

MOTIVATE

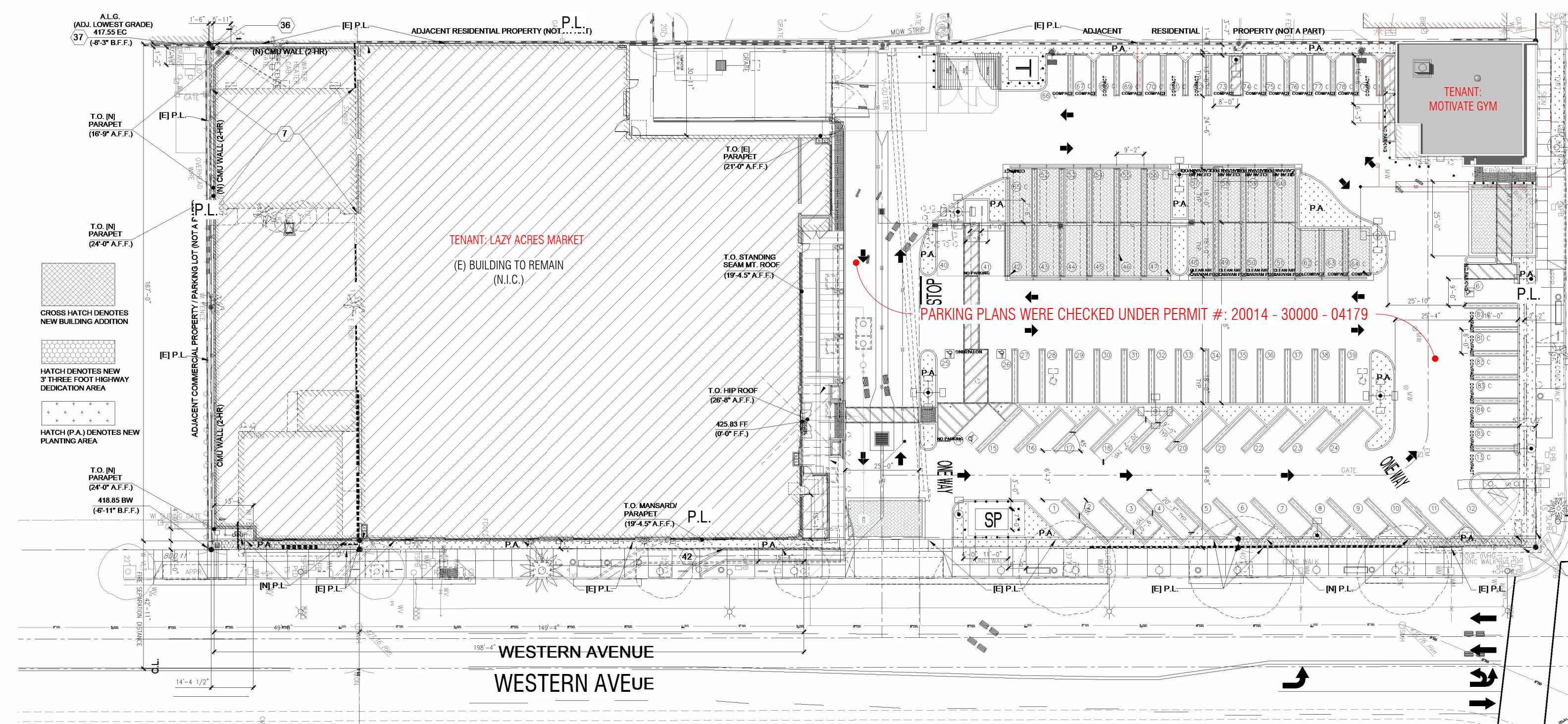
5518 FRANKLIN AVE | HOLLYWOOD, CA 90028

## VERMONT WESTERN STATION NEIGHBORHOOD AREA PLAN (SNAP)

### VICINITY MAP



### KEY PLAN



1 KEY PLAN SNAP  
1/32" = 1'-0"

### PROJECT INFORMATION

PROJECT ADDRESS:	5518 FRANKLIN AVE, HOLLYWOOD CA
LEGAL ADDRESS:	LOT 1 OF TRACT 63625-C MAP BOOK 1384 PAGE 1 OF 4
PROJECT DESCRIPTION:	THE SCOPE OF THIS SUBMISSION CONSISTS OF COMMERCIAL TENANT IMPROVEMENT OF 1537 SF OF A GROUP CARDIO GYM. CHANGE OF USE FROM DRY CLEANER TO GYM
TYPE OF CONSTRUCTION:	IIIB
BUILDING OCCUPANCY:	8
RENTABLE AREA:	1740 SF
AREA IN SCOPE:	1537 SF (INTERIOR TENANT IMPROVEMENT)
BUILDING NO. OF STORIES:	SINGLE STORY STAND-ALONE BUILDING
PROJECT LOCATION:	
DEFERRED SUBMITTAL:	MEP, VISUAL AND AUDIBLE ALARMS, AND OTHER FIRE PROTECTION ITEMS
BUILDING LIFE SAFETY INFO:	SPRINKLERS, VISUAL AND AUDIBLE ALARMS NOT PROVIDED
ADDITIONAL REQUIREMENTS:	1. THE CONTRACTOR SHALL REPLACE ALL MISSING FIREPROOFING AND FIRESTOPPING. THE CONTRACTOR SHALL REPLACE ALL FIREPROOFING AFFECTED BY NEW CONSTRUCTION WITH FIREPROOFING TO MATCH BASE BUILDING STANDARDS, APPROVED EQUAL, OR AS REQUIRED TO MATCH THE EXISTING. 2. ALL INTERIOR FINISHES SHALL COMPLY WITH THE REFERENCED CODE REQUIREMENTS FOR FLAMMABILITY AND SMOKE DEVELOPED RATINGS AS WELL AS TOXICITY. WALL AND CEILINGS: PER ASTM E84, CLASS A FLAME SPREAD: 0 - 25 SMOKE DEVELOPMENT: 0 - 200 FLOORING: ASTM E648, CLASS 1 CRITICAL RADIANT FLUX OF NOT LESS THAN 0.45 WATTS PER SQUARE CENTIMETER 3. ALL DOORS TO BE 36" WIDE MIN., 34" MIN. CLR. IN OPEN POSITION (U.O.N.).

### ZONING INFORMATION

ZONING	C4-1D (Subarea B of the SNAP - C1.5)
PROPERTY TYPE	GYM
APN	5544004035
FIRE SPRINKLER	NO
AREA IN SCOPE	1740 SF
TYPE OF CONSTRUCTION	IIIB
NUMBER OF STORIES	1
VERY HIGH FIRE HAZARD SEVERITY ZONE	NO
BLDG LEGAL ADDRESS	LOT 51 OF HOLLYWOOD TERRACE TRACT MAP BOOK M B 3-98
LOT AREA (SF)	17,004.5

### BUILDING INFORMATION (NO CHANGE AT EXTERIOR)

	EXISTING	PROPOSED
Building Area (SF)	1740	1740
FAR	0.1:1	0.1:1
HEIGHT	17'-8"	17'-8"

### SHEET INDEX

SNAP SHEET LIST	
Sheet Number	Sheet Name
GN-1.0A	PROJECT INFORMATION
GN-2.0	PLOT PLAN
GN-2.1	(E) PARKING ANALYSIS (FOR REFERENCE ONLY)
GN-2.7	EXISTING PHOTOS
A-1.0	EXISTING & PROPOSED PLAN
A-3.0	EXTERIOR ELEVATIONS
A-4.0	ROOF PLAN

### CONTACT INFORMATION

ARCHITECT	CLIENT/TENANT	STRUCTURAL ENGINEER	OWNER REP
STUDIO 3AM	MOTIVATE STUDIO	A-S ENGINEERS	CGI PLUS
NUO LIU-HOANG, AIA	CEREZA RICHESON	JOE FLEISCHER	DAVID ESTRADA
5665 W. WILSHIRE BLVD #1139	213.925.7164/cerezaricheson@gmail.com	310.908.3446/joefleischer@hotmail.com	618.438.0467/DEstrada@CGIPlus.com
LOS ANGELES, CA 90036			
323-868-3187 / EVA@STUDIO0300.COM			
MEP ENGINEER			
AC ENGINEERING			
PJ TOURIGNY, P.E.			
28001 SWIFT DR, ST 104			
VALENCIA, CA 91355			
818.554.7496/aceng@sbcglobal.net			

### APPLICABLE CODES

2020 LOS ANGELES BUILDING CODE
2020 LOS ANGELES FIRE CODE
2020 CALIFORNIA ENERGY CODE
2020 LOS ANGELES MECHANICAL CODE
2020 LOS ANGELES PLUMBING CODE
2020 LOS ANGELES ELECTRICAL CODE
2020 LOS ANGELES GREEN BUILDING STANDARDS CODE



### MOTIVATE GYM

### TENANT IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



2	3	SNAP CLEARANCE	8/14/2023
1	1	PLAN CHECK SUBMITTAL 1	6/1/2023

Delta	Issue	Description	Date
Author	Checker		
Drawn	Check	Owner Approval	
MOTIVATE STUDIO		1/32" = 1'-0"	
Job No.		Scale	

