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CITY PLANNING**

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Decision Date: March 3, 2022

Appeal End Date: March 14, 2022

SFV RE Development, LLC (O/A)  
Dan Reichman  
14556 Raymer Street  
Los Angeles, CA 91405

Steve Nazemi (R)  
DHS & Associate Inc.  
275 Centennial Way, Unit 205  
Tustin, CA 92780

Re: VTT-83061-SL-HCA  
13906 W. Oxnard Street  
Van Nuys – North Sherman Oaks Plan Area  
Zone : RD1.5-1  
D.M. : 177B153  
C.D. : 2 – Krekorian  
CEQA : ENV-2020-4358-CE  
Legal Description: Portion of Lot 59 (Arb 1);  
Tract: 1000

In accordance with provisions of Section 17.51 and 17.53 of the Los Angeles Municipal Code (LAMC), the Advisory Agency determines that the project is categorically exempt, and issues ENV-2020-4358-CE as the environmental clearance and approves Vesting Tentative Tract Map No. VTT-83061-SL located at 13906 W. Oxnard Street, for a maximum **7 small lots**, pursuant to LAMC Section 12.22 C.27, and adjustments to permit a reduced lot area for the seventh lot and a 3-foot building line encroachment for Lots 1, 2, 3, and 4 as shown on revised map stamp-dated December 22, 2021, in the Van Nuys-North Sherman Oaks Community Plan area. This unit density is based on the RD1.5-1 Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

**NOTE** on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

**BUREAU OF ENGINEERING - SPECIFIC CONDITIONS**

*Any questions regarding BOE conditions should be directed to Quyen Phan of the Permit Case Management Division at (213) 808-8604 (email: quyen.phan@lacity.org).*

1. That a 3-foot-wide strip of land be dedicated along Ranchito Avenue adjoining the tract to complete a 33-foot wide half public right-of-way in accordance with the Collector Street Standard of the LA Mobility Plan including a 20-foot radius property line return at the intersection with Oxnard Street.
2. That a 2-foot sidewalk easement be provided along Ranchito Avenue adjoining the subdivision.
3. That if this tract map is approved as a "Small Lot Subdivision" then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
4. That if this tract map is approved as small lot subdivision, then the final map be labeled as "Small Lot Subdivision per Ordinance No. 185,462" satisfactory to the City Engineer.
5. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
6. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Valley Engineering District Office.
7. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
8. That the subdivider make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
9. That all pedestrian common access easements be shown on the final map.

**DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION**

*Grading Division approvals are conducted at 221 North Figueroa Street, 12<sup>th</sup> Floor, Suite 1200. The approval of this Tract Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.*

10. That prior to issuance of a grading or building permit, or prior to recordation of the final map, the subdivider shall make suitable arrangements to assure compliance, satisfactory to the Department of Building and Safety, Grading Division, with all the requirements and conditions contained in the Geology and Soils Report Approval dated July 2, 2020, Log No. 113496 and attached to the case file for Tract No. 1000.

**DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION**

*An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Laura Duong at (213) 482-0434 to schedule an appointment.*

11. That prior to recordation of the final map, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
- a. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
  - b. For the purpose of determining the required setbacks, the perimeter of this subdivision shall be treated as a lot. For a corner lot, the front lot line shall be the narrowest street frontage. After the required dedication is taken, the narrowest frontage shall be along Oxnard Street; therefore, the front lot line shall be along Oxnard Street; therefore, the front lot line shall be along Oxnard Street and the side and rear lot line shall be determined with respect to the front lot line. Due to this, side yards shall be the west and east side of the subdivision and the rear lot line shall be the South side of the subdivision. Revise the Setback Matrix to reflect the correct setback for each Lots 5, 6, and 7.
  - c. For any subdivision that shares a property line with an R1 or more restrictive single-family zone, the provisions of the front yard, side yard, and rear yard of the underlying zone shall apply. Provide a minimum 15 ft. rear yard setback for the subdivision (along the south side of the Subdivision – Lots 5, 6, and 7) for the proposed 4-story building as required for the RD1.5 Zone. Revise the map to show compliance with the above requirement or obtain approval from the Department of City Planning to reduce the required rear yard setback.
  - d. A minimum 10,500 square feet of lot area is required after the required dedication is taken to comply with the Density requirement for the RD1.5 Zone for the proposed 7 small lots. Revise the map to show compliance with the above requirement or obtain approval from the Department of City Planning to allow seven units on a lot less than 10,500 SF of lot area after dedication is taken.
  - e. Show all street dedications as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. Side yard requirement shall be required to comply with current code as measured from new property lines after dedication.

Notes: There is a 22 ft. building line along Oxnard Street.

Owners are to record a maintenance agreement that runs with the land for the purpose of reciprocal private easements maintenance program to all common areas and shared facilities such as trees, landscaping, drainage, trash, parking, community driveway (ground floor width and width clear to sky above the ground floor level), including walkways as shown on the approved Small Lot Subdivision Map.

The proposed building plans have not been checked for and shall comply with Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed

complete. Plan check will be required before any construction, occupancy or change of use.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

Backup space for parking space with less than 26'-8" shall provide sufficient parking stall width and garage door opening width to comply with the current Zoning Code requirement. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

#### **DEPARTMENT OF TRANSPORTATION**

*Transportation approvals are conducted at 6262 Van Nuys Boulevard, Room 320. Please contact Brandon Wilson at (818) 374-4699 with any questions.*

12. That prior to recordation of the final map, satisfactory arrangements shall be made with the Department of Transportation to assure:
- a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of DOT.
  - b. A width of W=30 feet at the driveway apron curb cut is required for all two-way driveways, or to the satisfaction of DOT.
  - c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety.
  - d. The subdivision report fee and condition clearance fee be paid to the Department of Transportation as required per Ordinance No. 183,270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

#### **FIRE DEPARTMENT**

*The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (818) 374-4351. You should advise any consultant representing you of this requirement as well.*

13. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
- a. Submittal of plot plans for Fire Department review and approval prior to recordation of Tract Map Action.
  - b. Access for Fire Department apparatus and personnel to and into all structures shall be required.

- c. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- d. Where above-ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of the individual units.
- e. One or more Knox boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD inspector. (Refer to FPB Req #75).
- f. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
- g. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
- h. The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.
- i. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
- j. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
- k. Smoke vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.
- l. Site plans shall include all overhead utility lines adjacent to the site.
- m. Where access for a given development requires accommodation of Fire Department apparatus, overhead clearance shall not be less than 14 feet.
- n. No proposed development utilizing cluster, group, or condominium design of one- or two-family dwellings shall be more than 150 feet from the edge of the roadway of an improved street, access road, or designated fire lane.
- o. Construction of public or private roadway in the proposed development shall not exceed 15 percent in grade.

- p. Private development shall conform to the standard street dimensions shown on Department of Public Works Standard Plan S-470-0.
- q. Standard cut-corners will be used on all turns.
- r. That in order to provide assurance that the proposed common fire lane and fire protection facilities, for the project, not maintained by the City, are properly and adequately maintained, the subdivider shall record with the County Recorder, prior to the recordation of the final map, a covenant and agreement (Planning Department General Form CP-6770) to assure the following:
  - i. The establishment of a property owners association, which shall cause a yearly inspection to be made by a registered civil engineer of all common fire lanes and fire protection facilities. The association will undertake any necessary maintenance and corrective measures. Each future property owner shall automatically become a member of the association or organization required above and is automatically subject to a proportionate share of the cost.
  - ii. The future owners of affected lots with common fire lanes and fire protection facilities shall be informed of their responsibility for the maintenance of the devices on their lots. The future owner and all successors will be presented with a copy of the maintenance program for their lot. Any amendment or modification that would defeat the obligation of said association as the Advisory Agency must approve required hereinabove in writing after consultation with the Fire Department.
  - iii. In the event that the property owners' association fails to maintain the common property and easements as required by the CC and Rs, the individual property owners shall be responsible for their proportional share of the maintenance.
  - iv. Prior to any building permits being issued, the applicant shall improve, to the satisfaction of the Fire Department, all common fire lanes and install all private fire hydrants to be required.
  - v. That the common fire lanes and fire protection facilities be shown on the final map.
- s. The plot plans shall be approved by the Fire Department showing fire hydrants and access for each phase of the project prior to the recording of the final map for that phase. Each phase shall comply independently with code requirements.
- t. Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.
- u. Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.

