



DEPARTMENT OF CITY PLANNING

APPEAL RECOMMENDATION REPORT

City Planning Commission

Date: August 27, 2020
Time: After 8:30 a.m.
Place: In conformity with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>].

The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting agenda published at <https://planning.lacity.org/about/commissionsboards-hearings> and/or contacting cpc@lacity.org.

Public Hearing: Required
Appeal Status: Not further appealable
Expiration Date: September 7, 2020
Multiple Approval: No

PROJECT LOCATION: 10804, 10806 West Blix Street

PROPOSED PROJECT: The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54.5 feet in height. The project proposes 21 units with two (2) units set aside for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager's unit. The 18,080 square-foot building will be constructed having an FAR (Floor Area Ratio) of 1.7:1. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

REQUESTED ACTION: An appeal of the June 24, 2020, Planning Director's Determination which:

1. **Determined** based on the whole of the administrative record, that the Project is exempt from the CEQA pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. **Approved**, pursuant to LAMC Section 12.22 A.25(g) and 12.22 A.31, approving a Transit Oriented Communities Incentive Program (TOC) project, allowing a 50 percent increase in density consistent with the provisions of the Transit Oriented Communities Affordable Housing Incentive Program along with the following three incentives for a qualifying Tier 1 project totaling 21 dwelling units, reserving two

Case No.: DIR-2020-12-TOC-HCA-1A
CEQA No.: ENV-2020-13-CE
Incidental Cases: None
Related Cases: None
Council No.: 2 – Krekorian
Plan Area: North Hollywood – Valley Village
Specific Plan: None
Certified NC: NoHo
GPLU: Medium Residential
Zone: R3-1
Applicant: Itay Mevorkah, 10806 Blix LLC
Representative: Bijan Azadi, Bijan Azadi Architects

units, or nine percent of the total units, for Extremely Low Income Household occupancy:

- a. **Setbacks (Sides).** A one-foot, nine-inch reduction to permit a side yard setbacks of five feet, three inches in lieu of the minimum seven feet required in the R3-1 Zone;
 - b. **Height.** A nine-foot, six-inch increase in allowable height to permit a maximum height of 54 feet, six inches in lieu of the 45 feet required in the R3-1 Zone;
 - c. **Open Space.** A 480 square-foot reduction to permit a minimum of 1,920 square feet of open space in lieu of the minimum 2,400 square feet required in the R3-1 Zone; and
3. **Adopted** the Conditions of Approval and Findings.

RECOMMENDED ACTIONS:

1. **Determine**, based on the whole of the administrative record, that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 21080 of the California Public Resources Code, and Article 19, Class 32 of the CEQA Guidelines, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. **Deny the appeal and Sustain** the Director of Planning's Determination approving a Transit Oriented Communities Incentive Program (TOC) project, allowing a 50% increase in density consistent with the provisions of the Transit Oriented Communities Affordable Housing Incentive Program along with the following three (3) incentives for a qualifying Tier 1 project totaling 21 dwelling units, reserving two (2) units, or nine (9) percent of the total units, for Extremely Low Income Household occupancy:
 - a. **Setbacks (Sides).** A one (1)-foot, nine (9)-inch reduction to permit a side yard setbacks of five (5) feet, three (3) inches in lieu of the minimum seven (7) feet required in the R3-1 Zone;
 - b. **Height.** A nine (9)-foot, six (6)-inch increase in allowable height to permit a maximum height of 54 feet, six (6) inches in lieu of the 45 feet required in the R3-1 Zone;
 - c. **Open Space.** A 480 square-foot reduction to permit a minimum of 1,920 square feet of open space in lieu of the minimum 2,400 square feet required in the R3-1 Zone; and
3. **Adopt** the Director of Planning's Conditions of Approval, Findings, and "Exhibit A."

VINCENT P. BERTONI, AICP
Director of Planning

Blake Lamb

Blake Lamb, Principal City Planner

Blake Lamb for

Claudia Rodriguez, Senior City Planner

Andrew Jorgensen

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PROJECT ANALYSIS

Appellate Decision Body

Pursuant to Sections 12.22 A.31 and 12.22 A.25 of the Los Angeles Municipal Code (“LAMC”), appeals of Transit Oriented Communities Affordable Housing Incentive Program cases are heard by the City Planning Commission. The appellate decision of the City Planning Commission is final and effective as provided in Charter Section 245.

Project Summary

On June 24, 2020, the Director of Planning approved a Transit Oriented Communities (“TOC”) Affordable Housing Incentive Program for a project totaling 21 dwelling units, including two (2) Extremely Low Income units and one (1) manager’s unit, with three (3) Additional Incentives under Tier 4 of the TOC Guidelines for a reduction in the open space requirement, an increase in building height, and reductions in the side yards.

The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54.5 feet in height. The project proposes 21 units with two (2) units set aside for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager’s unit. The 18,080 square-foot building will be constructed having an FAR (Floor Area Ratio) of 1.7:1. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

The Determination is provided in Exhibit B herein, and the appeal period ended on July 9, 2020. The environmental clearance under Case No. ENV-2020-13-CE is provided in Exhibit C herein.

Background

Subject Property

The subject property is composed of one level, regular-shaped 10,563.3 square-foot lot with a 62.15-foot frontage along the south side of Blix Street. The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54.5 feet in height. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

With an existing lot area totaling 10,563.3 square feet, the property is permitted to construct up to 13 units by-right. By setting aside 9% of the project’s 21-unit total proposed density for Extremely Low Income Households, the project is eligible for a 50% density increase to a maximum of 21 total units. The project proposes 21 units with two (2) units set aside for Extremely Low Income Households and one (1) unit set aside as a market-rate manager’s unit. The 18,080 square-foot building will be constructed having an FAR of 1.7:1.

Zoning and Land Use Designation

The subject property is zoned R3-1 within the North Hollywood – Valley Village Community Plan Area with a Medium Density Residential land use designation, to which R3 is the only

corresponding zone. The subject site has a Height District 1 designation that establishes a 45-foot height limit and restricts the Floor Area Ratio (FAR) of the development to a maximum of 3:1. The subject site is located within a Transit Oriented Communities Tier 1 area and is within a liquefaction hazard area. It is not located within any other sensitive environmental areas.

Surrounding Uses

The project site is located on the south side of Blix Street, which is similarly developed with multifamily residential structures which are primarily two (2) to three (3) stories in height, though many have gabled pop-up portions of their roofs which give the appearance of four stories. In general, the subject site is in a largely multiple-family planned and zoned area, with single family land uses and zones further out, and is in close proximity to major commercial corridors. Nearby properties are similarly predominantly planned for Medium Density Residential land uses and zoned R3-1, with some portions of RD1.5-1 zoning. Properties to the west along Vineland Avenue and Lankershim Boulevard are planned for Community Commercial land uses and zoned C2-1VL and [Q]C2-1VL. Properties on Blix Street to the east, across Denny Avenue, are planned for Low Residential and zoned R1-1, with a large site planned for Public Facility land uses, which is zoned PF-1VL and owned by the Los Angeles Department of Water and Power. Further to the south is the portion of the Ventura Freeway designated State Route 134 (SR 134), which is planned for Public Facility land uses and zoned PF-1VL and PF-1XL.

Transit Oriented Communities

The project qualifies for the Transit Oriented Communities (“TOC”) Affordable Housing Incentive Program, which allows a variety of incentives for increased density, height, and floor area, among others, for Eligible Housing Projects. Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project’s distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The subject property is located approximately one-quarter mile from the intersection of Lankershim Boulevard and Riverside Drive, which is served by the intersecting Metro Local 501 (running east-west) and 224 (running north-south) bus lines with peak hour service intervals of less than 15 minutes. The project therefore qualifies for Tier 1 incentives per the Department of City Planning’s TOC Guidelines.

Tier 1 would require On-Site Restricted Affordable Units at the rate of eight-percent of total units at Extremely Low Income to qualify for Base Incentives, and 11 percent of base units at Lower Income to qualify for Additional Incentives. The project is providing two-dwelling units (nine-and-a-half (9.5%) percent of the total and 15 percent of the base) at Extremely Low Income at state HCD levels, and is therefore eligible for Tier 1 Base Incentives and three Additional Incentives.

The project is eligible for the following Tier 1 Base Incentives which are granted by-right for the TOC project:

- a. **Density.** Increase the maximum allowable number of dwelling units permitted by 50%.
- b. **Floor Area Ratio (FAR).** Increase the maximum allowable floor area ratio by 40%.
- c. **Parking.** Provide .5 parking spaces per bedroom.

Pursuant to the TOC Guidelines, the project is eligible for and has been granted three Tier 1 Additional Incentives to construct the proposed project:

- a. **Setbacks (Sides).** A one-foot, nine-inch (1'9") reduction to permit side yard setbacks of five-feet, three-inches (5'3") in lieu of the minimum seven-feet required in the R3-1 Zone.
- b. **Height.** A nine-foot, six-inch (9'6") increase in allowable height to permit a maximum height of 54 feet, six-inches (54'6") in lieu of the 45 feet required in the R3-1 Zone;
- c. **Open Space.** A 480 square-foot reduction to permit a minimum of 1,920 square feet of open space in lieu of the minimum 2,400 square feet required in the R3-1 Zone.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. Therefore, the site and project qualify for the TOC Affordable Housing Incentive Program as an Eligible Housing Development, and is eligible for the incentives granted therein.

Appeal Analysis

One appeal was filed in a timely manner on July 8, 2020, by an abutting property owner (Joe Monteleone, "Appellant"). The last day to appeal was July 9, 2020. The appeal points are included in Exhibit D and as follows:

Appeal Point 1

I am appealing the approval of reduced set backs and increased height.

A building of this size, especially in the middle of the block, would cause a huge shape shadow for the adjacent properties and be grossly out of proportion with the rest of the buildings on the block. I live across the street from the proposed development in a two story unit. The shape shadow and the size difference between my unit and the proposed development would be enormous, casting light shadow across my entire unit. Especially in the winter when light is at a minimum, grossly affecting my quality of life. Also, adjacent to the proposed development property is a one story house with a separate apt above the garage. The shape shadow and size difference between the two would be enormous. Cutting off half a days light for them as well. All buildings on the block are single level or two and three story buildings. I believe there was not enough thought to the impact of the street character and the neighbors when this was approved. Therefore, I believe there was an error in approving reduced set backs and increased height.

Staff Response: As provided in the Director's Determination (Exhibit E1) and Project Background above, the project site is located in the North Hollywood – Valley Village Community Plan, which designates the site for Medium Residential land uses with a zoning designation of R3-1 with Height District No. 1. The site's zoning would allow a base density of 13 dwelling units, building height of 45 feet and, with a maximum 3:1 FAR by-right. The project is eligible for Tier 1 Base and

Additional Incentives of the TOC Guidelines. The site is not subject to any Specific Plan, [Q] Condition, or overlay which restricts height, density, or development standards. The project is setting aside 9.5% percent of the total units (two units) for Extremely Low Income Households which makes the project eligible to the Base Incentives for increased density and FAR and reduced parking as well as the requested additional Incentives for increase in height and reductions in open space and side yard setbacks.

The base incentives and additional incentives enable the developers to offset the costs of development and provide the required percentage of set aside units for Extremely Low Income, Very Low Income and Low Income Households required under the tier in which the site is located (based on the proximity to transit).

The site is within a transit priority area as defined by Public Resources Code ("PRC") Section 21099, as the subject property is located approximately one-quarter mile from the intersection of Lankershim Boulevard and Riverside Drive, which is served by the intersecting Metro Local 501 (running east-west) and 224 (running north-south) bus lines with peak hour service intervals of less than 15 minutes. This meets the definition of a major transit stop as defined by PRC Section 21064.3 which includes "the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods". State Senate Bill 743 precludes a lead agency from finding that a project will result in aesthetic impacts, including shade/shadow impacts, when a project is located within a transit priority area. A transit priority area is defined as an area within one-half mile of a major transit stop that is existing or planned. PRC Section 21064.3 defines a "major transit stop" as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. As such, as a project located in a transit priority area, aesthetic impacts, including those relating to shade and shadow, shall not be considered significant impacts by the lead agency.

Appeal Point 2

I am appealing the reduced open space allowance.

There are not enough parks and or open space near our neighborhood. We have to drive several miles in either direction to gain access to open space or parks. Reducing the open space for the project would have a negative impact on the neighborhood as we already are lacking in open spaces to enjoy.

As describe above, the project is eligible for Tier 1 Base Incentives and 3 Additional Incentives under the TOC Guidelines. In regards to open space, the applicant has requested a 480 square-foot reduction to permit a minimum of 1,920 square feet of open space in lieu of the minimum 2,400 square feet required in the R3-1 Zone.

As described, the base incentives and additional incentives enable the developers to offset the costs of development and provide the required percentage of set aside units for Extremely Low Income, Very Low Income and Low Income Households required under the tier in which the site is located (based on the proximity to transit). While the applicant has requested a reduction in open space, the applicant would still provide 80% of the otherwise required open space. Further, the project, as a housing project would be required to provide Park Fees, as specified by Ordinance 184,505 (Parks Dedication and Fee Update Ordinance), which are restricted fees to be used solely for the purposes of acquiring new parkland or capital improvements at existing facilities. These fees help to develop or maintain parklands to serve the residents of the developments which pay those fees, in addition to any adjacent neighbors.

Conclusion

In consideration of the foregoing, it is submitted that the Director of Planning acted reasonably in approving Case No. DIR-2020-12-TOC. Upon in-depth review and analysis of the issues raised by the appellant for the proposed project at 10806 W. Blix Street, no errors or abuse of discretion by the Director of Planning or his/her designees were found in regards to the appeal points raised. For the reasons stated herein, and as provided in the Findings in the Director's Determination, the proposed project does comply with the applicable provisions of the Transit Oriented Communities Housing Incentive Program and the California Environmental Quality Act. The appeals of the Director's Determination cannot be substantiated and therefore should be denied.

Staff recommends that the City Planning Commission deny the appeal; determine, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; sustain the Director of Planning's Determination approving a Transit Oriented Communities Affordable Housing Incentive Program for a project totaling 21 dwelling units, with the incentives for reduced open space, increased building height, and reduced setbacks; and, adopt the Director of Planning's Modified Conditions of Approval, Findings, and Exhibit "A".

CONDITIONS OF APPROVAL

Pursuant to Section 12.22-A.31 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 21 residential units, including On-site Restricted Affordable Units.
3. **Affordable Units.** 2 units shall be reserved as On-site Restricted Affordable Units designated for Extremely-Low Income Households, as defined by the State Density Bonus Law 65915 (C)(2).
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make two (2) units available to Extremely-Low Income Households, for sale or rental as determined to be affordable to such households by HCIDLA for a period of 55 years. In the event, the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of HCIDLA, and in consideration of the project's AB 2222 Determination. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA. Refer to the Density Bonus Legislation Background section of this determination.
6. **Setbacks.** The project is permitted the following reduced setbacks:
 - a. **Side Yards.** Five (5)-foot, three (3)-inch side yards in lieu of the minimum seven (7) feet otherwise required.
7. **Open Space.** A minimum of 1,920 square feet of open space shall be permitted in lieu of the minimum 2,400 square feet otherwise required.
8. **Height.** A maximum height of 54 feet, six (6) inches in lieu of the 45 feet required in the R3-1 Zone.
9. **Parking.**
 - a. **Automotive Parking.** The project is required to provide 17 automobile parking spaces or to be parked consistent LAMC code requirements, whichever is less.

- b. **Bicycle Parking.** The project shall provide a minimum of 21 long-term bicycle parking spaces and four (4) short-term bicycle parking spaces. In the event that the number of On-Site Restricted Affordable Units should increase or the composition of such units should change, then no modification of this determination shall be necessary and the number of bicycle parking spaces shall be re-calculated consistent with LAMC Section 12.21-A.16.
10. **Landscaping.** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines.
11. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.

Administrative Conditions

12. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
13. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
14. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
15. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
16. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
17. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall

require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

18. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
19. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
20. **Expedited Processing Section Fee.** Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
21. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably

cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM /AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the director finds that:

- a. *The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.*

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in the Transit Oriented Communities Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

Side Yards. The requested yard incentives, including a 25% reduction in the side yard setbacks, are expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentives allow the developer to reduce setback requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two (2) units for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager's unit, for a total of 21 units.

Height. The requested height incentive, an increase of nine (9) feet six (6) inches, is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive will allow the developer to reduce open space requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two (2) units for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager's unit, for a total of 21 units.

Open Space. The requested open space incentive, including a 25% reduction in the permitted open space area, is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive will allow the developer to reduce open space requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two (2) units for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager's unit, for a total of 21 units.

- b. *The Incentive will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.*

There is no evidence that the proposed incentive will have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The proposed Project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the City's L.A. CEQA Thresholds Guide. These two documents establish guidelines and thresholds of significant impact, and provide the data for determining whether or not the impacts of a proposed Project reach or exceed those thresholds. Analysis of the proposed Project determined that it is Categorically Exempt from environmental review pursuant to Article 19, Class 32 of the CEQA Guidelines.

The Class 32 Exemption is intended to promote infill development within urbanized areas. The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of "Infill Projects" as further described in the analysis for Case No. ENV-2020-13-CE. The five (5) conditions which the project must meet in order to qualify for the Class 32 Categorical Exemption are as follows: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. The project, as proposed, was determined to meet all five conditions. Furthermore, planning staff evaluated the exceptions to the use of Categorical Exemptions for the proposed ordinance listed in "CEQA Guidelines" Section 15300.2 and determined that none of the exceptions apply to the proposed project.

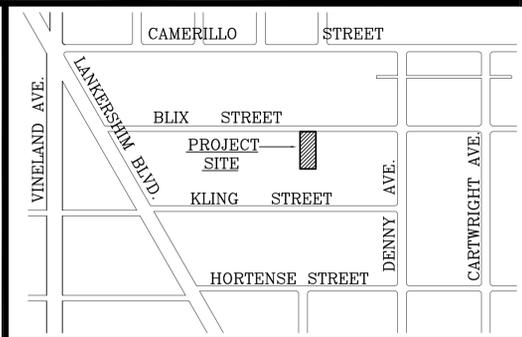
Therefore, there is no substantial evidence that the proposed Project will have a specific adverse impact on the physical environment, on public health and safety, or on property listed in the California Register of Historic Resources.

ADDITIONAL MANDATORY FINDINGS

2. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, which is categorized as an area of minimal flooding.
3. Determine, based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15300 and Article III, Section 1, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

Exhibit A – Plans

PROPOSED 21 UNIT APARTMENT BUILDING: 10806 W. BLIX STREET NORTH HOLLYWOOD, CA. 91602



VICINITY MAP
N.T.S.

GENERAL NOTES:

- All dimensions on these architectural drawings are to the face of stud, to the face of masonry, to centerline of openings or as indicated. Dimensions shall take precedence over scaled drawings and specifications shall take precedence over notes on drawings. All architectural drawings shall be considered complimentary.
- Contractor shall furnish all labor, materials and services necessary to complete the work indicated on these architectural drawings and specifications.
- Contractor shall be solely responsible for construction means, methods, scheduling and safety. Contractor shall keep site reasonably clean and secure against crime during working hours. Protect project against crime and weather over night and over periods of delay or work stoppage longer than 24 hours to prevent damage, theft and vandalism. Contractor shall make reasonable efforts to keep all unauthorized persons off site during construction. At the end of construction, contractor shall thoroughly clean project, including but not limited to all glazing, flooring, and all other exposed surfaces.
- Contractor shall be solely responsible for obtaining all inspections and utility permits required by all applicable government officials. Notify architect at least 24 hours before all building inspections. All work and procedures shall conform to local building codes and regulations and to Uniform Building Code, most recent edition. Bring all conflicts, omissions, and errors discovered on these architectural drawings to the attention of the architect.
- Contractor, sub-contractor and all of their employees shall verify all existing conditions and dimensions in the field before start of the work and shall become thoroughly familiar with these architectural drawings and specifications before submitting bids on any part of the project.
- Erect and maintain job signage of architect as directed by architect on site and keep clean and unobstructed from view by the public.

| REVISIONS | BY |
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BIJAN AZADI, AIA
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LONG BEACH, CALIFORNIA 90804
TEL. 310-713-9477



10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

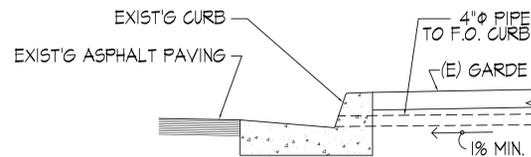
| BUILDING HEIGHT | PARKING INFORMATION | AREA INFORMATION | AREA INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|--|---------------------|------------------|--------------|--------------|--------------|--------------|--------------|--------------|-------------------------|-------------------------|----------------------|------------|------|--------------|--------------|----------------|----------------|--------------|----------------|----------------|--------------|----------------|----------------|--------------|----------------|--|--|---------------|---------------|--------------|----------------|--|---|---|-------------------------|----------------------|-------|------|---------------------------------|--------------|------------------------------|--------------|-----------------------------|--------------|------------------------------|--------------|-------------------------|----------------------|-------|------|------------------------------|--------------|-----------------------------|--------------|------------------------------|--------------|---|----------------------|---------------------------------|--------------|
| <p>MAX. BUILDING HGT. @ 5'-0" FROM LOWEST GRADE: <u>54'-6"</u> (PER ZONING CODE SECTION 12.21.1) (T.O.C. PROGRAM) INCENTIVE = 11 FEET ALLOWABLE HEIGHT FOR R3-1 ZONE = 45' + 11' = 56 FEET</p> <p>NUMBER OF STORIES = 4</p> <p>AVERAGE GRADE PLANE ELEVATION= 595.50+595.00+696.00+596.00 = 2,382.5 / 4 = 595.625'</p> <p>TOP OF ROOF ELEVATION = 649.50'</p> <p>BUILDING HEIGHT FROM AVG. GRADE PLANE = 649.50 - 595.625 = <u>53.875 FEET</u> (PER BUILDING CODE C.B.C. SECTION 504.3)</p> | <p>PARKING REQUIRED: AS PER TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM (T.O.C. PROGRAM) "TIER 1 (LOW)" 0.5 PARKING STALLS REQUIRED PER BEDROOM TOTAL NUMBER OF BEDROOMS = 33 33 x 0.5 = 16.5 / 17 STANDARD STALLS REQUIRED</p> <p>AUTOMOBILE PARKING PROVIDED: 1 D.A. + 16 STANDARD = 17 STALLS PROVIDED (GUEST PARKING NOT REQUIRED AND NOT PROVIDED)</p> <p>BICYCLE PARKING PROVIDED: ORDINANCE NO. 182386 (BICYCLE PARKING ORDINANCE) SHORT TERM BICYCLE PARKING: 4- PROVIDED AT FRONT (1 PER 10 UNITS = 2.1 REQUIRED)</p> <p>LONG TERM BICYCLE PARKING: 24- PROVIDED AT STORAGE ROOMS (1 PER UNITS = 21 REQUIRED)</p> | <p>ALLOWABLE NUMBER OF UNITS: PER ZONING CODE FOR R3-1 ZONE 10,563.3 / 800 = 13.2 UNITS (BY RIGHT), ROUND UP TO 14 UNITS DENSITY BONUS: TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM (T.O.C. PROGRAM) "TIER 1 (LOW)" 14 + 50% DENSITY INCREASE = 21 UNITS L.A. MUNICIPAL CODE 12.22.A.31</p> <p>NOTE: a) THIS PROJECT IS 100% PRIVATELY FUNDED b) NOT A PUBLIC HOUSING c) NO TAX CREDIT RECEIVED</p> <p>ALLOWABLE FLOOR AREA: ALLOWABLE AREA PER TABLE 503 FOR TYPE V-A & R-2 OCCUP. =12,000 S.F. ALLOWABLE INCREASE SECTION 506.1 CBC: INCREASE FOR FIRE SPRINKLERS $Is = 2$ $Aa = Af + [Af \times If] + [Af \times Is] = 12,000 + [0] + [24,000] = 36,000$ SQ.FT. $Aa \times 2$ PER 506.4.1 CBC = 36,000 x 2 = 72,000 $Aa = 72,000 > 18,080$</p> <p>No. OF STORIES ABOVE TYPE I-A GARAGE = 3 SECTION 506.2 CBC LOT COVERAGE: 5,830 / 10,563 = 55.1% FLOOR AREA RATIO: 18,080 / 10,563 = 1.71</p> | <p>LOT AREA: 10,563.3 SQ.FT.</p> <table border="1"> <thead> <tr> <th>UNIT #</th> <th>No. OF BED ROOMS</th> <th>FLOOR AREA</th> </tr> </thead> <tbody> <tr><td>-01</td><td>TWO BED ROOM</td><td>900 SQ.FT.</td></tr> <tr><td>-02</td><td>TWO BED ROOM</td><td>965 SQ.FT.</td></tr> <tr><td>-03</td><td>TWO BED ROOM</td><td>865 SQ.FT.</td></tr> <tr><td>-04</td><td>TWO BED ROOM</td><td>780 SQ.FT.</td></tr> <tr><td>-05</td><td>ONE BED ROOM</td><td>555 SQ.FT.</td></tr> <tr><td>-06</td><td>ONE BED ROOM</td><td>555 SQ.FT.</td></tr> <tr><td>-07</td><td>ONE BED ROOM</td><td>560 SQ.FT.</td></tr> </tbody> </table> <p>(UNIT SIZES IDENTICAL FOR ALL 3 RESIDENTIAL FLOORS)</p> <p>FLOOR AREA PER BUILDING CODE: (NOT INCLUDING EXTERIOR WALLS)</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>AREA</th> </tr> </thead> <tbody> <tr><td>FIRST FLOOR</td><td>185 SQ.FT.</td></tr> <tr><td>SECOND FLOOR</td><td>5,965 SQ.FT.</td></tr> <tr><td>THIRD FLOOR</td><td>5,965 SQ.FT.</td></tr> <tr><td>FOURTH FLOOR</td><td>5,965 SQ.FT.</td></tr> <tr><td>TOTAL FLOOR AREA</td><td>18,080 SQ.FT.</td></tr> </tbody> </table> <p>FLOOR AREA PER ZONING CODE: (NOT INCLUDING EXTERIOR WALLS)</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>AREA</th> </tr> </thead> <tbody> <tr><td>FIRST FLOOR (S-2 & B OCCUPANCY)</td><td>5,535 SQ.FT.</td></tr> <tr><td>SECOND FLOOR (R-2 OCCUPANCY)</td><td>5,965 SQ.FT.</td></tr> <tr><td>THIRD FLOOR (R-2 OCCUPANCY)</td><td>5,965 SQ.FT.</td></tr> <tr><td>FOURTH FLOOR (R-2 OCCUPANCY)</td><td>5,965 SQ.FT.</td></tr> <tr><td>TOTAL FLOOR AREA</td><td>23,430 SQ.FT.</td></tr> </tbody> </table> <p>FLOOR AREA (FOR CALCULATING SCHOOL FEE): (INCLUDING EXTERIOR WALLS)</p> <table border="1"> <thead> <tr> <th>FLOOR</th> <th>AREA</th> </tr> </thead> <tbody> <tr><td>SECOND FLOOR (R-2 OCCUPANCY)</td><td>6,400 SQ.FT.</td></tr> <tr><td>THIRD FLOOR (R-2 OCCUPANCY)</td><td>6,400 SQ.FT.</td></tr> <tr><td>FOURTH FLOOR (R-2 OCCUPANCY)</td><td>6,400 SQ.FT.</td></tr> <tr><td>TOTAL FLOOR AREA (R-2 OCCUPANCY)</td><td>19,200 SQ.FT.</td></tr> <tr><td>FIRST FLOOR (S-2 & B OCCUPANCY)</td><td>5,830 SQ.FT.</td></tr> </tbody> </table> | UNIT # | No. OF BED ROOMS | FLOOR AREA | -01 | TWO BED ROOM | 900 SQ.FT. | -02 | TWO BED ROOM | 965 SQ.FT. | -03 | TWO BED ROOM | 865 SQ.FT. | -04 | TWO BED ROOM | 780 SQ.FT. | -05 | ONE BED ROOM | 555 SQ.FT. | -06 | ONE BED ROOM | 555 SQ.FT. | -07 | ONE BED ROOM | 560 SQ.FT. | FLOOR | AREA | FIRST FLOOR | 185 SQ.FT. | SECOND FLOOR | 5,965 SQ.FT. | THIRD FLOOR | 5,965 SQ.FT. | FOURTH FLOOR | 5,965 SQ.FT. | TOTAL FLOOR AREA | 18,080 SQ.FT. | FLOOR | AREA | FIRST FLOOR (S-2 & B OCCUPANCY) | 5,535 SQ.FT. | SECOND FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | THIRD FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | FOURTH FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | TOTAL FLOOR AREA | 23,430 SQ.FT. | FLOOR | AREA | SECOND FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | THIRD FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | FOURTH FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | TOTAL FLOOR AREA (R-2 OCCUPANCY) | 19,200 SQ.FT. | FIRST FLOOR (S-2 & B OCCUPANCY) | 5,830 SQ.FT. |
| UNIT # | No. OF BED ROOMS | FLOOR AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -01 | TWO BED ROOM | 900 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -02 | TWO BED ROOM | 965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -03 | TWO BED ROOM | 865 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -04 | TWO BED ROOM | 780 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -05 | ONE BED ROOM | 555 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -06 | ONE BED ROOM | 555 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| -07 | ONE BED ROOM | 560 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 185 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| THIRD FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FOURTH FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL FLOOR AREA | 18,080 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR (S-2 & B OCCUPANCY) | 5,535 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| THIRD FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FOURTH FLOOR (R-2 OCCUPANCY) | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL FLOOR AREA | 23,430 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| THIRD FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FOURTH FLOOR (R-2 OCCUPANCY) | 6,400 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL FLOOR AREA (R-2 OCCUPANCY) | 19,200 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR (S-2 & B OCCUPANCY) | 5,830 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING SETBACKS | FLOOR AREA PER ZONING CODE | OPEN SPACE INFORMATION | PROJECT INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 185 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| THIRD FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FOURTH FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL FLOOR AREA | 18,080 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | LOAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 5,535 SQ.FT. | / 200 = 27.675 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | / 200 = 29.825 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ROOF DECK COMMON AREA (NOT INCLUDING PLANTERS) | 1,445 SQ.FT. | / 15 = 96.333 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | | 213.483 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING SETBACKS | | FLOOR AREA PER ZONING CODE | OPEN SPACE INFORMATION | PROJECT INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 185 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| FOURTH FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL FLOOR AREA | 18,080 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | LOAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 5,535 SQ.FT. | / 200 = 27.675 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | / 200 = 29.825 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ROOF DECK COMMON AREA (NOT INCLUDING PLANTERS) | 1,445 SQ.FT. | / 15 = 96.333 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | | 213.483 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| FLOOR | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 185 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SECOND FLOOR | 5,965 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| TOTAL FLOOR AREA | 18,080 SQ.FT. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOR | AREA | LOAD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| THIRD FLOOR | 5,965 SQ.FT. | / 200 = 29.825 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FOURTH FLOOR | 5,965 SQ.FT. | / 200 = 29.825 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ROOF DECK COMMON AREA (NOT INCLUDING PLANTERS) | 1,445 SQ.FT. | / 15 = 96.333 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | | 213.483 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| SHEET | INDEX |
|--------|----------------------------------|
| A-0 | COVER SHT. / PROJECT INFO. |
| A-1.0 | SITE PLAN |
| A-1.1 | GRADING PLAN |
| A-1.2 | SOILS REPORT APPROVAL LETTER |
| A-1.3 | ACCESSIBILITY NOTES & DETAILS |
| A-1.4 | ACCESSIBILITY NOTES & DETAILS |
| A-1.5 | ACCESSIBILITY NOTES & DETAILS |
| A-1.6 | ACCESSIBILITY NOTES & DETAILS |
| A-1.7 | ACCESSIBILITY NOTES & DETAILS |
| A-1.8 | GREEN BUILDING NOTES |
| A-1.9 | GREEN BUILDING NOTES |
| A-1.10 | GENERAL NOTES |
| A-1.11 | FIRE DEPT. NOTES |
| A-2.0 | FIRST FLOOR PLAN |
| A-2.1 | FIRST FLOOR PATH OF EXIT TRAVEL |
| A-3.0 | SECOND FLOOR PLAN |
| A-3.1 | PLAN DETAILS |
| A-4.0 | THIRD FLOOR PLAN |
| A-5.0 | FOURTH FLOOR PLAN |
| A-5.1 | FOURTH FLOOR PATH OF EXIT TRAVEL |
| A-6.0 | ROOF PLAN |
| A-6.1 | ROOF DECK PATH OF EXIT TRAVEL |
| A-7.0 | NORTH ELEVATION |
| A-8.0 | EAST ELEVATION |
| A-9.0 | SOUTH ELEVATION |
| A-10.0 | WEST ELEVATION |
| A-11.0 | SECTION |
| A-11.1 | SECTION |
| A-12.0 | ARCHITECTURAL DETAILS |
| A-12.1 | ARCHITECTURAL DETAILS |
| A-12.2 | ARCHITECTURAL DETAILS |
| A-13.0 | NOTES AND SCHEDULES |
| L-1.0 | LANDSCAPE PLAN |
| L-2.0 | IRRIGATION PLAN |
| L-3.0 | LANDSCAPE DETAILS |
| SHT. 1 | SITE SURVEY |