### PROJECT INFORMATION

Title  
**GN-1.0A**  
Sheet

NOT FOR CONSTRUCTION





MOTIVATE GYM

TENANT IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



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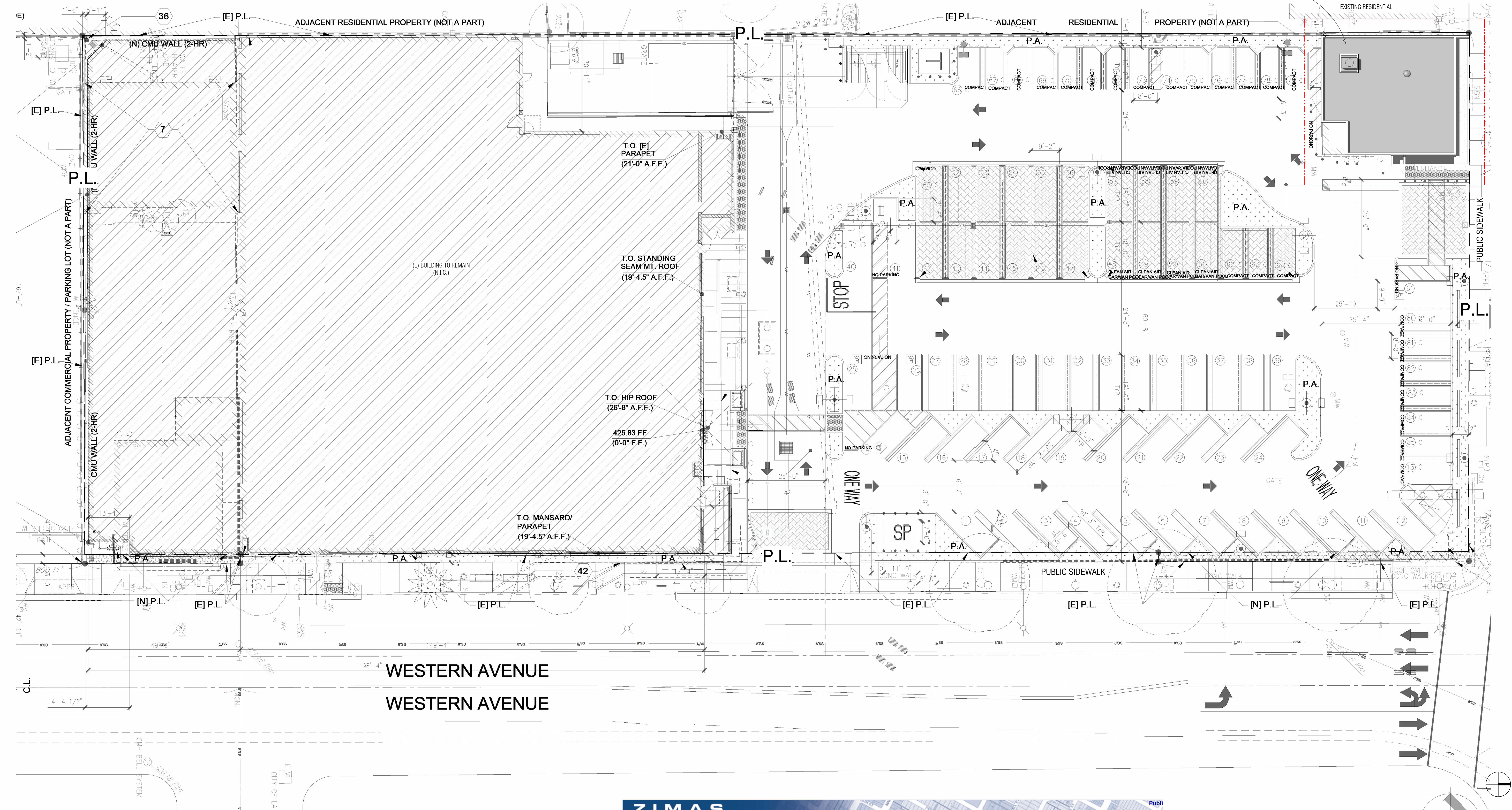
2 3 SNAP CLEARANCE 8/14/2023

Delta	Issue	Description	Date
Author	Checker		
Drawn	Check	Owner Approval	
MOTIVATE STUDIO		As indicated	
Job No.		Scale	

PLOT PLAN  
Title  
GN-2.0  
Sheet

NOT FOR CONSTRUCTION

SCOPE OF WORK-5518 FRANKLIN AVE  
(INTERIOR TENANT IMPROVEMENT ONLY, NO EXTERIOR WORK)  
PREVIOUS USE - DRY CLEANER;  
PROPOSED USE - GYM



1 PLOT PLAN  
1/16" = 1'-0"

BUILDING INFORMATION (NO CHANGE AT EXTERIOR)		
	EXISTING	PROPOSED
Building Area (SF)	1740	1740
FAR	0.1:1	0.1:1
HEIGHT	17'-8"	17'-8"



SITE VEHICULAR AND BICYCLE PARKING

PARKING LOT DESIGN TO COMPLY WITH HB / P / 2C / 2002-001  
ENTERPRISE ZONE: 1/500;  
PARKING STALLS PROVIDED: 1537SF/500 = 3 REQUIRED  
PARKING STALLS PROVIDED ON SITE: 85 SPACES

Existing Parking Schedule				
COMPACT	STANDARD	ACCESSIBL E	CLEAN	TOTAL
24	49	3+1 VAN	8	85

BICYCLE PARKING ANALYSIS

RETAIL: 1/2000SF  
1537SF/2000 = 1 REQUIRED  
BIKE PARKING PROVIDED ON SITE:  
(4) SHORT TERM  
(4) LONG TERM



PARKING PLANS WERE CHECKED UNDER PERMIT #: 20014 - 30000 - 04179

LEGAL DESCRIPTION:

HARD CORNER (APN 5544-004-025): LOT 51 OF HOLLYWOOD TERRACE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 98, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

RITE AID BUILDING PARCEL (APN 5544-004-032):

PARCEL 1: THE NORTH 60 FEET OF LOT 50 OF HOLLYWOOD TERRACE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 98 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2: THE NORTH 50 FEET OF LOT 49 AND THE SOUTH 10 FEET OF LOT 50 OF HOLLYWOOD TERRACE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 98 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3: LOT 67 OF ORDER AND HAMILTON'S GARFIELD PLACE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 190 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4: LOT 66 OF HOLLYWOOD TERRACE NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 67 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 5: LOT 65 OF ORDER & HAMILTON'S GARFIELD PLACE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 190 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BACK PARCEL (APN 5544-004-015): LOT 64 OF ORDER AND HAMILTON'S GARFIELD PLACE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 190, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

GENERAL NOTES:

- A. PRIOR TO PROCEEDING WITH ROUGH GRADING, CONTRACTOR TO COORDINATE CIVIL GRADES WITH ARCHITECTURAL GRADES IN BUILDING DISCIPLINE. COMPARE TOP OF FINISH GRADES AT PER METER OF BUILDINGS, FLAT WORK, AND ADJOINING SITE AREAS. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- B. BUILDING PADS TO BE ROUGH GRADED AND COMPACTED PER THE SOILS REPORT AS PART OF THE SITE WORK. PAD GRADES TO EXTEND 10' OF BEYOND BUILDING LIMIT LINE INCLUDING ADJOINING SIDEWALKS AND CONCRETE SLABS.
- C. RE: CIVIL DWGS. FOR PAINTED PAVEMENT MARKINGS AND STRIPING, ADDITIONAL DIMENSIONS AND INFORMATION.
- D. PROVIDE PIPE BOLLARDS AT ABOVE GROUND UTILITY ENCLOSURES AS REQUIRED BY GOVERNING AGENCIES. VERIFY EXACT NUMBER, TYPE AND LOCATION WITH UTILITY COMPANIES.
- E. ON-SITE PROTECTION FACILITIES (I.E. HYDRANTS, SPRINKLER SYSTEMS, ETC.) SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO OCCUPANCY.
- F. ALL SITE UTILITIES STUBBED TO 5'-0" MINIMUM FROM BUILDING FACE, TYPICAL, UNLESS OTHERWISE NOTED.
- G. VEHICULAR ACCESS DRIVES MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
- H. PLANS SHOWING UNDERGROUND PIPING OF ON-SITE HYDRANTS AND SPRINKLER SYSTEMS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
- I. THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE HYDRANT AND SPRINKLER SYSTEM SHALL BE WITNESSED BY THE PROPER FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NO LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS.
- J. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS. ACCESS TO DRIVEWAYS TO BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- K. ALL MATERIALS AND WORKMANSHIP FOR PUBLIC FACILITIES TO CONFORM TO CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- L. CONTRACTOR SHALL SWEEP ENTIRE SITE OR PORTIONS OF SITE TO BE USED BY THE PUBLIC AND SURROUNDING RIGHT-OF-WAY AREA OF THE STREET PRIOR TO USE BY THE GENERAL PUBLIC.
- M. STERILIZE AND REMOVE ALL VEGETATION IN CRACKED ASPHALT, SIDEWALKS, ETC. SCHEDULED TO REMAIN.
- N. FOR EXTENT OF OFF-SITE WORK, REFERENCE CIVIL DRAWINGS PREPARED BY CIVIL ENGINEER WITHIN THIS SITE DEVELOPMENT SET.
- O. REFERENCE CIVIL PLANS FOR ADDITIONAL SITE DIMENSIONS AND INFORMATION.
- P. AT NO TIME SHALL CAMPER, TRAILER, MOTOR HOME, OR ANY OTHER VEHICLE BE USED AS LIVING OR SLEEPING QUARTERS ON THE CONSTRUCTION SITE. ALL SUCH VEHICLES SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORK DAY.
- Q. FINAL INSPECTION BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO OCCUPANCY. CONTRACTOR TO NOTIFY PLANNING WHEN CALLING FOR FINAL BUILDING DEPARTMENT INSPECTION.
- R. PORTABLE TOILETS USED DURING CONSTRUCTION SHALL BE KEPT AS FAR AS POSSIBLE FROM EXISTING RESIDENCES AND SHALL BE EMPTIED ON A REGULAR BASIS AS NECESSARY TO PREVENT ODOR.
- S. THE SITE SHALL BE KEPT FREE OF FIRE HAZARDS FROM THE START OF CONSTRUCTION TO FINAL INSPECTION.
- T. THE DEVELOPMENT SHALL MEET ALL REQUIREMENTS OF THE LOCAL FIRE CODE.
- U. VERIFY LOCATION OF POST INDICATOR VALVE AND DETECTOR CHECK VALVE. COORDINATE WITH CIVIL.
- V. VERIFY ALL (E) UNDERGROUND UTILITIES RELATED ITEMS PRIOR TO CONSTRUCTION & PROTECT FROM DAMAGE AS REQUIRED. ANY UNDERGROUND ITEM DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO APPROVED CONDITION BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- W. DEMOLITION SHALL FULLY COMPLY WITH ALL AGENCY REQUIREMENTS.
- X. PROVIDE TEMPORARY SHORING AS REQUIRED.
- Y. ALL SITE UTILITY (ON-SITE/OFF-SITE) TRENCHING, BACK FILLING AND FINISH SHALL BE BY GC. GENERAL CONTRACTOR TO COORDINATE WITH UTILITY AGENCIES AS REQUIRED.