- v. Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; but in no case greater than 150 feet horizontal travel distance from the edge of the public street, private street or fire lane. This stairwell shall extend onto the roof.
- w. Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.
- x. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.
- y. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.

**DEPARTMENT OF WATER AND POWER**

- 14. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

**BUREAU OF STREET LIGHTING – SPECIFIC CONDITIONS**

*Street Lighting clearance for this Street Light Maintenance Assessment District condition is conducted at 1149 S. Broadway, Suite 200. Street Lighting improvement condition clearance will be conducted at the Bureau of Engineering District office, see condition S-3. (c).*

- 15. Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owner shall provide a good faith effort via a ballot process for the formation or annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District.

**BUREAU OF SANITATION**

- 16. Wastewater Collection Systems Division of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject tract and found no potential problems to their structure or potential maintenance problem, as stated in the memo dated August 18, 2020. Upon compliance with its conditions and requirements, the Bureau of Sanitation, Wastewater Collection Systems Division will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1. (d).)

**INFORMATION TECHNOLOGY AGENCY**

- 17. To assure that cable television facilities will be installed in the same manner as other required improvements, please email [ita.cabletvclearance@lacity.org](mailto:ita.cabletvclearance@lacity.org) that provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated response also provides the email address of three people in case the applicant/owner has any additional questions.

**DEPARTMENT OF RECREATION AND PARKS**

*Park fees must be paid at 221 North Figueroa Street, Suite 400, Los Angeles. Please contact Park Fees staff at (213) 202-2657 for any questions or comments, at your convenience.*

18. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

**URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING****19. Protected Trees.**

- a. All tree and shrub preservation measures shall be considered to retain all protected native species whenever possible. The project should include feasible alternatives in project design to retain native trees and shrubs. A permit is required for the removal of any native protected tree or shrub. Remove of any on-site native tree or shrub shall be replaced in kind at a 4:1 ration as approved by the Board of Public Works and Urban Forestry Division. The tree replacement plan shall include all retained native trees and shrubs. All on-site tree and shrub replacements shall be planted in locations favorable to the long-term survival of the species.
- b. The applicant shall submit a Protected Tree Report (PTR) with an acceptable tree and shrub replacement plan prepared by a reputable tree expert, as required by Ordinance No. 186,873 for approval by the Advisory Agency and the Bureau of Street Services, Urban Forestry Division. The PTR shall contain the tree expert's recommendations for the preservation of as many protected trees as possible and shall provide their species, health, size, and condition. The PTR shall include a topographical map (construction drawing) identifying tree and shrub location, drip line, and correctly numbered and plotted.

**20. Street Trees.**

- a. The project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy, mature street trees. A permit is required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

**DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS**

*Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, which can be requested at [planning.lacity.org](http://planning.lacity.org).*

21. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner

satisfactory to the Planning Department, binding the subdivider and all successors to the following:

- a. Limit the proposed development to a maximum of seven small lots.
- b. A Certificate of Occupancy (temporary or final) for the buildings in Vesting Tentative Tract No. 83061-SL shall not be issued until after the final map has been recorded.
- c. Provide a minimum of two covered off-street parking spaces per dwelling unit.

In addition, prior to issuance of a building permit, a parking plan showing off-street parking spaces, as required by the Advisory Agency, be submitted for review and approval by the Department of City Planning.

- d. Note to City Zoning Engineer and Plan Check. The Advisory Agency has considered the following setbacks in conjunction with the approved map. Minor deviations to the map's setbacks are allowed in the event that such deviations are necessary in order to accommodate other conditions of approval as required by other City agencies. In no event shall the setback from the perimeter boundary of the subdivision measure less than the yards required pursuant to LAMC Section 12.22 C.27:

- (i) Setbacks shall be permitted as follows:

Setback Matrix				
Lot No.	Front (North)	Rear (South)	Side (East)	Side (West)
1	22'	8'	7'	5'
2	22'	8'	5'	5'
3	22'	8'	5'	5'
4	22'	8'	5'	7'
5	8'	12'	5'	7'
6	8'	12'	5'	5'
7	8'	12'	7'	5'

- (ii) The Common Access Driveway may have a minimum width of 16 feet clear-to-sky.
- (iii) An adjustment for a 19 percent reduction in lot area to allow for the density of the seventh lot permitting 1,214 square feet in lieu of 1,500 otherwise required of LAMC Section 12.09.1 B.4.
- (iv) An adjustment for a 3-foot, or 14 percent, encroachment of the 22-foot building line setback on Oxnard Street for Lot Nos. 1, 2, 3, and 4 to provide a 19-foot front-yard setback.
- e. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front

yard.

- f. The applicant shall maintain two significant street trees (trees A and B, identified in the Protected Tree Report dated June 4, 2020) and shall maintain tree D (also identified in the report) if feasible.
- g. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
- h. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
- i. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, of if the City

fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

22. A Community Maintenance Agreement shall be prepared, composed of all property owners, to maintain all common areas such as trees, landscaping, trash, parking, community driveway, walkways, monthly service for private fire hydrant (if required), etc. Each owner and future property owners shall automatically become party to the agreement and shall be subject to a proportionate share of the maintenance. The Community Maintenance Agreement shall be recorded as a Covenant and Agreement to run with the land. The subdivider shall submit a copy of this Agreement, once recorded, to the Planning Department for placement in the tract file.
23. That copies of all recorded Covenant and Agreement(s) for all reciprocal private easements shall be submitted to the Planning Department for placement in the tract file.

#### **DEPARTMENT OF CITY PLANNING - STANDARD SMALL LOT CONDITIONS**

SL-1. That approval of this tract constitutes approval of model home uses, including a sales office and off-street parking. If models are constructed under this tract approval, the following conditions shall apply:

1. Prior to recordation of the final map, the subdivider shall submit a plot plan for approval by the Development Services Center of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.
2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11

and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.

- SL-2. That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any grading or building permits before the recordation of the final map. The landscape plan shall identify replacement of the existing nine on-site trees on a 1:1 basis with a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site.

In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.

#### **BUREAU OF ENGINEERING - STANDARD CONDITIONS**

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the tract in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
- (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.
- (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
- (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
- (e) That drainage matters be taken care of satisfactory to the City Engineer.
- (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the tract and any necessary topography of adjoining areas be submitted to the City Engineer.
- (g) That any required slope easements be dedicated by the final map.
- (h) That each lot in the tract complies with the width and area requirements of the Zoning Ordinance.
- (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.
- (j) That any 1-foot future street and/or alley adjoining the tract be dedicated for public

use by the tract, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.

- (k) That no public street grade exceeds 15%.
- (l) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.

S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:

- (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
- (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
- (c) All grading done on private property outside the tract boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
- (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.
- (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.

S-3. That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:

- (a) Construct on-site sewers to serve the tract as determined by the City Engineer.
- (b) Construct any necessary drainage facilities.
- (c) Install street lighting facilities to serve the tract as required by the Bureau of Street Lighting.
  - (1) Construct one (1) new streetlight on Ranchito Avenue.
  - (2) If street widening per BOE improvement conditions, relocate and upgrade streetlight: one (1) on Oxnard Street.

