 4C.14.</i>
Development review threshold			Package 1

See Part 4C. (Development Standards Rules) for additional development standards that apply.

Section 39. Section 5B (*Use Districts, Table of Contents*) of Article 5 of Chapter 1A of the LAMC shall be amended as follows:

Div. 5B.3 Residential Districts

Sec. 5B.3.1. Residential 1 (RG1)

Sec. 5B.3.2. Residential 2 (RG2)

Div. 5B.4 Residential-Mixed Districts

Sec. 5B.4.1. Residential-Mixed 1 (RX1)

Sec. 5B.4.2. Residential-Mixed 2 (RX2)

Div. 5B.5 Commercial-Mixed Districts

Sec. 5B.5.1. Commercial-Mixed 1 (CX1)

Sec. 5B.5.2. Commercial-Mixed 2 (CX2)

Sec. 5B.5.3. Commercial-Mixed 3 (CX3)

Sec. 5B.5.4. Commercial-Mixed 4 (CX4)

Sec. 5B.5.5. Commercial-Mixed 5 (CX5)

Div. 5B.7. Industrial-Mixed Districts

Sec. 5B.7.1. Industrial-Mixed 1 (IX1)

Sec. 5B.7.2. Industrial-Mixed 2 (IX2)

Sec. 5B.7.3. Industrial-Mixed 3 (IX3)

Sec. 5B.7.4. Industrial-Mixed 4 (IX4)

Sec. 5B.7.5. Industrial-Mixed 5 (IX5)

Div. 5B.8. Industrial Districts

Sec. 5B.8.1. Industrial 1 (I1)

Sec. 5B.8.2. Industrial 2 (I2)

Sec. 5B.8.3. Industrial 3 (I3)

Section 40. Sections 5B.3.2. (*Residential 2*), 5B.4.2. (*Residential-Mixed 2*), 5B.5.5. (*Commercial-Mixed 5*), 5B.7.5. (*Industrial-Mixed 5*), and 5B.8.3. (*Industrial 3*) shall be added to Article 5 of Chapter 1A of the LAMC to read as follows:

SEC. 5B.3.2. RESIDENTIAL 2 (RG2)

A. Intent

The RG2 Use District is intended to accommodate a wide variety of housing types for a variety of housing needs in a predominantly residential setting supported by local civic and recreational uses providing resources to a residential community.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
Home Occupation	P*	In conjunction with: Hours of operation (early/late) Client visits per hour (max) Supplemental standards	Dwelling 8AM/8PM 1 <i>Sec. 5B.3.1.C.1.</i>
Home Sharing	P*	In conjunction with: Special use program	Dwelling <i>Sec. 5C.4.4.</i>
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P*	Accessory to:	Supportive Housing, General
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
Cemetery	--		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	--		
Parking	P*	In conjunction with:	Allowed use
Public Safety Facility	P		
Religious Assembly	C2		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator;
 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential Districts -

Use	Permission	Use Standard	Specification
School:			
Preschool/Daycare	P*	Persons in care (max) Relief	20 C2
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening Frontage screen Transition screen	F-Screen 2 T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with: Floor area (min) Relief	Other allowed use 0.1 FAR C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.3.1.C.2.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.3.1.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	--		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P*	Use separation Residential Use Hours of operation (early/late) Outdoor sound system Relief	100' 7AM/10PM C3 C2
Amphitheater or Stadium			
Minor	C3		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	<ul style="list-style-type: none"> Residential Office Medical Use
Railway Facility	--		
Transit Station	--		
GENERAL COMMERCIAL			
Animal Services:			
General	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	--		
Eating & Drinking:			
Alcohol Service	--		
Bar	--		
Counter Service	--		
Restaurant	--		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	--		
Lodging	--		
Medical Clinic	--		
Office	--		
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	--		
Postmortem Services	--		
Retail:			
General	--		
Alcohol	--		
Farmers' Market, Certified	C1*	Hours of operation (early/late) Service hours (early/late) Operating days per week (max) Special use program	7AM/7PM 6AM/8PM 2 Sec. 5C.4.1.
Firearms	--		
Food & Beverage	--		
Large Format	--		
Merchant Market	--		
Pet Shop	--		
Temporary, Outdoor	--		
Smoke & Vape Shop	--		
Sexually Oriented Business:			
General	--		
Sexual Encounter	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator;
 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential Districts -

Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Garment & Accessory	--		
Textile	--		
Research & Development	--		
Soundstages & Backlots	--		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
Collection	P*	In conjunction with:	Public & Institutional use
		Area (max)	200 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	150'
		Other buildings on site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.3.1.C.3.
Supplemental procedures	Sec. 5B.3.1.D.1.		
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.3.1.C.4.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential Districts -

Use	Permission	Use Standard	Specification
AGRICULTURAL			
Animal Keeping:			
Bees	P*	Accessory to:	Dwelling
		Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
Exception	Rooftop location		
		Supplemental standards	Sec. 5B.3.1.C.5.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	P*	Lot area (min)	20,000SF
		Per equine	5,000SF
		Building separation	
		On-site Residential building	35'
		Off-site Residential building	75'
Relief	C1		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Recycling Facility, Collection

- a. All recycled goods, temporary installations, debris, trash, and any other material associated with the use, shall be placed or stored in a fully covered and enclosed recycling collection facility and not be left or stored outdoors beyond the hours of operation.
- b. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, telephone number, hours of operation, and a notice that no material shall be left outside the enclosure, and each recycling receptacle shall clearly indicate the type of material to be deposited.

4. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

5. Animal Keeping, Bees

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Recycling Facilities, Collection

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

SEC. 5B.4.2. RESIDENTIAL-MIXED 2 (RX2)

A. Intent

The RX2 Use District is intended to accommodate a wide variety of housing types for a variety of housing needs in a primarily residential setting supported by neighborhood-serving commercial uses, local civic and recreational uses providing resources to a residential community. The district generally limits commercial uses to corner sites and a 1,500 square foot establishment size.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
Home Occupation	P*	In conjunction with: Hours of operation (early/late) Client visits per hour (max) Supplemental standards	Dwelling 8AM/8PM 1 Sec. 5B.4.2.C.1.
Home Sharing	P*	In conjunction with: Special use program	Dwelling Sec. 5C.4.4.
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	--		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	--		
Parking	P*	In conjunction with:	Allowed use
Public Safety Facility	P		
Religious Assembly	C2		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator;
 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
School:			
Preschool/Daycare	P*	Persons in care (max)	20
		Relief	C2
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.4.2.C.2.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.4.2.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	--		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P*	Use separation	
		Residential Use	100'
		Hours of operation (early/late)	7AM/10PM
		Outdoor sound system	C3
		Relief	C2
Amphitheater or Stadium			
Minor	C3		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Use, Office or Medical
Railway Facility	--		
Transit Station	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
GENERAL COMMERCIAL	*	Non-residential tenant size (max)	1,500 SF
		Relief	C2
		Lot Eligibility	Corner Lot
		Upper story location	Prohibited
		Hours of operation (early/late)	6AM/10PM
Animal Services:			
General	--		
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	--		
Eating & Drinking:			
Alcohol Service	--		
Bar	--		
Counter Service	--		
Restaurant	--		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	--		
Lodging	--		
Medical Clinic	--		
Office	--		
Personal Services:			
General	P*	(see General Commercial)	
Massage, Licensed	P*	(see General Commercial)	
Massage, Unlicensed	--		
Postmortem Services	--		
Retail:			
General	P*	(see General Commercial)	
Alcohol	--		
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	6AM/8PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.2.
Firearms	--		
Food & Beverage	P*	(see General Commercial)	
Large Format	--		
Merchant Market	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
Pet Shop	--		
Temporary, Outdoor	--		
Smoke & Vape Shop	--		
Sexually Oriented Business:	--		
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Household Moving Truck Rental	--		
Standard Vehicle	--		
Commercial Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Garment & Accessory	--		
Textile	--		
Research & Development	--		
Soundstages & Backlots	C3		
Wholesale Trade & Warehousing	--		