SITE VEHICULAR AND BICYCLE PARKING INFO:

PARKING COUNT BREAKDOWN:

EXISTING PARKING = 15 SPACES  
ADDITIONAL PARKING FOR RAMP = 2 SPACES  
TOTAL AVAILABLE (EXISTING) = 17 SPACES  
TOTAL PARKING PROVIDED = 17 SPACES  
STANDARD STALLS INCLUDING ADA = 11 SPACES  
\* COMPACT STALLS = 6 SPACES  
DESIGNATED PARKING - 17 (16) PARKING SPACES + 1 SPACES REQUIRED: PROVIDE DESIGNATED PARKING FOR ANY COMBINATION OF LOW-BAYING, FUEL EFFICIENT AND CARPOOL/VAN POOL SPACES  
TOTAL DESIGNATED PROVIDED = 16 SPACES

VEHICULAR PARKING ANALYSIS:

PARKING LOT DESIGN TO COMPLY WITH 18 P.C. 2022-01  
NEW (H) WHITE STRIPES, (2) COATS MIN. DOUBLE STRIPED, SEE CIVIL DWGS.  
ENTERPRISE ZONE: 1500'  
PARKING REQUIRED: 13,329 SF = 46.88 + 14 REQUIRED  
DESIGN: 12,000 SF (FOR RETAIL)  
8,220 SF 2000 + 4.11  
(H) SHORT TERM PARKING (30)  
(H) LONG TERM PARKING (30)

(N) PARKING STALLS REQUIRED: 13,329 SF = 46.88 + 14 REQUIRED  
(N) PARKING STALLS REQUIRED: 13,329 SF = 46.88 + 14 REQUIRED  
TOTAL PARKING REQUIRED: 13 REQUIRED  
TOTAL PARKING PROVIDED: 16 PROVIDED

# EXISTING	# NEW	# REQUIRED	# PROVIDED
9	26	32	26
44	5	3	48
3	1	6	3+1 VAN
0	0	0	0

SUMMARY TABLE

SITE AREA	74,807.65 SF (1.72 AC)
BUILDING AREA (FOOTPRINT)	33,510 SF
RECEIVING AREA + EXPANSION	31,270 SF
FLOOR AREA RATIO (FAR)	31,270 / 74,807.65 = 0.418
SITE FLOORING AREA	14,596 SF
LANDSCAPE AREA (FOOTPRINT)	1,193,348 SF
LANDSCAPE AREA PROVIDED	1,193,348 SF
LANDSCAPE AREA REQUIRED	1,193,348 SF
ADJ. DISTRICT	SOUTHEAST ADJ.

BICYCLE PARKING ANALYSIS:

REQUIREMENT:  
12000 SF (FOR RETAIL)  
8,220 SF 2000 + 4.11  
(H) SHORT TERM PARKING (30)  
(H) LONG TERM PARKING (30)

NOTES:  
1. SEE SHEET ASP100 FOR LOCATION OF BICYCLE PARKING.  
2. SEE CIVIL DRAWINGS FOR BICYCLE STORAGE SPACES & DETAILS.  
3. EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM SIX FEET LENGTH, BICYCLE PARKING INSTALLED VERTICALLY SHALL BE A MINIMUM OF 4 FEET DEEP AND 4 FEET IN HEIGHT.  
4. FOR SINGLE-TIERED BICYCLE PARKING, MINIMUM HEADROOM OF 7 FEET SHALL BE PROVIDED.  
5. FOR LONG-TERM BICYCLE PARKING (30) PROVIDE A MINIMUM OF 8 INCHES WIDE STALL. BICYCLE PARKING STALL SHALL PROVIDE A MEANS OF SECURING THE BICYCLE FRAME AT TWO POINTS TO A SECURED ANCHORED RACK. EXCEPT IN THE CASE OF LOCKERS AND COMMERCIAL OPERATED ATTENDED BICYCLE PARKING, INDIVIDUAL BIKES SHALL BE SECURED BY THE USER TO THE ANCHOR WITH BICYCLE LOCKS OR BICYCLE CAGES THAT ALLOW BICYCLES TO BE LOCKED TO EITHER SIDE OF THE RACK SHALL BE SPACED A MINIMUM OF 30 INCHES ON CENTER.

6. FOR SHORT TERM BICYCLE PARKING (30) PROVIDE A MINIMUM OF 7 FEET WIDE STALL. INDIVIDUAL BIKES INSTALLED SIDE BY SIDE TO ONE ANOTHER THAT ALLOWS BICYCLES TO BE LOCKED TO EITHER SIDE OF THE RACK SHALL BE SPACED A MINIMUM OF 30 INCHES ON CENTER.

7. PROVIDE ADEQUATE LIGHTING TO INSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 12.21(A)(5).

SITE PLAN KEYNOTES:

- (1) (E) CONCRETE PAD MOUNT TRANSFORMER AND PAD TO BE REMOVED AND REPLACED WITH NEW. SEE ELECTRICAL DRAWINGS.
- (2) NEW ELECT. TRANSFORMER & CONC. PAD BY G.C.
- (3) (N) PARKING LOT LIGHT STANDARDS.
- (4) NEW CONCRETE GAS METER PAD AND GAS METER LOCATION W/ BOLLARDS; SEE PLUMBING DWGS.
- (5) NEW GREASE INTERCEPTOR; SEE PLUMBING DWGS.
- (6) NEW GUTTER / TRENCH DRAIN; SEE CIVIL DWGS.
- (7) EXISTING (2) BUILDINGS (TOTAL 3,609 SF) TO BE REMOVED AND REPLACED WITH AN ADDITION / EXPANSION OF (6,106 SF + 114 SF = 6,220 SF) TO THE EXISTING TO BE VACATED (RITE AID 23,329 SF) BUILDING. FOR A TOTAL OF 31,548 SF; SEE CIVIL DRAWINGS. DEMOLITION OF (E) BUILDINGS UNDER SEPARATE DEMOLITION PERMIT.
- (8) (E) TO BE VACATED (RITE AID) BUILDING WALL TO REMAIN.
- (9) (N) PROPOSED "ASR" AUTOMATIC SPRINKLER RISE LOCATION.
- (10) (N) PROPOSED FIRE DOUBLE DETECTOR CHECK AND PDC LOCATION; SEE CIVIL DWGS.
- (11) REPLACE EXISTING ELECTRICAL METER / MAIN WITH NEW; SAME LOCATION; SEE ELECT. DWGS.
- (12) (E) SITE ELECTRICAL LIGHTS TO BE REMOVED.
- (13) NEW 3" HIGH MASONRY SCREEN WALL; SEE CIVIL DWGS.
- (14) (E) LIGHT STANDARD AND POWER POLE TO REMAIN; PROTECT IN PLACE.
- (15) (E) DRIVEWAY AND CURB CUT TO BE REMOVED AND MODIFIED; SEE CIVIL DWGS.
- (16) NEW PARKING STRIPING, INTERIOR DIAGONAL STRIPING 3'-0" O.C.; PAINT WHITE.
- (17) PATH OF TRUCK TRAVEL.
- (18) NEW STOP SIGN.
- (19) NEW PAINTED DIRECTIONAL ARROWS / STOP SIGN.
- (20) ACCESSIBLE PARKING: PAINT BLUE & ADA PARKING BOLLARD SIGN.
- (21) NEW SURVEY AND STRIPING.
- (22) NEW 6" WIDE ACCESSIBLE STRIPING: INTERIOR DIAGONAL STRIPING 3'-0"; PAINT BLUE.
- (23) TRUNCATED DOMES, RECESSED PAVERS, TRAFFIC YELLOW; SEE CIVIL DWGS.
- (24) (E) CONCRETE CURB / SIDEWALK / HARDSCAPE TO BE REMOVED AND REPLACED WITH (N) CONCRETE ON-SITE SIDEWALK; SEE CIVIL DRAWINGS.
- (25) EXTERIOR POLE SIGN TO BE REMOVED; RELOCATED UNDER SEPARATE PERMIT.
- (26) PAINT CURBS RED; NO PARKING.
- (27) NEW DOCK BUMPERS AND EDGE OF DOCK.
- (28) EXISTING FENCE TO BE REMOVED.
- (29) NEW DRIVEWAY; SEE CIVIL DWGS.
- (30) (E) STREET LIGHT STANDARD TO BE RELOCATED; SEE CIVIL DWGS.
- (31) (N) COVERED MASONRY TRASH ENCLOSURE WITH METAL GATES, AND CONCRETE APRON, FINISHES TO MATCH BUILDING; SEE CIVIL DWGS. AND SHEET A401.
- (32) (N) HAIL-AWAY TRASH COMPACTOR: TC-30 TRASH-N-CASH.
- (33) (N) OFF-SITE SCOPE OF WORK, INCLUDING NEW CONCRETE SIDEWALK; STREET TREE REPLACEMENTS, TREE WELLS, BENCHES, BIKE RACKS; SEE CIVIL DRAWINGS.
- (34) (E) PAD BUILDING AND FENCING TO BE REMOVED; SEE CIVIL DWGS. DEMOLITION OF (E) BUILDINGS UNDER SEPARATE DEMOLITION PERMIT.
- (35) DOUBLE STRIPED PARKING STRIPING, PER LAMC 12.6.5.11 TYPICAL.
- (36) EXISTING TELECOMMUNICATION POLE TO REMAIN; PROTECT IN PLACE; MAINTAIN MINIMUM 3' CLEAR BETWEEN POLE AND BUILDING.
- (37) ADJACENT LOWEST GRADE ELEVATION: 417.55 FC.
- (38) LONG TERM BIKE PARKING: BIKE LOCKER FOR (2) BIKES; (2) TYPICAL: SEE CIVIL DRAWINGS AND BUILDING SUMMARY #7 / SHEET T-1.
- (39) SHORT TERM BIKE PARKING: BIKE LOOP FOR (2) BIKES; (2) TYPICAL: SEE CIVIL DWGS. AND BUILDING SUMMARY #7 / SHEET T-1.
- (40) (E) PYLON SIGN TO REMAIN.
- (41) (E) PAD BUILDING TO REMAIN.
- (42) DASHED LINES DENOTES NEW ROOF STRUCTURE; FOR ADDITIONAL ROOF.
- (43) (N) LADWP SWITCH PAD (7X11).
- (44) POUNCHED PATTERN DENOTES PERMEABLE PAVERS FOR BMP / STORM WATER INFILTRATION; SEE CIVIL DWGS.
- (45) RELOCATED ELECTRICAL METER; SEE ELECT. DWGS.