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| DRAWN B.A. |
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| DATE 3-19-2020 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
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| A-0 |
| OF SHEETS |

GRADING NOTES

- 1- ALL GRADED SLOPS SHALL BE PLANTED AND SPRINKLERED (1012.1)
- 2- STANDARD 12" HIGH BERM IS REQUIRED ON TOP OF ALL GRADED SLOPES (1013.3)
- 3- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION
- 4- MAN-MADE FILL SHALL BE COMPACTED TO A MIN. RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER
- 5- TEMPORARY EROSION CONTROL TO BE INTALLED BETWEEN OCTOBER 1ST AND APRIL 15TH. OBTAIN GRADING INSPECTOR'S AND DEPT. OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. (>200 C.Y.) (1007.1)
- 6- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMM. OTHERWISE BY RESPONSIBLE ENGINEER
- 7- CONCENTRATED DRAINAGE TO BE DISCHARGED INTO AN APPROVED LOCATION (DRAINAGE REQUIRED INTO STREET, NATURAL WATERCOURSE, DRAINAGE EASEMENT OR OTHER APPROVED LOCATION) (1013.9,10,11)
- 8- THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND, FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.
- 9- STAKE AND FLAG THE PROPERTY LINES IN ACCORDANCE WITH THE LICENSED SURVEY MAP



3
A-1.1
DRAIN PIPE TO CURB
N.T.S.

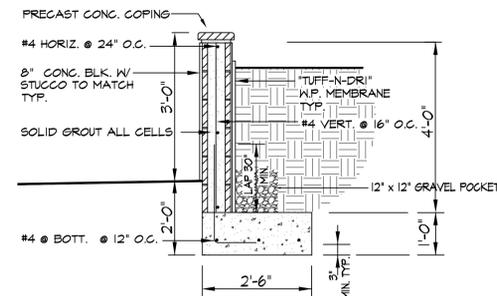
EARTH WORK QUANTITIES

REMOVE & RE-COMPACT: 7,010 S.F. x 5' = 35,050 / 27 = 1,300 CU.YD.
(5' DEEP & EXTEND 3' BEYOND BUILDING PERIMETER)

15% SHRINKAGE AT COMPACTION FILL = 195 CU.YD.

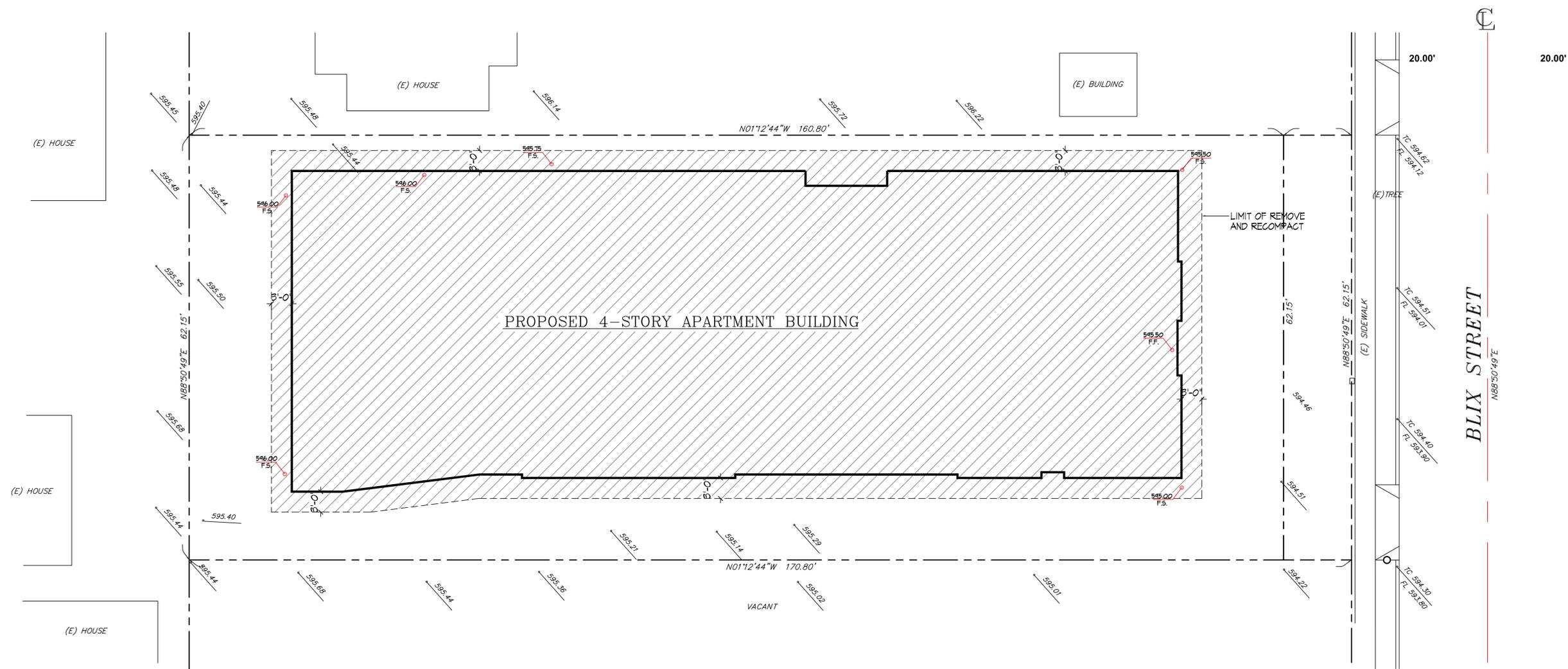
TOTAL GRADING 1,495.0 CU.YD.

NOTE: THE ABOVE QUANTITY ESTIMATES ARE FOR INFORMATION ONLY
CONTRACTOR SHALL VERIFY THE ABOVE QUANTITIES PRIOR TO START OF WORK



* GROUT ALL CELLS $f_c = 2500$ PSI
* WATER PROOFING MEMBRANE SHALL BE "TUFF-N-DRY" I.C.B.O.# ER-5146 OR "GETCO" L.A.R.R. # 24735

4
A-1.1
PLANTER WALL
1/2"=1'-0"



1
A-1.1
GRADING PLAN
1/8"=1'-0"



* SOIL ENGINEER: AGI GEOTECHNICAL INC.
TEL. 310/785-5244
* SOIL REPORT DATE: SEPT. 26, 2019

LEGEND

| | |
|--------|---------------------------|
| | REMOVE & RECOMPACT |
| 594.22 | EXISTING GROUND ELEVATION |
| 642.50 | NEW GROUND ELEVATION |

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10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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| DATE | 3-19-2020 |
| SCALE | AS NOTED |
| JOB NO. | 19-731 |
| SHEET | |

A-1.1

OF SHEETS

FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE):

- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED E.V. SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40- AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED
- SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
- A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUB PANEL AND NEXT TO THE RACEWAY TERMINATION POINT.

- NOTES:**
- PROVIDE EXIT SIGNS (X) & DIRECTIONAL EXIT SIGNS W/ MIN. 6" HIGH x 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. APPROVED LOW LEVEL EXIT SIGNS SHALL BE LOCATED IN ALL INTERIOR EXIT CORRIDORS. EXIT SIGNS SHALL BE LIGHTED, SO THAT THEY ARE CLEARLY VISIBLE (5 FOOT CANDLE)
 - PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 15 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR
 - PROVIDE TACTILE EXIT SIGNS PER 101B.3 & 111B.5.1 CBC CHARACTRS SHALL BE SANS SERIF UPPERCASE ACCOMPANIED BY GRADE 2 BRAILLE AND 5/8" SIZE PER CBC 111B.5.5 AND 111B.5.6

NOTE: MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)

NOTE: PROVIDE 8'-2" MIN. CLEAR HEADROOM AT PARKING FROM ENTRANCE TO AND INCLUDING ALL ACCESSIBLE STALLS (SHADED AREA)

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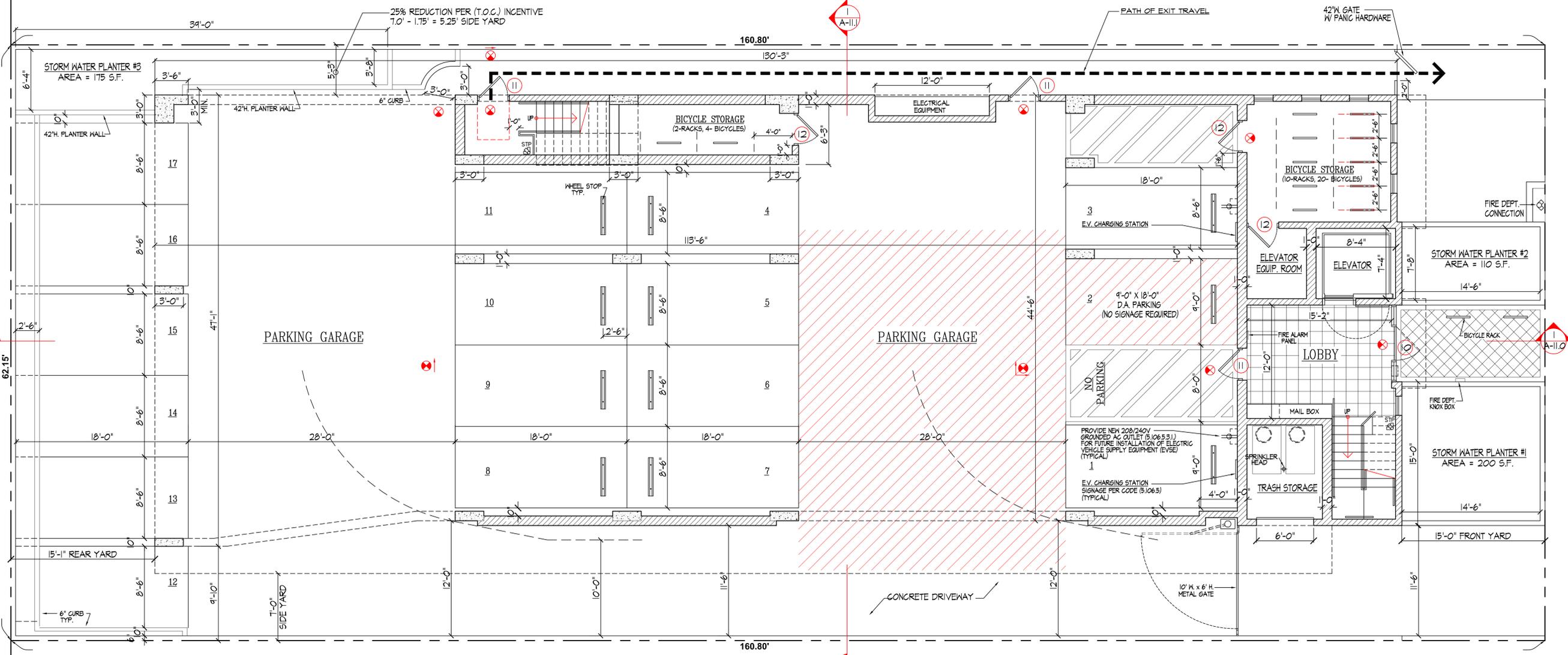


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A-2.0

OF SHEETS



PARKING GARAGE NATURAL VENTILATION:

GROUND FLOOR PERIMETER = 46.5' + 13.5' + 44.5' + 13.5' = 318.0'
 GROUND FLOOR WALL AREA = 318.0' x 9.75' = 3,100.5 S.F.
 OPENING AREA REQUIRED = 3,100.5 x 0.20 = 620.1 S.F.
 OPENING LENGTH REQUIRED = 318.0' x 0.40 = 127.2'
 OPENING AREA PROVIDED =
 250.0' WEST + 322.0' SOUTH + 498.9' EAST = 1,070.9 S.F.
 OPENING LENGTH PROVIDED =
 56.0' WEST + 46.0' SOUTH + 28.0' EAST = 130.0'

* CONCRETE SLAB ON GRADE:
 5" THICK CONCRETE SLAB W/ #4 BARS @ 16" O.C. EACH WAY @ CENTER OVER 10 MIL. VAPOR BARRIER OVER 4" OF 1/2" MIN. CLEAN AGGREGATE OVER COMPACTED SOIL OR UNDISTURBED NATURAL SOIL

- LEGEND**
- CONCRETE WALL PER STRUCTURAL
 - CONCRETE BLOCK WALL (3-HR. FIRE RATED MIN.)
 - WATER CURTAIN SPRINKLER HEAD (SEE DETAIL 4/A-8.0)
 - CLASS 1 STANDPIPE OUTLET

NOTE: DOUBLE STRIPING OF PARKING STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART No. 5

FIRST FLOOR PLAN
 3/16" = 1'-0"



NOTES:

- 1- PROVIDE EXIT SIGNS & DIRECTIONAL EXIT SIGNS W/ MIN. 6" HIGH x 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. APPROVED LOW LEVEL EXIT SIGNS SHALL BE LOCATED IN ALL INTERIOR EXIT CORRIDORS. EXIT SIGNS SHALL BE LIGHTED, SO THAT THEY ARE CLEARLY VISIBLE (5 FOOT CANDLE)
- 2- PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A RATING OF NOT LESS THAN 2-A OR 2-AIOBC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR
- 3- PROVIDE TACTILE EXIT SIGNS PER 101.3 & 111TB.5.1 CBC. CHARACTRS SHALL BE 6ANS SERIF UPPER CASE ACCOMPANIED BY GRADE 2 BRAILLE AND SIZED PER CBC 111TB.5.5 AND 111TB.5.6

NOTE: THERE SHALL NOT BE OBSTRUCTIONS UNDER BEDROOM WINDOWS (INCLUDING PLANTERS) SO A LADDER AT 10° FROM GROUND CAN BE DEPLOYED TO ACCESS THE BEDROOM WINDOW

NOTE: BUILDING HAS AN EXIT ENCLOSURE CONNECTING MORE THAN 3- STORIES. PROVIDE AN APPROVED STAIRWAY SIGN INDICATING THE FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIR AND THE IDENTIFICATION NUMBER OF THE STAIR. IT SHALL BE LOCATED APPROXIMATELY 5 FT. ABOVE THE FLOOR LANDING AND BE READILY VISIBLE WHEN THE STAIR DOORS ARE IN AN OPEN OR CLOSED POSITION. (1022.9)

NOTE: MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)

TOTAL BASEMENT OCCUPANT LOAD = 21,675
 REQUIRED WIDTH OF STAIR = 21,675 x 0.2 = 5,535' / 2 = 2,767'
 (PER SEC. 1005.3.1 FULLY SPRINKLERED BLD'G)
 WIDTH OF EXITS PROVIDED = 4'-9"
 REQUIRED WIDTH OF EGRESS OTHER THAN STAIRS = 21,675 x 0.15 = 4,151'
 (PER SEC. 1005.3.2 FULLY SPRINKLERED BLD'G)

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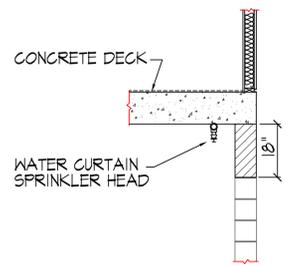
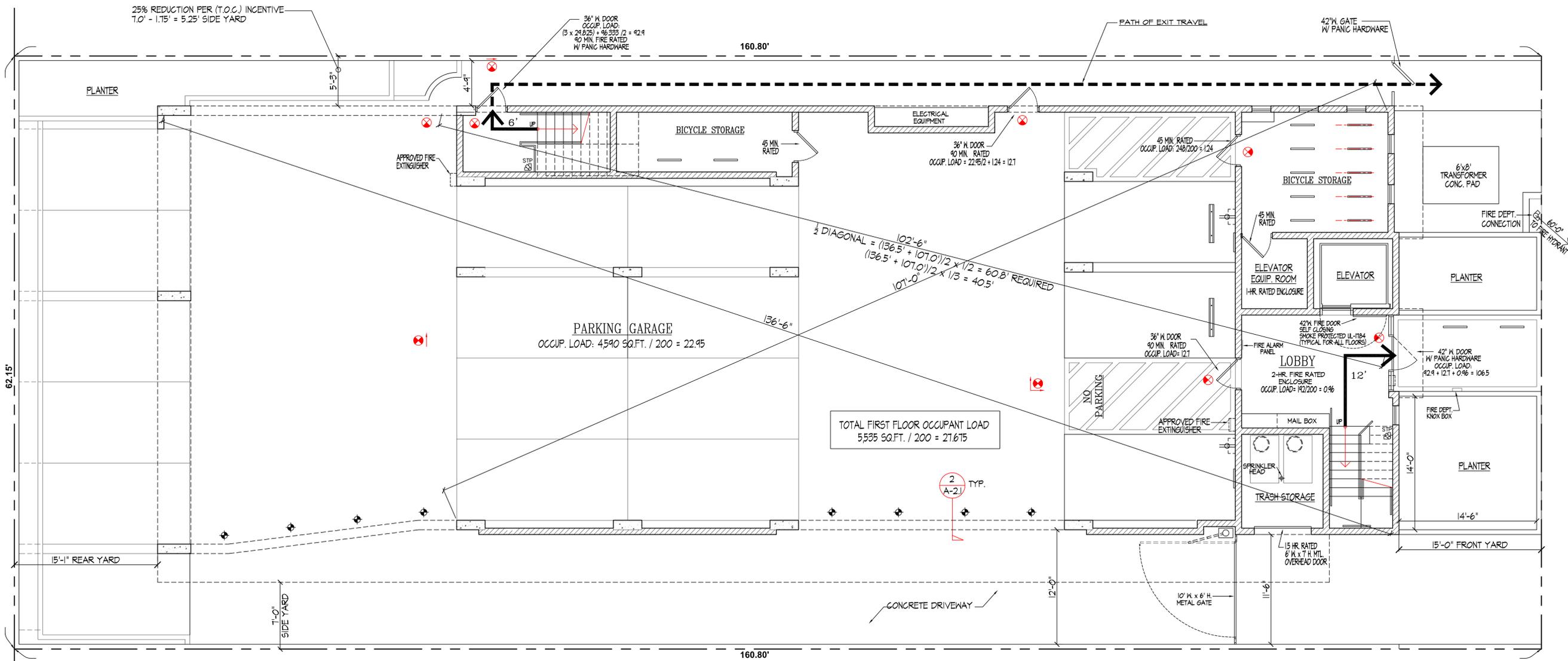
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| SHEET | A-2.1 |
| OF | SHEETS |



- NOTES:
- 1- PROVIDE A TWO WAY RADIO COMMUNICATION SYSTEM PER LAFC 510
 - 2- PROVIDE ELEVATOR STANDBY POWER PER CBC 1009.4
 - 3- ALL FIRE RATED DOORS WITH THE NOTE "PANIC HARDWARE" MUST BE PROVIDED WITH FIRE EXIT HARDWARE PER CBC 1010.1.10

LEGEND

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| | CONG. WALL OR COLUMN PER STRUCTURAL |
| | CONCRETE BLOCK WALL (3-HR. FIRE RATED MIN.) |
| | WATER CURTAIN SPRINKLER HEAD (SEE DETAIL 2/A-2.1) |
| | CLASS 1 STANDPIPE OUTLET |

2 WATER CURTAIN
 3/8" = 1'-0"

1 FIRST FLOOR PATH OF EXIT TRAVEL
 3/16" = 1'-0"



NOTES:

- 1- PROVIDE EXIT SIGNS (X) & DIRECTIONAL EXIT SIGNS W/ MIN. 6" HIGH x 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. APPROVED LOW LEVEL EXIT SIGNS SHALL BE LOCATED IN ALL INTERIOR EXIT CORRIDORS. EXIT SIGNS SHALL BE LIGHTED, SO THAT THEY ARE CLEARLY VISIBLE (5 FOOT CANDLE)
- 2- PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A RATING OF NOT LESS THAN 2-A OR 2-A10CG WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR
- 3- PROVIDE TACTILE EXIT SIGNS PER 101.3 & 111B5.1 CBC CHARACTRS SHALL BE SANS SERIF UPPERCASE ACCOMPANIED BY GRADE 2 BRAILLE AND SIZED PER CBC 111B5.5 AND 111B5.6

NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 310.9, VOL. 1, CBC 2001 SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.

NOTE: SMOKE DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATH ROOM OR SUPPLY AIR REGISTERS

NOTE: PROVIDE AN ARC-FAULT CIRCUIT-INTERRUPTER IN ALL SLEEPING ROOMS

INTERIOR FINISHES:

* INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL COMPLY WITH TABLE 803.5, CBC

** THE FLAME SPREAD RATING OF PANELING MATERIALS ON THE WALLS OF THE CORRIDORS, LOBBY AND EXIT ENCLOSURE SHALL BE CLASS 'C' OR BETTER

*** ANY DECORATIONS SHALL BE NONCOMBUSTIBLE OR FLAME RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) (I.A.M.C. 51.22)

ACCESSIBLE BATH ROOMS:

OPTION #2
ONE BATH ROOM WITHIN EACH DWELLING UNIT SHALL BE FULLY ACCESSIBLE. SEE BATH ROOM SHOWN WITH 5'-0" DIA. CIRCLE. USE DETAIL 1A/A-12.2 WHERE LESS THAN 24" BETWEEN CENTER LINE OF SINK AND ADJ. WALL.