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Use	Permission	Use Standard	Specification
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
Collection	P*	In conjunction with:	Public & Institutional use
		Area (max)	200 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	150'
		Other buildings on site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.3.1.C.3.
Supplemental procedures	Sec. 5B.3.1.D.1.		
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.4.2.C.4.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

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Use	Permission	Use Standard	Specification
AGRICULTURAL			
Animal Keeping:			
Bees	P*	Accessory to:	Dwelling
		Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Use Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	Sec. 5B.4.2.C.5.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

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C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Recycling Facility, Collection

- a. All recycled goods, temporary installations, debris, trash and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling collection facility and not be left or stored outdoors beyond the hours of operation.

- b. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, telephone number, hours of operation, and a notice that no material shall be left outside the enclosure, and each recycling receptacle shall clearly indicate the type of material to be deposited.

4. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

5. **Animal Keeping, Bees**

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. **Supplemental Procedures**

1. **Recycling Facilities, Collection**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

SEC. 5B.5.5. COMMERCIAL-MIXED 5 (CX5)

A. Intent

The CX5 Use District is intended to support the clustering of small-scale retail, dining, personal service, office, entertainment, cultural and institutional uses catering to immediately surrounding neighborhoods, as well as a wide range of housing types. The district generally limits commercial uses to a 5,000 square foot establishment size on the ground story.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	Incidental to	Dwelling
Home Occupation	P*	Incidental to	Dwelling
		Hours of operation (early/late)	8AM/8PM
		Client visits per hour (max)	1
		Supplemental standards	Sec. 5B.5.5.C.1.
Home Sharing	P*	In conjunction with:	Dwelling
		Special use program	Sec. 5C.4.4.
Joint Living & Work Quarters	P*	Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
Live/Work	P*	Unit size (min avg.)	750 SF
		Designated work space:	
		Work space area (min/max)	48%/50%
		Work space dimensions (min)	10' X 15'
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
Mobilehome Park	--		

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building separation	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 1
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	P		
School:			
Preschool/Daycare	P		
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.5.5.C.2.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.5.5.C.2.

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Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P*	Non-residential tenant size (max)	5,000 SF
		Relief	C2
		Upper story location	Prohibited
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	C2		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Uses, Office or Medical
Railway Facility	--		
Transit Station	P		
GENERAL COMMERCIAL			
	*	Non-residential tenant size (max)	5,000 SF
		Relief	C2
Animal Services:			
General	P*	(see General Commercial)	
		Use enclosure	Fully indoor
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	P*	(see General Commercial)	
Eating & Drinking:			
Alcohol Service	S*	(see General Commercial)	
		Special use program	
		Alcohol sales program	Sec. 5C.4.2.
Bar	S*	(see General Commercial)	
		Special use program	
		Alcohol sales program	Sec. 5C.4.2.
Counter Service	P*	(see General Commercial)	
Restaurant	P*	(see General Commercial)	
Entertainment Venue:			
Local	P*	(see General Commercial)	
Regional	--		

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
Financial Services:			
General	P*	(see General Commercial)	
Alternative	--		
Lodging	P*	Use separation (min)	
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Exception	Regional Center, Transit Core, or Traditional Core General Plan Designation
		Supplemental standards	Sec. 5B.5.5.C.3.
		Relief	C2
Medical Clinic	P*	(see General Commercial)	
Office	P*	(see General Commercial)	
Personal Services:			
General	P*	(see General Commercial)	
Massage, Licensed	P*	(see General Commercial)	
Massage, Unlicensed	--		
Postmortem Services	C2*	(see General Commercial)	
Retail:			
General	P*	(see General Commercial)	
Alcohol	S*	Special use program	
		Alcohol sales program	Sec. 5C.4.2.
Farmers' Market, Certified	P*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	--		
Food & Beverage	P*	(see General Commercial)	
Large Format	--		
Merchant Market	P		
Pet Shop	P*	(see General Commercial)	
Temporary Outdoor	C2		
Smoke & Vape Shop	--		
Sexually Oriented Business:			
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		

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Use	Permission	Use Standard	Specification
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Commercial Vehicle	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Garment & Accessory	--		
Textile	--		
Research & Development	--		
Soundstages & Backlots	--		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
Recycling Facility:			
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.5.5.C.4.
		Supplemental procedures	Sec. 5B.5.5.D.1.
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.5.5.C.5.
Supplemental procedures	Sec. 5B.5.5.D.1.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.5.5.C.6.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		

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Use	Permission	Use Standard	Specification
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
Bees	--		
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other Allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

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C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

3. Lodging

A Lodging use shall not be permitted where it requires a change of use from any residential use.

4. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.

- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

5. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

6. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

D. Supplemental Procedures

1. Recycling Facilities, All

An annual site inspection shall be conducted by LADBS pursuant to Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards).

SEC. 5B.7.5. INDUSTRIAL-MIXED 5 (IX5)

A. Intent

The IX5 District is intended to accommodate light industrial uses, office space, and research and development activity. The Use District also allows a wide range of commercial uses. Residential uses are limited to Joint Living and Work Quarters and Supportive Housing.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL	*	Use Separation (min)	
		Heavy Industrial	50'
		Relief	C1
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	C1*	<i>(see Residential)</i>	
		Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal • Manufacturing, Light: Garment & Accessory
		Supplemental procedures	<i>Sec. 5B.7.5.D.1.</i>
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P*	<i>(see Residential)</i>	
Medical Care	--		
Transitional Shelter	P*	<i>(see Residential)</i>	

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Use	Permission	Use Standard	Specification
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building setbacks	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Relief	C1
		Screening	
		Frontage screen required	F-Screen 2
Transition screen required	T-Screen 1		
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	P*	Use separation	
		From Heavy Industrial Uses	50'
		Relief	C2
K-12	C3		
Post-Secondary	C2		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	P*	Supplemental standards	Sec. 5B.7.5.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.7.5.C.1.