1841 N Western Ave



20014 - 30000 - 04179

City of Los Angeles - Department of Building and Safety  
APPLICATION FOR BUILDING PERMIT  
AND CERTIFICATE OF OCCUPANCY

Project Name: 1841 N Western Ave  
Project Address: 1841 N Western Ave  
Project City: Los Angeles, CA 90012  
Project County: Los Angeles  
Project State: CA

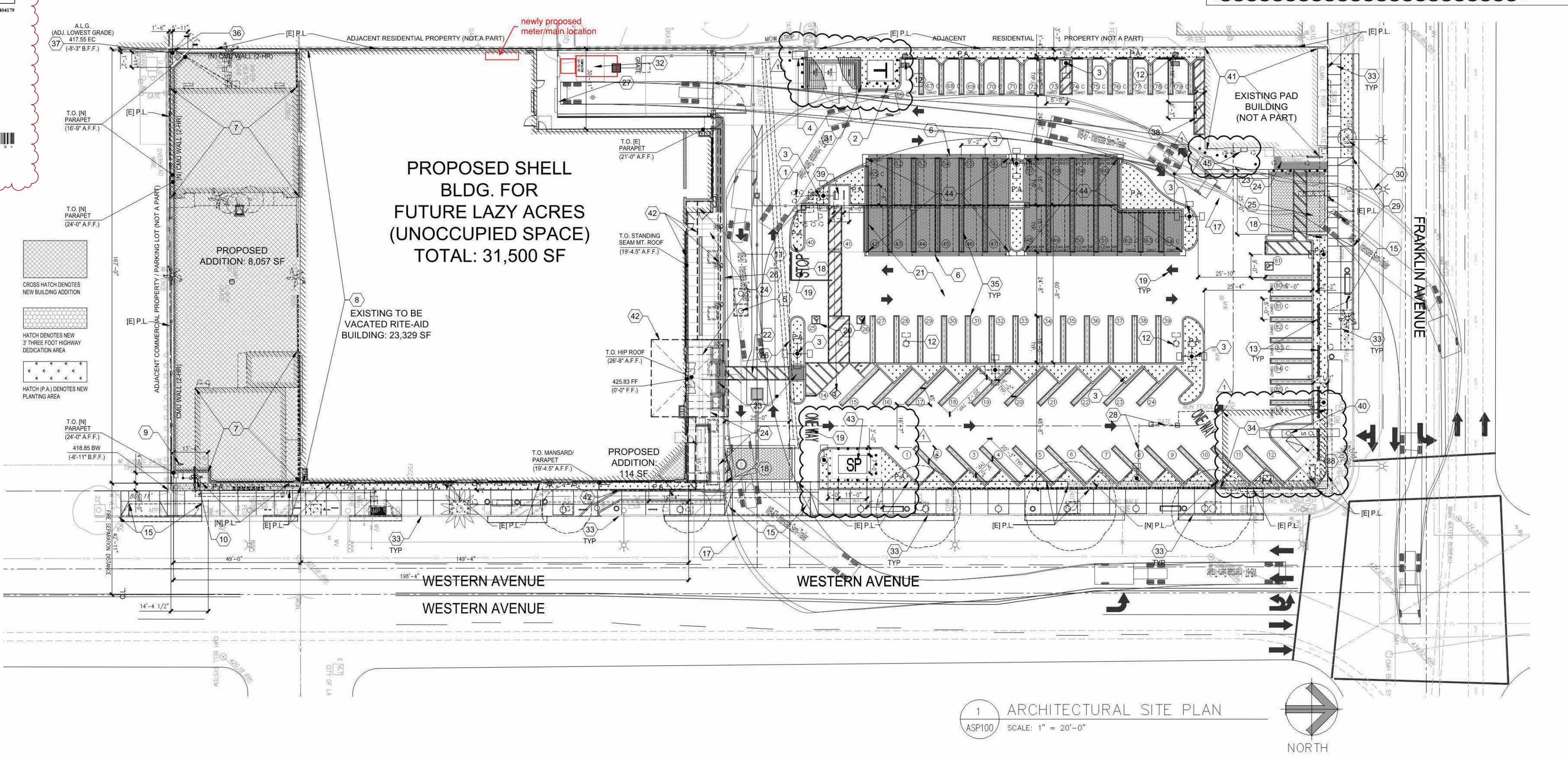
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Owner Address: [Address]  
Owner City: [City]  
Owner State: [State]  
Owner Zip: [Zip]

Architect: [Name]  
Architect Address: [Address]  
Architect City: [City]  
Architect State: [State]  
Architect Zip: [Zip]

Engineer: [Name]  
Engineer Address: [Address]  
Engineer City: [City]  
Engineer State: [State]  
Engineer Zip: [Zip]

Permit Fee: \$[Amount]  
Permit Type: [Type]  
Permit Status: [Status]

Payment Date: 07/20/2021  
Receipt No: 1076889  
Amount: \$25,974.63  
Method: CHECK  
Building Card No: 2021ON 47420



1 ARCHITECTURAL SITE PLAN  
SCALE: 1" = 20'-0"



MOTIVATE GYM

TENANT IMPROVEMENT  
5518 FRANKLIN AVE, HOLLYWOOD CA



Delta	Issue	Description	Date
2	3	SNAP CLEARANCE	8/14/2023
1	2	PLAN CHECK CORRECTION DELTA 1	7/10/2023
1	1	PLAN CHECK SUBMITTAL 1	6/1/2023

Drawn: [Name] Check: [Name] QWOT TO SCALE  
Job No: [Number] Scale: [Scale]

(E) PARKING ANALYSIS (FOR REFERENCE ONLY)  
Title: GN-2.4  
Sheet: [Number]

NOT FOR CONSTRUCTION



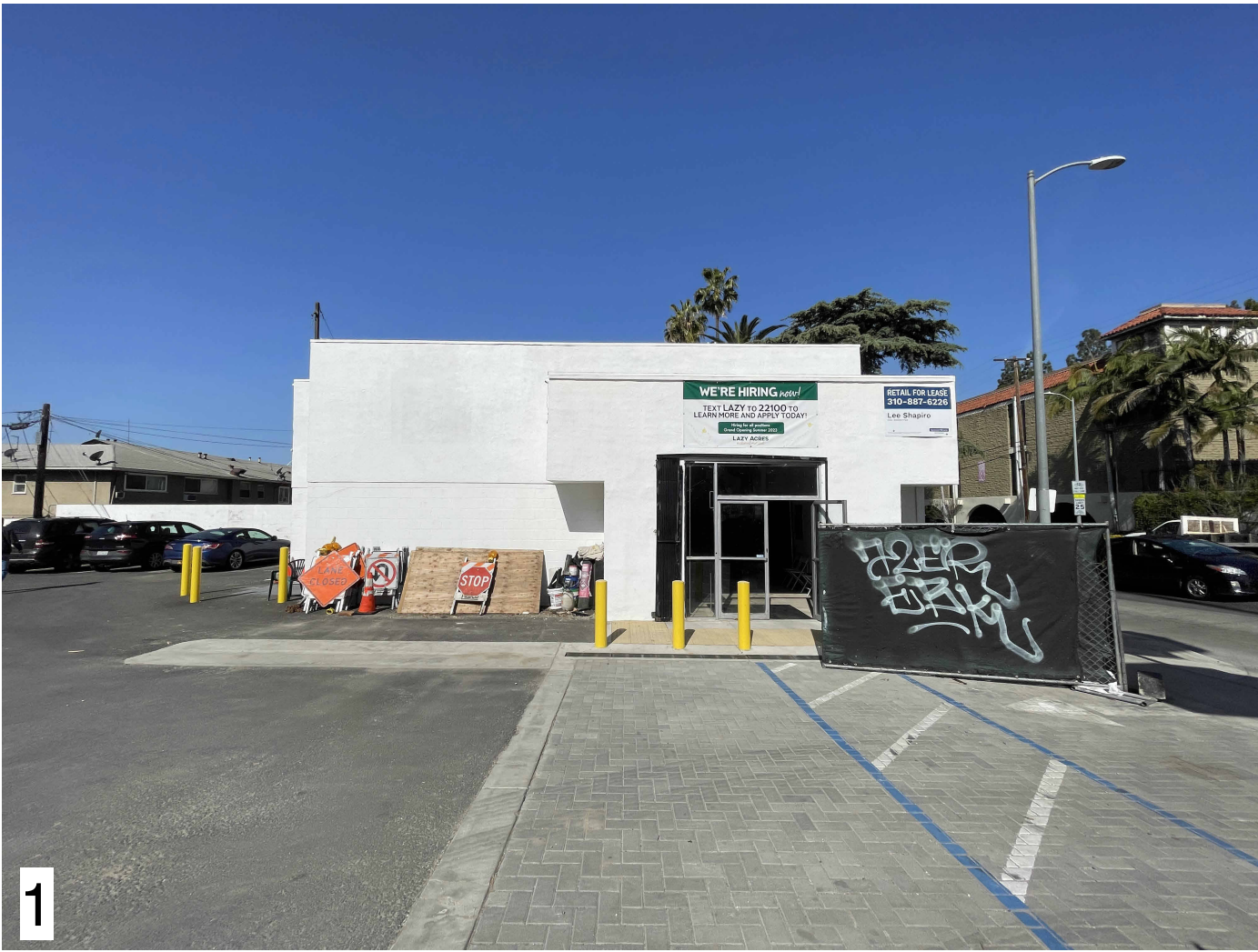


PHOTO KEYPLAN



INTERIOR



MOTIVATE GYM

TENANT IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



*[Signature]*

2 3 SNAP CLEARANCE 8/14/2023

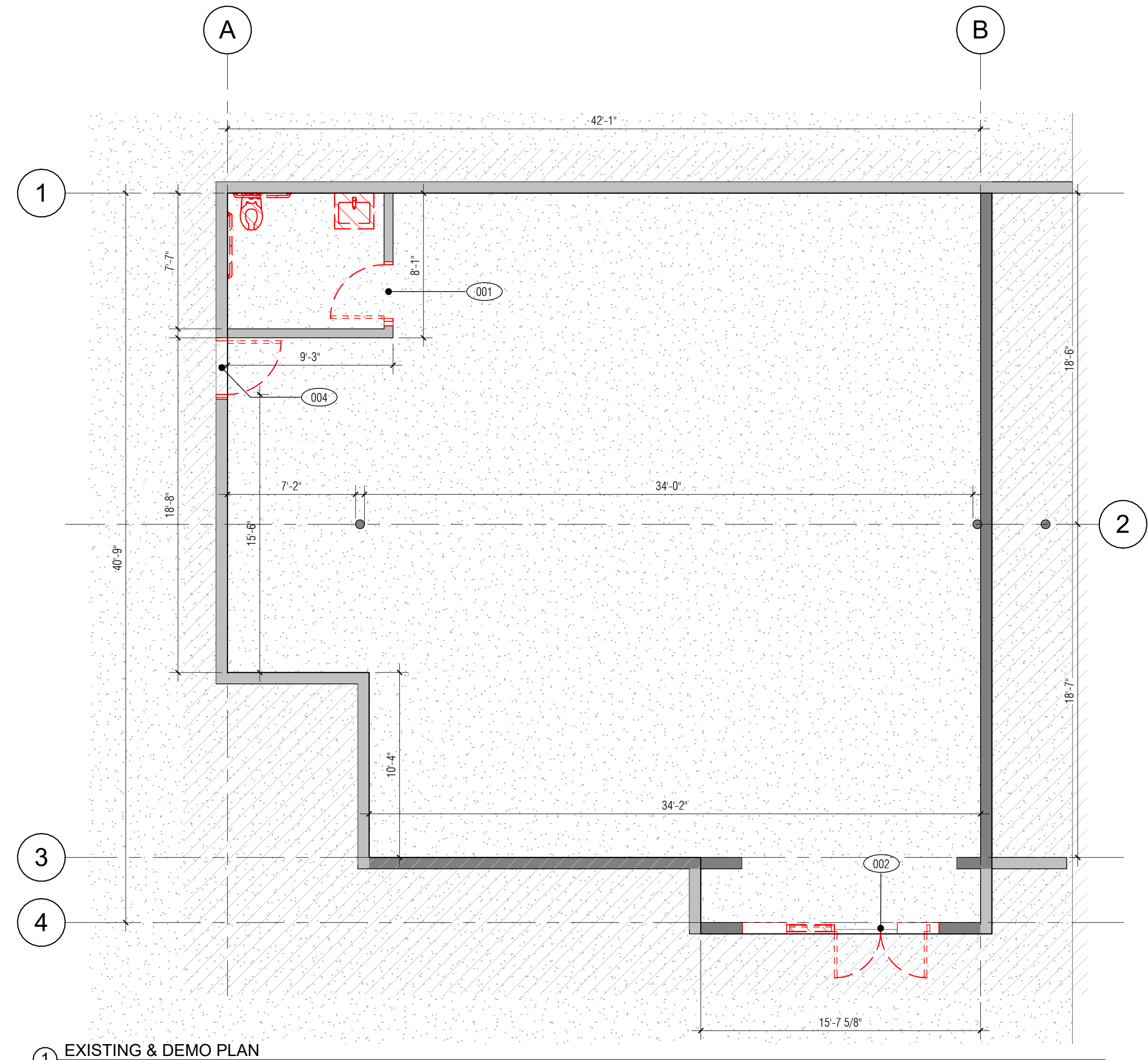
Delta	Issue	Description	Date
Author	Checker		
Drawn	Check	Owner Approval	
MOTIVATE STUDIO			
Job No.		Scale	