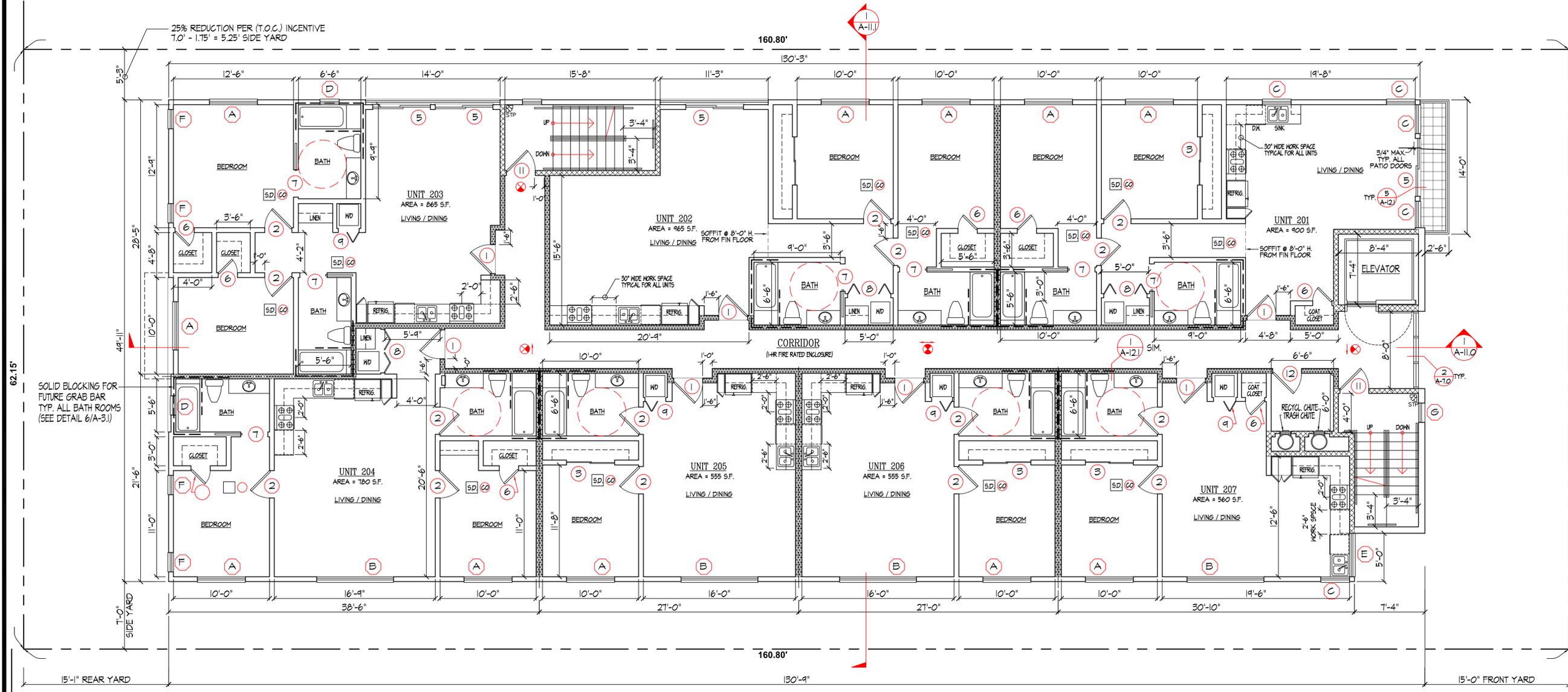
* NEWLY INSTALLED BATH ROOM AXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

* NEWLY INSTALLED BATH ROOM AXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VERIFICATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

* FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

* ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH GRN-16, FOR MAXIMUM FLOW RATED (TABLE 9.303.2)

** ALL WASHERS & DRYERS SHALL BE FRONT LOADING AND WITHIN REACH IF THEY ARE NOT ACCESSIBLE MANAGEMENT WILL PROVIDE ACCESSIBLE WASHER & DRYER OR ASSISTIVE DEVICE UPON REQUEST



LEGEND

- NEW STUD WALL (3x4 WD. STUDS @ 16" O.C. UNO.)
- 1-HR. FIRE RATED WALL (1-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-309]
- 2-HR. FIRE RATED WALL (2-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-301]
- PARTY WALL (STC=55) ONE HOUR FIRE RATED (A-12)
- HARD-WIRED SMOKE DETECTOR W/ A BATTERY BACK UP PER CODE (310.9.1)
- PROVIDE CARBON MONOXIDE DETECTOR ALARM FOR ALL BEDROOMS OR AS INDICATED ON PLAN (HARDWIRED)
- ELECT. EXHAUST FAN (5 AIR CHANGES PER HR.) 50 CFM MIN. "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING W/ HUMIDISTAT
- CLASS I STANDPIPE OUTLET

* WATER PROOFING MEMBRANE FOR PATIOS & WALKWAYS SHALL BE "MER-KOTE" ICC ER-5968 LARR# 25744

SECOND FLOOR PLAN
3/16"=1'-0"



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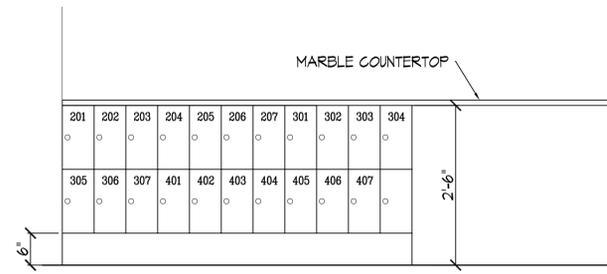
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TEL. 562-591-9477



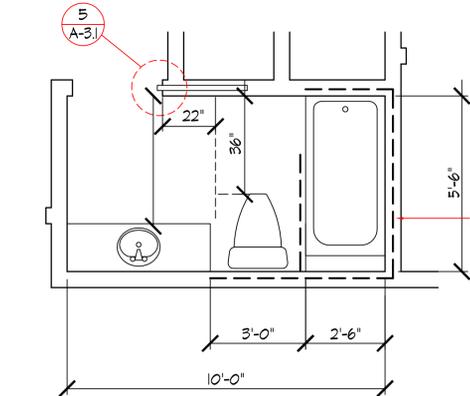
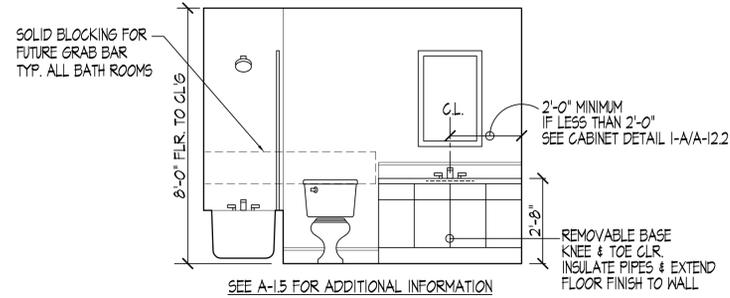
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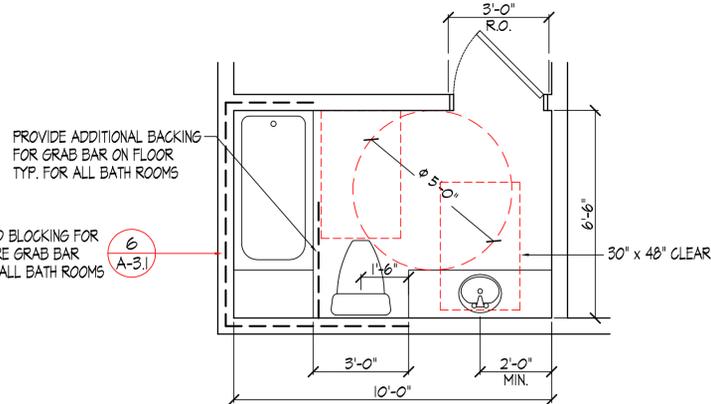
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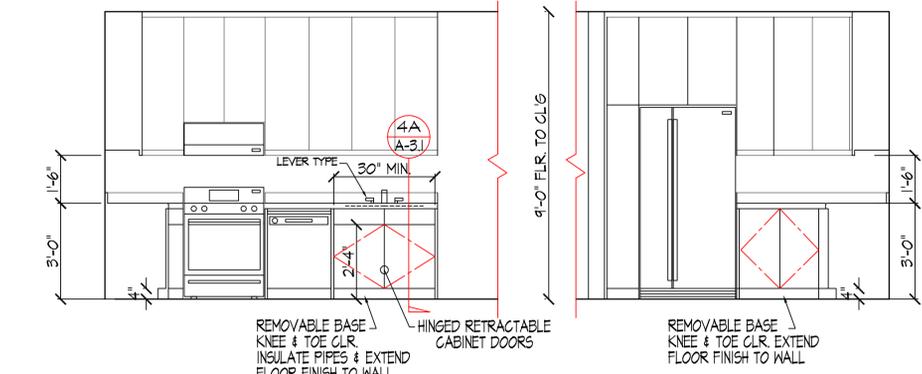
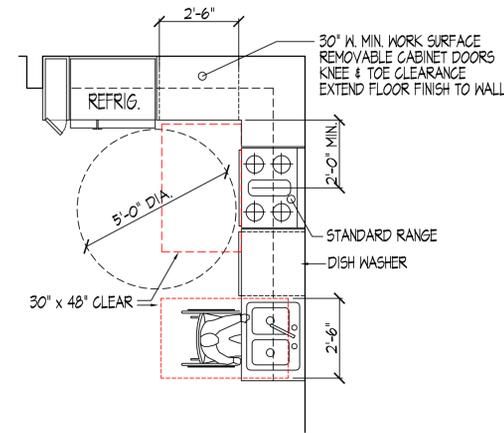
10 MAIL BOX ELEVATION
3/8"=1'-0"



9 TYPICAL BATH ROOM PLAN (ADAPTABLE BATH)
3/8"=1'-0"



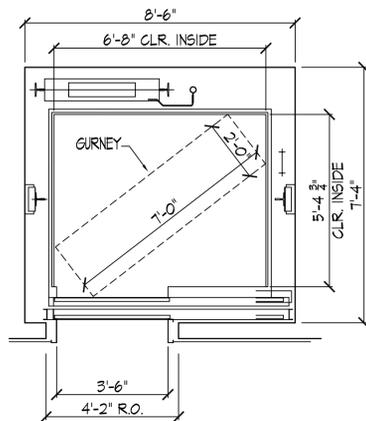
8 TYPICAL BATH ROOM PLAN
3/8"=1'-0"



7 TYPICAL KITCHEN ELEVATION
3/8"=1'-0"

NOTE: SWITCHES, OUTLETS, CONTROLS SHALL COMPLY WITH I424

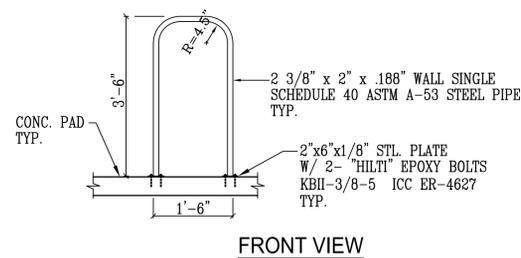
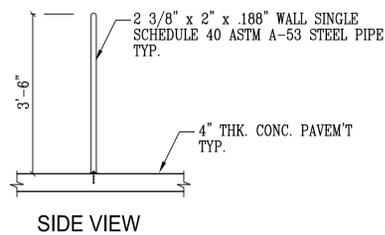
4A SECTION @ SINK
3/8"=1'-0"



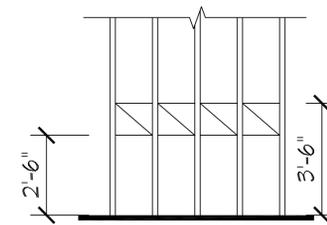
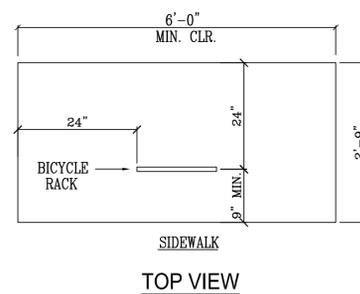
ELEVATOR
3500# CAPACITY TRACTION ELEVATOR BY "MITSUBISHI" MEETS REQUIREMENTS OF SEC. 3002.4.1a AND 3a (2013 CBC) FOR GURNEY SIZE

PROVIDE NOTICE: MEDICAL EMERGENCY ELEVATOR SHALL BE IDENTIFIED BY INTERNATIONAL SYMBOL (STAR OF LIFE) FOR EMERGENCY MEDICAL SERVICE

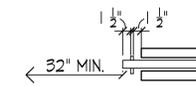
1 ELEVATOR PLAN
3/8"=1'-0"



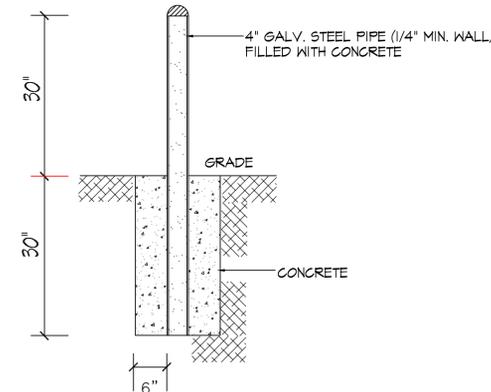
2 BICYCLE RACK DETAIL
N.T.S.



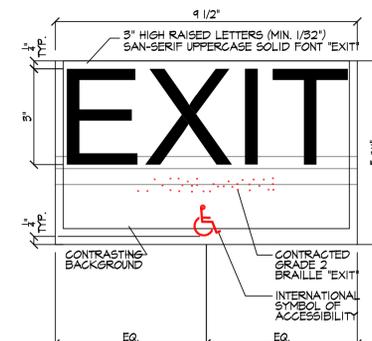
6 BLOCKING @ GRAB BAR
3/8"=1'-0"



5 TYP. POCKET DOOR
1"=1'-0"



3 BARRIER POST
3/4"=1'-0"



NOTE: SIGN SHALL COMPLY WITH C.B.C. SECTIONS 1009.2.8.6.1 AND 1117B.5.1, 1117B.5.5 - 1117B.5.7

4 WALL MOUNTED EXIT SIGN
6"=1'-0"

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OF SHEETS

NOTES:

- 1- PROVIDE EXIT SIGNS (X) & DIRECTIONAL EXIT SIGNS W/ MIN. 6" HIGH x 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. APPROVED LOW LEVEL EXIT SIGNS SHALL BE LOCATED IN ALL INTERIOR EXIT CORRIDORS. EXIT SIGNS SHALL BE LIGHTED, SO THAT THEY ARE CLEARLY VISIBLE (5 FOOT CANDLE)
- 2- PROVIDE A PORTABLE FIRE EXTINGUISHER W/ A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR
- 3- PROVIDE TACTILE EXIT SIGNS PER 101.3 & 111B5.1 CBC CHARACTRS SHALL BE SANS SERIF UPPERCASE ACCOMPANIED BY GRADE 2 BRAILLE AND SIZED PER CBC 111B5.5 AND 111B5.6

NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 310.9, VOL. 1, CBC 2001 SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.

NOTE: SMOKE DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATH ROOM OR SUPPLY AIR REGISTERS

NOTE: PROVIDE AN ARC-FAULT CIRCUIT-INTERRUPTER IN ALL SLEEPING ROOMS

INTERIOR FINISHES:

* INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILING SHALL COMPLY WITH TABLE 803.5, CBC

** THE FLAME SPREAD RATING OF PANELING MATERIALS ON THE WALLS OF THE CORRIDORS, LOBBY AND EXIT ENCLOSURE SHALL BE CLASS 'C' OR BETTER

*** ANY DECORATIONS SHALL BE NONCOMBUSTIBLE OR FLAME RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) (I.A.M.C. 51.22)

ACCESSIBLE BATH ROOMS:

OPTION #2
ONE BATH ROOM WITHIN EACH DWELLING UNIT SHALL BE FULLY ACCESSIBLE. SEE BATH ROOM SHOWN WITH 5'-0" DIA. CIRCLE. USE DETAIL 1A/A-12.2 WHERE LESS THAN 24" BETWEEN CENTER LINE OF SINK AND ADJ. WALL.

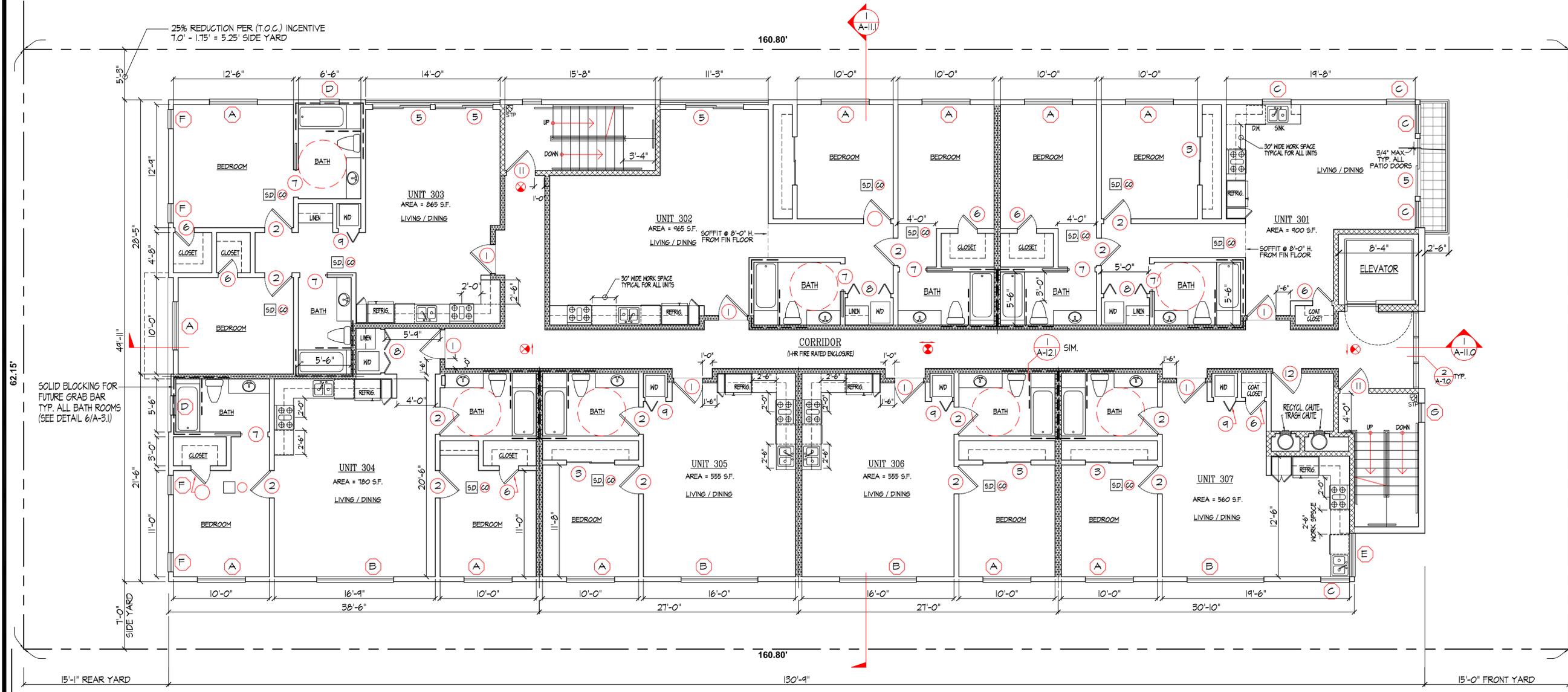
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* NEWLY INSTALLED BATH ROOM AXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VERIFICATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT/HIGH SHALL BE READILY ACCESSIBLE.

* FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

* ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH GRN-16, FOR MAXIMUM FLOW RATED (TABLE 9.303.2)

** ALL WASHERS & DRYERS SHALL BE FRONT LOADING AND WITHIN REACH IF THEY ARE NOT ACCESSIBLE MANAGEMENT WILL PROVIDE ACCESSIBLE WASHER & DRYER OR ASSISTIVE DEVICE UPON REQUEST



25% REDUCTION PER (T.O.C.) INCENTIVE
1.0' - 1.15' = 5.25' SIDE YARD

SOLID BLOCKING FOR FUTURE GRAB BAR
TYP. ALL BATH ROOMS
(SEE DETAIL 6/A-3.1)

1 A-4.0 THIRD FLOOR PLAN
3/16"=1'-0"

LEGEND

- NEW STUD WALL (3x4 WD. STUDS @ 16" O.C. UNO.)
- 1-HR. FIRE RATED WALL (1-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-309]
- 2-HR. FIRE RATED WALL (2-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-301]
- PARTY WALL (STC=55) ONE HOUR FIRE RATED (A-12.1)
- HARD-WIRED SMOKE DETECTOR W/ A BATTERY BACK UP PER CODE (310.9.1)
- PROVIDE CARBON MONOXIDE DETECTOR ALARM FOR ALL BEDROOMS OR AS INDICATED ON PLAN (HARDWIRED)
- ELECT. EXHAUST FAN (5 AIR CHANGES PER HR.) 50 CFM MIN. 'ENERGY STAR' COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING W/ HUMIDISTAT
- CLASS I STANDPIPE OUTLET

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NOTE: SMOKE DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATH ROOM OR SUPPLY AIR REGISTERS

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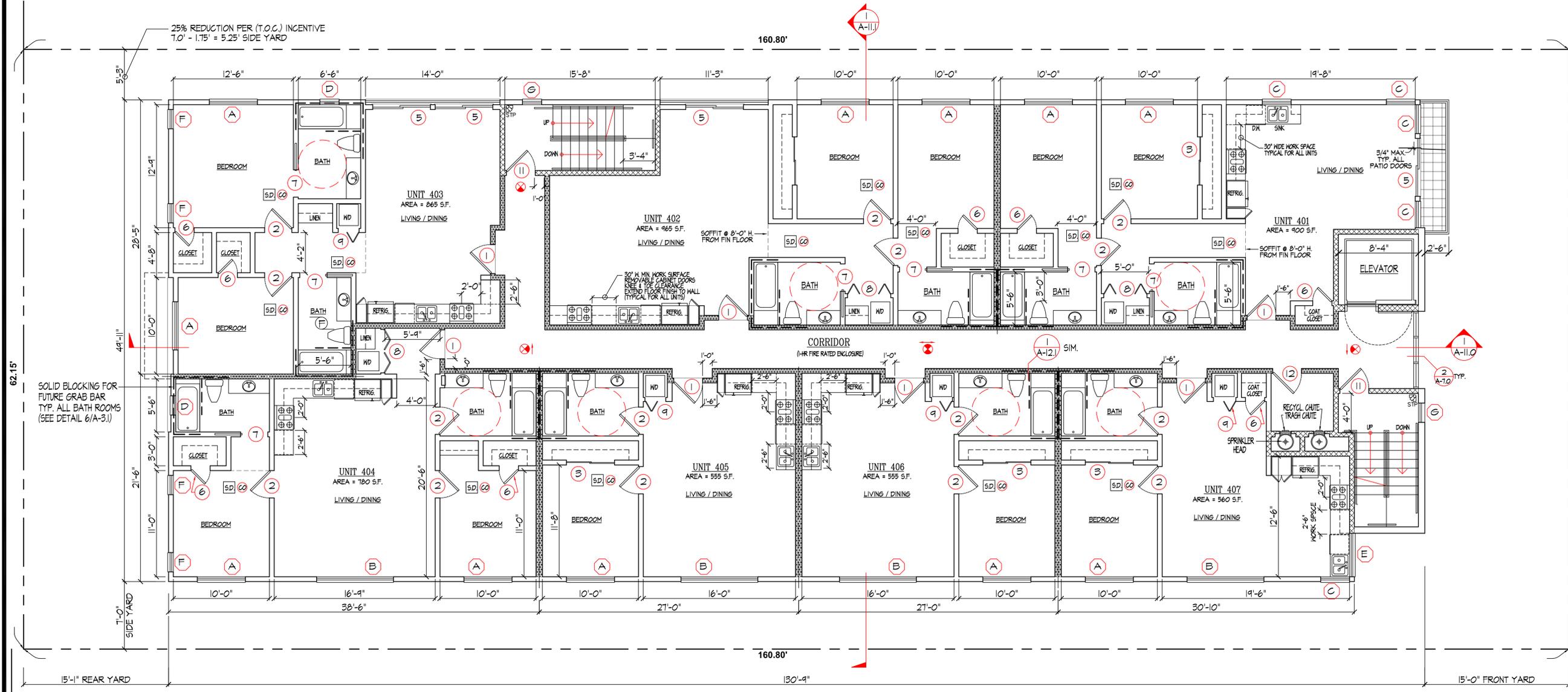
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LEGEND

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- 1-HR. FIRE RATED WALL (1-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-309]
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- CLASS I STANDPIPE OUTLET

1 A-5.0 FOURTH FLOOR PLAN
3/16"=1'-0"



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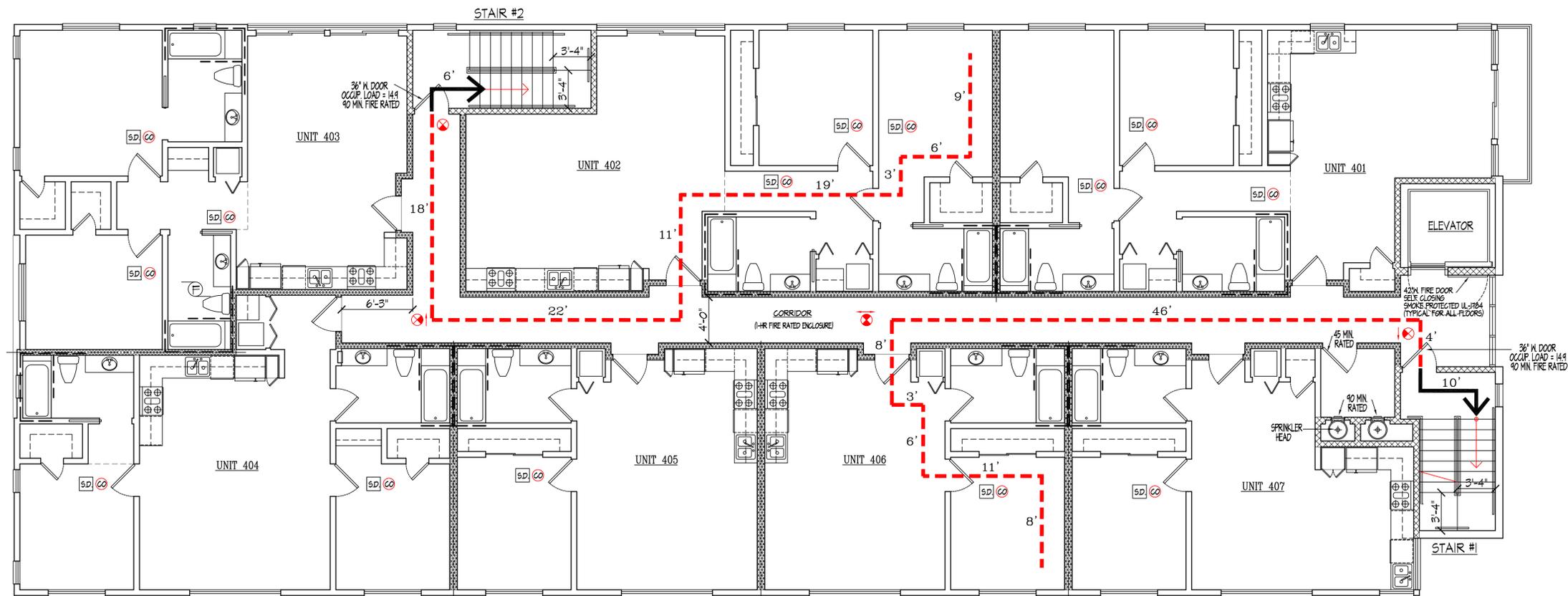
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TOTAL FOURTH FLOOR OCCUPANT LOAD = 24,825
REQUIRED WIDTH OF EACH STAIR = $24,825 \times 0.2 = 5,96' / 2 = 2,98'$
(PER SEC. 1005.3.1 FULLY SPRINKLERED BLD'G)
WIDTH OF STAIRS PROVIDED = 3'-4"
REQUIRED WIDTH OF EGRESS OTHER THAN STAIRS = $24,825 \times 0.15 = 4,48'$
(PER SEC. 1005.3.2 FULLY SPRINKLERED BLD'G)



TOTAL FOURTH FLOOR OCCUPANT LOAD
5,965 SQ.FT. / 200 = 24,825

TRAVEL DIST. FROM UNIT 406 TO STAIR #1:
 $8' + 11' + 6' + 3' + 8' + 48' + 4' = 88' < 125'$
TRAVEL DIST. FROM UNIT 402 TO STAIR #2:
 $9' + 6' + 3' + 19' + 11' + 22' + 18' = 88' < 125'$
(PER TABLE 1014.3, 2013 CBC)

MAX. COMMON PATH OF TRAVEL FROM UNITS 406 & 402:
TRAVEL DIST. FROM UNIT 406 THRU STAIR #1 TO OUTSIDE:
 $(10') + (16' + 16' + 16') \text{ STAIRS} + (12') \text{ TO OUTSIDE} = 70' + 88' = 158' < 250'$
TRAVEL DIST. FROM UNIT 402 THRU STAIR #2 TO OUTSIDE:
 $(6') + (16' + 16' + 16') \text{ STAIRS} + (6') \text{ TO OUTSIDE} = 60' + 88' = 148' < 250'$
(PER TABLE 1016.3, 2013 CBC)

FOURTH FLOOR PATH OF EXIT TRAVEL
3/16"=1'-0"

LEGEND

- NEW STUD WALL (3x4 WD. STUDS @ 16" O.C. U.N.O.)
- 1-HR. FIRE RATED WALL (1-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE) [UL-309]
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- PARTY WALL (STC=55) ONE HOUR FIRE RATED [UL-305]
- HARD-WIRED SMOKE DETECTOR W/ A BATTERY BACK UP PER CODE (310.9.1)
- PROVIDE CARBON MONOXIDE DETECTOR ALARM FOR ALL BEDROOMS OR AS INDICATED ON PLAN (HARDWIRED)
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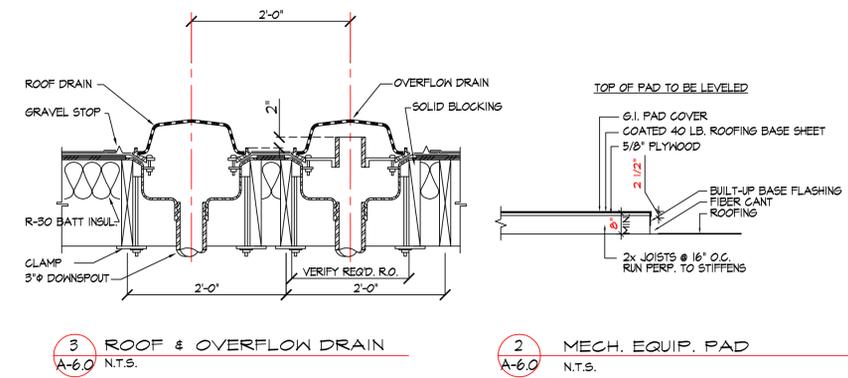
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OPEN SPACE REQUIRED:
 (LAMC, SECTION 12.21.G.2)
 12 UNITS AT 3- HABITABLE ROOMS X 125 = 1,500 S.F.
 9 UNITS AT LESS THAN 3- HABITABLE ROOMS X 100 = 900 S.F.
 1,500 + 900 = 2,400 S.F.
 20% REDUCTION INCENTIVE (T.O.C. PROGRAM): 2,400 - 480 = 1,920 S.F.
 (2,400 x 0.2 = 480 S.F.)
 COMMON OPEN SPACE PROVIDED AT ROOF = 25'x77' = 1,925 S.F.
 LANDSCAPE PROVIDED 1,920 x 0.25 = 480 S.F.