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- Industrial-Mixed Districts -

Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	C3		
Heliport	C2*	Incidental to:	Office or Medical
Railway Facility	C3		
Transit Station	P		
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
		Use enclosure	Fully indoor
Kennel	P*	Use separation	
		Residential or Residential-Mixed Use District (min)	200'
		Relief	C2
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	S	Special use program Alcohol sales program	Sec. 5C.4.2.
Bar	S	Special use program Alcohol sales program	Sec. 5C.4.2.
Counter Service	P		
Restaurant	P		
Entertainment Venue:			
Local	P		
Regional	P		
Financial Services:			
General	P		
Alternative	C2		
Instructional Services	P		
Lodging	--		

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Use	Permission	Use Standard	Specification
Medical Clinic	P		
Office	P		
Personal Services:			
General	P		
Massage, Licensed	P		
Massage, Unlicensed	C2		
Postmortem Services	C2		
Retail:			
General	P		
Alcohol	S	Special use program Alcohol sales program	Sec. 5C.4.2.
Farmers' Market, Certified	P*	Hours of operation (open/ close)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	C2*	Supplemental procedures	Sec. 5B.7.5.D.2.
Food & Beverage	P		
Large Format	C3*	Supplemental procedures	Sec. 5B.7.5.D.3.
Merchant Market	P		
Pet Shop	P		
Temporary Outdoor	C2		
Smoke & Vape Shop	P*	Use separation (min) Residential, or Residential- Mixed Use District	500'
		Hours of operation (open/ close) Within 500' of Residential, or Residential-Mixed Use District	7AM/10PM
		Relief	C2
Sexually Oriented Business:	*	Use separation (min) Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
General	P*	(see Sexually Oriented Business)	
Sexual Encounter	C2*	(see Sexually Oriented Business)	

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Industrial-Mixed Districts -

Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.7.5.C.2.
		Heavy	P*
Sensitive Use	500'		
Agricultural, Residential, or Residential-Mixed Use District	500'		
Relief	C2		
Use enclosure	Fully indoors		
Screening			
Frontage screen	F-Screen 3		
Transition screen	T-Screen 1		
Hours of operation (early/late)	7AM/7PM		
Service hours (early/late)	7AM/7PM		
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.7.5.C.2.		

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Use	Permission	Use Standard	Specification
Car Wash	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	
		Car Wash, mechanized	Fully indoor
		Car Wash, self-service	Covered
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
Supplemental standards	Sec. 5B.7.5.C.3.		
Commercial Vehicle	--		
Fueling Station	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Service hours (early/late)	7AM/7PM
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.7.5.C.4.		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		
Standard Vehicle	--		
Storage, Indoor:			
General	P		
Self-Service Facility	P		

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- Industrial-Mixed Districts -

Use	Permission	Use Standard	Specification
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 2
Cargo Container	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	Sec. 5B.75.C.5.
Supplemental procedures	Sec. 5B.75.D.4.		
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Official Motor Vehicle Impound	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL	*	Use standard applicability	
		Adjoining	<ul style="list-style-type: none"> • Sensitive Use • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Frontage Screen	F-Screen
		Transition Screen	T-Screen
		Use enclosure	Fully Indoor
Electronics Assembly	P*	(see Light Industrial)	
Maintenance & Repair Services	P*	(see Light Industrial)	
Manufacturing, Light:			
General	P*	(see Light Industrial)	
Alcoholic Beverage	P*	(see Light Industrial)	
Artistic & Artisanal	P*	(see Light Industrial)	
Cosmetic, Pharmaceutical	P*	(see Light Industrial)	
Food & Drink	P*	(see Light Industrial)	
Garment & Accessory	P*	(see Light Industrial)	
Textile	P*	(see Light Industrial)	
Research & Development	P*	(see Light Industrial)	
Soundstages & Backlots	P*	(see Light Industrial)	
Wholesale Trade & Warehousing	P*	(see Light Industrial)	
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		

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- Industrial-Mixed Districts -

Use	Permission	Use Standard	Specification
Recycling Facilities			
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (open/close)	7AM/7PM
		Supplemental standards	Sec. 5B.5.3.C.6.
		Supplemental procedures	Sec. 5B.5.3.D.5.
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.7.5.C.7.
		Supplemental procedures	Sec. 5B.7.5.D.5.
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.7.5.C.8.
Off-Shore Drilling Servicing Installation	--		
Waste Facility			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

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Use	Permission	Use Standard	Specification
AGRICULTURE			
Animal Keeping:			
Bees	P*	Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	<i>Sec. 5B.7.5.C.9.</i>
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	P		
Truck Gardening	P		

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C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

2. Motor Vehicle Services, General

- a. Bay doors and other building entrances and exits designed and intended for motor vehicle access shall meet the following standards:
 - i. Shall remain closed except during the allowed hours of operation, and
 - ii. Shall not face any frontage lot line.

- Industrial-Mixed Districts -

- b. An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading, unloading and any other activities requiring the use of commercial vehicles for transportation.
- c. All client vehicles being serviced by a general motor vehicle service use shall be stored on-site.

3. Motor Vehicle Services, Car Wash

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

4. Motor Vehicle Services, Fueling Station

An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods and any other activities requiring the use of commercial vehicles for transportation.

5. Outdoor Storage, Cargo Container

- a. The entire lot shall be graded pursuant to *Chapter 9, Division 70 (Grading, Excavation and Fills) of the LAMC*.
- b. All driveways, accessways, and parking areas shall be covered with a decomposed granite, crushed gravel, or similar material and be treated with dust control methods.
- c. All containers shall be empty and cleaned of any residue which may pose any kind of physical or health risk.

6. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.

- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)* finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

9. **Animal Keeping, Bees**

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Joint Living & Work Quarters

- a. In addition to the findings otherwise required by *Sec. 13.B.2.1. (Class 1 Conditional Use Permit)*, the Zoning Administrator shall also find:
 - i. That the uses of property surrounding the proposed location of the joint living and work quarters and the use of the proposed location will not be detrimental to the health, safety and welfare of prospective residents of the quarters; and
 - ii. That the proposed joint living and work quarters will not displace viable industrial uses and will not substantially lessen the likelihood that the property will be available in the future for industrial uses.
- b. The Zoning Administrator shall also require:
 - i. That the authorized use shall be of no force and effect unless and until satisfactory evidence is presented to the Zoning Administrator for review and attachment to the file that a business tax registration certificate has been issued to each tenant by the Office of Finance pursuant to *LAMC Chapter 2 (Licence, Permits, Business Regulations), Sec. 21.03. (Imposition of Tax)*, permitting those persons to engage in business as artists or artisans; and
 - ii. That one or more signs or symbols of a size and design approved by the Fire Department shall be placed by the applicant at designated locations on the exterior of each building approved as joint living and work quarters to indicate that these buildings are used for residential purposes.

2. Retail, Firearms

In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

3. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new large format retail uses are required to prepare an economic impact analysis report for submission to the Department of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:
 - i. The economic impact on retail businesses within a 3-mile radius based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area as well as the anticipated customer volume of the study area shall be included in the report.

- ii. The destruction or demolition of any buildings, structures facilities or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, or Public Recreation.
 - iii. Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv. The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v. Fiscal impact on City tax revenue, either positive or negative.
 - vi. Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii. Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii. Measures to mitigate any materially adverse impacts identified within the report.
- b.** If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
- i. The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a) Is sufficient in size based on reasonably expected users;
 - b) Located along but clear of a pedestrian accessway leading to a primary entrance; and
 - c) Is covered to provide adequate shelter from the weather.
 - ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
 - iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot directing users to dedicated congregation areas and amenities.