EXISTING PHOTOS

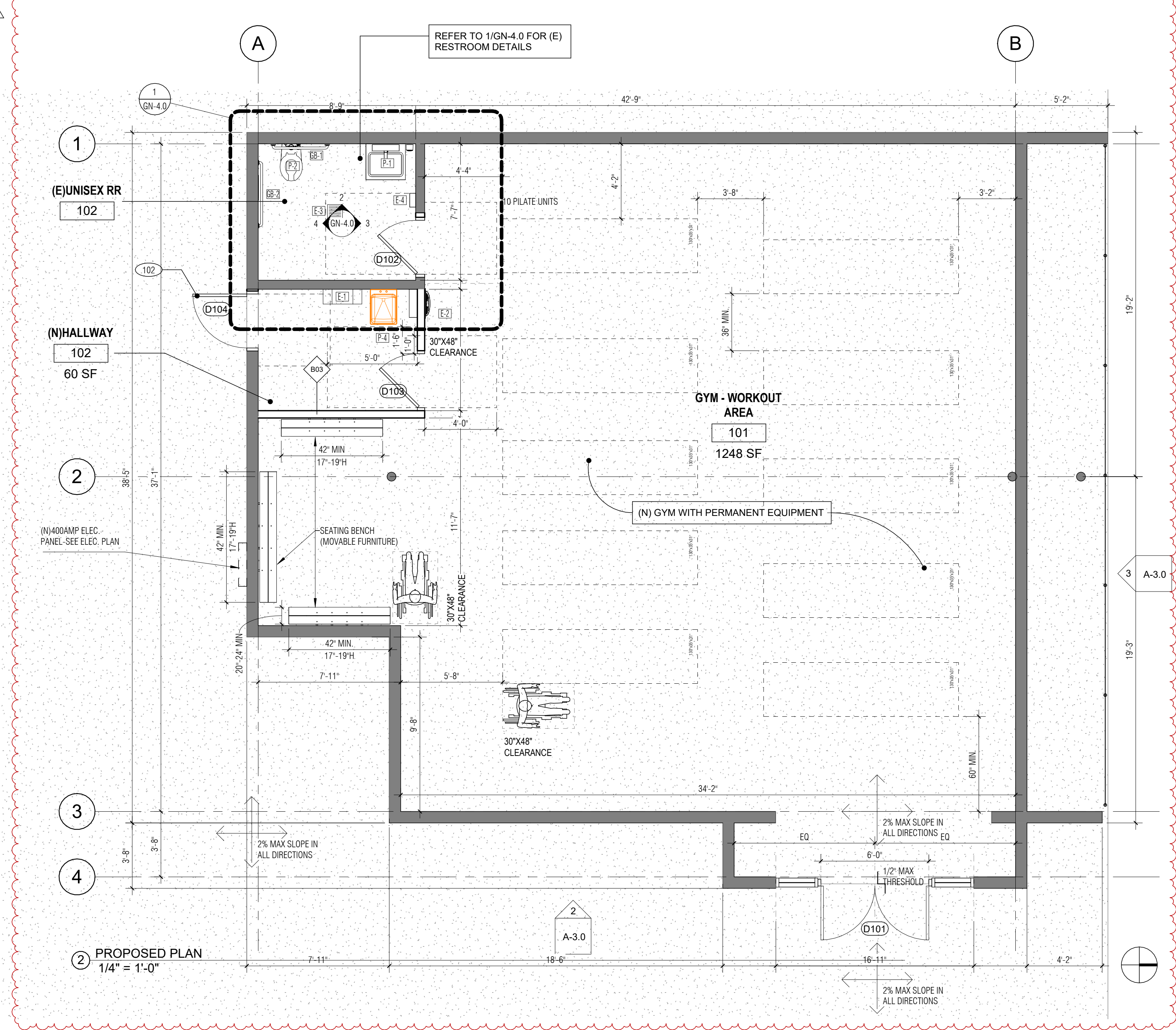
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**GN-2.7**  
Sheet

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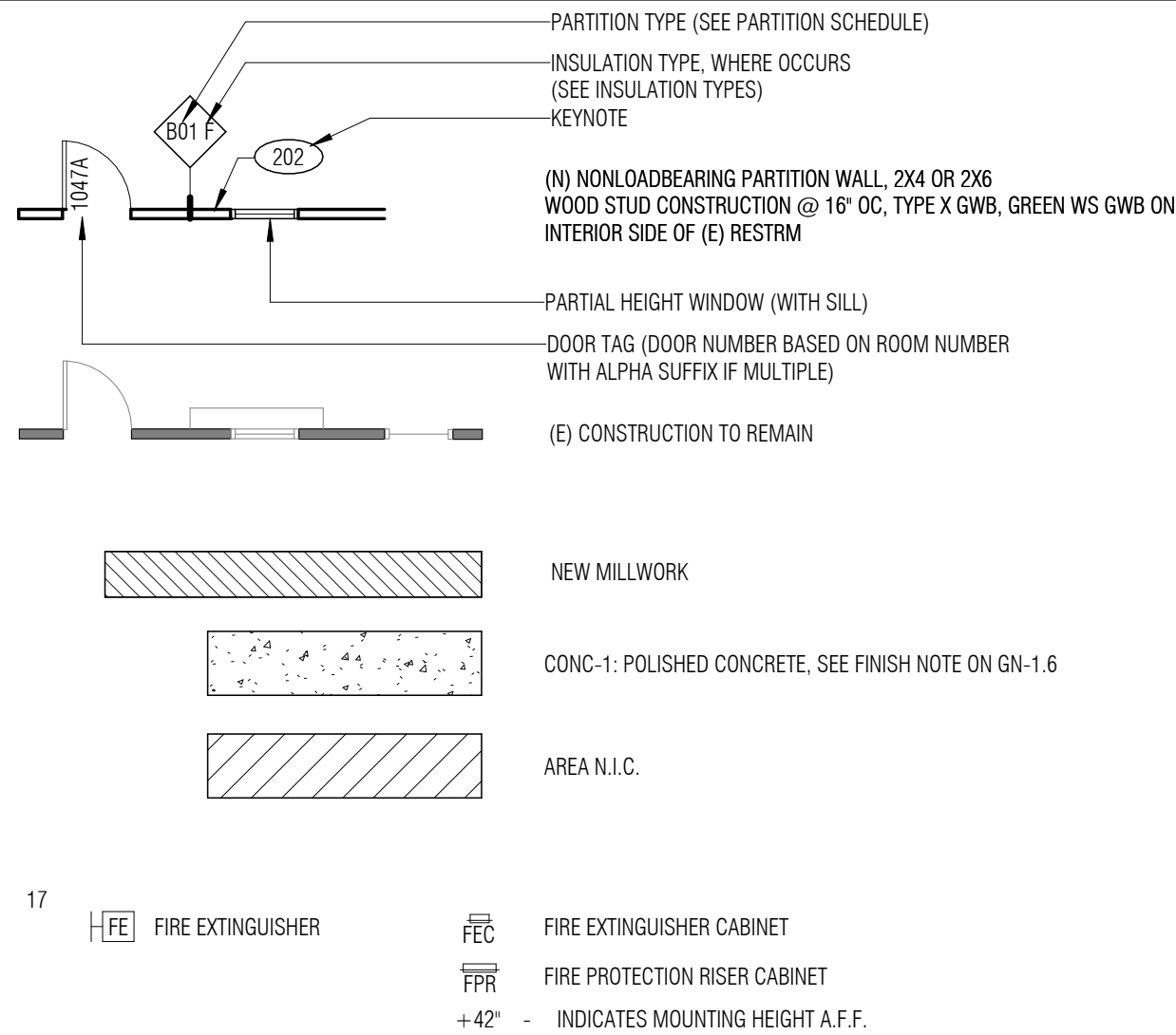


1 EXISTING & DEMO PLAN  
3/16" = 1'-0"



2 PROPOSED PLAN  
1/4" = 1'-0"

## PARTITION LEGEND



## PARTITION SCHEDULE

WALL TYPE	FIRE RATING (HR)	UL #	DESCRIPTION	SSMA #	STUD SPACING (IN)	MAX DEFLECTIO N	MAX HT	STC	THICKNES S	DETAIL REF.
B03	NR	NR	NON-RATED 3 5/8" METAL STUDS, FULL HEIGHT (SLAB-TO-SLAB) WITH ONE LAYER 5/8" GYPBOARD EACH SIDE.	362S125-33	16	L/240	16'-6"	40	0'-4 7/8"	