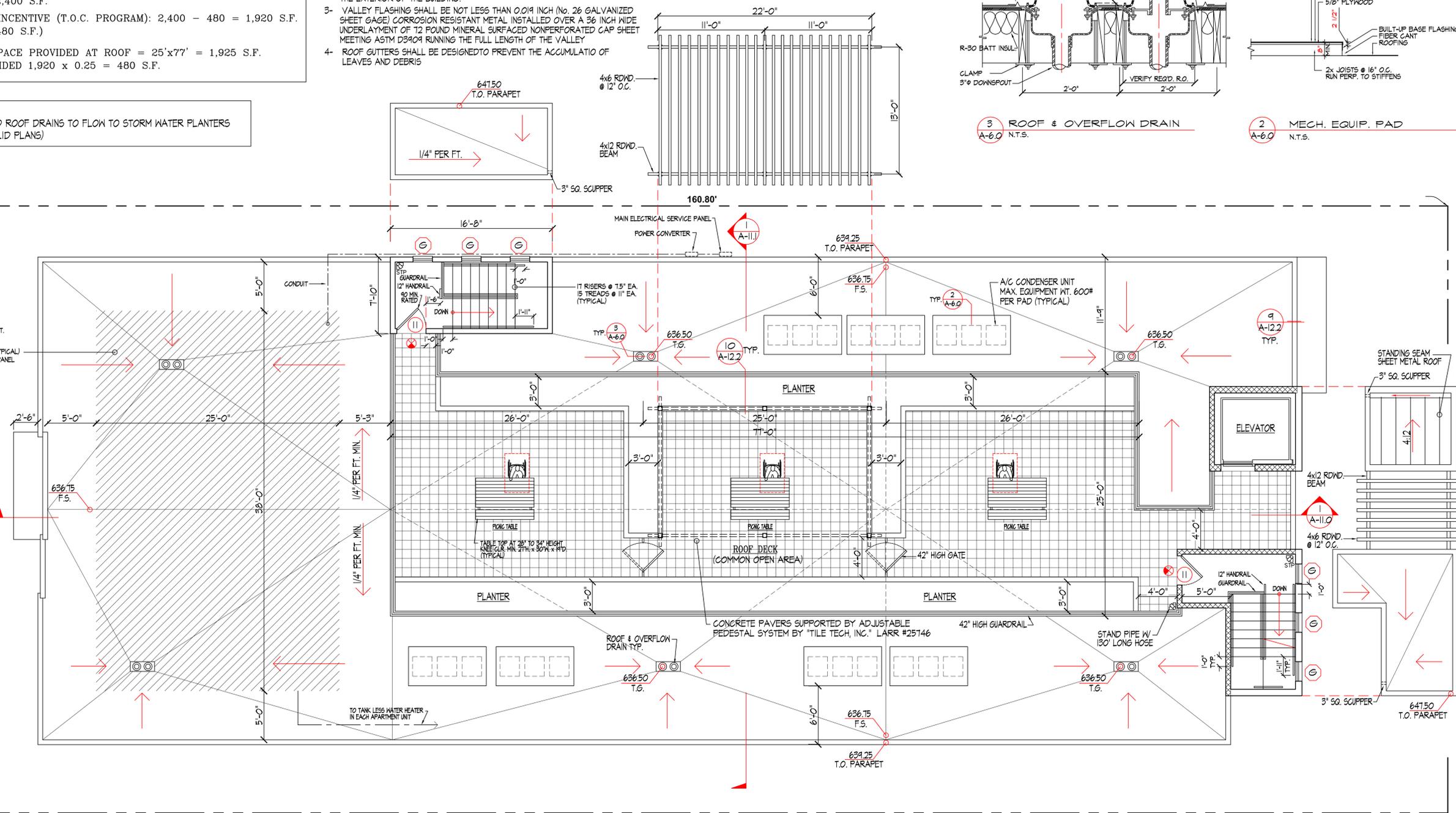
NOTE:
 ALL DOWNSPOUTS AND ROOF DRAINS TO FLOW TO STORM WATER PLANTERS
 (SEE DRAINAGE AND LID PLANS)

NOTES

- 1- ATTIC VENT OPENING SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING
- 2- PROVIDE A KEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MIN. OF 4 INCH ABOVE THE EARTH AND 2 INCH ABOVE PAVED AREAS. KEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO THE EXTERIOR OF THE BUILDING.
- 3- VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A 36 INCH WIDE UNDERLAYMENT OF 12 POUND MINERAL SURFACED NONPERFORATED GAP SHEET MEETING ASTM D3909 RUNNING THE FULL LENGTH OF THE VALLEY
- 4- ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS



ROOF AREA = 6,430 SQ.FT.
 REQUIRED AREA @ 15% = 965 SQ.FT.
 AREA PROVIDED = 915 SQ.FT.
 CLEAR & UNOBSTRUCTED AREA (TYPICAL) FOR FUTURE ELECTRICAL SOLAR PANEL



NOTE: APPLY APPROVED BRIGHT WHITE COLOR REFLECTIVE ROOF COATING TO ALL FLAT ROOF SURFACES (OVER 75% OF TOTAL ROOF AREA)

BUILT-UP ROOFING BY: "FIRESTONE BUILDING PRODUCTS" ASTM E 1980-01

| NEW BUILT-UP ROOFING CLASS "A" | | | |
|-------------------------------------|-----------------------|--|-------------------|
| BASE SHEET | PLY-SHEETS | MEMBRANE | SURFACING |
| 1- LAYER PERLITE/URETHANE COMPOSITE | 2- LAYERS OF G1 OR G2 | 1-LAYER "SBS" (FR TORCH) ICC ESR #3464 | GRAVEL 4 LB/ S.F. |

PRODUCT SPECIFICATIONS:

INITIAL: SOLAR EMITTANCE = 0.87 SOLAR REFLECTANCE = 0.71 SRI = 87
 3-YEAR: SOLAR EMITTANCE = 0.87 SOLAR REFLECTANCE = 0.71 SRI = 87
 (SEE ROOFING MATERIAL SPEC'S ON SHEETA-1.9)

1 A-6.0 ROOF PLAN
 3/16"=1'-0"

LID NOTES:

1. ALL APPLICABLE IMPROVEMENTS SHALL BE MITIGATED ACCORDING TO THE CITY OF LOS ANGELES LID HANDBOOK, LATEST EDITION.
2. ALL SLOPES SHALL BE VEGETATED.
3. ALL ROOF AREA, GUTTERS AND DOWNSPOUTS SHALL BE CONNECTED TO LID BMPs.
4. ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORMWATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES, DEPARTMENT OF PUBLIC WORKS, BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMPs.
5. ALL PLANTER BOX DIMENSIONS SHALL BE INTERIOR BLOCK DIMENSIONS

LEGEND

- NEW STUD WALL (2 x 4 WD. STUDS @ 16" O.C. U.N.O.)
- 1-HR. FIRE RATED WALL (1-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE)
- 2-HR. FIRE RATED WALL (2-LAYERS 5/8" GYP. BD. TYPE "X" EA. SIDE)
- CLASS I STANDPIPE OUTLET

NOTES:
 1- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
 2- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"
 3- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPATIBLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT

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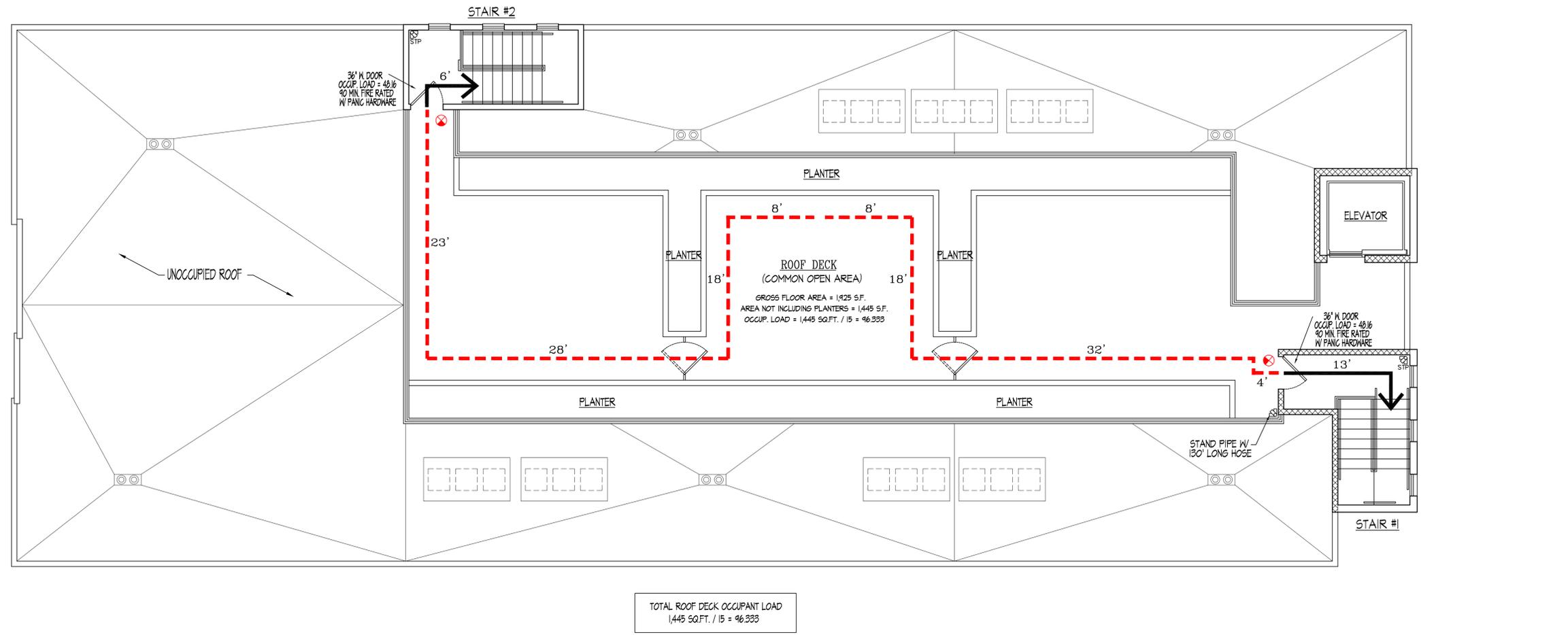
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NOTE: PROVIDE AN ARC-FAULT CIRCUIT-INTERRUPTER IN ALL SLEEPING ROOMS

TOTAL FOURTH FLOOR OCCUPANT LOAD = 96,333
REQUIRED WIDTH OF EACH STAIR = $96,333 \times 0.2 = 19,266 / 2 = 9,633$ "
(PER SEC. 1005.3.1 FULLY SPRINKLERED BLD'G)
WIDTH OF STAIRS PROVIDED = 3'-4"
REQUIRED WIDTH OF EGRESS OTHER THAN STAIRS = $96,333 \times 0.15 = 14,449$ "
(PER SEC. 1005.3.2 FULLY SPRINKLERED BLD'G)



TOTAL ROOF DECK OCCUPANT LOAD
1,445 SQ.FT. / 15 = 96,333

TRAVEL DIST. FROM TO STAIR #1:
 $8' + 18' + 28' + 23' = 77' < 125'$

TRAVEL DIST. FROM UNIT TO STAIR #2:
 $8' + 18' + 32' + 4' = 62' < 125'$
(PER TABLE 1014.3, 2013 CBC)

MAX. COMMON PATH OF TRAVEL:

TRAVEL DIST. FROM STAIR #1 TO OUTSIDE:
 $(13') + (16' + 16' + 16') \text{ STAIRS} + (12') \text{ TO OUTSIDE} = 73' + 77' = 150' < 250'$

TRAVEL DIST. FROM STAIR #2 TO OUTSIDE:
 $(6') + (16' + 16' + 16') \text{ STAIRS} + (6') \text{ TO OUTSIDE} = 60' + 62' = 122' < 250'$
(PER TABLE 1016.3, 2013 CBC)

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A-6.1 ROOF DECK PATH OF EXIT TRAVEL
3/16"=1'-0"



LEGEND

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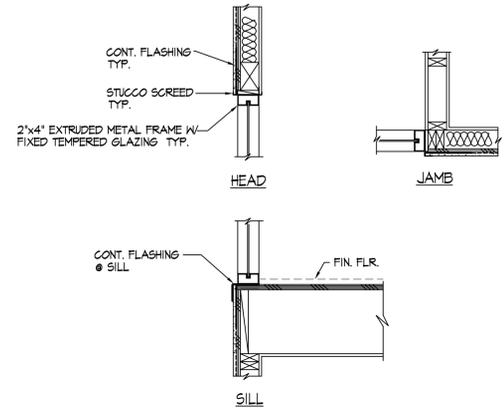
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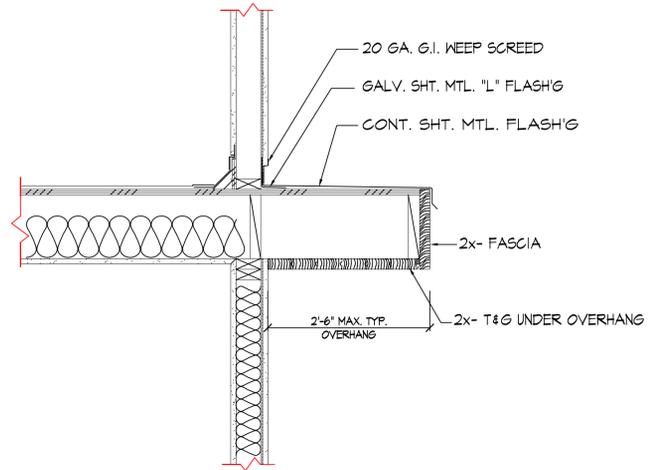
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| DRAWN |
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| DATE 12-2-2019 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |

A-6.1
OF SHEETS



2 GLASS WINDOW @ LOBBY
3/4"=1'-0"

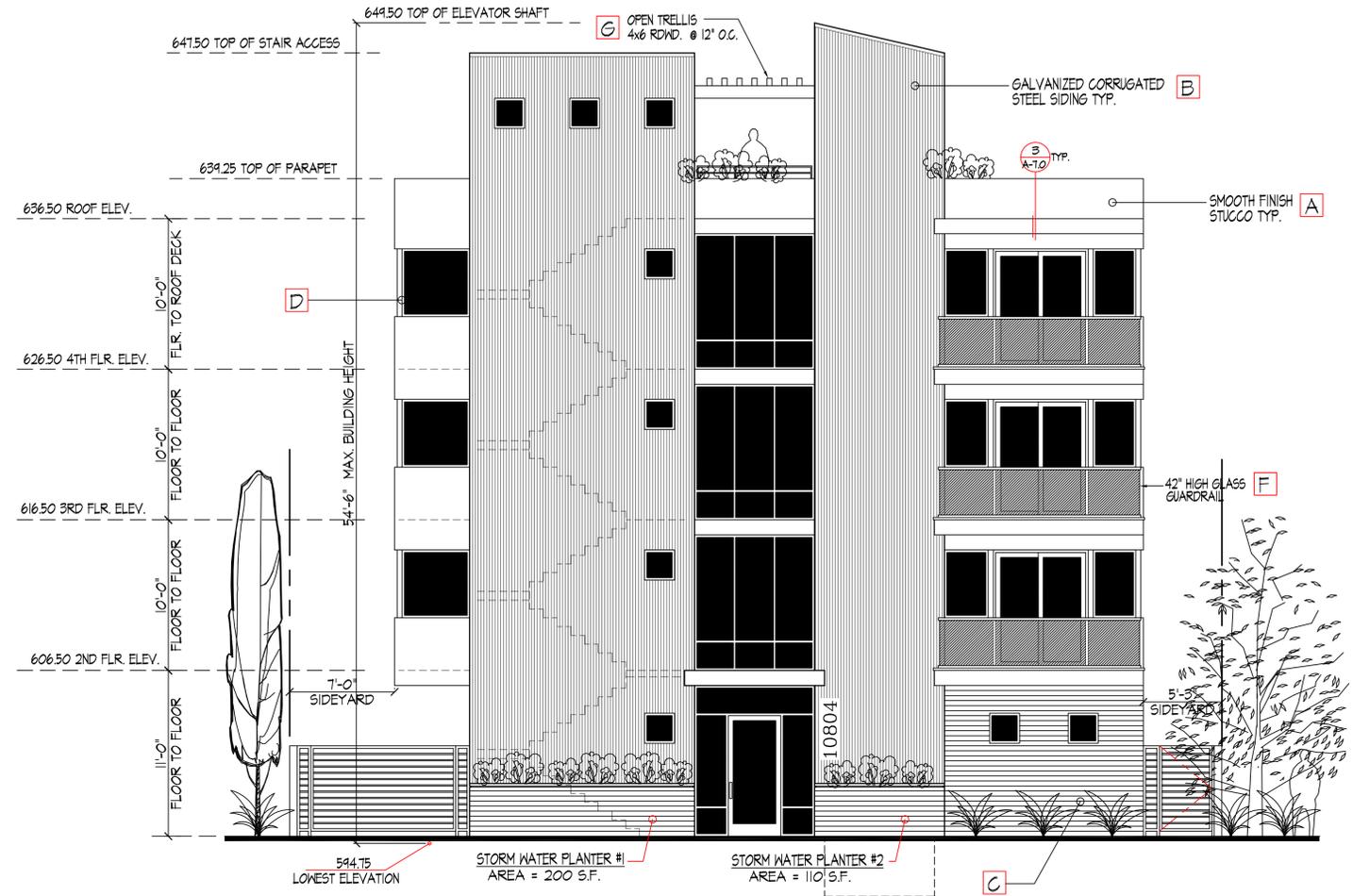


3 OVERHANG DETAIL
3/4"=1'-0"

NOTE:
BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS,
BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION
PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE
FROM THE STREET OR ROAD FRONTING THE PROPERTY.

ANTI-GRAFFITI PAINT:
9' HIGH MIN. BY "SCOFIELD"
L.A.R.R. # 25105

NOTE:
SEE DETAIL 2/A-10.0
FOR FLASHING AT WINDOWS
AND PATIO DOORS



1 NORTH ELEVATION
3/16"=1'-0"

NOTE:
ALL DOWNSPOUTS AND ROOF DRAINS TO FLOW TO STORM WATER PLANTERS
(SEE PLUMBING AND LID PLANS)

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | EXTERIOR PLASTER (STUCCO) SMOOTH FINISH |
| B | GALVANIZED CORRUGATED STEEL SIDING |
| C | DECORATIVE CONCRETE BLOCK |
| D | ALUMINUM WINDOW OR PATIO DOOR |
| E | PAINTED STEEL BAR GUARDRAIL |
| F | GLASS GUARDRAIL WITH PAINTED STEEL FRAME |
| G | OPEN TRELLIS |

| REVISIONS | BY |
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BIJAN AZADI, AIA
ARCHITECT & ASSOCIATES
3857 EAST SEVENTH STREET
LONG BEACH, CALIFORNIA 90804
TEL. 310-713-9477



10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

| DRAWN | |
|---------|-----------|
| CHECKED | B.A. |
| DATE | 3-19-2020 |
| SCALE | AS NOTED |
| JOB NO. | 19-731 |
| SHEET | A-7.0 |
| OF | SHEETS |

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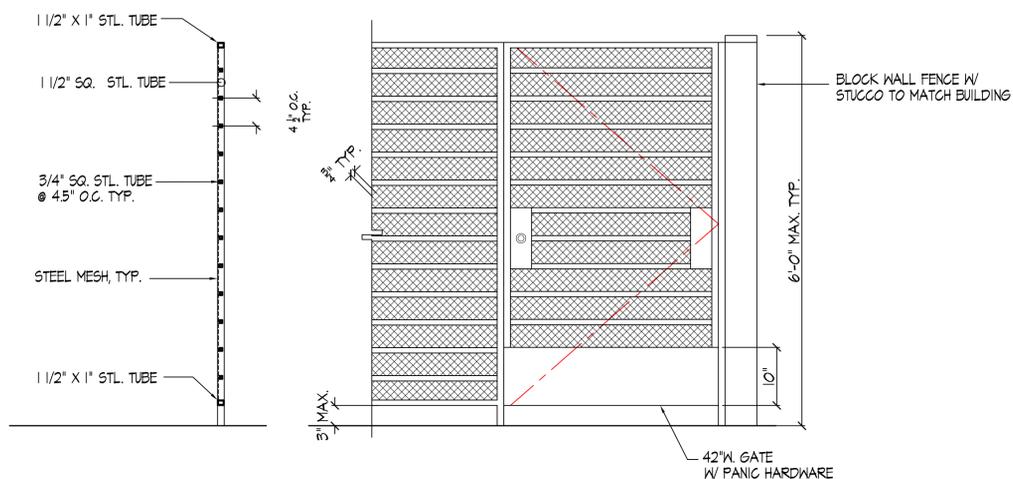
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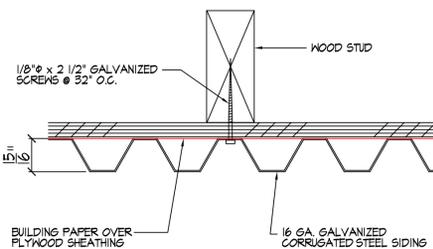


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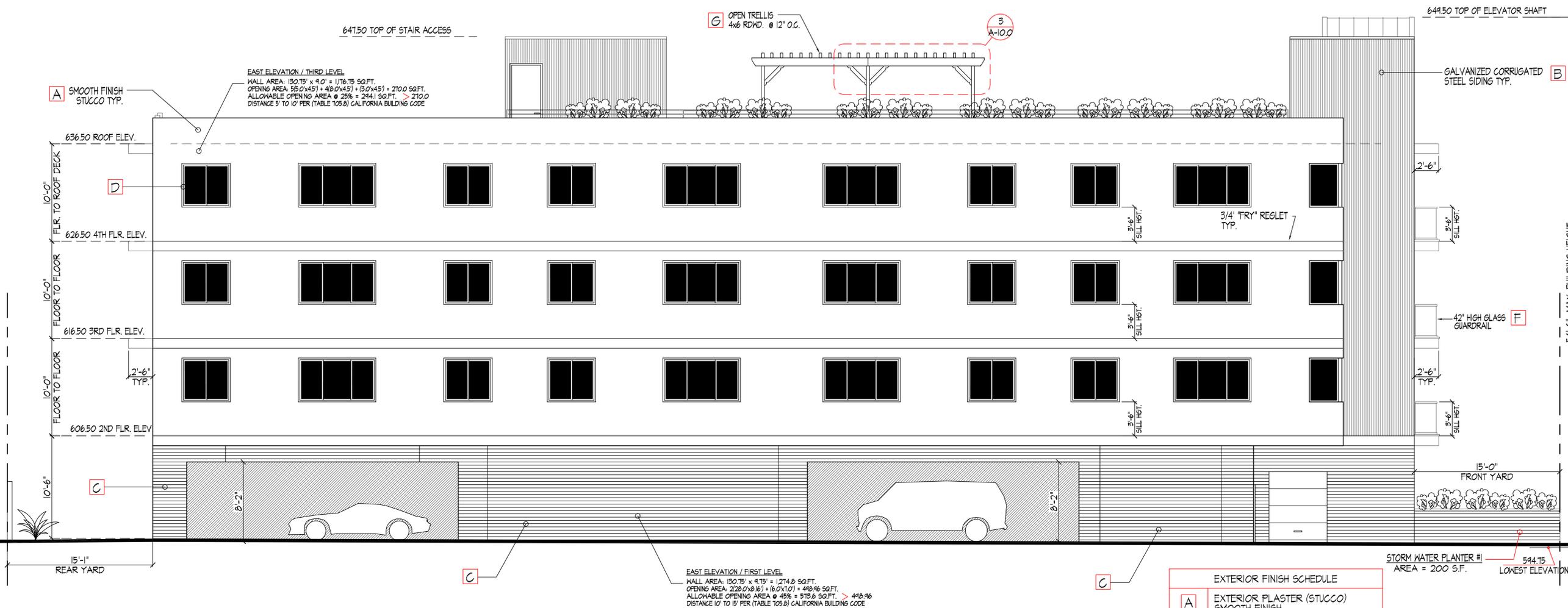
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| DRAWN |
| CHECKED B.A. |
| DATE 3-19-2020 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |
| A-8.0 |
| OF SHEETS |



2 FENCE & GATE DETAIL
3/4"=1'-0"



3 CORRUGATED METAL SIDING
3/8"=1'-0"



1 EAST ELEVATION
3/16"=1'-0"

EXTERIOR FINISH SCHEDULE

| | |
|---|--|
| A | EXTERIOR PLASTER (STUCCO) SMOOTH FINISH |
| B | GALVANIZED CORRUGATED STEEL SIDING |
| C | DECORATIVE CONCRETE BLOCK |
| D | ALUMINUM WINDOW OR PATIO DOOR |
| E | PAINTED STEEL BAR GUARDRAIL |
| F | GLASS GUARDRAIL WITH PAINTED STEEL FRAME |
| G | OPEN TRELLIS |

NOTE:
ALL DOWNSPOUTS AND ROOF DRAINS TO FLOW TO STORM WATER PLANTERS (SEE PLUMBING AND LID PLANS)

| REVISIONS | BY |
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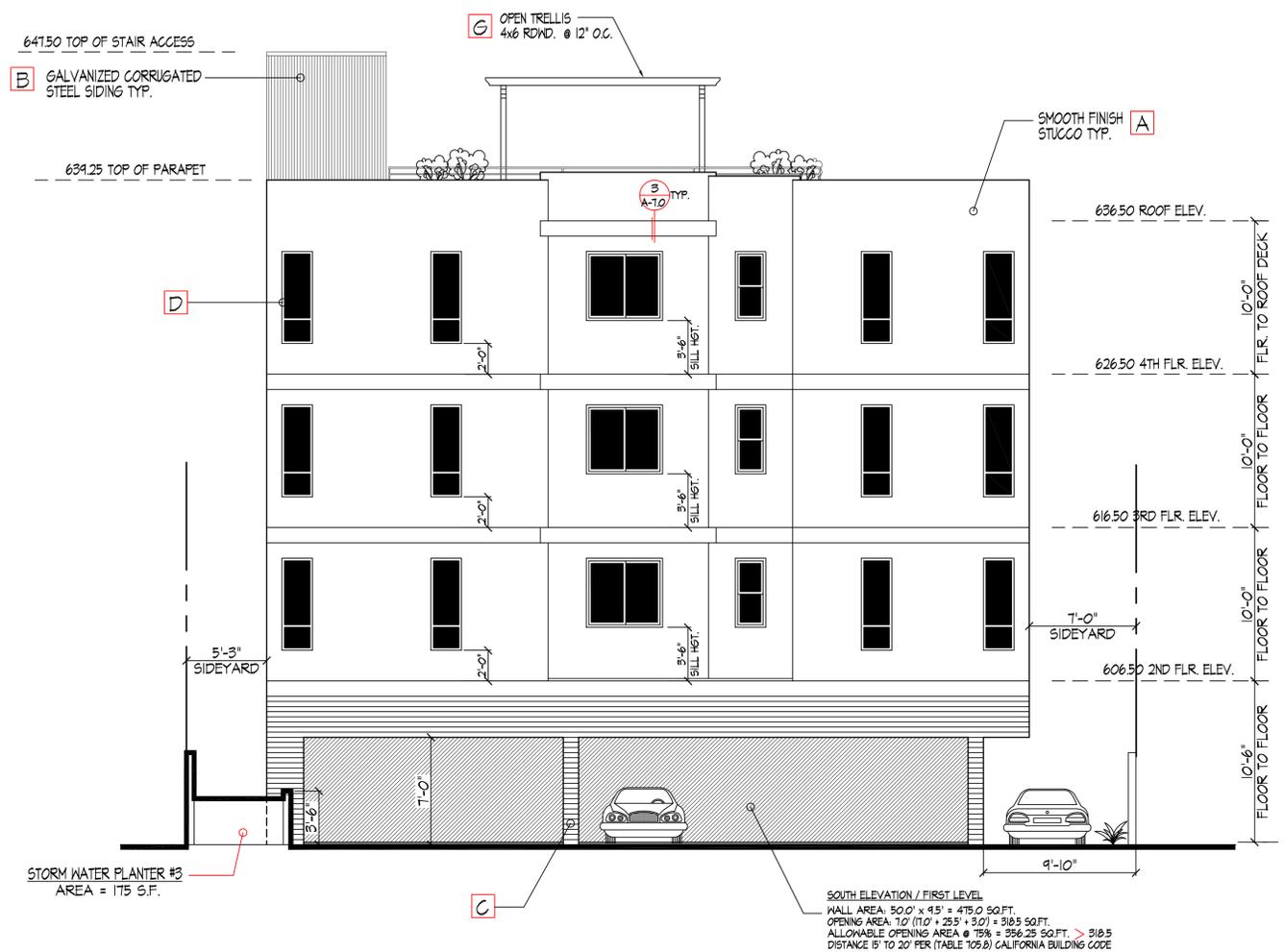
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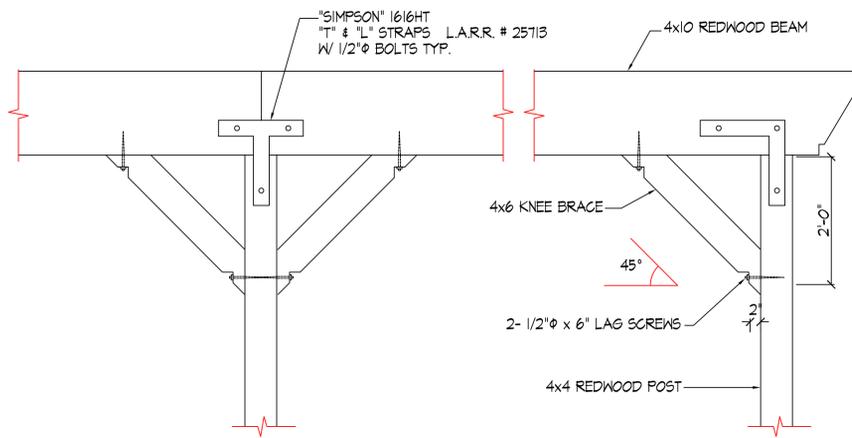
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| CHECKED | B.A. |
| DATE | 3-19-2020 |
| SCALE | AS NOTED |
| JOB NO. | 19-731 |
| SHEET | |
| A-9.0 | |
| OF | SHEETS |



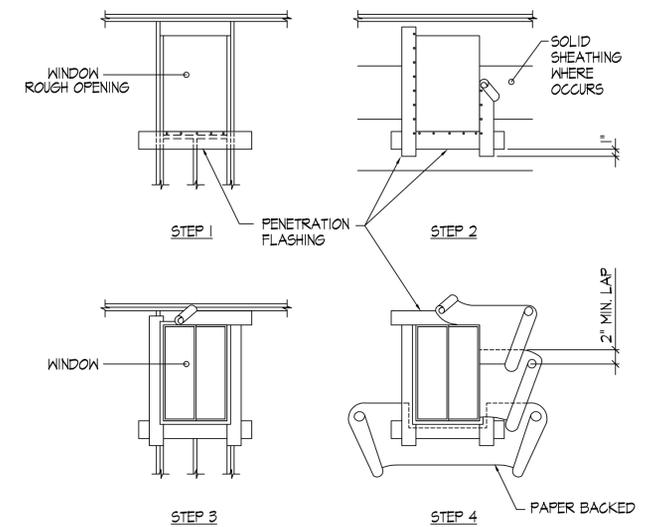
1 SOUTH ELEVATION
A-9.0 3/16"=1'-0"