4. **Outdoor Storage, Cargo Container**

- a. The stacking of cargo containers more than 20 feet high shall only be permitted if a structural analysis done by a licensed engineer or architect in the State of California is submitted to and approved by the Los Angeles Department of Building and Safety (LADBS).
- b. An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers or Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards).*

5. **Recycling Facilities, All**

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards).*

SEC. 5B.8.3. INDUSTRIAL 3 (I3)

A. Intent

The I3 District is intended to support a wide range of commercial and industrial uses that support commerce, manufacturing, goods movement, and warehousing. Industrial uses are regulated to ensure disruptions to abutting uses and nearby communities are minimized.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	--		
Medical Care	--		
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
		Building setbacks	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
Cemetery	P*	Residential use (min)	300'
		Relief	C1
		Screening	
		Frontage screen required	F-Screen 2
		Transition screen required	T-Screen 1
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		

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Use	Permission	Use Standard	Specification
Parking	P		
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	--		
K-12	--		
Post-Secondary	C2		
Social Services	P		
Utilities:			
		Screening	
Minor	P*	Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
		In conjunction with:	Other allowed use
Solar Energy Facility	P*	Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	P*	Supplemental standards	Sec. 5B.8.3.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.8.3.C.1.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	C3		
Heliport	C2*	Incidental to:	Office or Medical
Railway Facility	C3		
Transit Station	P		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
Kennel	P*	Use enclosure	Fully indoor
		Use separation	
		Residential or Residential-Mixed Use District (min)	200'
		Relief	C2
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	C2*	In conjunction with: Supplemental procedures	Restaurant <i>Sec. 5B.8.3.D.1.</i>
Bar	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.2.</i>
Counter Service	P		
Restaurant	P		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	P		
Lodging	--		
Medical Clinic	--		
Office	P		
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	C2		
Postmortem Services	P		
Retail:			
General	P		
Alcohol	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.3.</i>
Farmers' Market, Certified	P*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	<i>Sec. 5C.4.1.</i>
Firearms	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.4.</i>
Food & Beverage	P		
Large Format	C3*	Supplemental procedures	<i>Sec. 5B.8.3.D.5.</i>
Merchant Market	P		

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Use	Permission	Use Standard	Specification
Pet Shop	P		
Temporary Outdoor	P		
Smoke & Vape Shop	P*	Use separation (min)	
		Residential, or Residential-Mixed Use District	500'
		Hours of operation (open/close)	
		Within 500' of Residential, or Residential-Mixed Use District	7AM/10PM
		Relief	C2
Sexually Oriented Business:	*	Use separation (min)	
		Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
General	P*	(see Sexually Oriented Business)	
Sexual Encounter	C2*	(see Sexually Oriented Business)	
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.8.3.C.2.		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Heavy	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.3.C.2.
		Car Wash	P*
Sensitive Use	200'		
Agricultural, Residential, or Residential-Mixed Use District	200'		
Relief	C2		
Use enclosure			
Car Wash, mechanized	Fully indoor		
Car Wash, self-service	Covered		
Screening			
Frontage screen	F-Screen 3		
Transition screen	T-Screen 1		
Hours of operation (early/late)	7AM/7PM		
Service hours (early/late)	7AM/7PM		
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.8.3.C.3.		
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.3.C.2.

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Use	Permission	Use Standard	Specification
Fueling Station	P*	Use separation	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	<i>Sec. 5B.8.3.C.4.</i>
Motor Vehicle Sales & Rental:			
Commercial Vehicle	P*	Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Household Moving Truck Rental	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Standard Vehicle	P*	Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Storage, Indoor:			
General	P		
Self-Service Facility	P		
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 2

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Industrial Districts -

Use	Permission	Use Standard	Specification
Cargo Container	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	<i>Sec. 5B.8.3.C.5.</i>
Supplemental procedures	<i>Sec. 5B.8.3.D.6.</i>		
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		
Official Motor Vehicle Impound	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL	*	Use enclosure	Fully Indoor
		Screening applicability	
		Abutting	<ul style="list-style-type: none"> • Sensitive Use • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Transition Screen	T-Screen 1
Electronics Assembly	P*	(see <i>Light Industrial</i>)	
Maintenance & Repair Services	P*	(see <i>Light Industrial</i>)	
Manufacturing, Light:			
General	P*	(see <i>Light Industrial</i>)	
Alcoholic Beverage	P*	(see <i>Light Industrial</i>)	
Artistic & Artisanal	P*	(see <i>Light Industrial</i>)	
Cosmetic, Pharmaceutical	P*	(see <i>Light Industrial</i>)	
Food & Drink	P*	(see <i>Light Industrial</i>)	
Garment & Accessory	P*	(see <i>Light Industrial</i>)	
Textile	P*	(see <i>Light Industrial</i>)	
Research & Development	P*	(see <i>Light Industrial</i>)	
Soundstages & Backlots	P*	(see <i>Light Industrial</i>)	
Wholesale Trade & Warehousing	P*	(see <i>Light Industrial</i>)	
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facilities			

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Industrial Districts -

Use	Permission	Use Standard	Specification
Collection	P*	Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Use enclosure	Fully indoor
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Hours of operation (early/late)	
		Within 1000' of Agricultural, Residential, or Residential-Mixed Use District	7AM/7PM
		Beyond 1000' of Agricultural, Residential, or Residential-Mixed Use District	24-hours
		Service hours (early/late)	
		Within 1000' of Agricultural, Residential, or Residential-Mixed Use District	7AM/8PM
		Beyond 1000' of Agricultural, Residential, or Residential-Mixed Use District	24-hours
		Supplemental standards	Sec. 5B.8.3.C.6.
Supplemental procedures	Sec. 5B.8.3.D.7.		
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.8.3.C.7.
		Supplemental procedures	Sec. 5B.8.3.D.8.
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.8.3.C.8.
Off-Shore Drilling Servicing Installation	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Waste Facility			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURE			
Animal Keeping:			
Bees	P*	Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	Sec. 5B.8.1.C.9.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	P		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

2. Motor Vehicle Services, General & Commercial Vehicle

- a. Bay doors and other building entrances and exits designed and intended for motor vehicle access shall meet the following standards:
 - i. Shall remain closed except during the allowed hours of operation, and
 - ii. Shall not face any frontage lot line.

- b. An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading, unloading and any other activities requiring the use of commercial vehicles for transportation.
- c. All client vehicles being serviced by a general motor vehicle service use shall be stored on-site.

3. Motor Vehicle Services, Car Wash

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

4. Motor Vehicle Services, Fueling Station

An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods and any other activities requiring the use of commercial vehicles for transportation.

5. Outdoor Storage, Cargo Container

- a. The entire lot shall be graded pursuant to *Chapter 9, Division 70 (Grading, Excavation and Fills) of the LAMC*.
- b. All driveways, accessways, and parking areas shall be covered with a decomposed granite, crushed gravel, or similar material and be treated with dust control methods.
- c. All containers shall be empty and cleaned of any residue which may pose any kind of physical or health risk.

6. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.

- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)* finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

9. **Animal Keeping, Bees**

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. Bar

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Retail, Alcohol

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses

4. Retail, Firearms

In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

5. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new large format retail uses are required to prepare an economic impact analysis report for submission to the Department of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:
 - i. The economic impact on retail businesses within a 3-mile radius based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area as well as the anticipated customer volume of the study area shall be included in the report.
 - ii. The destruction or demolition of any buildings, structures facilities or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, or Public Recreation.

- iii. Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv. The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v. Fiscal impact on City tax revenue, either positive or negative.
 - vi. Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii. Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii. Measures to mitigate any materially adverse impacts identified within the report.
- b. If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
- i. The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a) Is sufficient in size based on reasonably expected users;
 - b) Located along but clear of a pedestrian accessway leading to a primary entrance;
and
 - c) Is covered to provide adequate shelter from the weather.
 - ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
 - iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot directing users to dedicated congregation areas and amenities.

6. **Outdoor Storage, Cargo Container**

- a. The stacking of cargo containers more than 20 feet high shall only be permitted if a structural analysis done by a licensed engineer or architect in the State of California is submitted to and approved by the Los Angeles Department of Building and Safety (LADBS).