Notes:

The quantity of streetlights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3)

by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division ((213) 847-3077) upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
  - (1) Improve Ranchito Avenue being dedicated and adjoining the subdivision by the construction of a 5-foot concrete sidewalk adjacent to the easement line and landscaping of the parkway including any necessary removal and reconstruction of existing improvements.
  - (2) Improve Oxnard Street adjoining the subdivision by remove and replace bad order curb, gutter and sidewalk, including any necessary removal and reconstruction of the existing improvements.
  - (3) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

#### NOTES:

The Advisory Agency approval is the maximum number of units permitted under the tract map action. However, the existing or proposed zoning may not permit this number of units. This vesting map does not constitute approval of any variations from the Municipal Code, unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval, unless a time extension is

granted before the end of such period.

The Advisory Agency hereby finds that this tract conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

### **FINDINGS OF FACT (CEQA)**

The Advisory Agency determines that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

### **FINDINGS OF FACT (SUBDIVISION MAP ACT)**

In connection with the approval of Vesting Tentative Tract Map No. VTT-83061-SL, the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

- (a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The subdivision of land is regulated pursuant to Article 7 of the LAMC. Pursuant to LAMC Section 1706 B. A, a Vesting Tentative Tract Map must be prepared by or under the direction of a licensed land surveyor or registered civil engineer. It is required to contain information regarding the boundaries of the project site, as well as the abutting public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the tract map. The Vesting Tentative Tract Map VTT-83061-SL-HCA indicates the map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by LAMC Section 17.06 B. Additionally, as a small lot subdivision, the map indicates the common access easement for vehicular and/or pedestrian access to the proposed small lots, consistent with LAMC Section 12.22 C.27.

Pursuant to LAMC Section 17.05 C., tract maps are to be designed in conformance with the tract map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. The subject site is located within the Van Nuys-North Sherman Oaks Community Plan, one of 35 community plans that comprise the Land Use Element of the General Plan. The adopted Van Nuys-North Sherman Oaks Community Plan designates the site for Low Medium II Residential land uses with the corresponding zones of RD1.5, RD2, RW2, and RZ2.2. The property is zoned RD1.5-1, which is consistent with the land use designation. The RD1.5-1 Zone requires at least 1,500 square feet of lot area per dwelling unit and limits building height to a maximum of 45 feet. The applicant is requesting two adjustment from development standards for the subject site: a

3-foot encroachment on the 22-foot building line on the Oxnard Street frontage (a 14 percent adjustment), resulting in a 19-foot front yard setback, and a 19 percent adjustment in lot area for the seventh lot.

The building line encroachment will provide a 19-foot front yard setback on Oxnard Street for the subdivision, ensuring that it complies with the required 15-foot rear yard setback from the south property line adjoining a single-family use and the required driveway width. This adjustment is consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Without the encroachment on the building line, the subdivision would have to reduce the rear yard setback to 12 feet, affecting the privacy of adjoining residents.

Additionally, the tract map must be designed in conformance with the Street Standards established pursuant to LAMC Section 17.05 B. The Bureau of Engineering requires that the applicant dedicate a 3-foot-wide strip of land along Ranchito Avenue to complete a 33-foot-wide half public right-of-way. After the required dedication, the area of the project site is approximately 10,214 square feet, which would permit a maximum of six dwelling units. As shown on the Vesting Tentative Tract Map, the Project proposes to subdivide the project site into seven small lots, pursuant to LAMC Section 12.22 C.27. As part of the tract case the applicant is requesting a Zoning Administrator's Adjustment under LAMC Section 17.03 to allow area of 1,214 square feet in lieu of the otherwise required 1,500 square feet for the seventh lot, a deviation of 19 percent. This adjustment is supported by Objective 1-1 of the Community Plan, which is to provide for the preservation of existing housing and development of new housing to meet the diverse economic and physical needs of the area's residents. Small lot subdivisions generate new for-sale housing in a market where such housing is rare, expanding opportunities for homeownership. The seventh lot will provide an additional housing unit without conflicting with any of the residential objectives or policies of the Community Plan.

Therefore, the proposed map demonstrates compliance with LAMC Sections 17.05 C, 17.06 B, and 12.22 C.27, as well as the Land Use Element of the General Plan.

(b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The tract map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication, and/or improvement recommendations. The Bureau of Engineering reviewed the tract map for compliance with the Street Design Standards. The Bureau of Engineering has recommended dedication and improvements to the public right-of-way along Ranchito Avenue and Oxnard Street, consistent with the standards of the Mobility Element. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 2010. The Bureau of Street Lighting has recommended the construction of one new streetlight on Ranchito Avenue and the relocation and upgrading of one streetlight on Oxnard Street if Bureau of Engineering conditions require street widening.

For the purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout.

Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and "improvements" refers to the infrastructure facilities serving the subdivision. LAMC Section 17.05 enumerates the design standards for a tract map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan.

As indicated in Finding (a), LAMC Section 17.05 C requires that the tract map be designed in conformance with the zoning regulations of the project site. The project site is zoned RD1.5-1, which would permit a maximum of six lots/dwellings on the approximately 10,214 square-foot site (after dedication). As the map is proposed for a subdivision with seven small lots, the applicant is requesting a deviation of 19 percent from the area requirement for the seventh lot, pursuant to LAMC Section 17.03. The project roof height is 40 feet, in compliance with the height requirement of 45 feet in the RD1.5-1 Zone. As noted above, the 19 percent adjustment in lot size is supported by Objective 1-1 of the Community Plan, since it will support the additional unit without encroaching upon adjacent lower density uses.

The applicant is requesting one adjustment from development standards for the subject site: to encroach on the 22-foot building line on Oxnard Street by three feet (14 percent adjustment), resulting in a 19-foot front yard setback. This encroachment will enable the subdivision to provide the required 15-foot rear yard setback (enhancing the privacy of the adjacent single-family property to the south) and the required driveway width, while maintaining a generous front yard setback. This adjustment is consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Without the encroachment on the building line, the subdivision would have to reduce the rear yard setback to 12 feet, affecting the privacy of adjoining residents.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site is a level, rectangular lot with 10,214 square feet of area (after street dedication). The site is developed with a vacant single-family dwelling that is proposed for demolition and will be replaced with seven small-lot dwellings. The project site is located 7 kilometers (4.3 miles) from the Hollywood Fault but is not located within the Alquist-Priolo Fault Zone. The site is also not located within a designated hillside area, a BOE Special Grading Area, a high fire hazard severity zone, flood zone, or a landslide, methane, or tsunami inundation zone. The site is located in a liquefaction zone and will be required to comply with all applicable regulations for development within a methane zone. Prior to the issuance of any permits, the project will be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is outside the Flood Zone, nor is it subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

The tract map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits, subject to the conditions stated in the Soils Report Approval Letter dated July 2, 2020, Log No. 113496. Therefore, the site will be physically suitable for the proposed type of development.

- (d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The subject site is an approximately 10,214 square-foot corner lot (after street dedication), with 125 feet of frontage along Oxnard Street and 125 feet of frontage on Ranchito Avenue. The site is relatively flat. The proposed subdivision is an infill project in a highly urbanized residential neighborhood. Oxnard Street is a transitional street, marking a shift from a predominantly multiple-family residential neighborhood to the north to a predominantly low-density, single-family neighborhood to the south. The adjoining properties to the north and west are developed with multi-story, multiple-family complexes, although to the north the land use designation is Medium Residential with an R3-1 Zone and to the west the land use designation is Low Medium II Residential with a zone of [Q]RD1.5-1. The abutting properties to the east and south are developed with single-family dwellings. However, while the property to the east has a Low Medium II Residential General Plan land use designation and is zoned [Q]RD1.5-1, the adjoining property to the south is zoned R1-1, with a General Plan Land Use designation of Low Residential.