NOTE:
ALL DOWNSPOUTS AND ROOF DRAINS TO FLOW TO STORM WATER PLANTERS
(SEE PLUMBING AND LID PLANS)

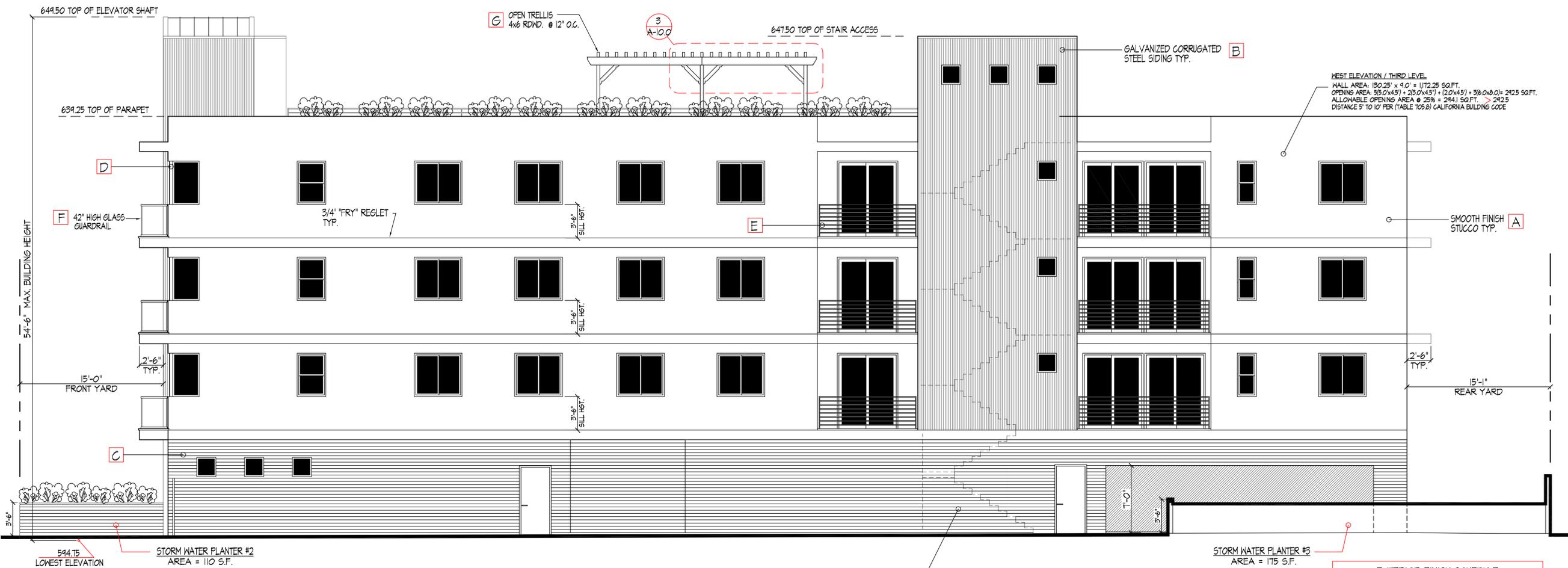
| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | EXTERIOR PLASTER (STUCCO) SMOOTH FINISH |
| B | GALVANIZED CORRUGATED STEEL SIDING |
| C | DECORATIVE CONCRETE BLOCK |
| D | ALUMINUM WINDOW OR PATIO DOOR |
| E | PAINTED STEEL BAR GUARDRAIL |
| F | GLASS GUARDRAIL WITH PAINTED STEEL FRAME |
| G | OPEN TRELLIS |



3
A-10.0
TRELLIS DETAILS
3/4" = 1'-0"



2
A-10.0
FLASHING AT WINDOWS (FLASHING AT DOORS SIMILAR)
3/8" = 1'-0"



1
A-10.0
WEST ELEVATION
3/16" = 1'-0"

NOTE:
ALL DOWNSPOUTS AND ROOF DRAINS TO FLOW TO STORM WATER PLANTERS
(SEE PLUMBING AND LID PLANS)

| EXTERIOR FINISH SCHEDULE | |
|--------------------------|--|
| A | EXTERIOR PLASTER (STUCCO) SMOOTH FINISH |
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LICENSED ARCHITECT
BIJAN AZADI
C 18972
REN. 9/30/21
STATE OF CALIFORNIA

10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

| DRAWN | |
|---------|-----------|
| CHECKED | B.A. |
| DATE | 3-19-2020 |
| SCALE | AS NOTED |
| JOB NO. | 19-731 |
| SHEET | |
| A-10.0 | |
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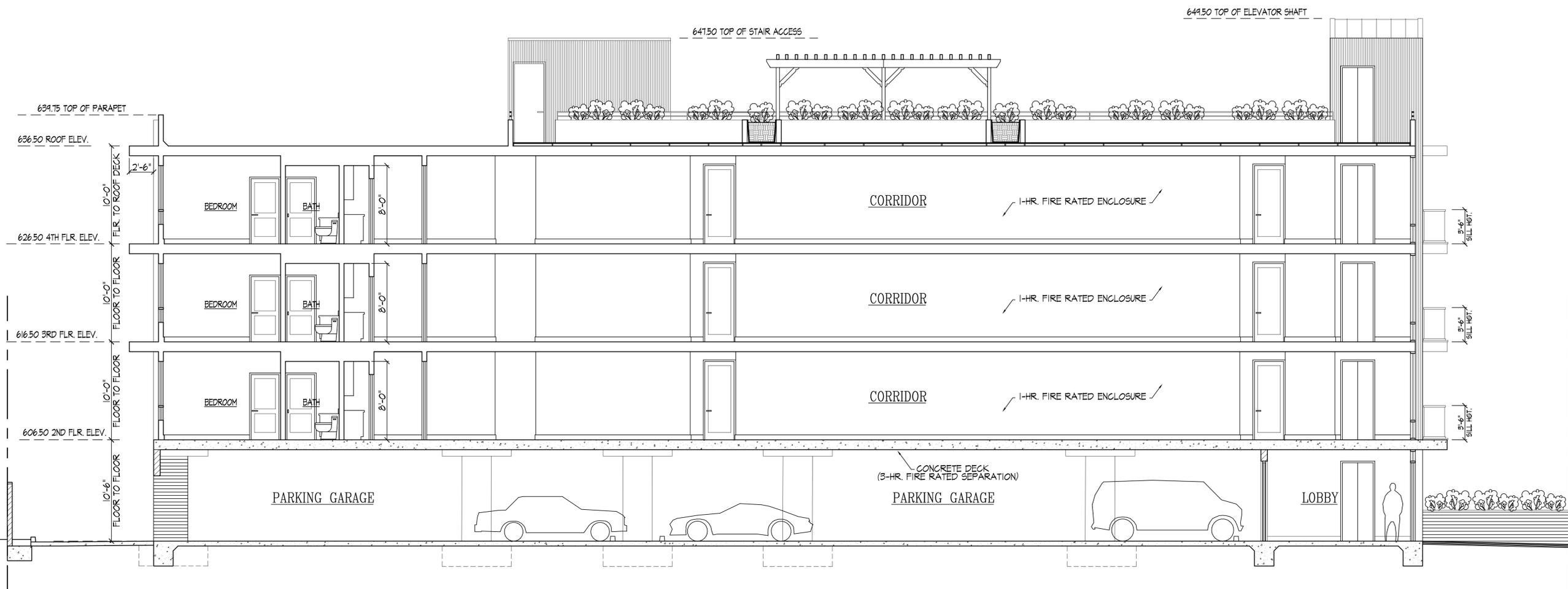


10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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| DRAWN |
| CHECKED B.A. |
| DATE 3-19-2020 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |

A-11.0

OF SHEETS



SECTION
A-11.0 3/16"=1'-0"

NOTES

- 1- DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 S.F. BETWEEN DRAFT STOPS)
- 2- DRAFT STOP SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (3000 S.F. BETWEEN DRAFT STOPS)
- 3- HORIZONTAL OCCUPANCY SEPARATION MUST BE SUPPORTED W/ A STRUCTURAL SYSTEM HAVING EQUIVALENT FIRE RESISTIVE PROTECTION (104.1)
- 4- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE SHEET METAL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R 302.5.2)
- 5- OTHER PENETRATIONS OF GARAGE / DWELLING CEILING AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R 302.11 , ITEM 4 (R 302.5.3)
- 6- IN COMBUSTIBLE CONSTRUCTION FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE (R 302.11)
- 7- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR / CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS (R 302.12)
- 8- FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS (108.4, 109.4)

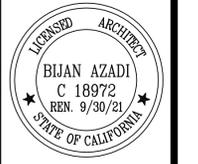


SECTION
A-11.1 3/16"=1'-0"

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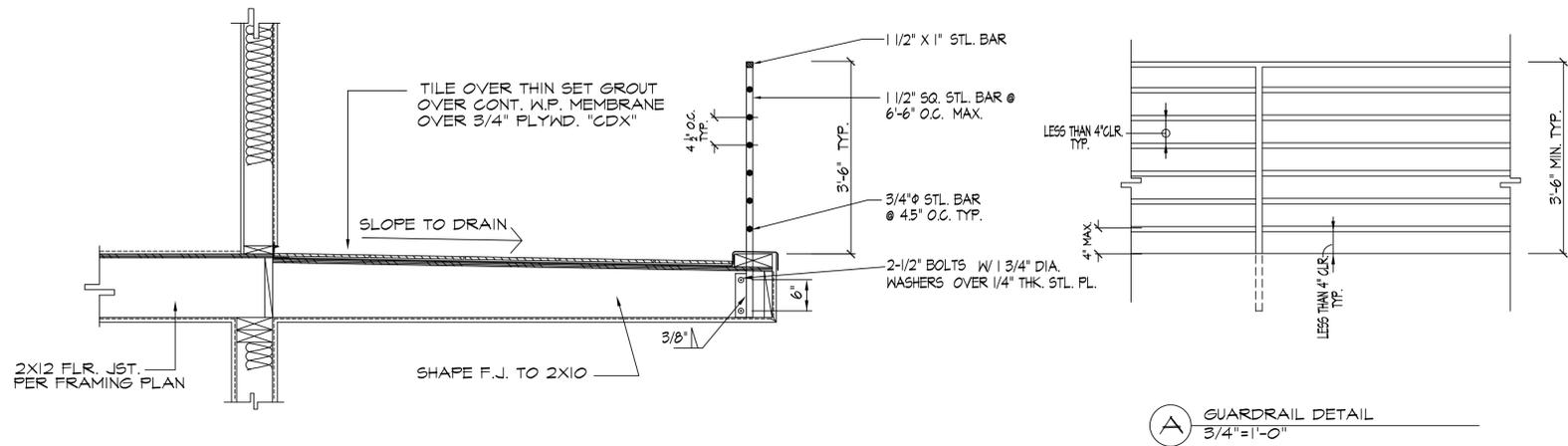
3837 EAST SEVENTH STREET
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10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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| DRAWN |
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| JOB NO. 19-731 |
| SHEET |

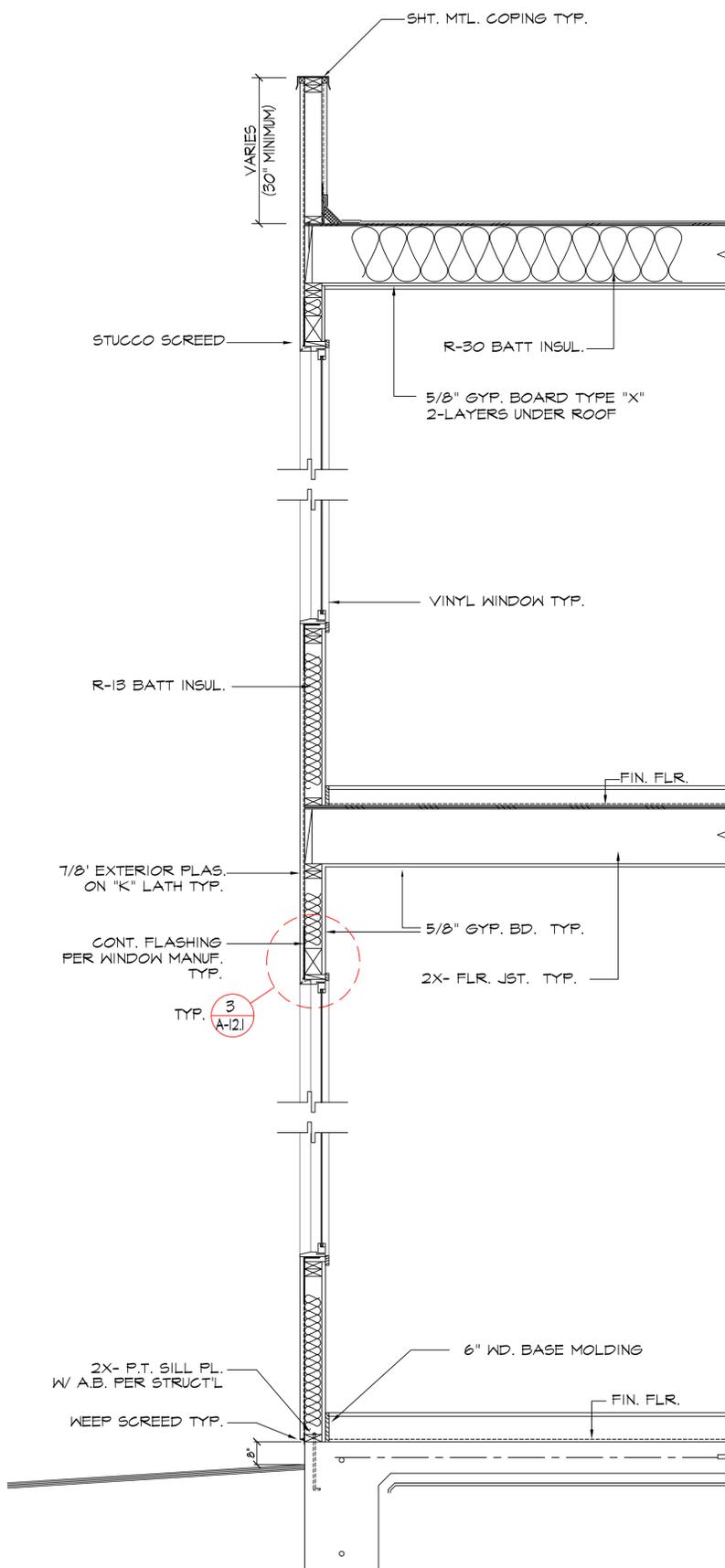
A-11.1
OF SHEETS



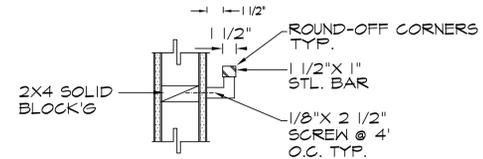
A GUARDRAIL DETAIL
3/4"=1'-0"

* WATER PROOFING MEMBRANE FOR PATIOS SHALL BE "MER-KOTE" ICC ER-5968 LARR# 25744

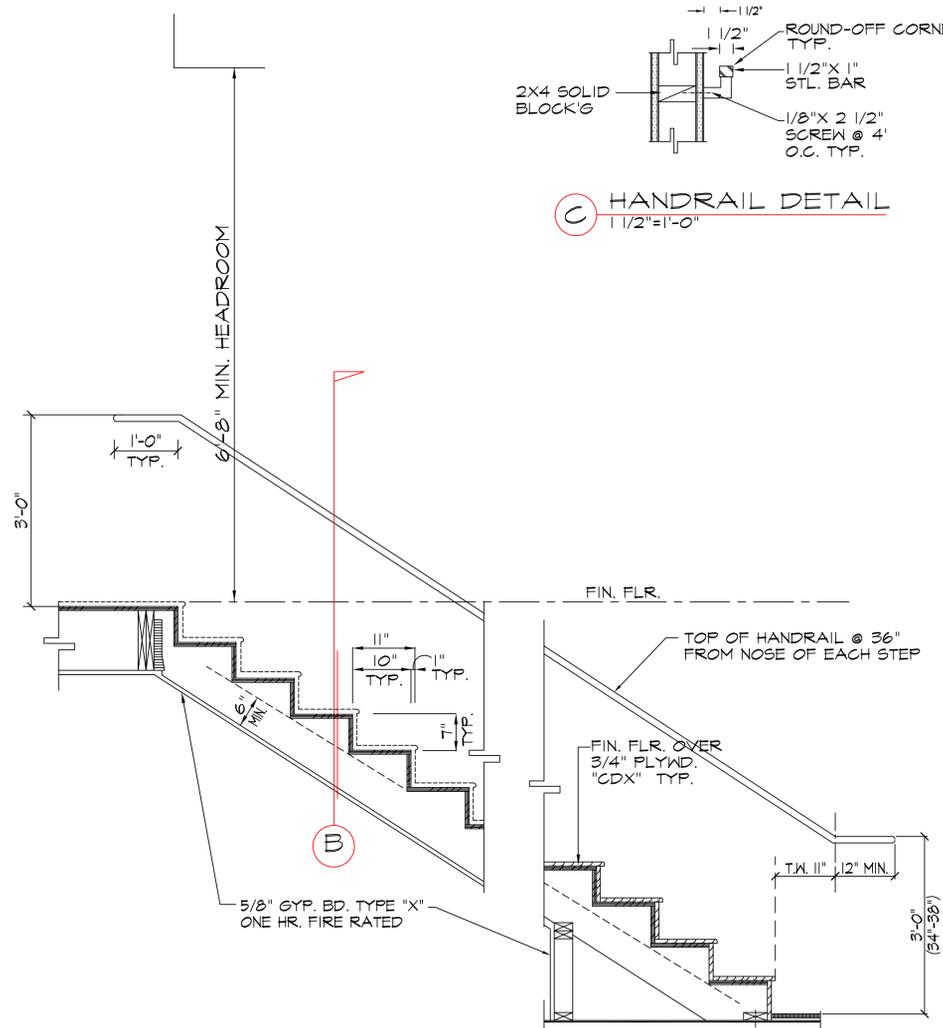
3 BALCONY DETAIL
3/4"=1'-0"



2 TYP. WALL SECTION
3/4"=1'-0"



C HANDRAIL DETAIL
1 1/2"=1'-0"



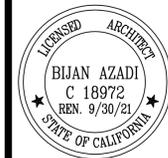
1 STAIR DETAILS
3/4"=1'-0"

18 RISERS @ 7" EACH + 16 TREADS @ 11" EACH

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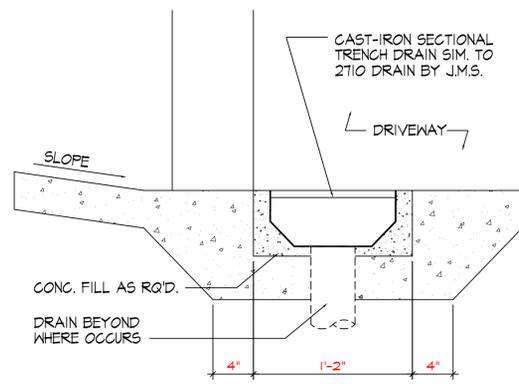


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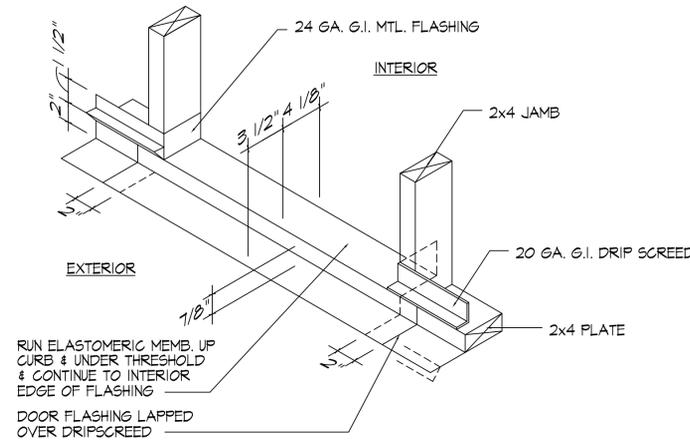
DRAWN
B.A.
CHECKED
DATE
3-9-2020
SCALE
AS NOTED
JOB NO.
19-731
SHEET

A-12.0

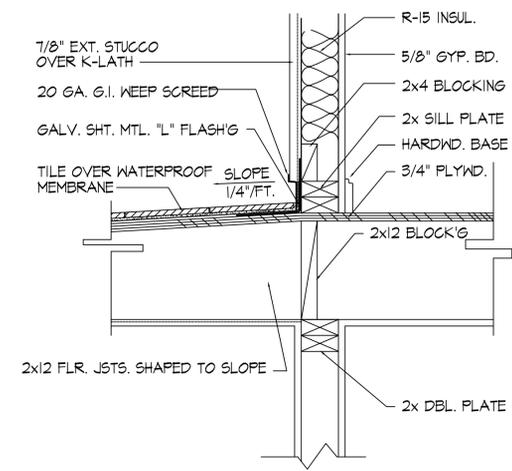
OF SHEETS



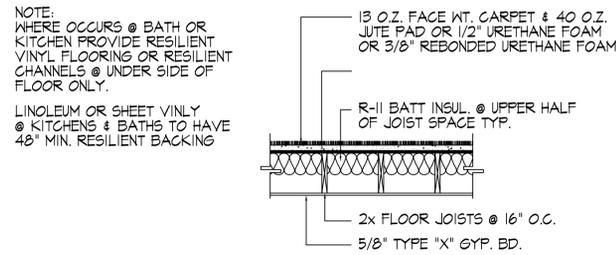
6 TRENCH DRAIN
A-12.1 N.T.S.



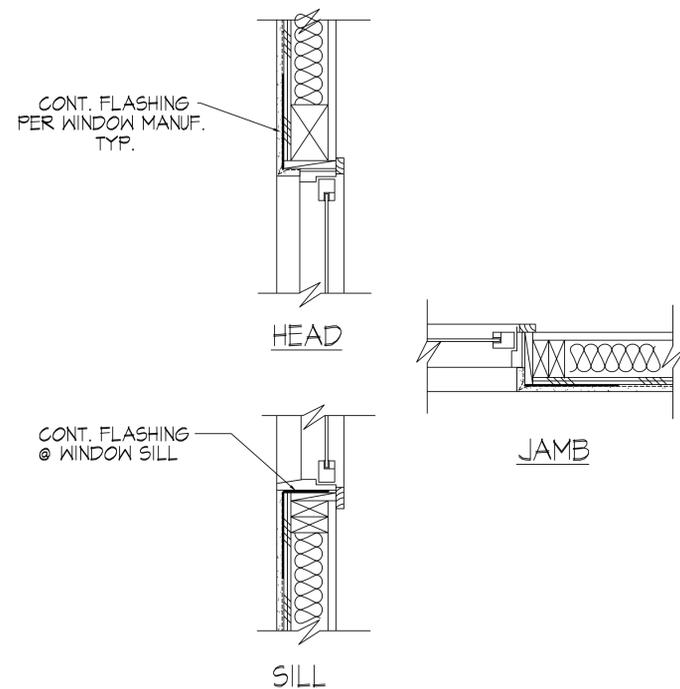
5 SILL FLASHING AT DOOR
A-12.1 N.T.S.



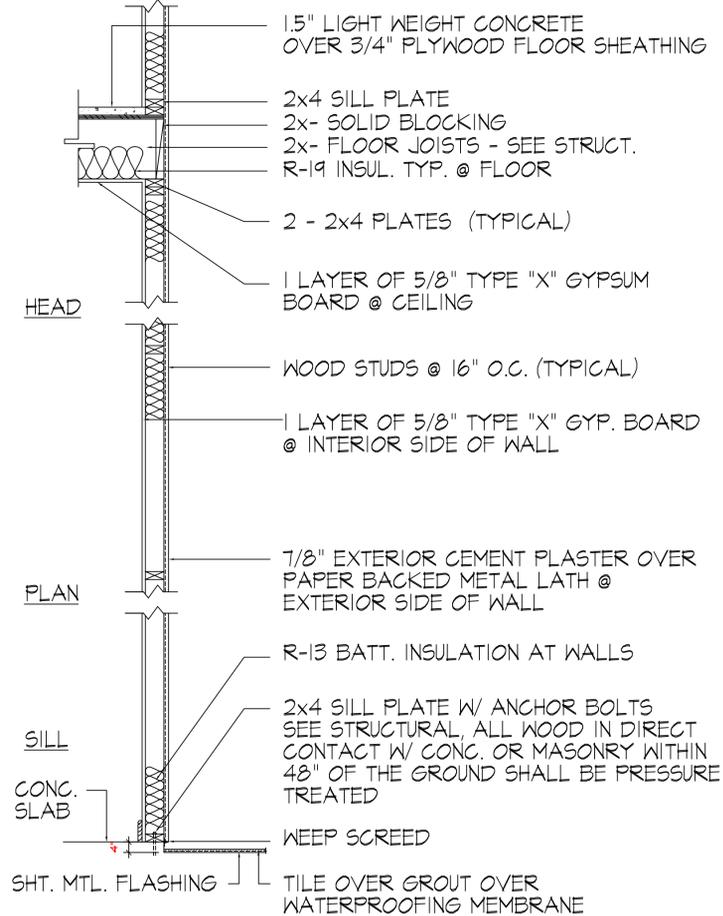
4 BALCONY @ WALL
A-12.1 1/2"=1'-0"



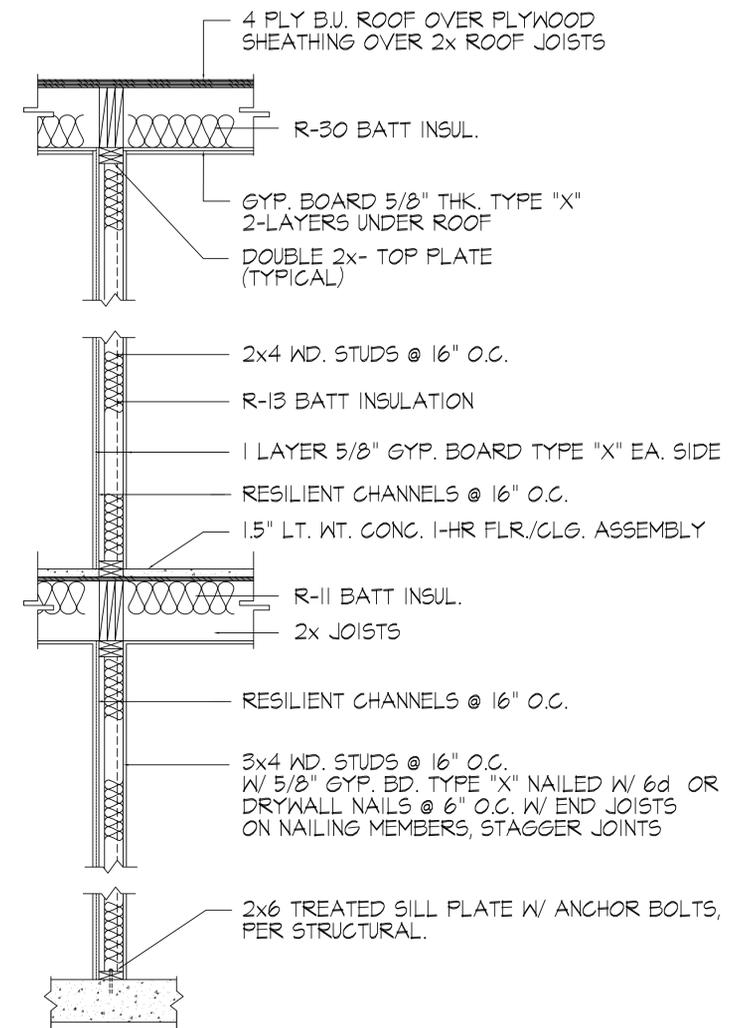
2 TYP. PARTY FLOOR
A-12.1 1"=1'-0"



3 DOOR / WINDOW FLASHING
A-12.1 1 1/2"=1'-0"



2 1-HR. FIRE RATED EXTERIOR WALL
A-12.1 1"=1'-0"



* SOUND AND THERMAL INSULATION SHALL BE "U.S. GREEN FIBRE" ICC ER-2833

1 1-HR. FIRE RATED PARTY WALL (55 STC)
A-12.1 1"=1'-0"

| REVISIONS | BY |
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10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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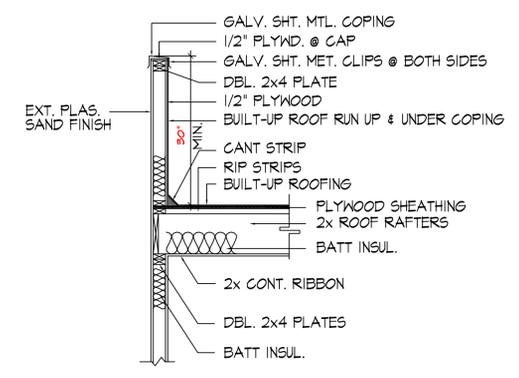