- Industrial Districts -

- b. An annual site inspection shall be conducted by LADBS, pursuant to Sec. 13B.10.3. (*Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers or Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards*).

7. Manufacturing Heavy, Salvage Yard

An annual site inspection shall be conducted by LADBS, pursuant to Sec. 13B.10.3. (*Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards*).

8. Recycling Facilities, All

An annual site inspection shall be conducted by LADBS, pursuant to Sec. 13B.10.3. (*Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards*).

Section 41. Section 7B (*Alternate Typologies, Table of Contents*) of Article 7 of Chapter 1A of the LAMC shall be amended as follows:

Div. 7B.1 Civic Institution

Sec. 7B.1.1. Civic Institution 1

Sec. 7B.1.2. Civic Institution 2

Div. 7B.2. Corner Store

Sec. 7B.2.1 Corner Store 1

Div. 7B.3. Small Lot Subdivision

Sec. 7B.3.1. Small Lot 1

Section 42. Sections 7B.1.2. (*Civic Institution 2*), 7B.2.1. (*Corner Store 1*), and 7B.3.1. (*Small Lot 1*) shall be added to Article 7 of Chapter 1A of the LAMC to read as follows:

SEC. 7B.1.2. CIVIC INSTITUTION 2

A. Eligible Districts	FORM	FRONTAGE	STANDARD	USE	DENSITY
	All	All	1, 2, 3, & 4	All	All



B. Intent

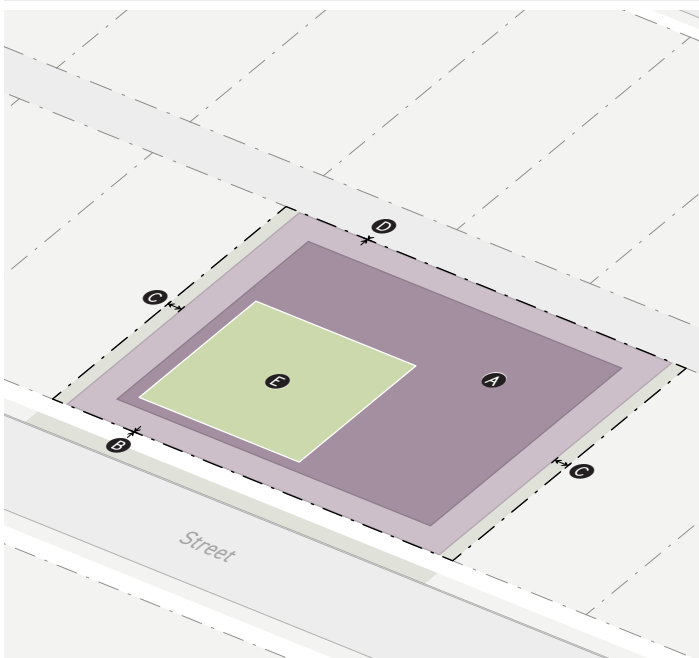
The Civic Institution 2 Alternate Typology is intended to promote placemaking through architectural monuments and publicly accessible spaces. This Alternate Typology allows greater design flexibility for civic institutions to differentiate civic assets from the surrounding urban fabric, while maintaining standards essential for ensuring all projects actively contribute to a highly walkable urban environment.

C. Review

Administrative review is required, see Sec. 14.5.1. (*Administrative Review*).

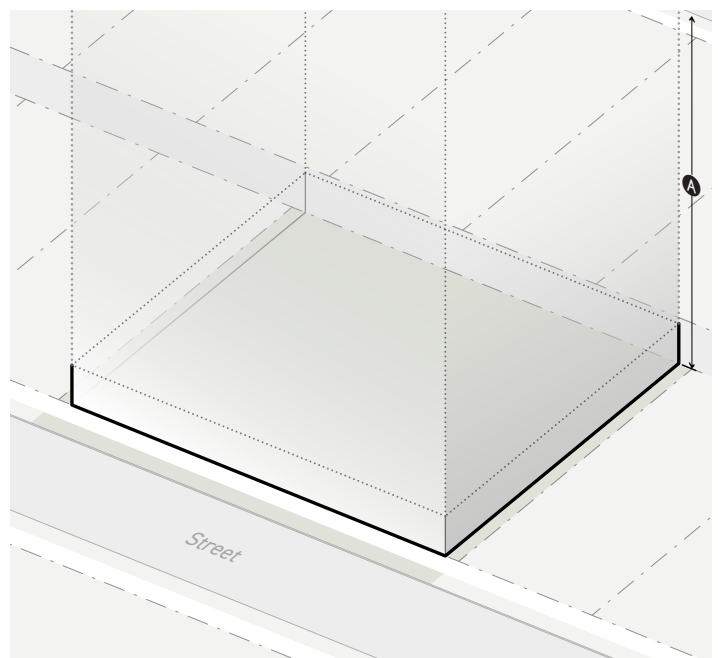
D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
Lot area (min)		n/a
Lot width (min)		n/a
COVERAGE		Sec. 7C.1.1.
A Building coverage (max)		65%
Building setbacks		
B Primary street (min)		0'
Side street (min)		5'
C Side (min)		5'
Rear (min)		5'
D Alley (min)		0'
Special lot line (min)		Set by Form District
AMENITY		Sec. 7C.1.1.
E Lot amenity space (min)		20%
Residential amenity space (min)		n/a

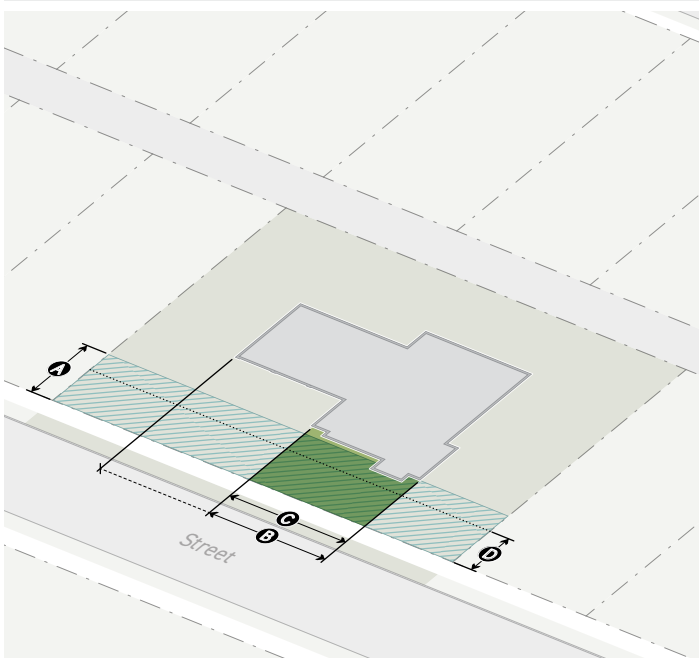
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
FAR (max)		Set by Form District
A Height (max)		n/a
UPPER STORY BULK		Sec. 7C.1.1.
Bulk plane		n/a
Street step-back		n/a
Height transition		n/a
District boundary height transition		n/a
BUILDING MASS		Sec. 7C.1.1.
Set by Form District		

E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	n/a
A Build-to depth (max)	30'	n/a
B Build-to width (min)	Building-based	n/a
C Pedestrian amenity allowance (max)	100%	n/a
PARKING	Sec. 7C.3.2	
D Parking setback (min)	20'	0'
Parking between building & street (allowed)	No	Yes
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	70%	70%
Frontage yard fence & wall type allowed:	A3*	A3

*Fences and walls may not be located between the building face meeting the required build-to width and the street.