## SHEET NOTES

- SEE AN-SHEET SERIES FOR ADDITIONAL NOTES AND ABBREVIATIONS.
- PARTITIONS DIMENSIONED TO FINISH FACE U.O.N. DO NOT ADJUST DIMENSIONS INDICATED AS "CLEAR" WITHOUT WRITTEN DIRECTION FROM ARCHITECT. DRAWINGS SHALL NOT BE SCALED. VERIFY ALL DIMENSIONS AND EXISTING AS BUILT FIELD CONDITIONS, INCLUDING FIELD MEASUREMENTS PRIOR TO START OF WORK. NOTIFY ARCHITECT WHERE DISCREPANCIES OCCUR.
- USE TYPE "X" GWB ON FIRE RATED PARTITIONS.
- USE CEMENTITIOUS BACKER BOARD (DUROCK) OR EQUAL AT PARTITIONS SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). SEE FINISH PLAN FOR LOCATION OF TILE.
- SEE A-8 DETAIL SHEET SERIES FOR TYPICAL PARTITION DETAILS. EXTEND OF FRAMING AND FINISHES.
- WHERE FURRED PARTITIONS EXCEED MAXIMUM HEIGHT, BRACE TO ADJACENT STRUCTURE. SEE A-8 DETAIL SHEET SERIES.
- FIRE SAFE PENETRATIONS AT FIRE RESISTANT RATED PARTITIONS PER APPLICABLE UL ASSEMBLY. SEE AS SHEET SERIES FOR DETAILS.
- MAINTAIN INTEGRITY OF EXISTING FIRE RESISTANT RATED ASSEMBLIES FOR ALL PENETRATIONS.
- PROVIDE BLOCKING AS REQUIRED AT LOCATIONS INCLUDING, BUT NOT LIMITED TO: GRAB BARS, SHELVING, OVERHEAD CABINETS, SIGNAGE, TOILET ROOM ACCESSORIES, WALL MOUNT. EQUIPMENT, ETC.
- PROVIDE LEVEL 3 FINISH U.O.N.
- LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVERALL. NOTIFY ARCHITECT IN WRITING WHERE DISCREPANCIES OCCUR.
- ALL EXPOSED OUTSIDE GYPSUM BOARD CORNERS SHALL HAVE A CONTINUOUS METAL CORNER BEAD.
- DIMENSIONS TAKEN FROM PERIMETER EXTERIOR WINDOW WALL ARE TAKEN FROM THE INSIDE FACE OF THE VERTICAL MULLION. DIMENSIONS MARKED VERIFY IN FIELD. SHALL BE VERIFIED PRIOR TO START OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WORK WITH HVAC, MECHANICAL, ELECTRICAL, PLUMBING, DESIGN BUILD FIRE PROTECTION AND STRUCTURAL DRAWINGS AND REPORT TO THE ARCHITECT DISCREPANCIES FOR CORRECTION AND ADJUSTMENT PRIOR TO START OF WORK. NO ALLOWANCE WILL BE MADE FOR INCREASED COST DUE TO THE CONTRACTOR'S LACK OF COORDINATION.
- PATCH FLOOR AND WALL AREAS DAMAGED DUE TO NEW CONSTRUCTION OR WHERE PENETRATIONS HAVE BEEN MADE FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK. FIRESAFE AT UL RATED ASSEMBLIES CONSISTENT WITH EXISTING UL RATING.
- WHERE EXISTING RATED ASSEMBLIES ARE SHOWN, CONTRACTOR IS REQUESTED TO FIELD VERIFY AS BUILT FIELD CONDITIONS TO CONFIRM RATINGS SHOWN. IF NON-COMPLIANT CONDITIONS ARE FOUND, DEMO AND REPLACE WITH NEW EQUIVALENT UL ASSEMBLY, OR REPORT FINDINGS TO OWNER/ARCHITECT IN WRITING WHO WILL PROVIDE WRITTEN DIRECTION.
- PATCH AND REPAIR ALL EXISTING PARTITIONS AFTER DEMOLITION WHERE DAMAGE HAS OCCURRED AT UNPROTECTED LOCATIONS. PLEASE NOTE THAT DEMOLITION ACTIVITY MAY OCCUR BEYOND WORK LIMITS SHOWN ON DEMOLITION PLAN DUE TO CONCEALED CONDITIONS.
- ALL LIGHT GAGE COLD FORMED METAL FRAMING SHALL MEET OR EXCEED PROPERTIES SPECIFIED FOR THE CORRESPONDING MEMBER SIZE IN STEEL MANUFACTURERS ASSOCIATION (SSMA) PRODUCT TECHNICAL INFORMATION (TC-ES REPORT NO. ER-4043P) AND SHALL COMPLY WITH APPLICABLE AMERICAN SOCIETY FOR TESTING AND MATERIALS, AMERICAN IRON AND STEEL INSTITUTE S100 AND SPECIFIED TRUE GAGE FLAT STEEL. MIL THICKNESS THAT ONLY TRUE GAUGE FLAT STEEL CAN SATISFY. USE OF "EFFECTIVE THICKNESS" COLD REDUCED AFTERMARKET EQUIVALENT PRODUCT (EQ) STUDS FURNISHED BY EQ STUD MANUFACTURERS, VENDORS OR SUPPLIERS ARE NOT PERMITTED WITHOUT EXCEPTION.
- GC TO SCAN AND SURVEY EXISTING FLOOR SLAB FOR LEVELING ISSUES. REMOVE OLD CONCRETE TOPPING & FLOAT FLOORS AS REQ'D TO MEET TOLERANCES COORDINATED W/A O.R., STRUCTURAL, ENGINEER & SYSTEMS FURNITURE VENDOR.
- ALL WALLS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILLING. SUCH IDENTIFICATION SHALL:
  - BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES;
  - BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND
  - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENING"
- SPECIFY A MINIMUM 1.5 HR FIRE PROTECTION RATING FOR THE FIRE/SMOKE DAMPER AT THE DUCT PENETRATION OF THE ASSEMBLY WITH A FIRE RESISTANCE RATINGS OF LESS THAN THREE-HOURS. (CBC 717.3.2).
- SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- G.C. TO MAINTAIN EXISTING UL FIRE RATED ASSEMBLY FOR ALL PENETRATIONS.
- ALL NEW COVER PLATES, STROBES, SWITCHES, AND PLUGS, ETC. TO BE WHITE AT PAINTED WALL AREAS U.O.N.
- WHERE DEVICES ARE SHOWN BACK TO BACK, OFFSET AS REQUIRED TO COMPENSATE FOR BOX AND STUD DIMENSIONS. USE CENTER POINT BETWEEN DEVICE LOCATIONS AS REFERENCE POINT FOR LOCATION DIMENSION U.O.N.
- FOR DEDICATED OUTLETS AND RECEPTACLE MOUNTING HEIGHTS DESIGNED FOR SPECIAL EQUIPMENT. HEIGHT SHALL BE MEASURED FORM THE FINISHED FLOOR TO THE CENTERLINE OF THE OUTLET MOUNTED VERTICALLY. UNLESS NOTED OTHERWISE. RECEPTACLE, SWITCH AND OUTLET MOUNTING HEIGHT DIMENSIONS ARE MEASURED FROM FINISHED FLOOR TO OUTLET CENTERLINE. MOUNTED VERTICALLY. UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH THE CURRENT RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, DEPARTMENT OF INDUSTRIAL RELATIONS AND APPLICABLE CODES. ALL EQUIPMENT SHALL BE UL LABELED.
- BUILDING SERVICES AND UTILITY DISRUPTIONS TO THE BUILDING, INCLUDING ADJACENT TENANTS IN MULTI-TENANT BUILDINGS ARE NOT PERMITTED DURING NORMAL BUSINESS HOURS. ALL FIRE / LIFE SAFETY SYSTEMS SHALL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION ACTIVITIES DURING NORMAL BUSINESS HOURS. FOR TEMPORARY DISRUPTIONS LIMITED TO THE AREA OR WORK, AFTER HOURS AS NEEDED TO COMPLETE THE WORK. SCHEDULE DAY AND TIME WITH OWNER IN ADVANCE, IN WRITING ON AN OVERTIME BASIS. REESTABLISH ALL BUILDING SERVICES AND UTILITIES AT CONCLUSION OF TEMPORARY SHUT OFF, AS SOON AS PRACTICAL.

## KEYNOTES

NO.	DESCRIPTION
001	REPLACE EXISTING DOOR WITH A 8'-0" H. DOOR.
002	REPLACE EXISTING STOREFRONT SYSTEM.
004	REPLACE EXISTING EXIT DOOR WITH OUTSWING DOOR PER CODE.
102	THIS IS AN EXIT ONLY DOOR. PANIC HARDWARE PROVIDED ON THE PUSH SIDE. NO ACCESSIBLE HARDWARE PROVIDED ON THE PULL SIDE.



## MOTIVATE GYM

## TENANT IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



1	2	PLAN CHECK CORRECTION	7/10/2023
		DELTA 1	
	1	PLAN CHECK SUBMITTAL 1	6/1/2023

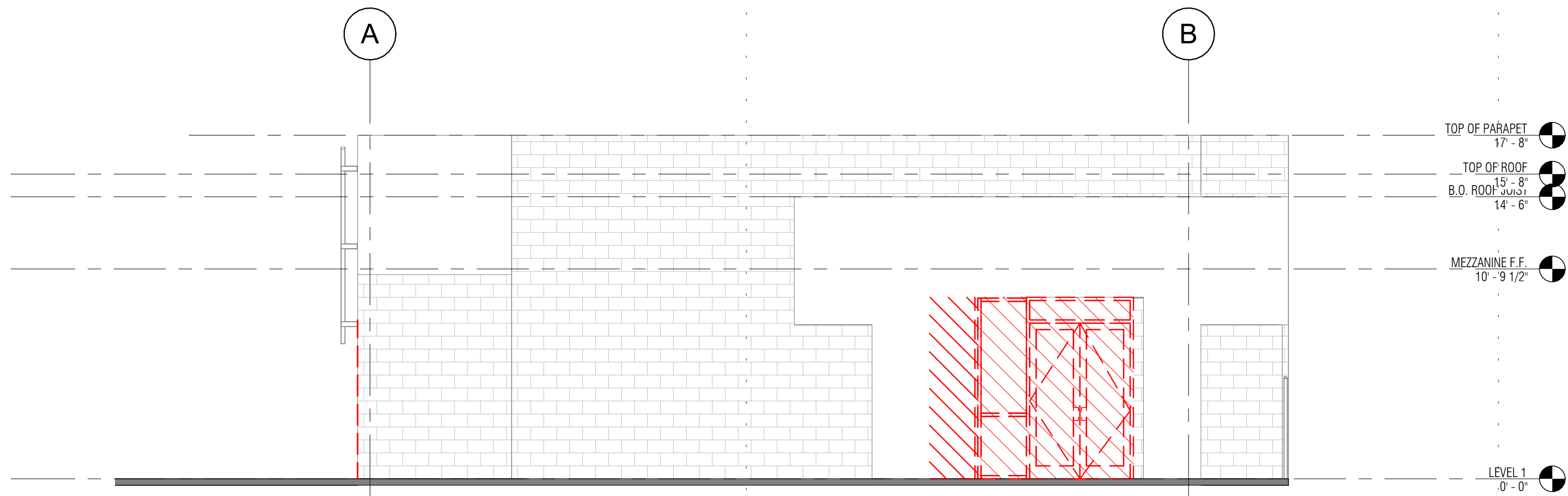
Delta	Issue	Description	Date
Drawn	Check	Owner Approval	
MOTIVATE STUDIO		As indicated	
Job No.		Scale	