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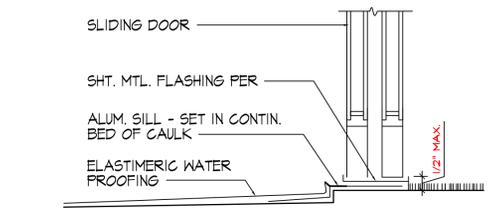
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| DRAWN B.A. |
| CHECKED |
| DATE 12-2-2019 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |

A-12.2

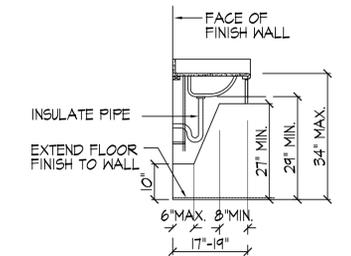
OF SHEETS



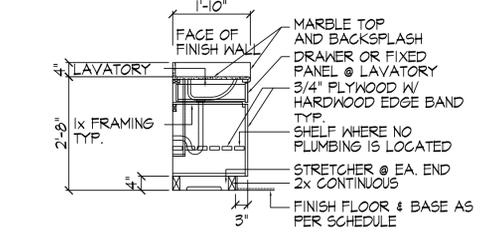
9 ROOF PARAPET
1/2"=1'-0"



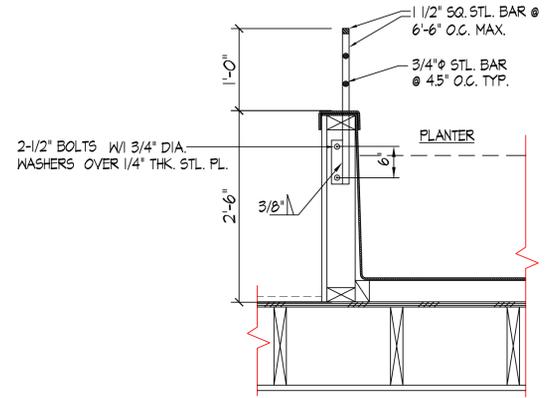
5 SILL @ SLIDING DOOR
1/2"=1'-0"



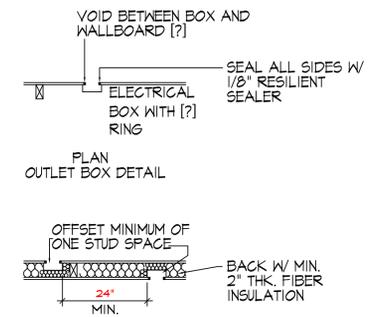
1A FULLY COMPLYING BATH RM.
1/2"=1'-0"



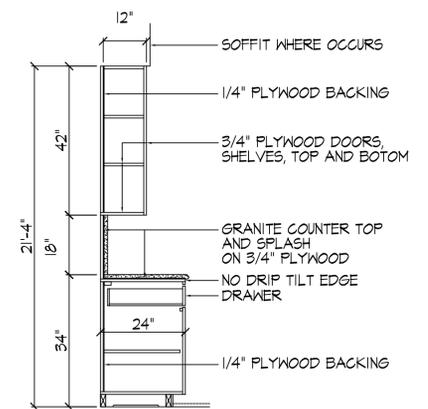
1 TYP. BATH ROOM CABINET
1/2"=1'-0"



10 PLANTER AT ROOF DECK
N.T.S.

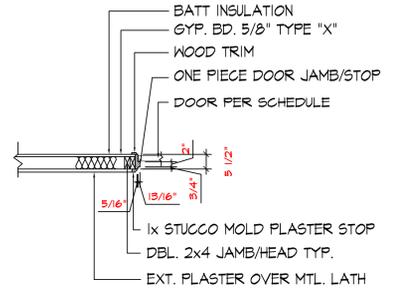


6 TYP. RECEPTACLE
1/2"=1'-0"

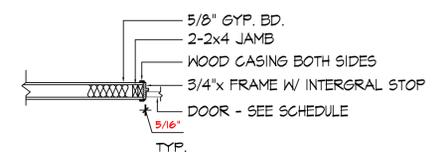


NOTES:
1- ALL FINISHED EXTERIOR SURFACES SHALL BE STAINED CHERRY WOOD
2- ALL FINISHED INTERIOR CABINET SURFACES SHALL BE PLASTIC LAMINATE
3- PROVIDE REMOVABLE BASE CABINET AT SINKS FOR WHEELCHAIR ACCESS (SEE DETAIL 4/A-2.1)

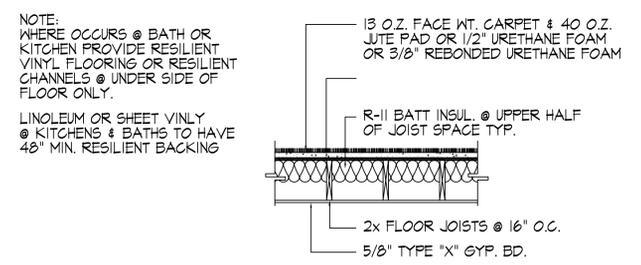
2 TYP. KITCHEN CABINET
1/2"=1'-0"



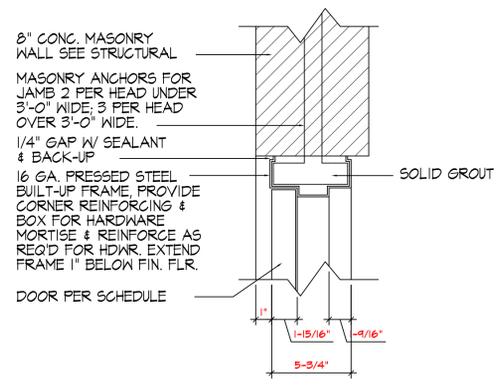
7 EXTERIOR DOOR JAMB / HEAD
1/2"=1'-0"



8 INTERIOR DOOR JAMB / HEAD
1/2"=1'-0"



3 TYP. PARTY FLOOR
1/2"=1'-0"



4 HOLLOW MTL. DOOR FRAME
1/2"=1'-0"

NOTE:
GROUT JAMB SOLID @ FIRE RATED DOORS & PROVIDE UL LABEL

NOTES

- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WINDOW ABOVE BATH TUB SHALL HAVE SAFETY GLASS AS REQ'D BY SEC. 2406.4 U.B.C.
- PROVIDE 10" HIGH MIN. NON-ABSORBENT WALL ADJ. TO SHOWERS AND APPROVED SHATTER RESISTANT MATERIAL FOR SHOWER ENCLOSURES.
- PROVIDE FLUORESCENT LIGHTS RATED AT NOT LESS THAN 40/LUMENS PER WATT FOR GENERAL LIGHTING IN NEW BATHROOM AS PER TITLE 24.
- ALL LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (I.C.) BY UNDERWRITERS LABORATORIES OR OTHER TESTING / RATING LABORATORIES RECOGNIZED BY INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICB) AS PER TITLE 24.
- GROUND FAULT PROTECTION IS REQUIRED FOR ALL GRADE ACCESS EXTERIOR OUTLETS, OUTLETS IN BATHROOMS, KITCHENS, BASEMENTS, CRAWL SPACES, GARAGES, NET BARS AND WITHIN 6" OF ANY WATER SOURCE.
- PROVIDE 18" CLEARANCE ABOVE FLOOR FOR ALL PILOT LIGHTS.
- WATER HEATER MUST BE STRAPPED TO WALL. SEC. 501.3, UPC
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED W/ NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED W/ ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE FLOOR LEVEL.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR AN APPROVED SEWAGE DISPOSAL SYSTEM.
- KITCHEN SINKS, LAVATORIES, BATH TUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
- BATH TUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-OBSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FLOOR.
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALL IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6" WITHIN THE FIRST 10 FEET
- DAMP PROOFING WHERE REQUIRED SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R311.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH ANPA VI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SEC. 4 OF ANPA VI
- AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL 325
- ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R 303.6) (1 FOOT CANDLE AT TREAD RUNS MIN.)

SECURITY NOTES

- GLASS DOORS, ADJACENT PANELS & ALL GLAZING WITHIN 18" OF THE ADJACENT FLOOR SHALL OF GLASS APPROVED FOR IMPACT HAZARD.
- WINDOW & DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED / APPROVED BURGLARY RESISTANT.
- EVERY DOOR IN A SECURITY OPENING SHALL BE CONSTRUCTED, INSTALLED AND SECURED AS SET FORTH IN 2007 CBC.
- GLAZING SHALL COMPLY WITH C.B.C.
- ALL DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
- EXIT DOORS MUST BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- NOTE ALSO THAT FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
- LANDING AT DOOR SHALL HAVE LENGTH MEASURED IN DIRECTION OF TRAVL OF NO LESS THAN 36"
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SEC. R308.3 (SEE EXCEPTIONS R308.4)
 - FIXED OR OPRABLE PANELS IN SLIDING, SWINGING OR BIFOLD DOOR ASSEMBLIS
 - GLAZING IN AN INDIVIDUAL FIXED OR OPRABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|-------|-------|---------------|----------|----------|----------|--------------------------------|-------|--------------------|
| SYM. | WIDTH | HGT. | TYPE | MAT'L | FIN. | GLAZ'G | MANUF. | MODEL | REMARKS |
| (A) | 5'-0" | 4'-6" | SLIDING | ALUMINUM | PRE-FIN. | CLEAR | "MILGARD" | | |
| (B) | 8'-0" | 4'-6" | SLIDING | ALUMINUM | PRE-FIN. | CLEAR | "MILGARD" | | |
| (C) | 3'-0" | 4'-6" | SLIDING | ALUMINUM | PRE-FIN. | CLEAR | "MILGARD" | | |
| (D) | 2'-0" | 4'-6" | VERT. SLIDING | ALUMINUM | PRE-FIN. | TEMPERED | "MILGARD" | | |
| (E) | 4'-6" | 4'-6" | SLIDING | ALUMINUM | PRE-FIN. | CLEAR | "MILGARD" | | |
| (F) | 2'-0" | 6'-0" | FIXED | ALUMINUM | PRE-FIN. | CLEAR | "MILGARD" | | |
| (G) | 2'-0" | 2'-0" | FIXED | STEEL | PAINT | TEMPERED | TORRANCE STEEL WINDOW CO. INC. | | 3/4 HR. FIRE RATED |

- NOTES: 1- ALL NEW WINDOWS SHALL HAVE DOUBLE GLAZING
2- VERIFY WINDOW & DOOR ROUGH OPENINGS W/ MANUF.

| DOOR SCHEDULE | | | | | | | | | | | |
|---------------|-------------|-------|--------|--------|------|---------|-------|---------------|----------|--------|---|
| SYM. | NO./ OPEN'G | HGT. | WIDTH | THK. | CORE | TYPE | STYLE | MAT'L | FIN. | GLAZ'G | REMARKS |
| (1) | 1 | 8'-0" | 3'-0" | 1 3/4" | S/C | SWING | - | WOOD | PAINT | - | 20 MIN. FIRE RATED TIGHT FITTING SELF CLOSING W/ STABLE LABEL |
| (2) | 1 | 6'-8" | 2'-10" | 1 3/4" | H/C | SWING | - | WOOD | PAINT | - | |
| (3) | 2 | 6'-8" | 5'-0" | 3/4" | - | SLID'G | - | WOOD | PAINT | - | CLOSET W/ MIRROR DOORS |
| (4) | 2 | 6'-8" | 3'-0" | 3/4" | - | FOLDING | - | WOOD | PAINT | - | CLOSET |
| (5) | 2 | 8'-0" | 6'-0" | - | - | SLID'G | - | VINYL / GLASS | PRE-FIN. | TEMP. | |
| (6) | 1 | 6'-8" | 2'-0" | 1 3/8" | H/C | SWING | - | WOOD | PAINT | - | CLOSET |
| (7) | 1 | 6'-8" | 2'-10" | 1 3/4" | H/C | POCKET | - | WOOD | PAINT | - | SEE DETAIL 5/A-21 |
| (8) | 4 | 6'-8" | 5'-4" | 3/4" | - | FOLDING | - | WOOD | PAINT | - | LAUNDRY CLOSET W/ LOUVERS |
| (9) | 2 | 6'-8" | 2'-8" | 3/4" | - | FOLDING | - | WOOD | PAINT | - | LAUNDRY CLOSET W/ LOUVERS |
| (10) | 1 | 8'-0" | 3'-6" | - | - | SWING | - | ALUM/ GLASS | PRE-FIN. | TEMP. | 15 -HR. FIRE RATED |
| (11) | 1 | 8'-0" | 3'-0" | 1 3/4" | H/C | SWING | - | METAL | PAINT | - | 15 -HR. FIRE RATED TIGHT FITTING SELF CLOSING |
| (12) | 1 | 8'-0" | 3'-0" | 1 3/8" | S/C | SWING | - | WOOD | PAINT | - | 45 MIN. FIRE RATED TIGHT FITTING SELF CLOSING |

- GLAZING IN AN INDIVIDUAL FIXED OR OPRABLE PANEL THAT MEETS ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ.FT.
 - BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR
 - TOP EDGE GREATER THAN 36" ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING
 - GLAZING IN RAILINGS
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE
 - GLAZING IN WALLS & FENCES ADJACENT TO INDOOR & OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER'S EDGE
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS & RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHERE THE SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 36" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE NOSE OF THE TREAD
- II. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SEC. R308.6 SKYLIGHT SHALL BE LABELED BY LA CITY APPROVED LABELING AGENCY SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING

ENERGY NOTES

- THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2 - 53.
- INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND BUILDER STATING THAT THE INSTALLATION CONFORM WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2 - 53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.
- DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OR RECONDITIONED SPACES SUCH AS GARAGES AND COMPARTMENTS FOR CENTRAL AIR GAS FURNACES SHALL BE FULLY WEATHER-STRIPPED.
- MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS LISTED IN TABLE 2 - 53V OF THE ENERGY REGULATIONS.
- ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK DRAFT DAMPERS.
- CAULK AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.
- CAULK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- MASONRY AND FACTORY BUILT FIREPLACES SHALL HAVE THE FOLLOWING:
 - TIGHT FITTING CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX.
 - A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND TIGHT FITTING DAMPER.
 - TIGHT FITTING FLUE DAMPER WITH READILY ACCESSIBLE CONTROL.
 - CONTINUOUS BURNING PILOT LIGHTS ARE PROHIBITED.
- DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO CHAPTER 10 OF THE 2007 UNIFORM ALL JOINTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
- STORAGE TYPE WATER HEATERS AND STORAGE TANKS FOR SOLAR WATER HEATING SYSTEM SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER, UNLESS SO INTERNALLY INSULATED.
- PROVIDE MINIMUM R-3 INSULATION ON WATER HEATER INLET AND OUTLET PIPE FOR FIRST FIVE FEET IN RECONDITIONED SPACE.
- INSULATE RECIRCULATING HOT WATER PIPING IN UNHEATED SPACES
- GAS FIRED HOUSEHOLD HEATING AND COOLING APPLIANCES, SHOWER HEADS AND FAUCETS SHALL COMPLY WITH THE APPLIANCE EFFICIENCY STANDARDS.
- GENERAL LIGHTING IN KITCHEN AND BATHROOM SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS/WATTS. (SPECIFY FLUORESCENT LIGHTING).
- THERMOSTATICALLY CONTROLLED HEATING OR COOLING SYSTEMS (EXCEPT HEAT WHICH PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.

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10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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|-------------------|
| DRAWN B.A. |
| CHECKED |
| DATE 12-2-2019 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |

A-13.0
OF SHEETS

LANDSCAPE POINTS

| | |
|--|------------------|
| LOT AREA: | 10563.3 SQ. FT. |
| ON SITE LANDSCAPE AREA: | 1261.0 SQ. FT. |
| POINTS REQUIRED: (15.0 PTS. + 10% = 16.5 PTS.) | 16.5 PTS. |
| POINTS PROVIDED: | |
| 4- CALIF. WALNUT TREES THAT DO NOT EXIST WITHIN 1000 FT. RADIUS (5 PTS. PER TREE MAX. 50% OF TOTAL PTS.) | 8.0 PTS. |
| AUTOMATIC IRRIGATION CONTROLLER W/ CYCLING CAPACITY & WATERING SCH. 'AQUA CONSERV' ET-8 SERIES CONTROLLER | 5.0 POINT |
| DROUGHT TOLERANT PLANTS (LITTLE OR NO WATERING REQUIRED DURING NORMAL DRY SEASON) 6- GOLDEN CURRENT, 2 POINTS EACH x 6 = 12 POINTS | 12.0 POINT |
| TOTAL | 25.0 PTS. |

WATER MANAGEMENT POINTS

| | |
|---|-------------------|
| LOT AREA: | 10563.3 SQ. FT. |
| POINTS REQUIRED: | 200.0 PTS. |
| POINTS PROVIDED: | |
| AUTOMATIC CONTROLLER | 5.0 PTS. |
| 0-15% LAWN AREA | 10.0 PTS. |
| PLANTS ONCE ESTABLISHED THAT WILL REMAIN IN GOOD HEALTH W/ SUMMER WATER (140 @ 2.0 PTS. = 280) | 280.0 PTS. |
| PERMEABLE PAVING | 5.0 PTS. |
| TOTAL | 300.0 PTS. |

NOTE:

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATE FORM GRN-12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL (STATE ASSEMBLY BILL NO. 188)

OPEN SPACE INFORMATION

OPEN SPACE REQUIRED:
(LAMC, SECTION 12.21.G.2)
12 UNITS AT 3- HABITABLE ROOMS X 125 = 1,500 S.F.
9 UNITS AT LESS THAN 3- HABITABLE ROOMS X 100 = 900 S.F.
1,500 + 900 = 2,400 S.F.
20% REDUCTION INCENTIVE (T.O.C. PROGRAM): 2,400 - 480 = 1,920 S.F.
(2,400 x 0.2 = 480 S.F.)
COMMON OPEN SPACE PROVIDED AT ROOF = 25'x77' = 1,925 S.F.
LANDSCAPE PROVIDED 1,920 x 0.25 = 480 S.F.

LANDSCAPE AREA: WATER USAGE: HYDROZONE #

| | | |
|--|-----------------------|---|
| FRONT YARD = 460 S.F. (110+150+200=460) | VERY LOW / LOW (VL/L) | 1 |
| REAR YARD = 310.0 S.F. (115+175+20=310) | VERY LOW / LOW (VL/L) | 2 |
| ROOF DECK = 480.0 S.F. | VERY LOW / LOW (VL/L) | 3 |

TOTAL = 1,250.0 S.F.
WATER SUPPLY: DOMESTIC WATER

I AGREE TO COMPLY W/ THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE DOCUMENTATION PACKAGE.

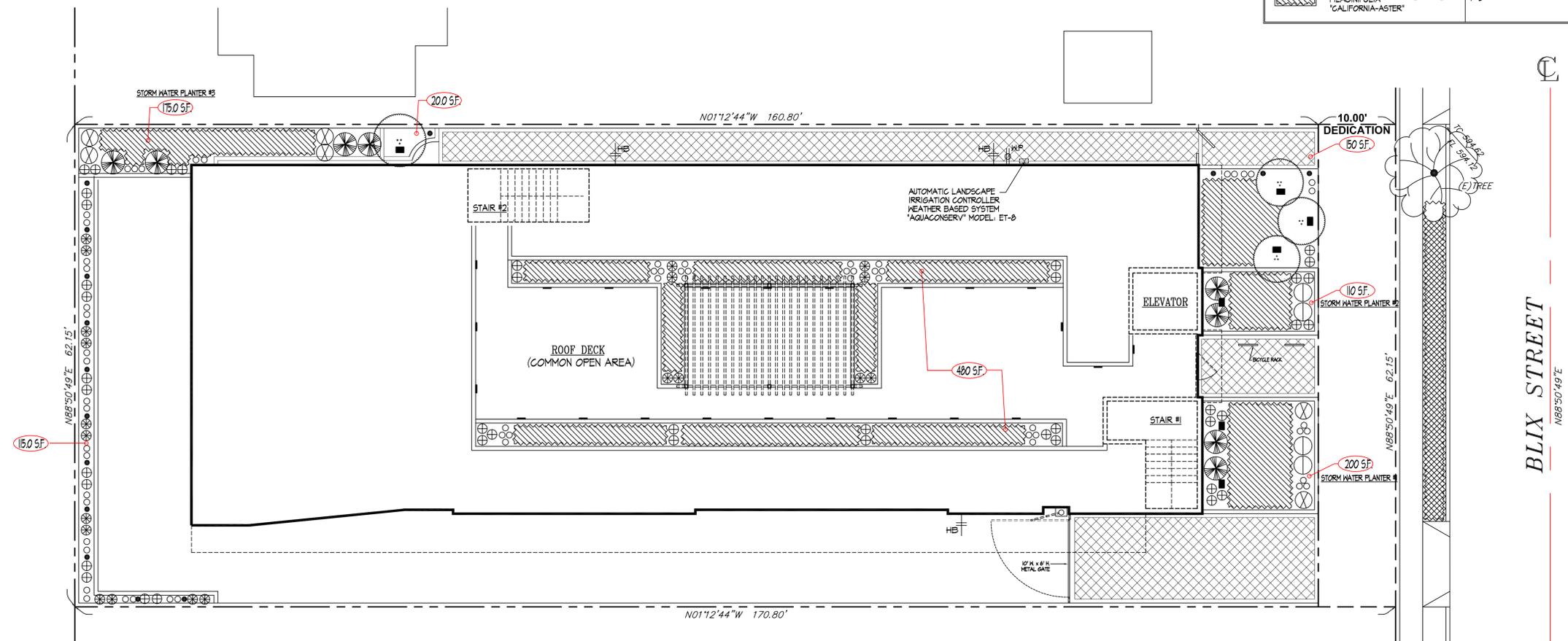
DATE: _____

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DATE: _____

PLANT MATERIAL LEGEND

| SYMBOL | BOTANICAL COMMON NAME | QTY. | SIZE | PLANT FORM | SETBACK | WATER USAGE | SUN EXPOSURE | AVG. HEIGHT | AVG. SPREAD | SHORT LIST | OCCURANCE IN ----- |
|----------------------|--|------|---------|------------|---------|-------------|--------------|-------------|-------------|------------|--------------------|
| TREES | | | | | | | | | | | |
| ⊙ | JUGLANS CALIFORNICA 'CALIFORNIA WALNUT' | 4 | 24" BOX | t-d | 6 | VL | su/ps | 15-25 | 20 | Y | NW / DOM. |
| ⊙ | EXISTING STREET TREE TO REMAIN | 1 | | | | | | | | | |
| SHRUBS | | | | | | | | | | | |
| ⊙ | ESCHSCHOLZIA CALIFORNICA 'CALIFORNIA POPPY' | 60 | 1 GAL. | alp-d | 1 | VL/L | su/ps | 1 | 1-2 | | VOW / OC. |
| ⊕ | ROSA CALIFORNICA 'CALIF. WILD ROSE' | 38 | 1 GAL. | s | 3 | L | all | 4-6 | 4+ | Y | CLOW / FR. |
| ⊗ | LATHYRUS LAETIFLORUS 'PACIFIC SHEET PEA' | 34 | 1 GAL. | v/p | 2 | L | su/ps | CLIMBS | | | OC. |
| ⊗ | RIBES AUREUM 'GOLDEN CURRENT' | 6 | 5 GAL. | s-d | 6 | VL/L | su/ps | 6-8 | 6-8 | Y | NW / FR. |
| ⊗ | RHAMNUS CALIFORNICA 'CALIFORNIA COFFEEBERRY' | 8 | 5 GAL. | s | 6 | L | all | 8 | 12 | Y | CH / FR. |
| ⊙ | CERCOCARPUS BETULOIDES 'MOUNTAIN MAHOGANY' | 4 | 5 GAL. | s/t | 9 | L | su | 6-20 | 12 | Y | AFSS / OC. |
| GROUND COVERS | | | | | | | | | | | |
| ⊗ | SOLIDAGO CALIFORNICA 'CALIFORNIA GOLDENROD' | - | - | p/gc | 1 | LM | su/ps | 1 | 2+ | Y | VOW / OC. |
| ⊗ | LESINGIA FILAGINIFOLIA 'CALIFORNIA-ASTER' | - | - | p/gc | 2 | VL | su | 1-3 | 1-3 | Y | VOW / OC. |



LIGHTING LEGEND

- RECTANGULAR METAL LOW VOLTAGE FIXTURE
- 18" HIGH PATH LIGHT FIXTURE
- STEP LIGHT FIXTURE
- ⊕ WP. ELECTRICAL OUTLET

LEGEND

- ⊗ PERMEABLE PAVING STONE SEE DETAIL 1/A-1.2
- ⊕ HOSE BIB W/ BACKWATER VALVE

LANDSCAPE PLAN
1/8" = 1'-0"



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10806 W. BLIX STREET
NORTH HOLLYWOOD, CA. 91602

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| DRAWN |
| CHECKED B.A. |
| DATE 3-19-2020 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET L-1.0 |
| OF SHEETS |

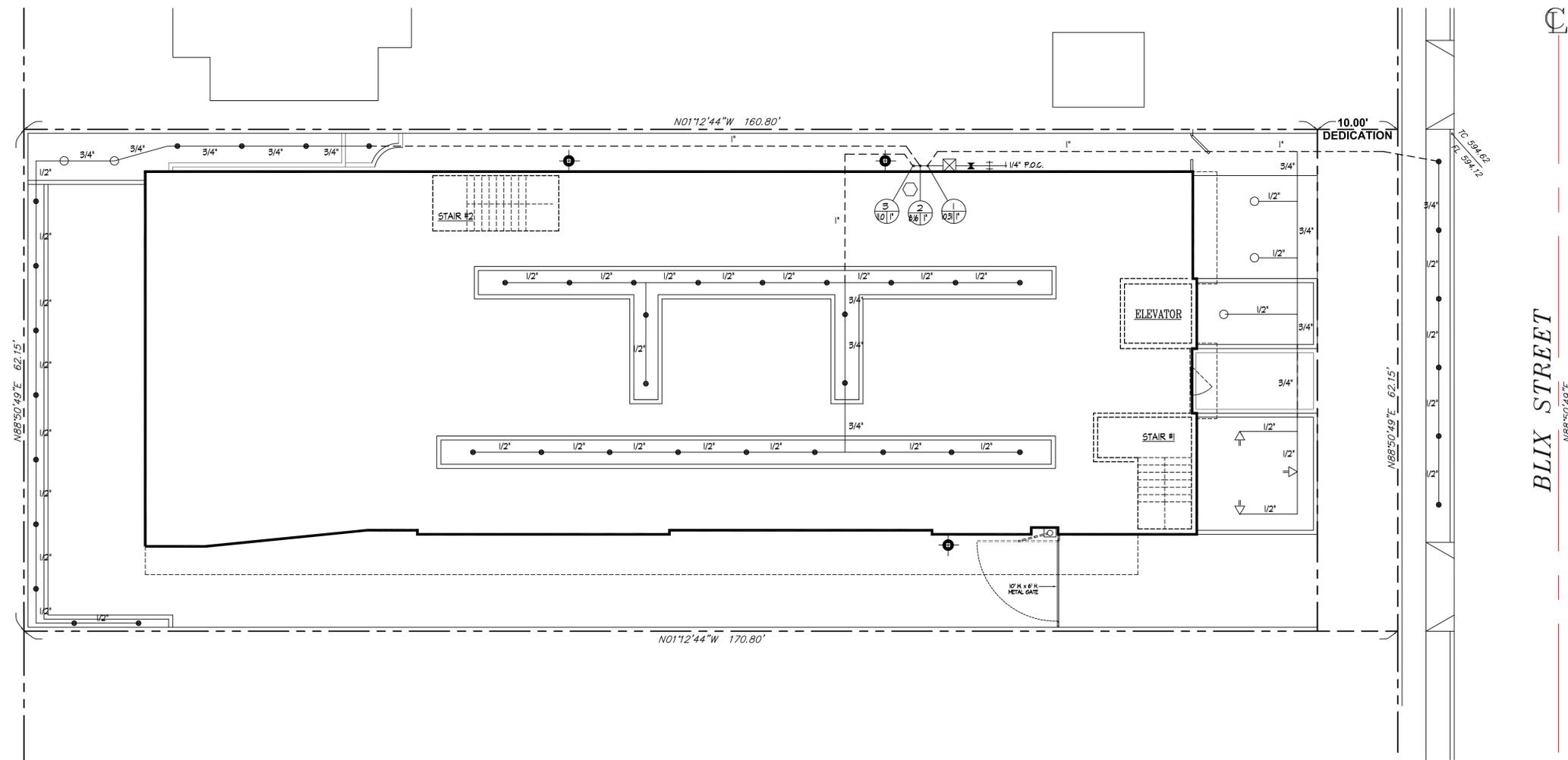
NOTES:

- 1- RECIRCULATING WATER SYSTEM SHALL BE USED FOR ALL WATER FEATURES.
- 2- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- 3- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT THE RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO THE DEPTH OF 6 INCHES INTO THE SOIL.
- 4- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- 5- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- 6- OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24" OF ANY NON-PERMEABLE SURFACE.
- 7- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- 8- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- 9- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

IRRIGATION NOTES:

1. THIS IRRIGATION DESIGN IS DIAGRAMMIC AND IS SHOWN IN PAVED AREAS FOR CLARITY ONLY AND IS TO BE INSTALLED IN PLANTING AREAS WHENEVER POSSIBLE.
2. PROVIDE P.V.C. SCH. 40 SLEEVES FOR ALL PRESSURE LINE AND CONTROL WIRE UNDER ROADWAYS. INSTALL WITH 30" OF COVER AND RECOMPACT TO 95%.
3. ACTUAL CONTROLLER LOCATION TO BE VERIFIED WITH OWNER'S REPRESENTATIVE.
4. ALL SHRUB HEADS NEXT TO CURBS AND WALKS TO BE INSTALLED ON TORO 6" HIGH-POP RISER. INSTALL 1/2" BELOW FINISH SURFACE OF CONCRETE.
5. STOP ALL BACK DRAINAGE OF HEADS W/ KINGS BROS.' CHECK VALVES IN RISER. ADJUST TO MIN. PRESSURE LOSS.
6. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL BE SELECTING THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
7. A PLUMBING PERMIT SHALL BE OBTAINED FOR THE IRRIGATION SYSTEM BY THE IRRIGATION CONTRACTOR.

| IRRIGATION LEGEND | | |
|-------------------|--|--|
| SYMBOL | DESCRIPTION | MANUF. # PART NO. |
| ▽ ▽ ▽ ○ | STANDARD LAWN HEAD - Q, T, H, F 25 PSI, 23, 11, 165, 33 GPM, 14 R. | RAINBIRD #804-12 |
| ▽ ▽ ○ | LOW ANGLE SHRUB HEAD - Q, H, F 25 PSI, 36, 72, 144 GPM, 9 R. | RAINBIRD #812-10 |
| ▽ ▽ | STANDARD SHRUB HEAD - Q, H 25 PSI, 23, 165 GPM, 14 R. | RAINBIRD #800-12 |
| ▽ ▽ | STREAM BUBBLER - Q, H 25 PSI, 5, 1.0 GPM, 5 R. | RAINBIRD #806-5 |
| ● | FULL CIRCLE TRICKLE BUBBLER 25 PSI, 5 GPM | RAINBIRD #402 |
| ● | REMOTE CONTROL VALVE (SIZE PER PLAN) | RAINBIRD #PE SERIES |
| ⊕ | 3/4" BRASS HOSE BIBBS | |
| ⊗ | REDUCED PRESSURE BACKFLOW UNIT W/ PRESSURE REGULATOR | WILKINS #575-1 1/4" WILKINS #600-1 1/4" |
| ⊕ | 12 STATION CONTROLLER-WALL MOUNT POWER SUPPLIED BY BLD'G ELECTRICIAN | IRRI-TROL MC-12 |
| ⊗ | LINE SIZE GATE VALVE LOCATE IN 4" ROUND YARD BOX | NIBCO #T-115 SERIES |
| --- | NON-PRESSURE LINE (BURY 12" DEEP) TEFLON TAPE ALL MALE TREADS | 1/2" SCH. 40 PVC 3/4" PVC CLASS 200 |
| --- | PRESSURE SUPPLY LINE (BURY 18" DEEP) ALL SOLVENT WELD | SCH. 40 PVC |
| P.O.C. ⊕ | POINT OF CONNECTION 1 1/4" PLUGGED TEE BY BLD'G PLUMBER, VERIFY IN THE FIELD. | |



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L-2.0

LANDSCAPE IRRIGATION PLAN
1/8"=1'-0"



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| DRAWN |
| CHECKED B.A. |
| DATE 3-19-2020 |
| SCALE AS NOTED |
| JOB NO. 19-731 |
| SHEET |
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| OF SHEETS |

Exhibit B – ZIMAS Parcel Profile Report



City of Los Angeles Department of City Planning

8/17/2020 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

10804 W BLIX ST
10806 W BLIX ST

ZIP CODES

91602

RECENT ACTIVITY

ADM-2019-3764-TOC
CPC-2018-3723-GPA-ZC-CDO-BL
PAR-2019-7733-TOC

CASE NUMBERS

CPC-2018-3723-GPA-ZC-CDO-BL
DIR-2020-12-TOC-HCA
ENV-2020-13-CE
ENV-2018-3724-EIR
PRIOR-07/29/1962

Address/Legal Information

| | |
|------------------------------|--|
| PIN Number | 168B177 633 |
| Lot/Parcel Area (Calculated) | 10,563.3 (sq ft) |
| Thomas Brothers Grid | PAGE 563 - GRID A3 PAGE 563 - GRID A4 |
| Assessor Parcel No. (APN) | 2421022002 |
| Tract | BLIX TRACT |
| Map Reference | M B 21-9 |
| Block | None |
| Lot | 10 |
| Arb (Lot Cut Reference) | 2 |
| Map Sheet | 168B177 |

Jurisdictional Information

| | |
|--------------------------|----------------------------------|
| Community Plan Area | North Hollywood - Valley Village |
| Area Planning Commission | South Valley |
| Neighborhood Council | NoHo |
| Council District | CD 2 - Paul Krekorian |
| Census Tract # | 1255.02 |
| LADBS District Office | Van Nuys |

Planning and Zoning Information

| | |
|---|---|
| Special Notes | None |
| Zoning | R3-1 |
| Zoning Information (ZI) | ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses |
| General Plan Land Use | Medium Residential |
| General Plan Note(s) | Yes |
| Hillside Area (Zoning Code) | No |
| Specific Plan Area | None |
| Subarea | None |
| Special Land Use / Zoning | None |
| Historic Preservation Review | No |
| Historic Preservation Overlay Zone | None |
| Other Historic Designations | None |
| Other Historic Survey Information | None |
| Mills Act Contract | None |
| CDO: Community Design Overlay | None |
| CPIO: Community Plan Imp. Overlay | None |
| Subarea | None |
| CUGU: Clean Up-Green Up | None |
| HCR: Hillside Construction Regulation | No |
| NSO: Neighborhood Stabilization Overlay | No |
| POD: Pedestrian Oriented Districts | None |
| RFA: Residential Floor Area District | None |
| RIO: River Implementation Overlay | No |
| SN: Sign District | No |
| Streetscape | No |
| Adaptive Reuse Incentive Area | None |
| Affordable Housing Linkage Fee | |

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

| | |
|------------------------------------|--------|
| Residential Market Area | Medium |
| Non-Residential Market Area | Medium |
| Transit Oriented Communities (TOC) | Tier 1 |
| RPA: Redevelopment Project Area | None |
| Central City Parking | No |
| Downtown Parking | No |
| Building Line | None |
| 500 Ft School Zone | No |
| 500 Ft Park Zone | No |

Assessor Information

| | |
|---|---|
| Assessor Parcel No. (APN) | 2421022002 |
| Ownership (Assessor) | |
| Owner1 | 10806 BLIX LLC |
| Address | 4802 NORWICH AVE SHERMAN OAKS CA 91403 |
| Ownership (Bureau of Engineering, Land Records) | |
| Owner | RAUTER, HELMET & IRNGARD (TRS) THE RAUTER FMY TR DTD 7-12-90 |
| Address | 10806 BLIX ST NORTH HOLLYWOOD CA 91602 |
| APN Area (Co. Public Works)* | 0.243 (ac) |
| Use Code | 0200 - Residential - Double, Duplex, or Two Units - 4 Stories or Less |
| Assessed Land Val. | \$1,050,000 |
| Assessed Improvement Val. | \$714,000 |
| Last Owner Change | 07/30/2019 |
| Last Sale Amount | \$1,750,017 |
| Tax Rate Area | 13 |
| Deed Ref No. (City Clerk) | 716742 |
| | 6-237 |
| | 39006 |
| Building 1 | |
| Year Built | 1939 |
| Building Class | D55B |
| Number of Units | 1 |
| Number of Bedrooms | 3 |
| Number of Bathrooms | 2 |
| Building Square Footage | 1,821.0 (sq ft) |
| Building 2 | |
| Year Built | 1939 |
| Building Class | D55A |
| Number of Units | 1 |
| Number of Bedrooms | 2 |
| Number of Bathrooms | 2 |
| Building Square Footage | 1,178.0 (sq ft) |
| Building 3 | No data for building 3 |
| Building 4 | No data for building 4 |
| Building 5 | No data for building 5 |
| Rent Stabilization Ordinance (RSO) | Yes [APN: 2421022002] |

Additional Information

| | |
|-------------------------------------|-----------------|
| Airport Hazard | None |
| Coastal Zone | None |
| Farmland | Area Not Mapped |
| Urban Agriculture Incentive Zone | YES |
| Very High Fire Hazard Severity Zone | No |
| Fire District No. 1 | No |

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

| | |
|---|--------------------|
| Flood Zone | Outside Flood Zone |
| Watercourse | No |
| Hazardous Waste / Border Zone Properties | No |
| Methane Hazard Site | None |
| High Wind Velocity Areas | No |
| Special Grading Area (BOE Basic Grid Map A-13372) | No |
| Wells | None |

Seismic Hazards

| | |
|--------------------------------------|---|
| Active Fault Near-Source Zone | |
| Nearest Fault (Distance in km) | 2.36549184 |
| Nearest Fault (Name) | Hollywood Fault |
| Region | Transverse Ranges and Los Angeles Basin |
| Fault Type | B |
| Slip Rate (mm/year) | 1.00000000 |
| Slip Geometry | Left Lateral - Reverse - Oblique |
| Slip Type | Poorly Constrained |
| Down Dip Width (km) | 14.00000000 |
| Rupture Top | 0.00000000 |
| Rupture Bottom | 13.00000000 |
| Dip Angle (degrees) | 70.00000000 |
| Maximum Magnitude | 6.40000000 |
| Alquist-Priolo Fault Zone | No |
| Landslide | No |
| Liquefaction | Yes |
| Preliminary Fault Rupture Study Area | No |
| Tsunami Inundation Zone | No |

Economic Development Areas

| | |
|-------------------------------|---------------|
| Business Improvement District | None |
| Hubzone | Not Qualified |
| Opportunity Zone | No |
| Promise Zone | None |
| State Enterprise Zone | None |

Housing

| | |
|------------------------------------|---|
| Direct all Inquiries to | Housing+Community Investment Department |
| Telephone | (866) 557-7368 |
| Website | http://hcidla.lacity.org |
| Rent Stabilization Ordinance (RSO) | Yes [APN: 2421022002] |
| Ellis Act Property | No |

Public Safety

| | |
|-----------------------------|-----------------|
| Police Information | |
| Bureau | Valley |
| Division / Station | North Hollywood |
| Reporting District | 1557 |
| Fire Information | |
| Bureau | Valley |
| Batallion | 14 |
| District / Fire Station | 86 |
| Red Flag Restricted Parking | No |

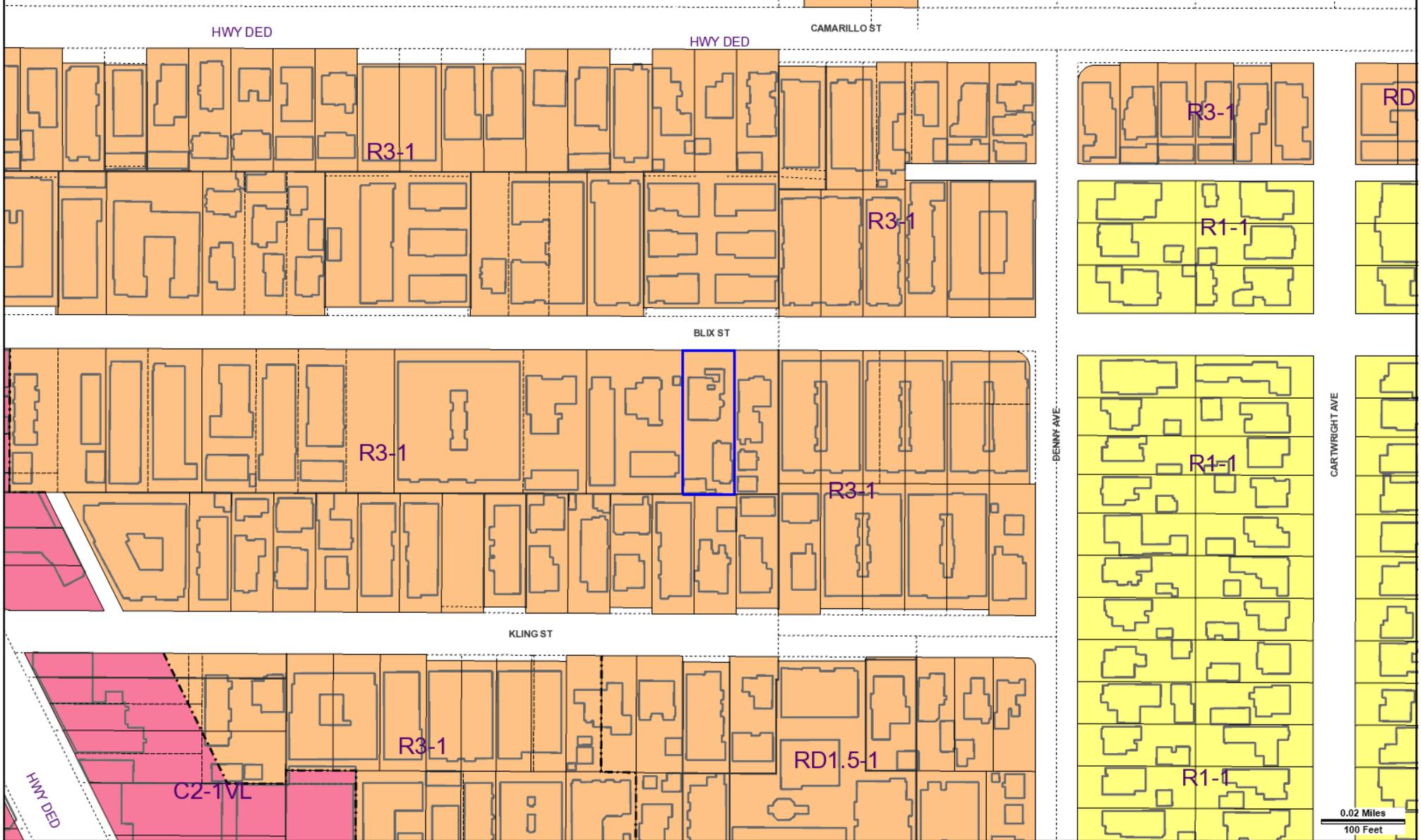
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

| | |
|--------------------------|---|
| Case Number: | CPC-2018-3723-GPA-ZC-CDO-BL |
| Required Action(s): | BL-BUILDING LINE CDO-COMMUNITY DESIGN OVERLAY DISTRICT GPA-GENERAL PLAN AMENDMENT ZC-ZONE CHANGE |
| Project Descriptions(s): | GENERAL PLAN AMENDMENT, ZONE CHANGE, AND EIR FOR ORANGE LINE TRANSIT NEIGHBORHOOD PLAN |
| Case Number: | DIR-2020-12-TOC-HCA |
| Required Action(s): | HCA-HOUSING CRISIS ACT TOC-TRANSIT ORIENTED COMMUNITIES |
| Project Descriptions(s): | DEMO TWO UNITS AND CONSTRUCT A TOC PROJECT: 21 UNIT APT., 3 STORIES OVER ON GRADE GARAGE 21 UNIT APARTMENT BUILDING: 3 STORIES OVER ON GRADE GARAGE 19 MARKET RATE + 2 EXTREMELY LOW INCOME UNITS; 16 STANDARD PARKING AND 1 DA PARKING PURSUANT TO: 12.22.A.31: A TOC PROJECT TO CONSTRUCT 21 UNITS, REQUESTING 2 BASE INCENTIVES (A 50% DENSITY INCREASE AND PARKING REDUCTION) AND 3 ADDITIONAL INCENTIVES (HEIGHT INCREASE TO 54'6", OPEN SPACE REDUCTION TO 1,920 AND SIDE YARD REDUCTION TO 5.25") |
| Case Number: | ENV-2020-13-CE |
| Required Action(s): | CE-CATEGORICAL EXEMPTION |
| Project Descriptions(s): | DEMO TWO UNITS AND CONSTRUCT A TOC PROJECT: 21 UNIT APT., 3 STORIES OVER ON GRADE GARAGE 21 UNIT APARTMENT BUILDING: 3 STORIES OVER ON GRADE GARAGE 19 MARKET RATE + 2 EXTREMELY LOW INCOME UNITS; 16 STANDARD PARKING AND 1 DA PARKING PURSUANT TO: 12.22.A.31: A TOC PROJECT TO CONSTRUCT 21 UNITS, REQUESTING 2 BASE INCENTIVES (A 50% DENSITY INCREASE AND PARKING REDUCTION) AND 3 ADDITIONAL INCENTIVES (HEIGHT INCREASE TO 54'6", OPEN SPACE REDUCTION TO 1,920 AND SIDE YARD REDUCTION TO 5.25") |
| Case Number: | ENV-2018-3724-EIR |
| Required Action(s): | EIR-ENVIRONMENTAL IMPACT REPORT |
| Project Descriptions(s): | GENERAL PLAN AMENDMENT, ZONE CHANGE, AND EIR FOR ORANGE LINE TRANSIT NEIGHBORHOOD PLAN |

DATA NOT AVAILABLE

PRIOR-07/29/1962



Address: 10806 W BLIX ST

APN: 2421022002

PIN #: 168B177 633

Tract: BLIX TRACT

Block: None

Lot: 10

Arb: 2

Zoning: R3-1

General Plan: Medium Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL

-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial

INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES

-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

INDUSTRIAL

-  Limited Industrial
-  Light Industrial

CIRCULATION

STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway

MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST

| | | |
|--|--|--|
|  Alternative Youth Hostel (Proposed) |  Horticultural Center |  Public Elementary School |
|  Animal Shelter |  Hospital |  Public Elementary School (Proposed) |
|  Area Library |  Hospital (Proposed) |  Public Golf Course |
|  Area Library (Proposed) | HW House of Worship |  Public Golf Course (Proposed) |
|  Bridge | e Important Ecological Area |  Public Housing |
|  Campground |  Important Ecological Area (Proposed) |  Public Housing (Proposed Expansion) |
|  Campground (Proposed) |  Interpretive Center (Proposed) |  Public Junior High School |
|  Cemetery |  Junior College |  Public Junior High School (Proposed) |
| HW Church |  MTA / Metrolink Station |  Public Middle School |
|  City Hall |  MTA Station |  Public Senior High School |
|  Community Center |  MTA Stop |  Public Senior High School (Proposed) |
|  Community Library | MWD MWD Headquarters |  Pumping Station |
|  Community Library (Proposed Expansion) |  Maintenance Yard |  Pumping Station (Proposed) |
|  Community Library (Proposed) |  Municipal Office Building |  Refuse Collection Center |
|  Community Park | P Municipal Parking lot |  Regional Library |
|  Community Park (Proposed Expansion) |  Neighborhood Park |  Regional Library (Proposed Expansion) |
|  Community Park (Proposed) |  Neighborhood Park (Proposed Expansion) |  Regional Library (Proposed) |
|  Community Transit Center |  Neighborhood Park (Proposed) |  Regional Park |
|  Convalescent Hospital |  Oil Collection Center |  Regional Park (Proposed) |
|  Correctional Facility |  Parking Enforcement | RPD Residential Plan Development |
|  Cultural / Historic Site (Proposed) |  Police Headquarters |  Scenic View Site |
|  Cultural / Historical Site |  Police Station |  Scenic View Site (Proposed) |
|  Cultural Arts Center |  Police Station (Proposed Expansion) |  School District Headquarters |
| DMV DMV Office |  Police Station (Proposed) |  School Unspecified Loc/Type (Proposed) |
| DWP DWP |  Police Training site |  Skill Center |
|  DWP Pumping Station | PO Post Office |  Social Services |
|  Equestrian Center |  Power Distribution Station |  Special Feature |
|  Fire Department Headquarters |  Power Distribution Station (Proposed) |  Special Recreation (a) |
|  Fire Station |  Power Receiving Station |  Special School Facility |
|  Fire Station (Proposed Expansion) |  Power Receiving Station (Proposed) |  Special School Facility (Proposed) |
|  Fire Station (Proposed) | C Private College |  Steam Plant |
|  Fire Supply & Maintenance | E Private Elementary School |  Surface Mining |
|  Fire Training Site |  Private Golf Course |  Trail & Assembly Area |
|  Fireboat Station |  Private Golf Course (Proposed) |  Trail & Assembly Area (Proposed) |
|  Health Center / Medical Facility | JH Private Junior High School | UTL Utility Yard |
|  Helistop | PS Private Pre-School |  Water Tank Reservoir |
|  Historic Monument |  Private Recreation & Cultural Facility |  Wildlife Migration Corridor |
|  Historical / Cultural Monument | SH Private Senior High School |  Wildlife Preserve Gate |
|  Horsekeeping Area | SF Private Special School | |
|  Horsekeeping Area (Proposed) |  Public Elementary (Proposed Expansion) | |

SCHOOLS/PARKS WITH 500 FT. BUFFER

| | | |
|--|--|--|
|  Existing School/Park Site |  Planned School/Park Site |  Inside 500 Ft. Buffer |
|  Aquatic Facilities |  Other Facilities |  Opportunity School |
|  Beaches |  Park / Recreation Centers |  Charter School |
|  Child Care Centers |  Parks |  Elementary School |
|  Dog Parks |  Performing / Visual Arts Centers |  Span School |
|  Golf Course |  Recreation Centers |  Special Education School |
|  Historic Sites |  Senior Citizen Centers |  High School |
|  Horticulture/Gardens | |  Middle School |
|  Skate Parks | |  Early Education Center |

COASTAL ZONE

| |
|---|
|  Coastal Zone Commission Authority |
|  Calvo Exclusion Area |
|  Not in Coastal Zone |
|  Dual Jurisdictional Coastal Zone |

TRANSIT ORIENTED COMMUNITIES (TOC)

| | |
|--|--|
|  Tier 1 |  Tier 3 |
|  Tier 2 |  Tier 4 |

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

| |
|--|
|  Public Work Approval (PWA) |
|  Waiver of Dedication or Improvement (WDI) |

OTHER SYMBOLS

| | | |
|---|---|--|
|  Lot Line |  Airport Hazard Zone |  Flood Zone |
|  Tract Line |  Census Tract |  Hazardous Waste |
|  Lot Cut |  Coastal Zone |  High Wind Zone |
|  Easement |  Council District |  Hillside Grading |
|  Zone Boundary |  LADBS District Office |  Historic Preservation Overlay Zone |
|  Building Line |  Downtown Parking |  Specific Plan Area |
|  Lot Split |  Fault Zone |  Very High Fire Hazard Severity Zone |
|  Community Driveway |  Fire District No. 1 |  Wells |
|  Building Outlines 2014 |  Tract Map | |
|  Building Outlines 2008 |  Parcel Map | |

Exhibit C – Environmental Clearance

COUNTY CLERK'S USE

CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 395
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

DIR-2020-12-TOC

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2020-13-CE

PROJECT TITLE

COUNCIL DISTRICT

2 - Krekorian

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

Map attached.

10804 West Blix Street, Los Angeles, CA 91602

PROJECT DESCRIPTION:

Additional page(s) attached.

The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54.5 feet in height. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

NAME OF APPLICANT / OWNER:

Itay Mevorkah

CONTACT PERSON (If different from Applicant/Owner above)

Bijan Azadi

(AREA CODE) TELEPHONE NUMBER

(310) 713-9477

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section(s) / Class(es) 15332/Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

Additional page(s) attached

In-fill development meeting the conditions described in this section. (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.

The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Andrew Jorgensen



STAFF TITLE

City Planner

ENTITLEMENTS APPROVED

Transit-Oriented Communities

FEE:
\$5,774.00

RECEIPT NO.
0108136361

REC'D. BY (DCP DSC STAFF NAME)
Ulisses Gonzales

DISTRIBUTION: County Clerk, Agency Record
Rev. 3-27-2019

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

DAVID H. J. AMBROZ
CAROLINE CHOE
HELEN LEUNG
KAREN MACK

MARC MITCHELL
VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2020-13-CE

On May 12, 2020, the Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorically Exempt under Article 19, Section 15332, Class 32.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The subject property is composed of one level, regular-shaped 10,563.3 square-foot lot with approximately 62 feet of street frontage along the south side of Blix Street. The subject property is zoned R3-1 within the North Hollywood – Valley Village Community Plan Area with a Medium Density Residential land use designation. The subject site has a Height District 1 designation that establishes a 45-foot height limit and restricts the Floor Area Ratio (FAR) of the development to a maximum of 3:1.

The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54'6" feet in height. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

With an existing lot area totaling 10,563.3 square feet, the property is permitted to construct up to 13 units by-right. By setting aside 9% of the project's 21-unit total proposed density for Extremely Low Income Households, the project is eligible for a 50% density increase to a maximum of 21 total units. The project proposes 21 units with two (2) units set aside for Extremely Low Income

Households. One (1) unit will be set aside as a market-rate manager's unit. The 18,080 square-foot building will be constructed having an FAR of 1.7:1.

The subject property is located approximately one-quarter mile from the intersection of Lankershim Boulevard and Riverside Drive, which is served by the intersecting Metro Local 501 (running east-west) and 224 (running north-south) bus lines with peak hour service intervals of less than 15 minutes. The project therefore qualifies for Tier 1 incentives per the Department of City Planning's TOC Guidelines.

Pursuant to the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines), the project is eligible for Base Incentives and three additional incentives. As base incentives, the project is eligible to increase the maximum allowable number of dwelling units permitted by 50%, increase the maximum allowable floor area ratio by 40%, and provide .5 parking spaces per bedroom. The project is in request of three additional incentives, for a total of six incentives. The additional incentives are a 25% reduction in the required side yard setbacks, an 11-foot increase in maximum height, and a 25% reduction in required open space.

As a 21-unit multifamily development, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. There are no protected trees on-site. The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic, air quality, or greenhouse gas emissions. The project site will be adequately served by all public utilities and services given that the construction of a 21-unit development will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

Exceptions Narrative for Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project. As mentioned, the project proposes 21 multifamily units in an area zoned and designated for such development. All adjacent lots are developed with similarly-scaled residential uses and the subject site is of a similar size and slope to nearby properties. The project proposes a Floor Area Ratio (FAR) of 1.71:1 on a site that is permitted to have a maximum FAR of 3:1. 4-story, multiple-family dwellings are not unusual for the vicinity of the subject site, and is similar in scope and character to other existing medium-density residential land uses in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park, the designated portion of which is located approximately 9 miles away from the project. Therefore the subject site will not create any impacts within a designated as a state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been

determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource.

Exhibit D – Appeal Documents



APPLICATIONS:

APPEAL APPLICATION

Instructions and Checklist

Related Code Section: Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

Purpose: This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

A. APPELLATE BODY/CASE INFORMATION

1. APPELLATE BODY

- Area Planning Commission, City Planning Commission, City Council, Director of Planning, Zoning Administrator

Regarding Case Number: DIR-2020-12-TOC-HCA

Project Address: 10806 Blix Street, Toluca Lake, Ca 91602

Final Date to Appeal: 07/09/2020

2. APPELLANT

- Appellant Identity: Representative, Applicant, Property Owner, Operator of the Use/Site

Person, other than the Applicant, Owner or Operator claiming to be aggrieved

Person affected by the determination made by the Department of Building and Safety

- Representative, Applicant, Owner, Operator, Aggrieved Party

3. APPELLANT INFORMATION

Appellant's Name: Joe Monteleone

Company/Organization:

Mailing Address: 10807 Blix Street #3

City: Toluca Lake State: Ca Zip: 91602

Telephone: 310-625-1312 E-mail: montlycrew@gmail.com

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company?

- Self, Other:

b. Is the appeal being filed to support the original applicant's position? Yes No

SPECIFIC CASE TYPES - APPEAL FILING INFORMATION

C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)

1. Density Bonus/TOC

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

NOTE:

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.
- Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

D. WAIVER OF DEDICATION AND OR IMPROVEMENT

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

NOTE:

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

E. TENTATIVE TRACT/VESTING

1. Tentative Tract/Vesting - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

- Provide a copy of the written determination letter from Commission.

F. BUILDING AND SAFETY DETERMINATION

- 1. Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.**

a. Appeal Fee

- Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

b. Notice Requirement

- Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

- 2. Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.**

a. Appeal Fee

- Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

b. Notice Requirement

- Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.

Appeal Application

Final Audit Report

2020-07-08

| | |
|-----------------|--|
| Created: | 2020-07-08 |
| By: | Planning Intranet (planning.intranet@lacity.org) |
| Status: | Signed |
| Transaction ID: | CBJCHBCAABAA9LGnP3xkmpFlbBWZfOIKWT2WFMk4970y |

"Appeal Application" History

-  Web Form created by Planning Intranet (planning.intranet@lacity.org)
2020-04-17 - 11:54:27 PM GMT
-  Web Form filled in by Joe Monteleone (montlycrew@gmail.com)
2020-07-08 - 8:41:42 PM GMT- IP address: 104.32.241.54
-  Document emailed to Joe Monteleone (montlycrew@gmail.com) for signature
2020-07-08 - 8:41:44 PM GMT
-  Email viewed by Joe Monteleone (montlycrew@gmail.com)
2020-07-08 - 8:41:49 PM GMT- IP address: 66.249.84.125
-  E-signature verified by Joe Monteleone (montlycrew@gmail.com)
2020-07-08 - 8:42:18 PM GMT- IP address: 104.32.241.54
-  Signed document emailed to Joe Monteleone (montlycrew@gmail.com) and Planning Intranet (planning.intranet@lacity.org)
2020-07-08 - 8:42:18 PM GMT



To Whom it may concern,

07/08/2020

In regards to Case # DIR-2020-12-TOC-HCA.