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
A Ground story (min)	10%*	10%*
Upper stories (min)	n/a	n/a
B Active wall spacing (max)	30'	40'
ENTRANCES	Sec. 7C.1.2.	
C Street-facing entrance	Required	n/a
D Entrance spacing (max)	100'	150'
Required entry feature	Yes	No
E Entry feature options	<ul style="list-style-type: none"> • Recessed Entry • Covered Entry 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)	n/a	n/a
Ground floor elevation (min/max)	n/a	n/a

*Ground story window and door glazing may be screened for up to 50% of the glazed area.

F. Development Standards

Set by applied *Development Standard District (Part 4B)*.

G. Use Standards

1. For a minimum of 20 years after the issuance of a Certificate of Occupancy, no less than 75% of the total floor area on the lot shall be designated for one or more of the following uses:
 - a. Civic Facility: All (examples include community centers, museums, and libraries);
 - b. Office, Government;
 - c. Public Safety Facility (examples include fire and police stations);
 - d. Religious Assembly (examples include churches, mosques, synagogues, and temples);
 - e. School: K-12;
 - f. School: Post-Secondary;
 - g. Social Services; and
 - h. Transit Station.
2. Once 20 years have elapsed, all floor area on the lot may be designated for any use allowed in the applied *Use District (Part 5B)*.
3. For additional Use District standards, see the applied Use District (Part 5B).

H. Density Standards

Set by the applied Density District (Part 6B).

SEC. 7B.2.1. CORNER STORE 1

A. Eligibility

1. Eligible Districts	FORM	FRONTAGE	STANDARD	USE	DENSITY
	All	All	3 & 4	RX_	All

2. Eligible Lots

The Corner Store 1 Alternate Typology is eligible only on corner lots.



B. Intent

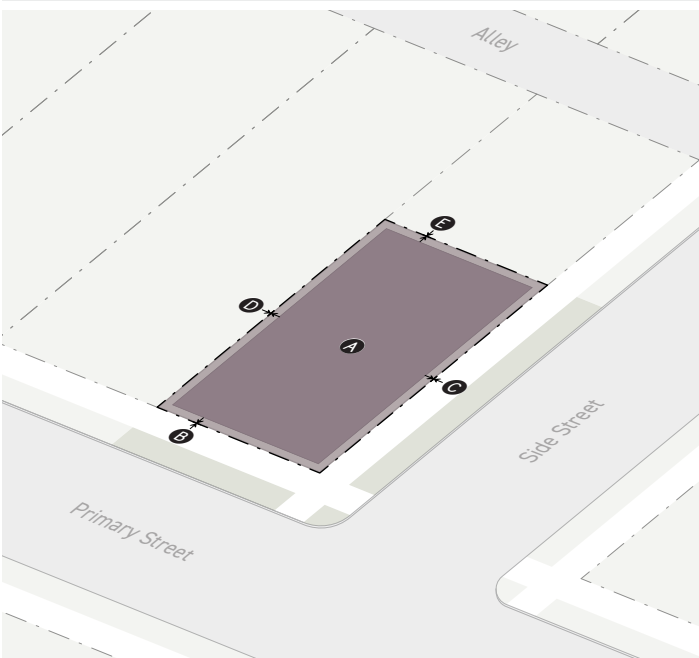
The Corner Store 1 Alternate Typology is intended to accommodate small-scale, community serving commercial uses in a scale appropriate for predominantly residential settings. This Alternate Typology intends to improve the walkability of residential neighborhoods, provide surrounding residents with amenities within a convenient distance of their homes, and support community-oriented small businesses development.

C. Review

Administrative review is required, see *Sec. 14.5.1. (Administrative Review)*.

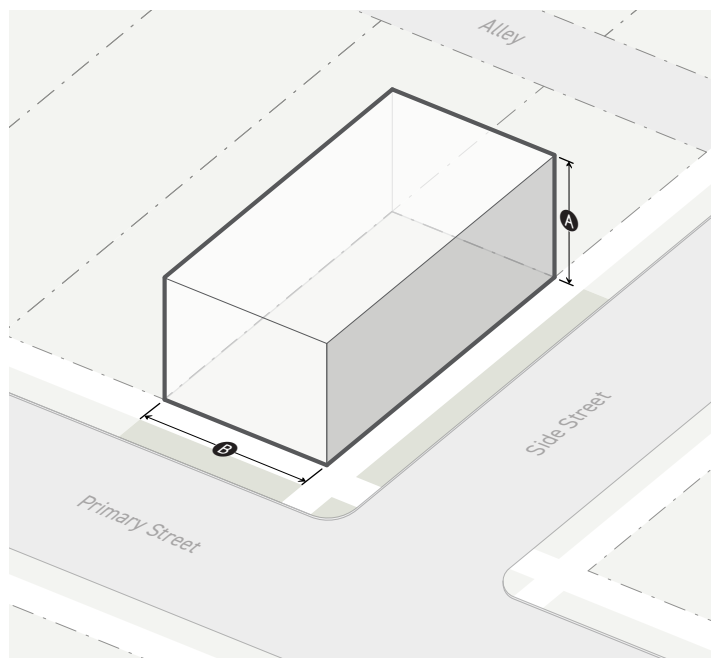
D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
Lot area (min)		n/a
Lot width (min)		n/a
COVERAGE		Sec. 7C.1.1.
A Building coverage (max)		95%
Building setbacks		
B Primary street (min)		0'
C Side street (min)		0'
D Side (min)		Set by Form District
E Rear (min)		Set by Form District
Alley (min)		0'
Special lot line (min)		Set by Form District
AMENITY		Sec. 7C.1.1.
Lot amenity space (min)		n/a
Residential amenity space (min)		n/a

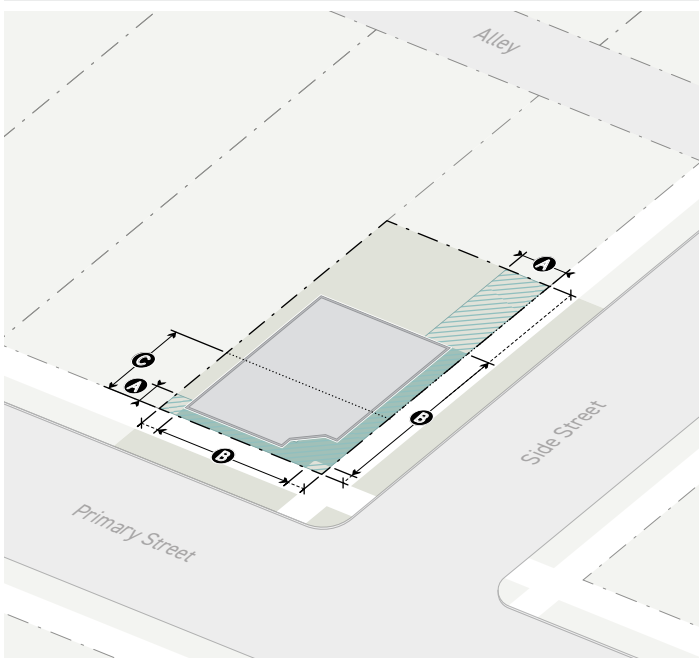
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
A Set by Form District		
UPPER STORY BULK		Sec. 7C.1.1.
Set by Form District		
BUILDING MASS		Sec. 7C.1.1.
B Set by Form District		