## EXISTING & PROPOSED PLAN

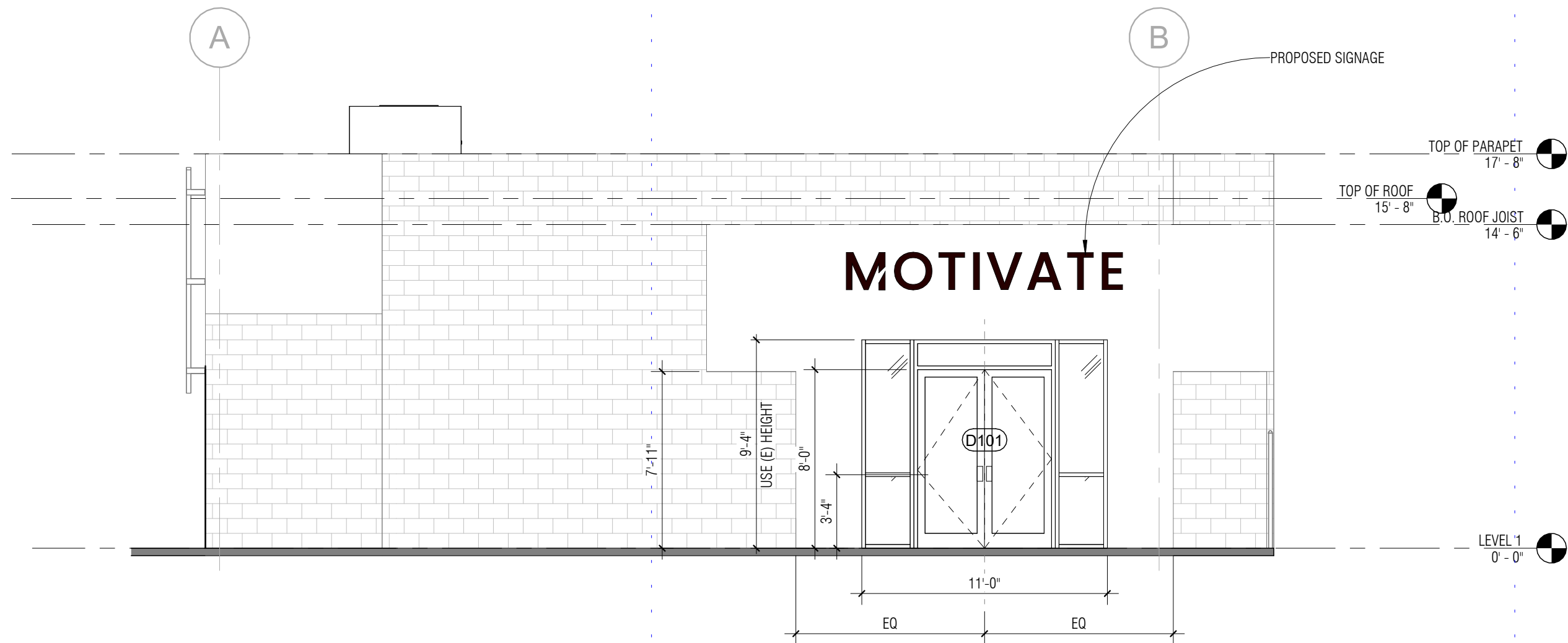
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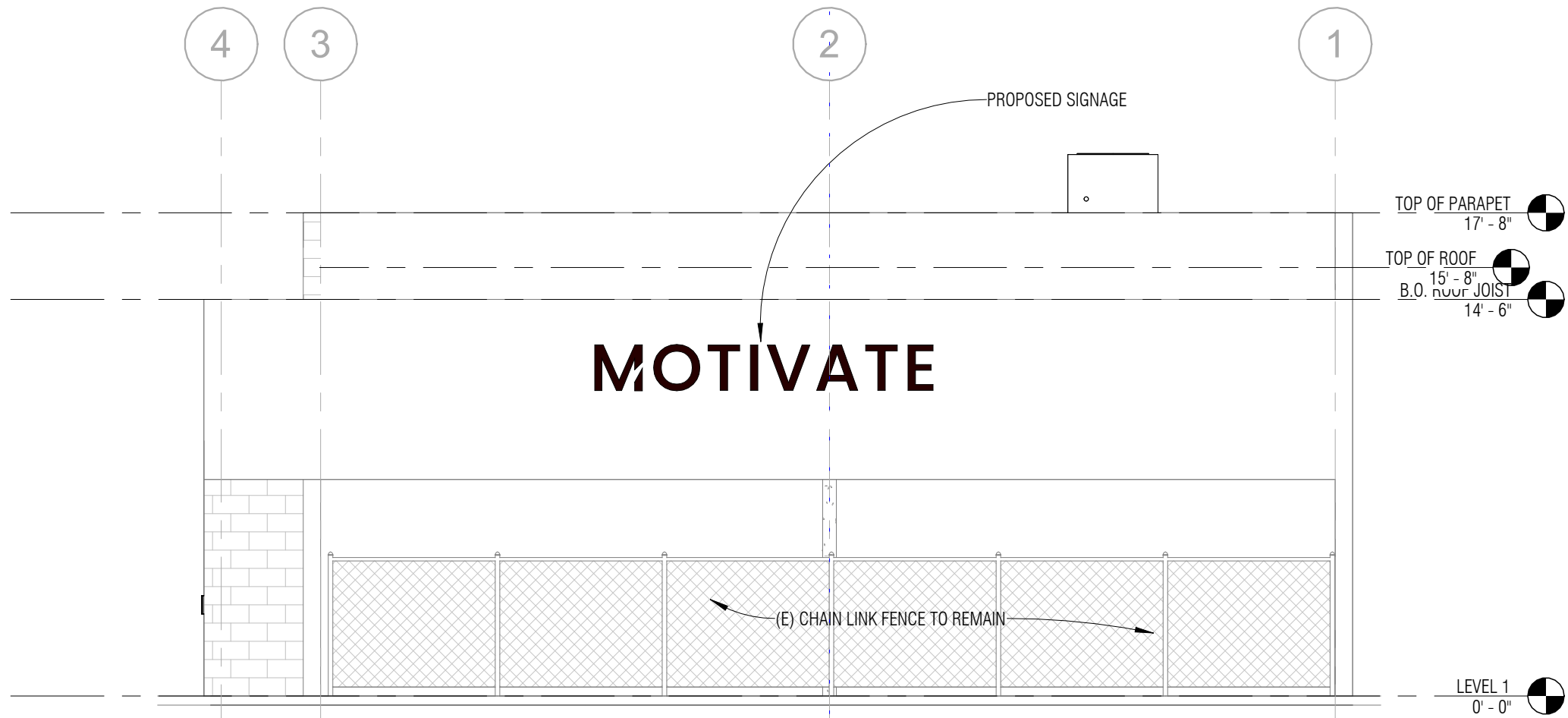




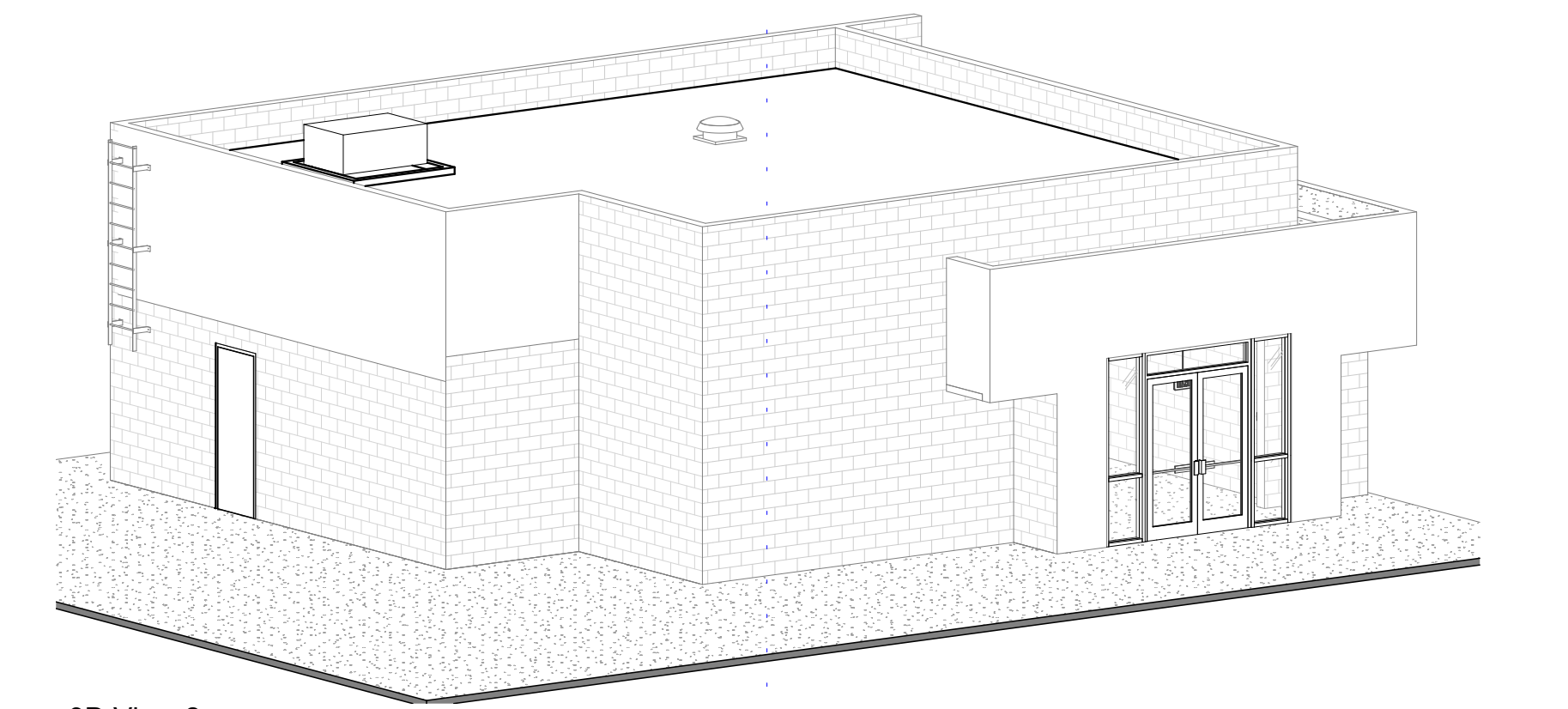
1 EXSITING & DEMO ELEVATION  
3/16" = 1'-0"