I am appealing the decision for conditions of approval for items 6, 7 and 8

Items 6 and 8:

I am appealing the approval of reduced set backs and increased height.

A building of this size, especially in the middle of the block, would cause a huge shape shadow for the adjacent properties and be grossly out of proportion with the rest of the buildings on the block. I live across the street from the proposed development in a two story unit. The shape shadow and the size difference between my unit and the proposed development would be enormous, casting light shadow across my entire unit. Especially in the winter when light is at a minimum, grossly affecting my quality of life. Also, adjacent to the proposed development property is a one story house with a separate apt above the garage. The shape shadow and size difference between the two would be enormous. Cutting off half a days light for them as well. All buildings on the block are single level or two and three story buildings. I believe there was not enough thought to the impact of the street character and the neighbors when this was approved. Therefore, I believe there was an error in approving reduced set backs and increased height.

Item 7

I am appealing the reduced open space allowance.

There are not enough parks and or open space near our neighborhood. We have to drive several miles in either direction to gain access to open space or parks. Reducing the open space for the project would have a negative impact on the neighborhood as we already are lacking in open spaces to enjoy.

Joe Monteleone
10807 Blix Street #3
North Hollywood, Ca 91602
310-625-1312

Exhibit E1 – DIR-2020-12-TOC-HCA Original Determination

**DEPARTMENT OF
CITY PLANNING**

CITY PLANNING COMMISSION

DAVID H. J. AMBROZ
PRESIDENT

RENEE DAKE WILSON
VICE-PRESIDENT

CAROLINE CHOE
VAHID KHORSAND
JOHN W. MACK
SAMANTHA MILLMAN
MARC MITCHELL
VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

ROCKY WILES
COMMISSION OFFICE MANAGER
(213) 978-1300

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

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DEPUTY DIRECTOR
(213) 978-1274

<http://planning.lacity.org>

**DIRECTOR'S DETERMINATION
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM**

June 24, 2020

Property Owner/Applicant

Itay Mevorkah
10806 BLIX LLC
4802 Norwich Avenue
Sherman Oaks, CA 91403

Representative

Bijan Azadi
Bijan Azadi Architects
2825 Plaza Del Amo #179
Torrance, CA 90503

Case No. DIR-2020-12-TOC-HCA

CEQA: ENV-2020-13-CE

Location: 10806 West Blix Street

Council District: 2 - Krekorian

Neighborhood Council: NoHo

Community Plan Area: North Hollywood – Valley
Village

Land Use Designation: Medium Residential

Zone: R3-1

Legal Description: Arb 2, Lot 10, BLIX TRACT

Last Day to File an Appeal: July 9, 2020

DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

1. **Find** that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 21080 of the California Public Resources Code, and Article 19, Class 32 of the CEQA Guidelines;
2. **Approve** a 50% increase in density consistent with the provisions of the Transit Oriented Communities Affordable Housing Incentive Program along with the following three incentives for a qualifying Tier 1 project totaling 21 dwelling units, reserving two units, or nine percent (9%) of the total units, for Extremely Low Income Household occupancy:

- a. **Setbacks (Sides).** A one-foot, nine-inch (1'9") reduction to permit a side yard setbacks of five-feet, three-inches (5'3") in lieu of the minimum seven (7') feet required in the R3-1 Zone;
 - b. **Height.** A nine-foot, six-inch (9'6") increase in allowable height to permit a maximum height of 54 feet, six inches (54'6") in lieu of the 45 feet required in the R3-1 Zone;
 - c. **Open Space.** A 480 square-foot reduction to permit a minimum of 1,920 square feet of open space in lieu of the minimum 2,400 square feet required in the R3-1 Zone; and
3. **Adopt** the attached Findings.

CONDITIONS OF APPROVAL

Pursuant to Section 12.22-A.31 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," dated March 19, 2020 and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 21 residential units, including two On-site Restricted Affordable Units.
3. **Affordable Units.** 2 units shall be reserved as On-site Restricted Affordable Units designated for Extremely-Low Income Households, as defined by the State Density Bonus Law 65915 (C)(2).
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make two (2) units available to Extremely-Low Income Households, for sale or rental as determined to be affordable to such households by HCIDLA for a period of 55 years. In the event, the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of HCIDLA, and in consideration of the project's AB 2222 Determination. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA. Refer to the Density Bonus Legislation Background section of this determination.

6. **Setbacks.** The project is permitted the following reduced setbacks:
 - a. **Side Yards.** Five-foot, three-inch (5'3") side yards in lieu of the minimum seven (7) feet otherwise required.
7. **Open Space.** A minimum of 1,920 square feet of open space shall be permitted in lieu of the minimum 2,400 square feet otherwise required pursuant to LAMC 12.21 G,2.
8. **Height.** A maximum height of 54 feet, six inches (54'6") in lieu of the 45 feet required in the R3-1 Zone.
9. **Parking.**
 - a. **Automotive Parking.** The project shall provide a minimum of 17 automobile parking spaces.
 - b. **Bicycle Parking.** The project shall provide a minimum of 21 long-term bicycle parking spaces and four (4) short-term bicycle parking spaces. In the event the number of On-Site Restricted Affordable Units should increase or the composition of such units should change, then no modification of this determination shall be necessary and the number of bicycle parking spaces shall be re-calculated consistent with LAMC Section 12.21-A.16.
10. **Landscaping.** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and the Landscape Ordinance Guidelines.
11. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.

Administrative Conditions

12. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
13. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
14. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.

15. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
16. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
17. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
18. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
19. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
20. **Expedited Processing Section Fee.** Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
21. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.

- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

The subject property is composed of one level, regular-shaped 10,563.3 square-foot lot with approximately 62 feet of street frontage along the south side of Blix Street. The subject property

is zoned R3-1 within the North Hollywood – Valley Village Community Plan Area with a Medium Density Residential land use designation. The subject site has a Height District 1 designation that establishes a 45-foot height limit and restricts the Floor Area Ratio (FAR) of the development to a maximum of 3:1.

The project proposes the demolition of an existing single-family dwelling, originally constructed in 1939 and currently vacant, and a detached garage. The project proposes the subsequent construction, use, and maintenance of a four-story, 21-unit, residential building totaling 54'6" feet in height. The building will be constructed with four levels above grade, comprised of the first floor with lobby and at-grade parking (containing 17 vehicle parking spaces), and three stories of residential units above.

With an existing lot area totaling 10,563.3 square feet, the property is permitted to construct up to 13 units by-right. By setting aside 9% of the project's 21-unit total proposed density for Extremely Low Income Households, the project is eligible for a 50% density increase to a maximum of 21 total units. The project proposes 21 units with two (2) units set aside for Extremely Low Income Households. One (1) unit will be set aside as a market-rate manager's unit. The 18,080 square-foot building will be constructed having an FAR of 1.7:1.

The subject property is located approximately one-quarter mile from the intersection of Lankershim Boulevard and Riverside Drive, which is served by the intersecting Metro Local 501 (running east-west) and 224 (running north-south) bus lines with peak hour service intervals of less than 15 minutes. The project therefore qualifies for Tier 1 incentives per the Department of City Planning's TOC Guidelines.

Pursuant to the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines), the project is eligible for Base Incentives and three additional incentives. As base incentives, the project is eligible to increase the maximum allowable number of dwelling units permitted by 50%, increase the maximum allowable floor area ratio by 40%, and provide .5 parking spaces per bedroom. The project is in request of three additional incentives, for a total of six incentives. The additional incentives are a 25% reduction in the required side yard setbacks, an 11-foot increase in maximum height, and a 25% reduction in required open space.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM /AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the director finds that:

- a. *The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.*

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation

of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in the Transit Oriented Communities Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

Side Yards. The requested yard incentives, including a 25% reduction in the side yard setbacks, are expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentives allow the developer to reduce setback requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two units for Extremely Low Income Households, one unit set aside as a market-rate manager's unit, and 18-market rate units, for a total of 21 units.

Height. The requested height incentive, an increase of nine feet, six inches (9'6"), is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive will allow the developer to reduce open space requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two units for Extremely Low Income Households, one unit set aside as a market-rate manager's unit, and 18-market rate units, for a total of 21 units.

Open Space. The requested open space incentive, including a 25% reduction in the permitted open space area, is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive will allow the developer to reduce open space requirements so the permanent supportive housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve two units for Extremely Low Income Households, one unit set aside as a market-rate manager's unit, and 18-market rate units, for a total of 21 units.

- b. *The Incentive will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.*

There is no evidence that the proposed incentive will have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The proposed Project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the City's L.A. CEQA Thresholds Guide. These two documents establish guidelines and thresholds of significant impact, and provide the data for determining whether or not the impacts of a proposed Project reach or exceed those thresholds. Analysis of the proposed Project determined that it is Categorically Exempt from environmental review pursuant to Article 19, Class 32 of the CEQA Guidelines.

The Class 32 Exemption is intended to promote infill development within urbanized areas. The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of "Infill Projects" as further described in the analysis for Case No. ENV-2020-13-CE. The five conditions which the project must meet in order to qualify for the Class 32 Categorical Exemption are as follows: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. The project, as proposed, was determined to meet all five conditions. Furthermore, planning staff evaluated the exceptions to the use of Categorical Exemptions for the proposed ordinance listed in "CEQA Guidelines" Section 15300.2 and determined that none of the exceptions apply to the proposed project.

Therefore, there is no substantial evidence that the proposed Project will have a specific adverse impact on the physical environment, on public health and safety, or on property listed in the California Register of Historic Resources.

ADDITIONAL MANDATORY FINDINGS

2. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, which is categorized as an area of minimal flooding.
3. DETERMINED based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15300 and Article III, Section 1, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

TIME LIMIT – OBSERVANCE OF CONDITIONS

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25 A.2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles, West Los Angeles Development Services Center, or the Marvin Braude Constituent Service Center in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either by calling (213) 482-7077, (310) 231-2901, (818) 374-5050, or through the Department of City Planning website at <http://planning.lacity.org>. The applicant is further advised to notify any consultant representing you of this requirement as well.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

APPEAL PERIOD - EFFECTIVE DATE

The Determination in this matter will become effective after 15 days unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at www.cityplanning.lacity.org.

Planning Department public offices are located at:

Figueroa Plaza
201 North Figueroa Street,
4th Floor
Los Angeles, CA 90012
(213) 482-7077

Marvin Braude San Fernando
Valley Constituent Service Center
6262 Van Nuys Boulevard, Suite
251
Van Nuys, CA 91401
(818) 374-5050

West Los Angeles
Development Services Center
1828 Sawtelle Boulevard,
2nd Floor
Los Angeles, CA 90025
(310) 231-2901

Pursuant to LAMC Section 12.22A.25(f), only abutting property owners and tenants can appeal the Transit Oriented Communities Affordable Housing Incentive Program portion of this determination. Per the Density Bonus Provision of State Law (Government Code Section §65915) the Density Bonus increase in units above the base density zone limits and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per Section 12.22A.25 of the LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Note of Instruction Regarding the Notice of Exemption: Applicant is hereby advised to file the Notice of Exemption for the associated categorical exemption after the issuance of this letter. If filed, the form shall be filed with the County of Los Angeles, 12400 Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). More information on the associated fees can be found online here: <https://www.lavote.net/home/county-clerk/environmental-notices-fees>. The best practice is to go in person and photograph the posted notice in order to ensure compliance.

Pursuant to Public Resources Code Section 21167 (d), the filing of this notice of exemption starts a 40-day statute of limitations on court challenges to the approval of the project. Failure to file this

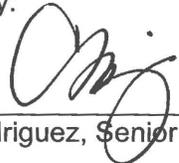
notice with the County Clerk results in the statute of limitations, and the possibility of a CEQA appeal, being extended to 180 days.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:


Blake Lamb, Principal City Planner

Reviewed by:


Claudia Rodriguez, Senior City Planner

Prepared by:


Andrew Jorgensen, AICP, City Planner
Andrew.jorgensen@lacity.org

Attachments:
Exhibit A: Architectural Plans

Exhibit E2 – DCP Housing Unit – Transit Oriented Communities Referral Form

PAR-2019-7733-TOC



REFERRAL FORMS:

TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM
LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, Building and Safety, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to filing an application for a case or building permit. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited. The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the approval date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

CITY STAFF USE ONLY

| | |
|---|-------------------------------|
| Referral To: <input checked="" type="checkbox"/> Planning DSC - Filing <input type="checkbox"/> HCIDLA <input type="checkbox"/> DBS <input type="checkbox"/> Funding <input type="checkbox"/> SB35 <input type="checkbox"/> Other: _____ | |
| NOTES: Applicant has a signed Tier Verification Form indicating the site eligible for Tier 1. The Tier Verification is set to expire on 01/04/2020. | |
| Planning Staff Name and Title Eric Claros - City Planner | Planning Staff Signature |
| Date Approved 12/27/2019 | Expiration Date 01/04/2020 |

I. Project Information – To be completed by applicant

1. PROJECT LOCATION/ ZONING

Project Address: 10806 Blix Street North Hollywood, CA 91602

Applicant Name and Phone/Email: Itay Mevorakh 310.704.7372 imhome@imhomela.com

Assessor Parcel Number(s): 2421022002

Community Plan: N. Hollywood- Valley Village Number of Lots: 1 Lot Size: 10,563.30 s.f.

Existing Zone: R3-1 Land Use Designation: Medium Residential

Specific Plan
 HPOZ
 DRB
 Enterprise Zone
 CRA
 CPIO

Q-condition/ D-limitation/ T-classification (please specify): _____

Other pertinent zoning information (please specify): _____

Location of Major Transit Stop (please specify the intersection or metro stop): Lankershim/Riverside

II. Project Eligibility – To be completed by DCP Housing Services Unit Staff

2. TRANSPORTATION QUALIFIERS

Qualifier #1 (rail name & stop, ferry terminal or bus #): Metro Local 224

Service Interval # 1: Northbound = 13.54 [420 min / # of trips]²

Service Interval # 2: Southbound = 12.35 [420 min / # of trips]

Qualifier #2 (rail name & stop, ferry terminal or bus #): Metro Local 501

Service Interval # 1: Westbound = 15 [420 min / # of trips]

Service Interval # 2: Eastbound = 14 [420 min / # of trips]

TOC Tier³: Tier 1 Tier 2 Tier 3 Tier 4 Planning Staff Initials: EAC

¹ Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

² This figure (420 minutes) is based on the total number of minutes during the peak hours of 6 am to 9 am as well as 3 pm to 7 pm.

³ If project is 100% affordable, it is eligible for the designated Tier to be increased by one.

III. Project Information (if applicant is requesting additional incentives) – To be completed by applicant

3. DESCRIPTION OF PROPOSED PROJECT

21 unit Apartment Building, 3 stories of a 1 story on grade garage

19 market rate units + 2 extremely low units = 21 total

Base incentives 1. FAR 2. Parking Reduction

Additional Incentives: 1. Height 2. Open Space 3. Side Yard

4. EXISTING USE

A. Describe Existing Development: 1 single family home with and ADU

| Characteristic of existing use Dwelling Unit (DU), Commercial/ Industrial, or Other | Existing # of Units or Non-Residential SF | Existing # of Units or Non-Residential SF To Be Demolished | Proposed ⁴ # of Units or Non-Residential SF |
|---|--|--|---|
| Guest Rooms | 0 | 0 | 0 |
| Studio | 0 | 0 | 0 |
| One Bedroom | 0 | 0 | 9 |
| Two Bedrooms | 1 | 1 | 12 |
| Three Bedrooms | 1 | 1 | 0 |
| _____ Bedrooms | 0 | 0 | 0 |
| Non-Residential Square Feet | | | |
| Other: | | | |

B. Previous Cases Filed

| | <u>(1)</u> | <u>(2)</u> | <u>(3)</u> |
|-----------------------|------------|------------|------------|
| Case Number(s): | none | none | none |
| Date Filed: | _____ | _____ | _____ |
| Date Approved: | _____ | _____ | _____ |
| End of Appeal Period: | _____ | _____ | _____ |
| Environmental No. | _____ | _____ | _____ |

5. TYPE OF APPLICATION

- Transit-Oriented Communities (per TOC Guidelines) with **Base Incentives** filed in conjunction with another discretionary approval.
- Transit-Oriented Communities (per TOC Guidelines) with **Additional Incentives** (please specify, max of three):
 - 1) side yard incentive 25 % tier 1
 - 2) height increase (11ft or one story) tier 1
 - 3) Open space reduction 20% tier 1
- If applicable, projects adhering to the Labor Standards in LAMC 11.5.11 may be granted two more **Additional Incentives** as listed in the TOC Guidelines (please specify):
 - 4) _____
 - 5) _____
- Site Plan Review per LAMC Sec. 16.05
- Specific Plan Project Permit Compliance per LAMC Sec. 11.5.7.C
- Community Design Overlay per LAMC Sec. 13.08
- Coastal Development Permit per LAMC Sec. 12.20.2 or 12.20.2.1
- Tract or Parcel Map per LAMC Sec. 17.00 or 17.50
- Other entitlements requested (please specify): _____

⁴ Replacement units, per AB 2556, shall be equivalent to the number of units and number of bedrooms of the existing development.

6. ENVIRONMENTAL REVIEW

- Environmental Review Not Required – Project is Ministerial.⁵ Please Explain: _____
- Not filed
- Filed (indicate case number): _____

7. HOUSING DEVELOPMENT PROJECT TYPE (please check all that apply):

- For Sale
- For Rent
- Extremely Low Income
- Very Low Income
- Low Income
- Moderate Income
- Market Rate
- Mixed Use
- Senior
- Chronically Homeless
- Other (please describe): _____

8. DENSITY CALCULATION

A. Base Density: Maximum density allowable per zoning

| | | |
|-----------------------------------|------------------|---|
| Lot size | <u>10,563.30</u> | s.f. (a) |
| Minimum area per dwelling unit | <u>800</u> | s.f. of lot area per unit (b) |
| Units allowed by right (per LAMC) | <u>13</u> | units (c) [c = a/b, round down to whole number] |
| Base Density | <u>14</u> | units (d) [d = a/b, round up to whole number] |

B. Maximum Allowable Density Bonus:

21 units (e)
 [e = d x 1.5 (Tier 1), 1.6 (Tier 2), 1.7 (Tier 3), or 1.8 (Tier 4);
 in RD Zones d x 1.35 (Tiers 1 and 2), 1.4 (Tier 3) or 1.45 (Tier 4);
 round up to whole number]

C. Proposed Project: Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org.⁶

| | <u>Total</u> | <u>HCD (State)</u> | <u>HUD (TCAC)</u> |
|--|---------------|---|-------------------|
| Market Rate | <u>18</u> | <u>N/A</u> | <u>N/A</u> |
| Managers Unit(s) - Market Rate | <u>1</u> | <u>N/A</u> | <u>N/A</u> |
| Extremely Low Income | <u>2</u> | <u>2</u> | |
| Very Low Income | | | |
| Low Income | | | |
| Moderate Income | | | |
| TOTAL # of Units Proposed | <u>21</u> (f) | | |
| TOTAL # of Affordable Housing Units | <u>2</u> (g) | | |
| Number of Density Increase Units | <u>8</u> | (h) [If f>c, then h=f-c; if f<c, then h= 0] | |
| Percent Density Increase Requested | <u>50%</u> | (i) [i = 100 x (f/d - 1)] | |
| Percent of Affordable Set Aside | <u>9%</u> | (j) [g/f, round down to a whole number] | |

Other Notes on Units: _____

⁵ Ministerial Projects (aka, "By-Right") do not require any discretionary Planning approvals.

⁶ HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development.

B. Qualification for Additional Incentives: (Please check only one)

Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

| Incentives | % Extremely Low Income | % Very Low Income | % Low Income |
|------------|---|------------------------------|------------------------------|
| One | <input type="checkbox"/> 4% | <input type="checkbox"/> 5% | <input type="checkbox"/> 10% |
| Two | <input type="checkbox"/> 7% | <input type="checkbox"/> 10% | <input type="checkbox"/> 20% |
| Three | <input checked="" type="checkbox"/> 11% | <input type="checkbox"/> 15% | <input type="checkbox"/> 30% |

C. Additional Incentives (Please check selected incentives as qualified according to Section 9B)

- | | <u>Required (per LAMC)</u> | <u>Proposed (per TOC)</u> |
|--|----------------------------|---------------------------|
| <input checked="" type="checkbox"/> (1) Yard/Setback (each yard counts as 1 incentive in Tiers 1 and 2; two yards count as 1 in Tiers 3 and 4) | | |
| <input type="checkbox"/> RAS 3 Yards (only for commercial zones – please specify numbers below, but only check this box) | | |
| <input type="checkbox"/> Front | _____ | _____ |
| <input type="checkbox"/> Rear | _____ | _____ |
| <input checked="" type="checkbox"/> Side (1) | 7' | 5.25' |
| <input type="checkbox"/> Side (2) | _____ | _____ |

| | Side and Rear Yards |
|---|---------------------------|
| Tier 1 | 25% |
| Tier 2 | 30% |
| Tier 3 | 30% or depth of two yards |
| Tier 4 | 35% or depth of two yards |
| When Abutting R1 or More Restrictive Zones | No Reductions Allowed |

- | | | |
|--|-------|-------|
| <input type="checkbox"/> (2) Lot Coverage | _____ | _____ |
| <input type="checkbox"/> (3) Lot Width | _____ | _____ |
| <input checked="" type="checkbox"/> (4) Height/ # of Stories | 45' | 54'6" |

| | Height |
|---|---|
| Tier 1 | 11 feet for one story |
| Tier 2 | 11 feet for one story |
| Tier 3 | 22 feet for two stories |
| Tier 4 | 33 feet for three stories |
| Lots with Height Limits of 45 feet or less | Second and third additional stories must be stepped-back at least 15 feet from any frontage |

Transitional Height (check one): Per LAMC Per TOC Guidelines¹¹ Not Applicable

- | | | |
|--|--------------------------|-------|
| <input checked="" type="checkbox"/> (5) Open Space | 2,400 | 1,920 |
| <input type="checkbox"/> (6) Density Calculation | _____ | _____ |
| <input type="checkbox"/> (7) Averaging (all count as 1 incentive – mark as many as needed) | | |
| <input type="checkbox"/> FAR | <input type="checkbox"/> | |
| <input type="checkbox"/> Density | <input type="checkbox"/> | |
| <input type="checkbox"/> Parking | <input type="checkbox"/> | |
| <input type="checkbox"/> Open Space | <input type="checkbox"/> | |
| <input type="checkbox"/> Vehicular Access | <input type="checkbox"/> | |
| <input type="checkbox"/> (8) Public Facility Zone | _____ | _____ |

TOTAL # of Additional Incentives Requested: 3

Other Incentive Notes: _____

¹¹ Please provide elevations that show the 45 degree angle as allowed by the TOC guidelines to determine the allowed height.

11. COVENANT:

All Transit Oriented Communities projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing and Community Investment Department's Occupancy Monitoring Unit **before** a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org

12. REPLACEMENT UNITS:

AB 2222, as amended by AB 2556, requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: *(Answer the following with "yes" if any of these items apply to what is **currently existing** on the site or "no" if they do not. Write in N/A if the item is not applicable to your project)*

- A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? n/a
- B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? n/a
- C. Units subject to the Rent Stabilization Ordinance not already listed above? yes
- D. Units that have been vacated or demolished in the last 5 years? n/a
- E. Per AB 2556, are the number of replacement units and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? yes

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with Building and Safety.

Exhibit E3 – HCIDLA SB330 Form



Eric Garcetti, Mayor
Rushmore D. Cervantes, General Manager

DATE: April 28, 2020

TO: 10806 Blix, LLC a California limited liability company, Owner

FROM: Marites Cunanan, Senior Management Analyst II *MCunanan*
Los Angeles Housing and Community Investment Department

SUBJECT: **Housing Crisis Act of 2019 (SB 330)**
(TOC) Replacement Unit Determination
RE: 10804 W. Blix St., North Hollywood, CA 91602
10806 W. Blix St., North Hollywood, CA 91602

Based on the Application for a Replacement Unit Determination (RUD) submitted by 10806 Blix, LLC, a California limited liability company (Owner) for the above referenced property located at 10804-10806 West Blix Street, (APN # 2421-022-002) (Property), the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that two (2) units are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 330).

PROJECT SITE REQUIREMENTS:

SB 330 prohibits the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units as specified below. The replacement requirements below are applicable only to those proposed housing development projects that submit a complete application pursuant to California Government Code Section 65943 to the Department of City Planning on or after January 1, 2020.

Replacement of Existing Residential Dwelling Units.

The proposed housing development project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the past 5 years.

Replacement of Existing or Demolished Protected Units.

The proposed housing development project must also replace all existing or demolished "Protected Units." Protected Units are those residential dwelling units that are or were within the 5 years prior to the owner's application for a Replacement Unit Determination: (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity's valid exercise of its police power within the 5 past years, (3) **occupied by lower or very low income households (an affordable Protected Unit)**, or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the income level of the occupants (i.e. W-2 forms, tax return, pay stubs etc.). In the absence of occupant income documentation, affordability will default to the percentage of extremely low, very low, and low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which is presently at 32% extremely low income, 19% very low income and 19% low income for Transit Oriented communities (TOC) projects and 51% very low income and 19% low income for Density Bonus projects. The remaining 30% of the units are presumed above-low income and if subject to the Rent Stabilization Ordinance ("RSO"), must be replaced in accordance with the RSO. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Relocation, Right of Return, Right to Remain for Occupants of Protected Units.

SB 330 also provides the right of first refusal for comparable units (i.e. same bedroom type) in the owner’s proposed new housing development to occupants of Protected Units. Therefore, for occupied units, the replacement units must be of the same bedroom type of the units demolished. The comparable replacement units must be provided at a rent or sales price affordable to the same or lower income category. Occupants of Protected Units also are entitled to receive relocation to state or local law, whichever provides greater assistance and the right to remain in their unit until 6 months before the start of construction.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by HCIDLA on March 12, 2020, the Owner plans to construct a new, three (3)-story apartment building project pursuant to the Transit Oriented Communities (TOC) guidelines.

STATUS OF PROJECT SITE/PROPERTY:

Owner submitted an Application for a RUD for the Property on March 16, 2020. In order to comply with the required **10** year look back period, HCIDLA collected and reviewed data from March 2010 to March 2020.

Review of Documents:

Pursuant to the Owner’s Grant Deed, the Property was acquired on or around July 30, 2019.

Google Earth, Google Street View, and an internet search on the Property all show a front residential structure and a second rear residential structure.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database indicate a use code of “0200 – Residential – Double, Duplex. Or Two Units – 4 Stories or Less.”

The Los Angeles Department of Building and Safety database indicates that the Owner has applied for a Demolition Permit (#19019-20000-06058) on December 9, 2019. The Owner has not applied for a new Building Permit.

REPLACEMENT UNIT DETERMINATION:

The Existing Residential Dwelling Units at the Property: (See Attachment “A” for additional information).

| ADDRESS | BEDROOM TYPE | “PROTECTED?” | BASIS OF “PROTECTED” STATUS |
|-------------------|---------------------|---------------------|------------------------------------|
| 10804 W. Blix St. | 2 Bedroom | Yes | Default affordable (no documents) |
| 10806 W. Blix St. | 3 Bedroom | Yes | RSO |
| Total: | 2 Units: | | |

On April 6, 2020, tenant letters addressed to “Occupant” were mailed to property. On or around April 21, 2020, HCIDLA received tenant letters back labeled: “Unable to forward, return to sender.”

No income documents were provided for these unit(s). Pursuant to (SB 330), where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the CHAS database shows 32% at extremely low income, 19% at very low income,

and 19% at low income for TOC projects. The balance of these unit(s) (i.e. 30 %) are presumed to have been occupied by persons and families above-lower income.

| | | |
|--|---------|---|
| Number of Existing Residential Dwelling Units and Protected Units within five (5) years of Owner’s application: | | 2 |
| Number of Protected Units Elissed within the last (10) years: | | 1 |
| Number of Affordable Replacement Units required per CHAS: | | 2 |
| 2 Units x 70% | 2 Units | |
| 32% Extremely Low | 1 Unit | |
| 19% Very Low | 1 Unit | |
| 19% Low | 0 Units | |
| Market Rate RSO units | 0 Units | |
| Number of Unit(s) presumed to be above-lower income subject to replacement: | | 0 |

For Rental:

No income documents were provided for these unit(s). Pursuant to CHAS, two (2) unit(s) need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households and one (1) unit restricted to Very Low Income Households.

Please note that all the new units may be subject to RSO requirements unless an RSO Exemption is filed and approved by the RSO Section. This determination is provisional and subject to verification by the RSO Section.

This SB330 determination only applies if the proposed project is a rental DB project and NOT condominiums. In the event the project changes to condominiums, the owner needs to request a SB330 amendment to reflect 100% replacement of the units. In addition, if the project is changed from DB to Transit Oriented Communities (TOC) or vice-versa, a SB330 amendment will also be required.

If you have any questions about this RUD, please contact Richard Truong at (213) 808-8846, or richard.s.truong@lacity.org.

NOTE: This determination is provisional and is subject to verification by HCIDLA’s Rent Division.

cc: Los Angeles Housing and Community Investment Department File
 10806 Blix, LLC a California limited liability company, Owner
 Planning.PARP@lacity.org, Department of City Planning

MAC:rt