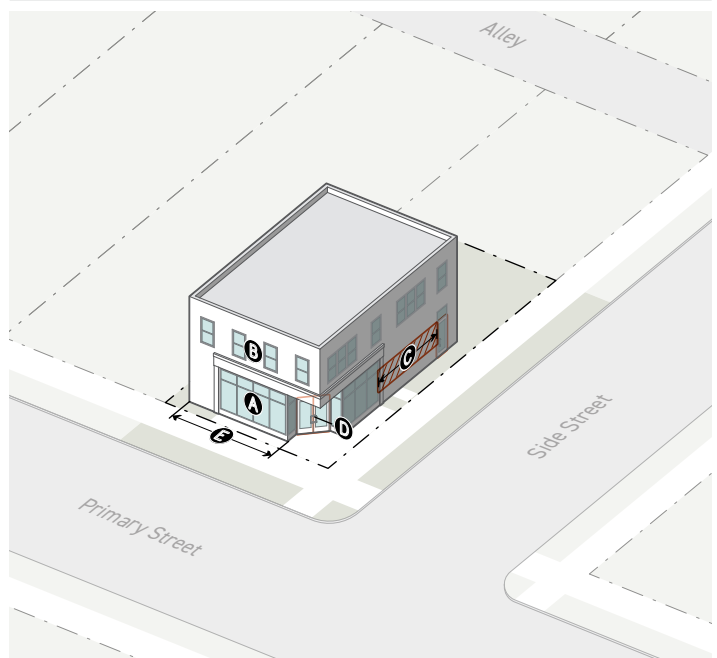
E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	1
A Build-to depth (max)	5'	10'
B Build-to width (min)	80%	60%
C Pedestrian amenity allowance (max)	n/a	n/a
PARKING	Sec. 7.3.2	
D Parking setback (min)	25'	0'
Parking between building & street (allowed)	No	No
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	n/a	n/a
Frontage yard fence & wall type allowed:	A1	A3

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
A Ground story (min)	50%	30%
Upper stories (min)	20%	20%
B Active wall spacing (max)	10'	20'
ENTRANCES	Sec. 7C.1.2.	
C Street-facing entrance	Required	n/a
D Entrance spacing (max)	25'	50'
Required entry feature	Yes	No
Options	<ul style="list-style-type: none"> • Recessed entry • Covered entry • Storefront bay 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)		
Residential (min)	10'	10'
Nonresidential (min)	14'	14'
Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Non-residential	-2'/2'	-2'/2'

F. Development Standards

Set by applied *Development Standard District (Part 4B.)*.

G. Use Standards

1. For a minimum of 10 years after the issuance of a Certificate of Occupancy, a minimum of 500 square feet of ground story floor area shall be designated for General Commercial Uses. Where the total building coverage on the lot is less than 1,500 square feet, the minimum ground story floor area designated for General Commercial Uses may be less than 500 square feet but shall be no less than 33% of the total building coverage.
2. Once 10 years have elapsed, the required ground story floor area designated for General Commercial Uses may be designated for any use allowed in the applied *Use District (Part 5B)*.
3. Any floor area provided beyond the minimum required for General Commercial Uses may be designated for any use allowed in the applicable Use District.
4. For additional Use rules, see the applied *Use District (Part 5B)*.

H. Density Standards

Set by the applied *Density District (Part 6B.)*.

I. Relief

A reduction of up to 5 years to the amount of time that commercial floor area is required to be occupied by a General Commercial Use may be reduced up to 5 years requested in accordance with Sec. 13.B.2.2. (Class 2 Conditional Use Permit).

SEC. 7B.3.1. **SMALL LOT 1**

A. **Eligibility**

- | 1. Eligible Districts | FORM | FRONTAGE | STANDARD | USE | DENSITY |
|------------------------------|-------------|---------------------|-----------------|--------------------------|----------------|
| | V_ & L_ | MU_, G_, LF_, & WH_ | 1, 2, 3, & 4 | RG_, RX_, C_, CX_, & IX_ | FA through 25 |
2. **Eligible Lots**

Small Lot Subdivision 1 Alternate Typology is eligible on lots having a lot width no greater than 80 feet. For lots greater than 80 feet wide, see *Small Lot Subdivision 2 Alternate Typology (Sec. 7B.3.2.)*.



B. **Intent**

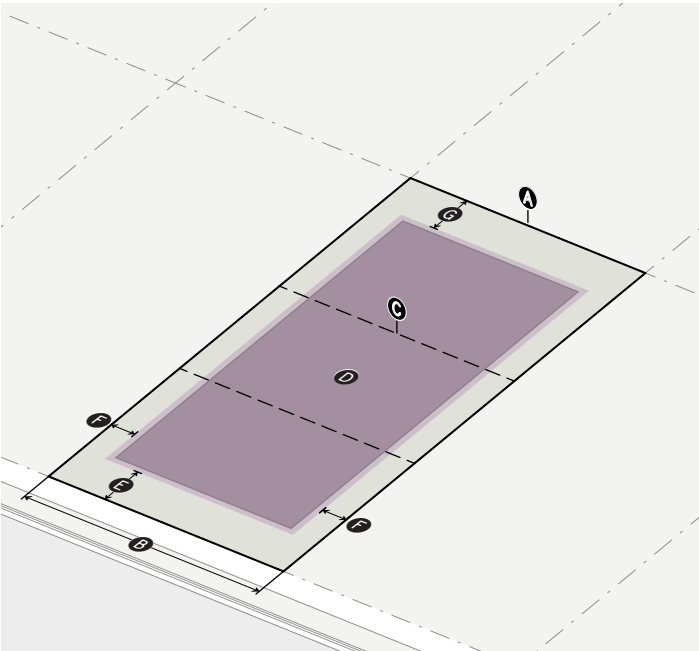
The Small Lot Subdivision 1 Alternate Typology is intended to encourage the development of fee-simple property ownership in a compact urban form. This Alternate Typology modifies standard subdivision rules to provide greater flexibility, while maintaining standards essential for ensuring all projects actively contribute to a highly walkable urban environment.

C. **Review**

1. Administrative review is required, see *Sec. 14.5.1. (Administrative Review)*.
2. If the project involves a subdivision it shall be reviewed pursuant to the applicable provisions of *Article 11 (Division of Land)*.