The project proposes to construct seven small lot homes, which would be four stories tall with a maximum roof height of 40 feet. The project site is zoned RD1.5-1, which would permit a maximum of six lots/dwellings on the approximately 10,214 square-foot site. The proposed density is seven small lot homes; the applicant is requesting a deviation of 19 percent from the lot area requirement for the seventh lot, pursuant to LAMC Section 17.03. The applicant is also requesting a 14 percent adjustment in the front yard setback to encroach on an existing 22-foot building line on Oxnard Street by three feet.

Additionally, prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned the proposed tract map is physically suitable for the proposed density of the development.

- (e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

A seven-unit small lot residential project is proposed for development on the project site, which is an infill site in a highly urbanized area of Los Angeles. The site is improved with a single-family dwelling built in 1936. To the south along Ranchito Avenue is a single-family neighborhood where most homes were built in the 1950s-1960s. On Oxnard Street, the development pattern is dominated by one- to three-story multifamily buildings. The tree survey indicates that there are a total of nine trees on-site, none of which are protected pursuant to Ordinance No. 186,873. Neither the project site nor the surrounding area provides a natural habitat for fish or wildlife. It has been determined that the project and the design of the subdivision and proposed improvements will not cause substantial environmental damage or injury to wildlife or their habitat.

- (f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appear to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where

the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

The project site consists of a parcel identified as Lot No. PT 59 of Tract 1000 and is identified by the Assessor Parcel No. 2246-003-037. While the project will provide a private easement for common/vehicular access purposes within the subdivision, there are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the tract map. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed tract map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation.

The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development.

#### **ADJUSTMENT FINDINGS (Sections 17.53 J and 12.28 C.4)**

- (i) THAT WHILE SITE CHARACTERISTICS OR EXISTING IMPROVEMENTS MAKE STRICT ADHERENCE TO THE ZONING REGULATIONS IMPRACTICAL OR

INFEASIBLE, THE PROJECT NONETHELESS CONFORMS WITH THE INTENT OF THOSE REGULATIONS.

The RD1.5-1 Zone requires a minimum of 1,500 square feet per dwelling unit and a maximum height of 45 feet. Prior to the required street dedication, the subject site totaled 10,543 square feet, and after dedication, 10,214 square feet. The difference of 329 feet in area reduced the allowed density of the site from seven units to six units. LAMC Section 17.03 A authorizes the Deputy Advisory Agency, acting in the capacity of an Associate Zoning Administrator, to grant a deviation of no more than 20 percent from applicable area, yard, and height requirements. Even though the total number of lots permitted is calculated by the density of the zone (RD1.5 in this grant), LAMC Section 12.22 C. 27(a)(3) allows for a minimum lot area of 600 square feet for small lots. Therefore, the 286 square-foot difference represents a 19 percent deviation from the lot area requirement of the last lot, but lots over the entire site could be as small as 600 square feet in area without the granting of a deviation. Regarding height, the proposed maximum height is 40 feet, which is in compliance with the 45-foot height limit in the RD1.5-1 Zone.

The applicant is also requesting an adjustment to permit a deviation from the 22-foot building line setback on Oxnard Street, reducing it to 19 feet (a 14 percent adjustment) on Lots 1, 2, 3, and 4. Pursuant to LAMC Section 17.03 A, up to a 20 percent adjustment in yard areas may be approved by the Deputy Advisory Agency. There is also precedent for this encroachment on the building line. The adjoining site to the west on Oxnard Street, which is developed with a 12-unit condominium, obtained a building line adjustment in 2004 to allow a 15-foot building line setback in lieu of the 22-foot setback required by Ordinance 97,939. The building line encroachment will enable the proposed subdivision to provide the required 15-foot rear yard setback adjacent to the single-family use to the south, ensuring the necessary privacy buffer between single-family and multiple-family densities.

Therefore, while site characteristics make strict adherence to the zoning regulation regarding lot area impractical, the project nonetheless conforms with the intent of those regulations.

- (j) THAT IN LIGHT OF THE PROJECT AS A WHOLE, INCLUDING ANY MITIGATION MEASURES IMPOSED, THE PROJECT'S LOCATION, SIZE, HEIGHT, OPERATIONS AND OTHER SIGNIFICANT FEATURES WILL BE COMPATIBLE WITH AND WILL NOT ADVERSELY AFFECT OR FURTHER DEGRADE ADJACENT PROPERTIES, THE SURROUNDING NEIGHBORHOOD, OR THE PUBLIC HEALTH, WELFARE, AND SAFETY.

The proposed subdivision is an infill project in a highly urbanized residential neighborhood. Oxnard Street is a transitional street, marking a shift from a predominantly multiple-family residential neighborhood to the north to a predominantly low-density, single-family neighborhood to the south. The adjoining properties to the north and west are developed with multi-story, multiple-family complexes, although to the north the land use designation is Medium Residential with an R3-1 Zone and to the west the land use designation is Low Medium II Residential with a zone of [Q]RD1.5-1. The abutting properties to the east and south are developed with single-family dwellings. However, while the property to the east has a Low Medium II Residential General Plan land use designation and is zoned [Q]RD1.5-1, the adjoining property to the south is zoned R1-1, with a General Plan Land Use designation of Low Residential.

As proposed, the project complies with all the applicable zoning regulations except for two: lot size and an encroachment on the building line setback on Oxnard Street. Regarding lot size, the Bureau of Engineering requires that the applicant dedicate a 3-foot-wide strip of land along Ranchito Avenue to complete a 33-foot-wide half public right-of-way. After the required dedication, the project site has approximately 10,214 square feet of lot area, which would permit a maximum of six dwelling units. The project proposes to subdivide the project site into seven small lots and is requesting a Zoning Administrator's Adjustment to allow a deviation of 19 percent from the otherwise required 1,500 square feet to provide 1,214 square feet for the seventh lot. This reduction in lot area for the seventh lot would enable the project to provide one additional small lot home than allowed by-right that will not adversely affect adjacent properties and the surrounding neighborhood, nor will it adversely affect the public health, welfare, and safety. Moreover, the small lot subdivision proposed will generate new for-sale housing in an area where such housing is rare, expanding opportunities for homeownership.

The project is also proposing a 14 percent adjustment in the building setback on Oxnard Street, from 22 feet to 19 feet. The encroachment would enable the subdivision to provide a generous front yard while maintaining the full 15-foot rear yard setback adjacent to single-family uses and the required driveway width.

Therefore, while the project's location, size, height, operations, and other significant features will be compatible with the surrounding neighborhood and will not adversely affect the public health, welfare, and safety.

- (k) THAT THE PROJECT IS IN SUBSTANTIAL CONFORMANCE WITH THE PURPOSE, INTENT AND PROVISIONS OF THE GENERAL PLAN, THE APPLICABLE COMMUNITY PLAN AND ANY APPLICABLE SPECIFIC PLAN.

The General Plan is the City's roadmap for future growth and development. The General Plan elements establish goals, policies, purposes, and programs that provide for the regulatory environment in managing the City, and for addressing environmental concerns and problems. The majority of the policies derived from these elements are in the form of LAMC requirements. The General Plan is comprised of the Framework Element, seven state-mandated elements, and additional elements adopted by the City Council. In a general sense the proposed small-lot subdivision is in compliance with certain objectives of the Framework Element:

**Objective 3.6.1:** Ensure that the new development of "duplex" or multifamily units maintains the visual and physical character of adjacent single-family neighborhoods, including the maintenance of front property setbacks, modulation of building volumes and articulation of façade to convey the sense of individual units, and use of building materials that characterize single-family housing.

**Objective 3.7:** Provide for the stability and enhancement of multifamily neighborhoods and allow for growth in areas where there is sufficient public infrastructure and services and the residents' quality of life can be maintained or improved.

The tract map proposes to provide seven small-lot homes on Oxnard Street, which is already fully developed with a variety of low-scale multifamily apartment buildings and condominiums. On the north side of Oxnard Street, across the street from the project site, the lots are zoned R3-1, while the south side is zoned RD1.5-1 as the neighborhood

transitions into a predominantly single-family neighborhood to the south. The proposed small-lot subdivision will provide the type of transitional housing that is already evident on Oxnard Street, which has a mix of low-scale condominium projects, apartment buildings, and a few single-family homes.