2 PROPOSED STOREFRONT ELEVATION  
3/16" = 1'-0"



3 STREET ELEVATION  
3/16" = 1'-0"



4 3D View-2



MOTIVATE GYM

TENANT  
IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



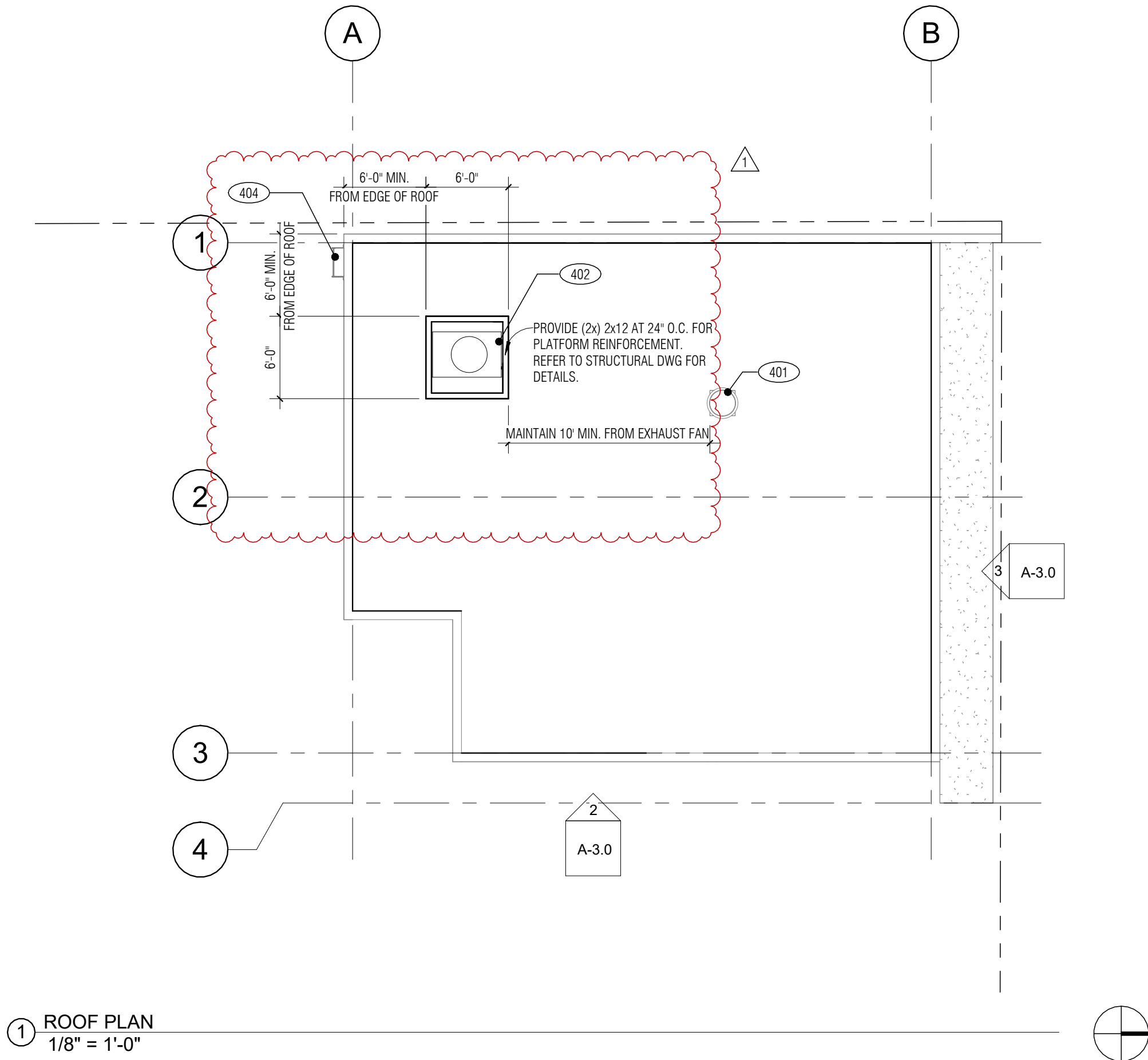
Delta	Issue	Description	Date
Author	Checker		
Drawn	Check	Owner Approval	
MOTIVATE STUDIO		3/16" = 1'-0"	
Job No.		Scale	

EXTERIOR  
ELEVATIONS

Title  
A-3.0  
Sheet

NOT FOR CONSTRUCTION





1 ROOF PLAN  
1/8" = 1'-0"

### LEGEND

	TAPERED INSULATION CRICKET		PERIMETER ROOF DRAIN WITH PARAPET OVERFLOW SCUPPER (WITHOUT CONDUCTOR HEAD)
	ROOF HATCH		PARAMETER ROOF DRAIN WITH PARAPET OVERFLOW SCUPPER (WITH CONDUCTOR HEAD)
	EXHAUST FAN		ROOF ACCESS LADDER (WITHOUT FALL PROTECTION CAGE)
	PATH OF 2" BUILDING EXPANSION JOINT		ROOF-TO-ROOF ACCESS LADDER
	PATH OF 1" BUILDING EXPANSION JOINT		EXTERIOR BUILDING MTD LIGHTING
	VENT THROUGH ROOF		ROOF WALKWAY PADS
	ROOF DRAIN WITH OVERFLOW DRAIN		ROOF DECK PAVER SYSTEM
	ROOF DRAIN		
	OVERFLOW DRAIN		
	DOWNSPOUT		
	DOWNSPOUT TO SPLASHBLOCK		
	THROUGH PARAPET ROOF SCUPPER WITH COLLECTION BOX		
	GUTTER, SLOPE TO DRAIN		
	MECHANICAL EQMT SCREEN		

### SHEET NOTES

- MAINTAIN POSITIVE DRAINAGE TO EXISTING ROOF DRAIN LOCATIONS. WHERE NEW WORK CONFLICTS WITH EXISTING DRAINAGE FLOW, PROVIDE CRICKETS AROUND OBSTRUCTIONS COMPATIBLE WITH EXISTING ROOF MEMBRANE ASSEMBLY AND SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) STANDARDS FOR FLASHING FABRICATION AND ASSEMBLY. CRICKETS SHALL SLOPE 3/8" / FOOT MIN.
- SEE ENGINEERING DRAWINGS FOR ROOF PENETRATION ROUGH OPENING DIMENSIONS, EDGE OF DECK DIMENSIONS AND NEW FRAMING AROUND NEW ROOF PENETRATIONS WHERE OCCUR.
- WHERE EXISTING CONDITIONS ARE DOCUMENTED, THEY ARE PROVIDED FOR THE PURPOSE OF COORDINATION ONLY AND DO NOT INCLUDE CONCEALED CONDITIONS OR EXISTING NON-COMPLIANT WORK.
- WHERE EXISTING MECHANICAL EQUIPMENT IS SHOWN TO BE REMOVED, PATCH AND REPAIR ROOFING MEMBRANE WITH NEW, COMPATIBLE MATERIALS TO MATCH EXISTING. MATCH EXISTING UL RATING.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF MECHANICAL/ROOF MOUNTED EQUIPMENT PLATFORMS, HOUSEKEEPING PADS, DRAIN LOCATIONS, POWER FEEDS, SEISMIC RESTRAINT AND INSTALLATION REQUIREMENTS WITH EQUIPMENT MANUFACTURER'S PRIOR TO START OF WORK.
- COORDINATE PENETRATIONS THROUGH ROOF WITH STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL. PROVIDE FLASHING AT PENETRATIONS PER SMACNA DETAILS.
- ROOF CURBS FOR MECHANICAL UNITS AND EQUIPMENT TO BE FURNISHED, INSTALLED AND FLASHED BY CONTRACTOR, U.O.N.
- CONTRACTOR WILL COORDINATE, LOCATE AND INSTALL DRAINS AND CURBS. CONTRACTOR SHALL FLASH AND SEAL DRAINS, ROOF PENETRATIONS, ROOF EDGES, AND TERMINATIONS AS PART OF THIS CONTRACT INCLUSIVE OF WARRANTY AS LISTED IN THE PROJECT MANUAL.
- ROOF PLAN AND DETAILS ARE FOR GENERAL DESIGN INTENT. CONTRACTOR TO SUBMIT COMPLETE SHOP DRAWINGS SHOWING CONSTRUCTION DETAILS AND LAYOUTS FOR A COMPLETE JOB ADHERING TO MANUFACTURER'S WARRANTIES.
- SLOPE ROOF AREAS AT A MIN. OF 1/4" PER FOOT, UON. PROVIDE SLOPES OF 3/8" PER FOOT MINIMUM IN LOCATIONS OF HEAVY RAINFALL.
- CONCEALED WOOD BLOCKING SHALL BE P.T. POSITIVELY SECURED TO DECKING AND SUBSTRATE WITH ANCHOR BOLTS.
- UTILIZE APPROVED METAL WALL FLASHING AND COUNTER FLASHING ON BACKSIDE OF ALL PARAPETS WITH A HEIGHT OF 2'-0" OR GREATER.
- SHEET METAL APPLICATIONS SHALL BE INSTALLED PER SMACNA CURRENT EDITION APPROVED DETAILING, INCLUDING (BUT NOT LIMITED TO) COPING, STEP-FLASHING, METAL WALL FLASHING, ROOF PENETRATION FLASHING, STANDING SEAM METAL ROOFS, GUTTERS, SCUPPERS, GUTTER STOPS, CONDUCTOR HEADS, AND MISC. JOINTS BETWEEN SHEET METAL MEMBERS.
- RIGID INSULATION USED IN ROOF ASSEMBLIES SHALL MEET THE REQUIREMENTS OF UL 1256 AND FMG 4450.
- METAL GAUGES SHALL COMPLY WITH ANSI/SPIR ES-1 REQUIREMENTS FOR SHOP FORMED METAL COPINGS.
- OBJECTS GREATER THAN 24" IN WIDTH ACROSS SLOPE SHALL HAVE CRICKETS TO DIVERT WATER.
- INSTALL ROOF DRAIN LEADERS, FROM DRAIN ASSEMBLY TO DRAIN CHASE, AT MAXIMUM ALLOWABLE ELEVATIONS WHILE MAINTAINING REQUIRED SLOPE.
- ANYWHERE EXPOSED FASTENERS ARE USED IN THE ROOFING SYSTEM, COPING SYSTEM, EXPANSION JOINT SYSTEM, OR FLASHING SYSTEM, THEY SHALL UTILIZE SEALING WASHERS.
- PROVIDE WALKWAY PADS ON ROOF FROM ROOF ACCESS POINTS TO AROUND MECHANICAL EQUIPMENT.

### KEYNOTES

NO.	DESCRIPTION
401	EXISTING ROOF VENTILATION TO REMAIN.
402	NEW 5-TON HVAC UNIT TO BE PLACED AT THIS LOCATION WITH A 6X6' PLATFORM. REFER TO STRUCTURAL DWG FOR PLATFORM DETAILS.REFER TO PRODUCT SPECIFICATION FOR EXACT DIMENSIONS AND WEIGHT.
404	EXISTING ROOF LADDER TO REMAIN.



## MOTIVATE GYM

## TENANT IMPROVEMENT

5518 FRANKLIN AVE, HOLLYWOOD CA



1 2 PLAN CHECK CORRECTION 7/10/2023  
DELTA 1

Delta	Issue	Description	Date
Author	Checker		
Drawn	Check	Owner Approval	
MOTIVATE STUDIO		1/8" = 1'-0"	
Job No.		Scale	

## ROOF PLAN

Title  
**A-4.0**  
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