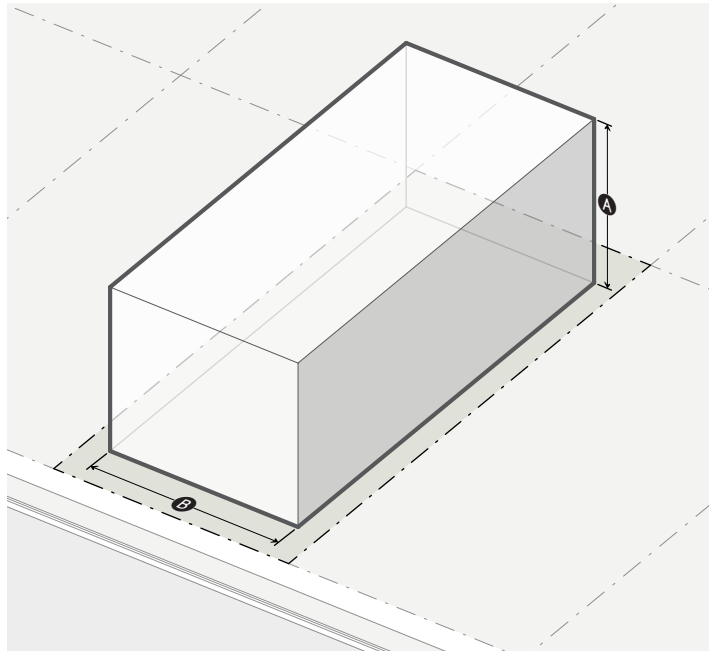
D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
A	Lot area (min)	5,000 SF
B	Lot width (min)	50'
C	Sub-lot area (min)	600 SF
	Sub-lot width (min)	18'
COVERAGE		Sec. 7C.1.1.
D	Building coverage (max)	75%
Building setbacks		
E	Primary street (min)	Set by Form District
	Side street (min)	Set by Form District
F	Side (min)	Set by Form District
G	Rear (min)	Set by Form District
	Alley (min)	Set by Form District
	Special: All (min)	Set by Form District
AMENITY		Sec. 7C.1.1.
	Lot amenity space (min)	n/a
	Residential amenity space (min)	10%

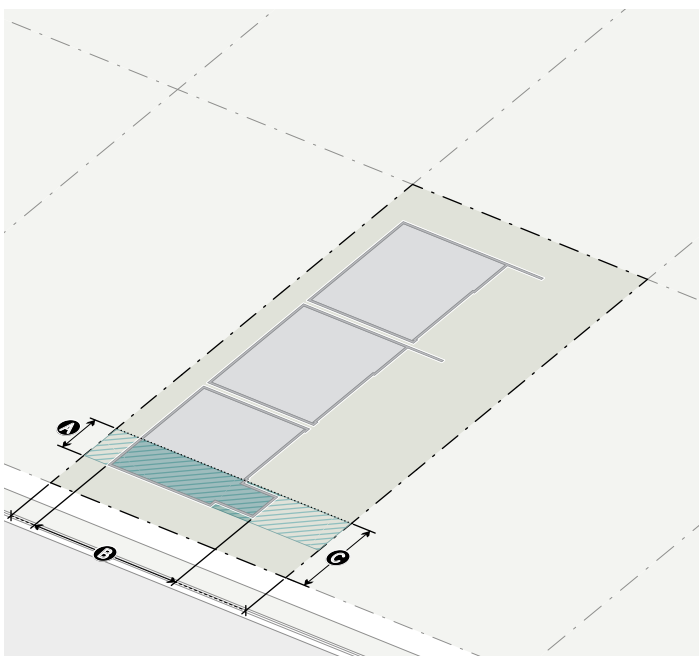
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
	FAR (max)	Set by Form District
	Height in stories (max)	Set by Form District
A	Height in feet (max)	Set by Form District
UPPER STORY BULK		Sec. 7C.1.1.
	Street step-back	Set by Form District
District boundary height transition		
	Abutting district allowed height (max)	35'
	Stories without height transition (max)	2
	Transition depth (min)	10'
BUILDING MASS		Sec. 7C.1.1.
B	Building width (max)	180'
	Building break (min)	6'
C	Facade width (max)	30'

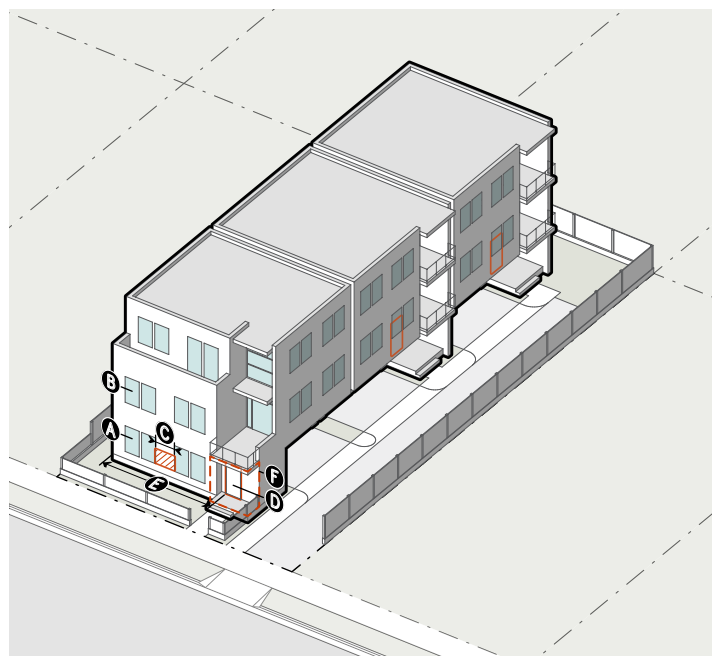
E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	10'
B Build-to width (min)	60%	60%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	Sec. 7C.1.2.	
C Parking setback (min)	20'	20'
Parking between building & street (allowed)	No	No
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
Ground story (min)		
A Residential (min)	20%	20%
Nonresidential (min)	60%	40%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	10'	20'
ENTRANCES	Sec. 7C.1.2.	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	40'	40'
F Required entry feature	Yes	Yes
Options	<ul style="list-style-type: none"> • Porch • Raised entry • Forecourt • Recessed entry • Covered entry 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)		
Residential (min)	10'	10'
Nonresidential (min)	14'	14'
Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Non-residential	-2'/2'	-2'/2'

F. Development Standards

1. Pedestrian Access

In addition to any site access pedestrian standards specified by the applied *Development Standards District (Part 4B)*, small lot subdivisions shall meet the following pedestrian access standards:

- a. Small lot subdivisions shall provide a shared pedestrian accessway meeting the following standards:
 - i. Shall have a minimum width of 4 feet.
 - ii. Shall connect from the sidewalk, or other publicly accessible pedestrian facility along the frontage lot line, to all common open spaces, mailboxes, trash enclosures, and each required pedestrian entrance.
 - iii. Shall be accessible to users of all sub-lots included in the small lot subdivision.
 - iv. Shall be physically separated from and uninterrupted by motor vehicle use areas except where required to cross a drive aisle or driveway. Physical separation methods may include, curbs of no less than 4 inches in height, a planting area having no horizontal dimension less than 18 inches, or bollards, raised planters or similar containment methods, no less than 12 inches in height and separated by no more than 5 feet.
- b. Each unit that does not include a street-facing entrance accessible from a pedestrian accessway, shall provide a pedestrian entrance that meets the following standards:
 - i. Shall face the required shared pedestrian accessway.
 - ii. Shall provide an entry feature meeting the standards for one of the allowed entry features options specified by the the *Small Lot Subdivision 1 Frontage Standards table (Sec. 7B.3.1.E.)*. For the purposes of meeting entry feature standards, a pedestrian access that faces a linked pedestrian access way shall be considered a street-facing entrance

2. Additional Rules

For additional Development Standards rules, see the applied *Development Standard District (Part 4B.)* and *Development Standards Rules (Part 4C.)*.

G. Use Standards

Set by the applied *Use District (Part 5B.)*.

H. Density Standards

Set by the applied *Density District (Part 6B.)*.

Section 43. The City Clerk shall certify to the passage of this ordinance and have it published in accordance with Council policy, either in a daily newspaper circulated in the City of Los Angeles or by posting for ten days in three public places in the City of Los Angeles: one copy on the bulletin board located at the Main Street entrance to Los Angeles City Hall; one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall East; and one copy on the bulletin board located at the Temple Street entrance to the Los Angeles County Hall of Records.