The proposed map is consistent with the Van Nuys-North Sherman Oaks Community Plan, one of 35 community plans that comprise the Land Use Element of the General Plan. The adopted Van Nuys-North Sherman Oaks Community Plan designates the site for Low Medium II Residential land uses with the corresponding zones of RD1.5, RD2, RW2, and RZ2.2. The property is zoned RD1.5-1, which is consistent with the land use designation. The applicant is requesting two adjustments from area regulations applicable to the subject property: a 19 percent deviation from the required lot area and a 14 percent encroachment in the building line setback on Oxnard Street.

The applicant's request for a Zoning Administrator's Adjustment under LAMC Section 17.03 to allow a lot area of 1,214 square feet in lieu of the otherwise required 1,500 square feet for the seventh lot is supported by Objective 1-1 of the Community Plan, which is to provide for the preservation of existing housing and development of new housing to meet the diverse economic and physical needs of the area's residents. Small lot subdivisions generate new for-sale housing in a market where such housing is rare, expanding opportunities for homeownership. The seventh lot will provide an additional housing unit without conflicting with any of the residential objectives or policies of the Community Plan.

The proposed 14 percent adjustment in the building line setback on Oxnard Street from 22 feet to 19 feet will enable the subdivision to be consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Allowing this encroachment on the building line will result in the subdivision complying with the required 15-foot rear yard setback, where the subject property abuts a single-family dwelling to the south.

Therefore, the proposed map is consistent with the applicable Community Plan.

These findings shall apply to both the tentative and final maps for Vesting Tentative Tract No VTT-83061-SL.

VINCENT P. BERTONI, AICP  
Advisory Agency

  
SARAH HOUNSELL  
Deputy Advisory Agency

CR:SH:KM:mr

Note: If you wish to file an appeal, it must be filed within 10 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission or Area Planning Commission, it must be accepted as complete by the

City Planning Department and appeal fees paid, prior to expiration of the above 10-day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department's Public Offices, located at:

Figuerroa Plaza 201 North Figuerroa Street, 4th Floor Los Angeles, CA 90012 (213) 482-7077	Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, Room 251 Van Nuys, CA 91401 (818) 374-5050	West Los Angeles Development Services Center 1828 Sawtelle Boulevard, 2nd Floor Los Angeles, CA 90025 (310) 231-2912
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**Forms are also available on-line at <http://cityplanning.lacity.org>**

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90<sup>th</sup> day following the date on which the City's decision becomes final.

Abbreviations

<div>Ø</div> <div>ROUND</div>	<div>(E)</div> <div>ELEC.</div> <div>EL.</div> <div>ELEV.R.</div> <div>ENGR.</div> <div>EQ.</div> <div>EQUIP.</div> <div>EXH.</div> <div>EXIST.</div> <div>EXPAN.</div> <div>EXPOS.</div> <div>EXT.</div> <div>ELECT.</div>	<div>EXISTING</div> <div>ELECTRIC</div> <div>ELEVATION</div> <div>ELEVATOR</div> <div>ENGINEER</div> <div>EQUAL</div> <div>EQUIPMENT</div> <div>EXHAUST</div> <div>EXISTING</div> <div>EXPANSION</div> <div>EXPOSED</div> <div>EXTERIOR</div> <div>ELECTRICAL</div>	<div>M</div> <div>MAINT.</div> <div>MAX.</div> <div>MECH.</div> <div>M.C.</div> <div>MTL.</div> <div>MEZZ.</div> <div>MFG.</div> <div>MFR.</div> <div>MGR.</div> <div>MIN.</div> <div>MISC.</div> <div>MTD.</div> <div>MUL.</div> <div>M.TH.</div> <div>MW.</div>	<div>MAINTENANCE</div> <div>MAXIMUM</div> <div>MECHANICAL</div> <div>MAIL CHUTE</div> <div>METAL</div> <div>MEZZANINE</div> <div>MANUFACTURING</div> <div>MANUFACTURER</div> <div>MANAGER</div> <div>MINIMUM</div> <div>MISCELLANEOUS</div> <div>MOUNTED</div> <div>MULLION</div> <div>METAL THRESHOLD</div> <div>MICROWAVE</div>	<div>(S)</div> <div>S.C.</div> <div>SCHED.</div> <div>SECT.</div> <div>SHT.</div> <div>SIM.</div> <div>SQ.</div> <div>SF(OR<sup>(1)</sup>)</div> <div>S.S.</div> <div>ST.</div> <div>STA.</div> <div>STD.</div> <div>STL.</div> <div>STRUCT.</div> <div>SUSP.</div> <div>SYMM.</div> <div>SYS.</div> <div>SPL.</div>	<div>SOUTH</div> <div>SOLID CORE</div> <div>SCHEDULE</div> <div>SECTION</div> <div>SHEET</div> <div>SIMILAR</div> <div>SQUARE</div> <div>SQUARE FEET</div> <div>STAINLESS STEEL</div> <div>STAIN</div> <div>STATION</div> <div>STANDARD</div> <div>STEEL</div> <div>STRUCTURAL</div> <div>SUSPEND(ED)</div> <div>SYMMETRICAL</div> <div>SYSTEM</div> <div>SPLASH</div>	
<div>A</div> <div>A/C</div> <div>ACOUS.</div> <div>ACOUS.T</div> <div>(OR AC.T.)</div> <div>ADD'N(L).</div> <div>ADJ.</div> <div>ALUM.</div> <div>ALT.</div> <div>ANOD.</div> <div>APPROV.</div> <div>APPROX.</div> <div>ARCH.</div> <div>AUTO.</div> <div>AVG.</div> <div>A.F.F.</div>	<div>AIR CONDITIONING</div> <div>ACOUSTICAL</div> <div>ACOUSTICAL TILE</div> <div>ADDITION(AL)</div> <div>ADJUSTABLE</div> <div>ALUMINUM</div> <div>ALTERNATE</div> <div>ANODIZED</div> <div>APPROVED</div> <div>APPROXIMATE</div> <div>ARCHITECT(URAL)</div> <div>AUTOMATIC</div> <div>AVERAGE</div> <div>ABOVE FINISH FLOOR</div>	<div>F</div> <div>F.ALM.</div> <div>FABR.</div> <div>F.E.</div> <div>F.E.C.</div> <div>F.F.</div> <div>F.H.C.</div> <div>FIN.</div> <div>FLR.</div> <div>FLUOR.</div> <div>F.O.C.</div> <div>F.O.F.</div> <div>F.O.G.</div> <div>F.O.S.</div> <div>F.O.W.</div> <div>FR.</div> <div>F.S.</div> <div>FT.</div> <div>F-F.</div> <div>FURR.</div>	<div>FIRE ALARM</div> <div>FABRICATE</div> <div>FIRE EXTINGUISHER</div> <div>FIRE EXTINGUISHER</div> <div>CABINET</div> <div>FINISH FLOOR</div> <div>FIRE HOSE CABINET</div> <div>FINISH(ED)</div> <div>FLOOR</div> <div>FLUORESCENT</div> <div>FACE OF CONCRETE</div> <div>FACE OF FINISH</div> <div>FACE OF GYP. BD.</div> <div>FACE OF STUD</div> <div>FACE OF WALL</div> <div>FRAME</div> <div>FULL SIZE</div> <div>FOOT OR FEET</div> <div>FACE TO FACE</div> <div>FURRING</div>	<div>N</div> <div>(N)</div> <div>N.</div> <div>NEG.</div> <div>N.I.C.</div> <div>NO.(OR #)</div> <div>N.T.S.</div>	<div>NEW</div> <div>NEW</div> <div>NEGATIVE</div> <div>NOT IN CONTRACT</div> <div>NUMBER</div> <div>NOT TO SCALE</div>	<div>T</div> <div>T&amp;B</div> <div>TECH.</div> <div>TEL.</div> <div>TEMPD.</div> <div>TEMP'Y</div> <div>TEMP. GL.</div> <div>THK.</div> <div>TYP.</div>	<div>TOP AND BOTTOM</div> <div>TECHNICAL</div> <div>TELEPHONE</div> <div>TEMPERED</div> <div>TEMPORARY</div> <div>TEMPERED GLASS</div> <div>THICK(NESS)</div> <div>TYPICAL</div>
<div>B</div> <div>BD.</div> <div>BLDG.</div> <div>BLKG.</div> <div>BRKT.</div> <div>BRZ.</div> <div>BSMT.</div>	<div>BOARD</div> <div>BUILDING</div> <div>BLOCKING</div> <div>BRACKET</div> <div>BRONZE</div> <div>BASEMENT</div>	<div>G</div> <div>GD.</div> <div>GA.</div> <div>GEN.</div> <div>G.F.I.</div> <div>GL.</div> <div>GYP.</div> <div>GYP. BD.</div>	<div>GARBAGE DISPOSAL</div> <div>GAUGE</div> <div>GENERAL</div> <div>GROUND FAULT</div> <div>ISOLATED</div> <div>GLASS OR GLAZED</div> <div>GYPSUM</div> <div>GYPSUM BOARD</div>	<div>O</div> <div>O.A.</div> <div>O.C.</div> <div>O.D.</div> <div>OFF.</div> <div>O.H.</div> <div>OPNG.</div> <div>OPP.</div> <div>ORIG.</div>	<div>OVERALL</div> <div>ON CENTER</div> <div>OUTSIDE DIAMETER</div> <div>OFFICE</div> <div>OPPOSITE HAND</div> <div>OPENING</div> <div>OPPOSITE</div> <div>ORIGINAL</div>	<div>U</div> <div>U.L.</div> <div>UTIL.</div> <div>U.O.N.</div>	<div>UNDERWRITERS</div> <div>LABORATORY</div> <div>UTILITY</div> <div>UNLESS OTHERWISE NOTED</div>
<div>C</div> <div>CAB.</div> <div>C.C.</div> <div>CER.</div> <div>CLKG.</div> <div>¢</div> <div>CLG.</div> <div>CLOS.</div> <div>CLR.</div> <div>CLR. OPG.</div> <div>COL.</div> <div>CONC.</div> <div>CONN.</div> <div>CONST.</div> <div>CONT.</div> <div>COR.</div> <div>CORR.</div> <div>CTR.</div> <div>C.W.</div>	<div>CABINET</div> <div>CENTER TO CENTER</div> <div>CERAMIC</div> <div>CAULKING</div> <div>CENTER LINE</div> <div>CEILING</div> <div>CLOSET</div> <div>CLEAR</div> <div>CLEAR OPENING</div> <div>COLUMN</div> <div>CONCRETE</div> <div>CONNECTION(ION)</div> <div>CONSTRUCTION</div> <div>CONTINUOUS</div> <div>CORNER</div> <div>CORRIDOR</div> <div>CENTER</div> <div>COLD WATER</div>	<div>G</div> <div>GD.</div> <div>GA.</div> <div>GEN.</div> <div>G.F.I.</div> <div>GL.</div> <div>GYP.</div> <div>GYP. BD.</div>	<div>GARBAGE DISPOSAL</div> <div>GAUGE</div> <div>GENERAL</div> <div>GROUND FAULT</div> <div>ISOLATED</div> <div>GLASS OR GLAZED</div> <div>GYPSUM</div> <div>GYPSUM BOARD</div>	<div>P</div> <div>PART. BD.</div> <div>P.LAM.</div> <div>PLAS.</div> <div>PLY.</div> <div>PNL.</div> <div>PR.</div> <div>PREFAB.</div> <div>PROJ.</div> <div>PTN.</div> <div>PTD.</div>	<div>PARTICLE BOARD</div> <div>PLASTIC LAMINATE</div> <div>PLASTER</div> <div>PLYWOOD</div> <div>PANEL</div> <div>PAIR</div> <div>PREFABRICATED</div> <div>PROJECT</div> <div>PARTITION</div> <div>PAINTED</div>	<div>V</div> <div>VERT.</div> <div>VEST.</div> <div>V.I.F.</div> <div>VOL.</div> <div>VER</div>	<div>VERTICAL</div> <div>VESTIBULE</div> <div>VERIFY IN FIELD</div> <div>VOLUME</div> <div>VERIFY</div>
<div>D</div> <div>D.A.</div> <div>DBL.</div> <div>DEPT.</div> <div>DET.</div> <div>D.F.</div> <div>DIA.</div> <div>DIM.</div> <div>DIV.</div> <div>DN.</div> <div>DR.</div> <div>DWG.</div> <div>DRW.</div> <div>DW.</div>	<div>DOUBLE-ACTING</div> <div>DOUBLE</div> <div>DEPARTMENT</div> <div>DETAIL</div> <div>DRINKING FOUNTAIN</div> <div>DIAMETER</div> <div>DIMENSION</div> <div>DIVISION</div> <div>DOWN</div> <div>DOOR</div> <div>DRAWING</div> <div>DRAWER</div> <div>DISHWASHER</div>	<div>H</div> <div>HDWR.</div> <div>HDWD.</div> <div>HGT.</div> <div>H.M.</div> <div>HORIZ.</div> <div>HVAC</div> <div>H.W.</div>	<div>HARDWARE</div> <div>HARDWOOD</div> <div>HEIGHT</div> <div>HOLLOW METAL</div> <div>HORIZONTAL</div> <div>HEATING</div> <div>VENTILATING AND</div> <div>AIR CONDITIONING</div> <div>HOT WATER</div>	<div>Q</div> <div>QUAL.</div> <div>QUAN.</div>	<div>QUALITY</div> <div>QUANTITY</div>	<div>W</div> <div>(W)</div> <div>W/</div> <div>W.C.</div> <div>WD</div> <div>WDW.</div> <div>W.H.</div> <div>W/O</div> <div>W.S.</div> <div>WT.</div> <div>W.P.</div>	<div>WEST</div> <div>WITH</div> <div>WALL COVERING</div> <div>WOOD</div> <div>WINDOW</div> <div>WATER HEATER</div> <div>WITHOUT</div> <div>WEATHERSTRIPPING</div> <div>WEIGHT</div> <div>WORK POINT</div>
<div>I</div> <div>I.M.</div> <div>I.D.</div> <div>INCL.</div> <div>INFO.</div> <div>INCAN.</div>	<div>DOUBLE-ACTING</div> <div>DOUBLE</div> <div>DEPARTMENT</div> <div>DETAIL</div> <div>DRINKING FOUNTAIN</div> <div>DIAMETER</div> <div>DIMENSION</div> <div>DIVISION</div> <div>DOWN</div> <div>DOOR</div> <div>DRAWING</div> <div>DRAWER</div> <div>DISHWASHER</div>	<div>I</div> <div>I.M.</div> <div>I.D.</div> <div>INCL.</div> <div>INFO.</div> <div>INCAN.</div>	<div>ICE MAKER</div> <div>INSIDE DIAMETER</div> <div>INCLUDE(D)(ING)</div> <div>INFORMATION</div> <div>INCANDESCENT</div>	<div>R</div> <div>RE.</div> <div>R.</div> <div>R/A</div> <div>RAD.</div> <div>RECEP.</div> <div>REF.</div> <div>REFL.</div> <div>REINF.</div> <div>RESIL.</div> <div>REQD.</div> <div>R.H.</div> <div>RM.</div> <div>RND.</div> <div>R.O.</div> <div>REV.</div>	<div>RELOCATE</div> <div>REMOVE</div> <div>RETURN AIR</div> <div>RADIUS</div> <div>RECEPTACLE</div> <div>REFERENCE</div> <div>REFLECTED</div> <div>REINFORCED</div> <div>RESILIENT</div> <div>REQUIRED</div> <div>RIGHT HAND</div> <div>ROOM</div> <div>ROUND</div> <div>ROUGH OPENING</div> <div>REVISION</div>	<div>Y</div> <div>YD.</div>	<div>YARD</div>
<div>L</div> <div>∠</div> <div>LAM.</div> <div>LB. (OR #)</div> <div>L.H.</div>	<div>ANGLE</div> <div>LAMINATE</div> <div>POUND</div> <div>LEFT HAND</div>						

General Notes

1.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB. (I.E. REVISIONS)
2.

THE CONTRACTOR SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO HOLTZ DESIGN ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES AN ERROR, WITHOUT SUCH NOTICE TO HOLTZ DESIGN, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
3.

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED HOLTZ ARCHITECTURE AT ONCE.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
5.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, WATER, HEAT, UTILITIES, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED IN THE WORK.
6.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, INCLUDING CERTIFICATE OF OCCUPANCY, WHICH ARE CUSTOMARILY SECURED AFTER EXECUTION OF THE CONTRACT AND WHICH ARE LEGALLY REQUIRED WHEN BIDS ARE RECEIVED OR NEGOTIATIONS CONCLUDED.
7.

THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.
8.

IT IS NOT THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, ORDINANCES, BUILDING CODES, AND RULES AND REGULATIONS. HOWEVER, IF THE CONTRACTOR OBSERVES THAT PORTIONS OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL PROMPTLY NOTIFY HOLTZ DESIGN IN WRITING AND NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE MODIFICATION.
1.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES
2.

THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED AND OBTAINED WRITTEN APPROVAL FROM THE ARCHITECT. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS BY WWCOT REVIEW THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING A COMPLETE INSTALLATION OF ELEMENTS WHETHER OR NOT THE SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ARCHITECT.
3.

CONTRACTOR SHALL SUBMIT 3 PRINT FULL SIZE PRINTS OF REQUIRED SHOP DRAWINGS FOR REVIEW OF CONCEPTUAL DESIGN BY THE ARCHITECT PRIOR TO EXECUTION OF WORK.
4.

ALL AREAS TO RECEIVE MILLWORK SHALL BE FIELD MEASURED PRIOR TO CONSTRUCTION.
5.

NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBREBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5.
6.

HORIZONTAL DIMENSIONS ARE TO FINISH FACE OF WALL OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
7.

VERTICAL DIMENSIONS AND ELEVATIONS ARE TO FINISH MATERIALS UNLESS NOTED OTHERWISE.
8.

CONTRACTOR SHALL PROVIDE A COMPLETE PARTITION LAYOUT CHALKED IN FIELD FOR REVIEW BY WWCOT PRIOR TO ANY CONSTRUCTION.
9.

CONTRACTOR SHALL VERIFY EQUIPMENT ROUGH-IN REQUIREMENTS WITH THE EQUIPMENT MANUFACTURERS.
10.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS.
11.

NOTIFY OWNER OF NON-AVAILABILITY OF SPECIFIED MATERIALS AT THE TIME OF BIDDING. IF NO NOTIFICATION IS GIVEN, IT WILL BE ASSUMED THAT MATERIALS ARE AVAILABLE.
12.

SUBSTITUTIONS OF SPECIFIED PRODUCTS WILL REQUIRE WRITTEN APPROVAL BY WWCOT PRIOR TO ORDERING OR INSTALLATION.
13.

DO NOT SCALE THE DRAWINGS.



REVIEWED

By Kora McNaughton at 2:32 pm, Jan 04, 2022

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Los Angeles CA 90057

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213 377 5550

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info@holtz-architecture.com



EXHIBIT "A"  
Page No. 1 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

Small Lot Subdivision  
7 Lots  
13906 Oxnard St.  
Van Nuys, CA 91401

Project Data

PROJECT ADDRESS:	13906 OXNARD ST. VAN NUYS, CA 91401
PROJECT DESCRIPTION:	8 LOT SMALL LOT SUBDIVISION
LEGAL DESCRIPTION:	TRACT: TR 1000 BLOCK: NONE LOT: PT 59 ARB: 1 MAP REFERENCE: MB 19-2 (SHT 2) APN: 2246003037
COMMUNITY PLAN AREA:	VAN NUYS - NORTH SHERMAN OAKS
NEIGHBORHOOD COUNCIL:	GREATER VALLEY GLEN
AREA PLANNING COMMISSION:	SOUTH VALLEY
LADBS DISTRICT OFFICE :	VAN NUYS
BUILDING CODE:	2016 CITY OF LOS ANGELES / GREEN BUILDING CODE
OCCUPANCY GROUP:	R-3
ZONING:	RD1.5-1
GENERAL PLAN LAND USE:	VERY LOW II RESIDENTIAL
LOT AREA:	10,553.8 SF
TYPE OF CONSTRUCTION:	V-A
BUILDING HEIGHT:	43'-6", 4 STORIES
PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM:	NFP-13D

Drawing List

A00.00	TITLE SHEET	A06.01	DETAILS
A00.01	ZONING INFORMATION	A06.02	DETAILS
A00.02	NOTES	A06.03	DETAILS
		A06.04	DETAILS
		A06.05	DETAILS
A01.01	SITE PLAN		
A01.02	SITE ELEVATIONS		
		A07.01	RENDERINGS
A02.01	FLOOR PLANS	A07.02	RENDERINGS
A02.02	FLOOR PLANS	A07.03	RENDERINGS
A02.03	FLOOR PLANS		
A02.04	FLOOR PLANS		
A03.01	ELEVATIONS		
A03.02	ELEVATIONS		
A03.03	ELEVATIONS		
A03.04	ELEVATIONS		
A04.01	SECTIONS		
A04.02	SECTIONS		
A04.02	SECTIONS		

Vicinity Map



Project :

Small Lot Subdivision: 7 Lots  
13906 Oxnard St.  
Van Nuys, CA 91401

Client :  
xxx  
xxx  
xxx

Proj. No.: 20-02.001.01  
Drawn By: CO  
Reviewed By: DLH  
Date: XXXX/XX  
Scale: AS NOTED

Drawing Title :

TITLE SHEET

Sheet No. :

A0.0



*By Kora McNaughton at 2:31 pm, Jan 04, 2022*

Email  
info@holtz-architecture.com

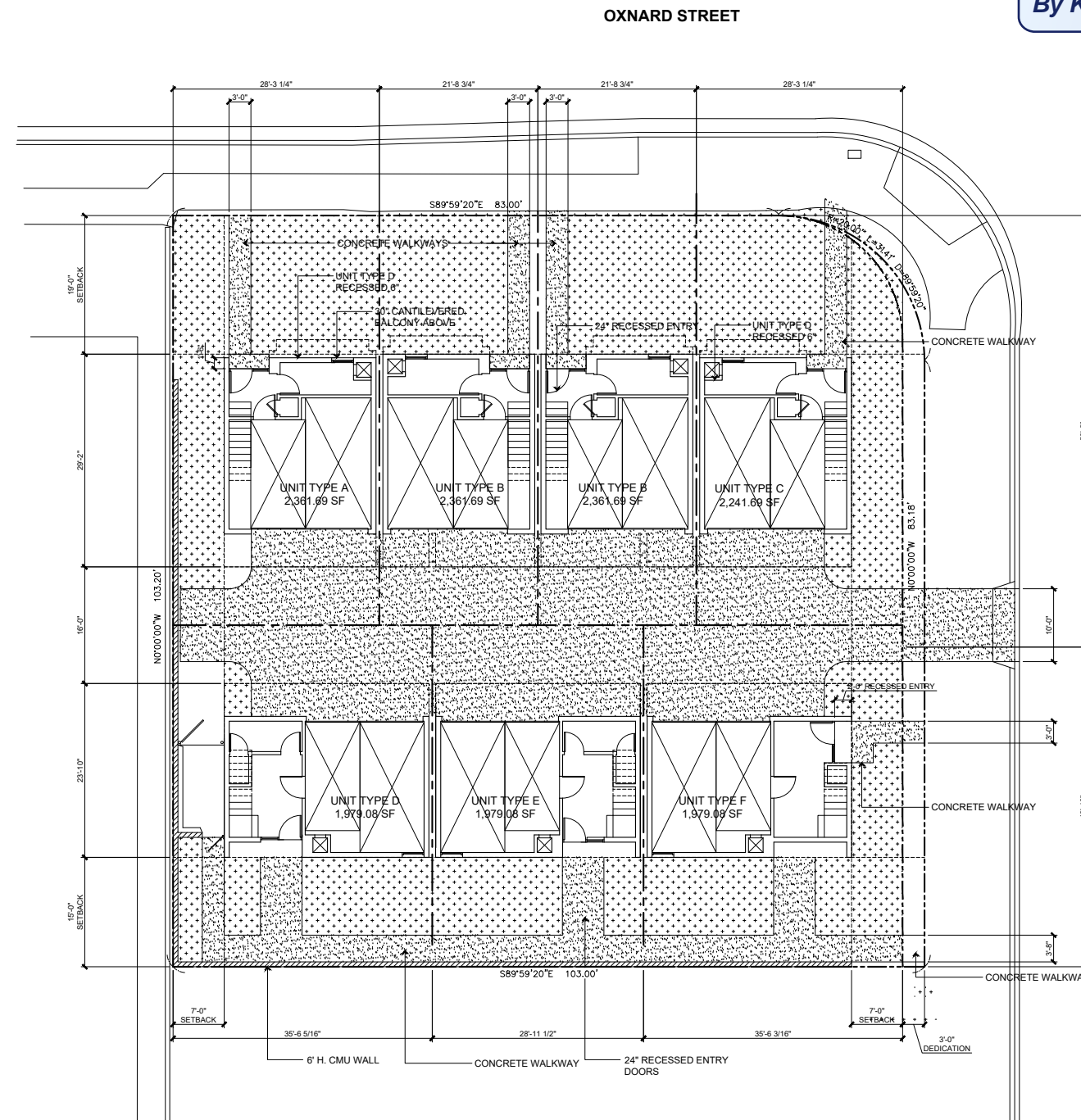
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






**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

Scale: AS NOTED

## SITE PLAN

# A01.01



	LANDSCAPED AREA
	PERMEABLE PAVING
	8" CMU
	PROPERTY LINE
	HIWAY DEDICATION LINE
	SETBACK LINE
	BUILDING LINE

**SITE PLAN**  
SCALE 1" = 8'-0"

*By Kora McNaughton at 2:32 pm, Jan 04, 2022*

## EXHIBIT "A"

Page No. 4 of 21

**Case No.** ADM-2020-4357-SLD & VTT-83061-SL-HCA

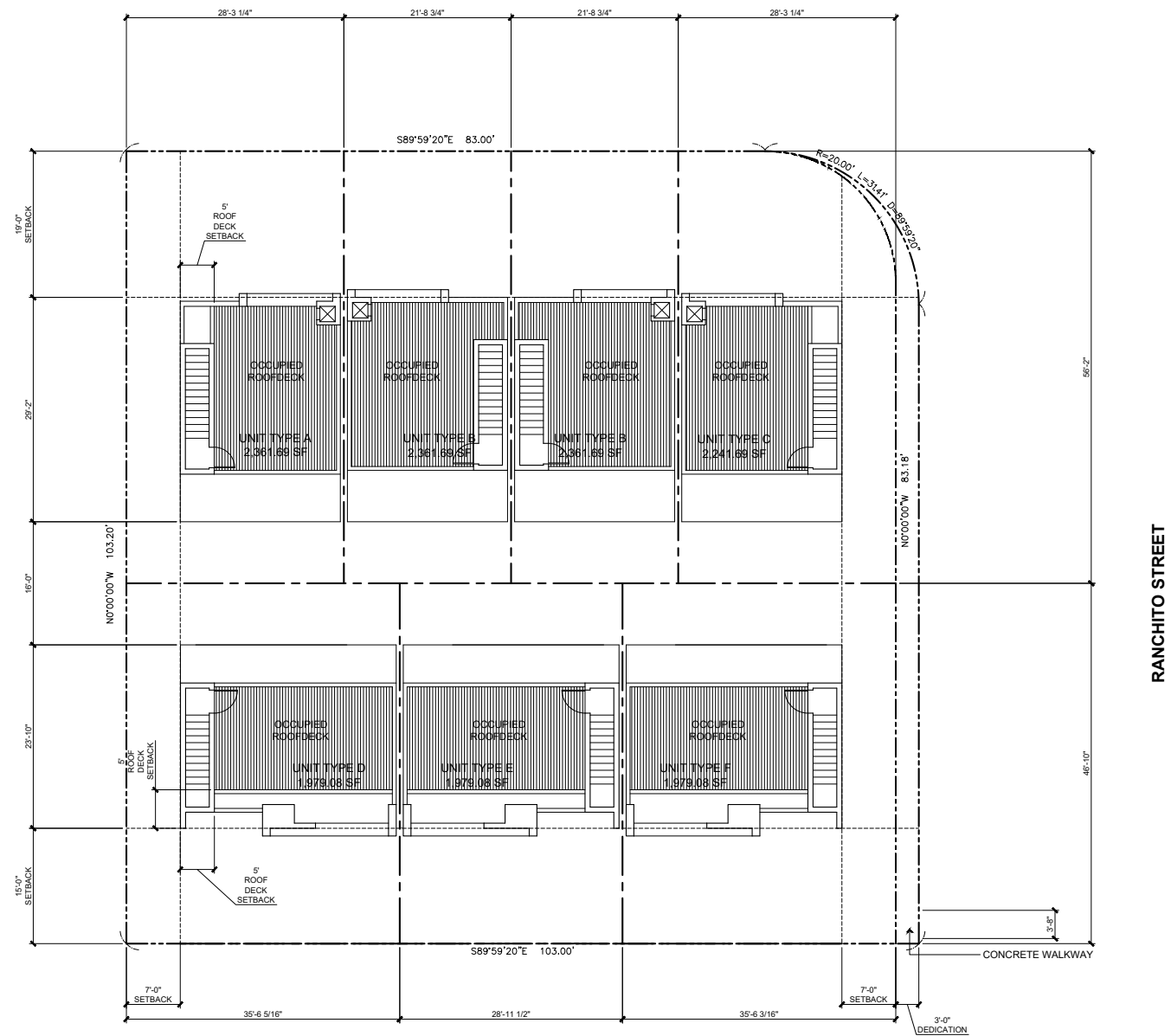
Email  
info@holtz-architecture.com



DATE		REVISIONS

SITE PLAN:  
ROOFS

A01.01A



	LANDSCAPED AREA
	PERMEABLE PAVING
	8" CMU
	PROPERTY LINE
	HIWAY DEDICATION LINE
	SETBACK LINE
	BUILDING LINE

REVIEWED

By Kora McNaughton at 2:33 pm, Jan 04, 2022

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EXHIBIT "A"

Page No. 5 of 21

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA


DATE	REVISIONS
------	-----------

Project :

Small Lot Subdivision: 7 Lots

13906 Oxnard St.  
Van Nuys, CA 91401

Client :  
xxx  
xxx  
xxx

Proj. No.: 20-02.001.01  
CO  
Drawn By: DLH  
Reviewed By: XXXX/XX  
Date:

Scale: AS NOTED

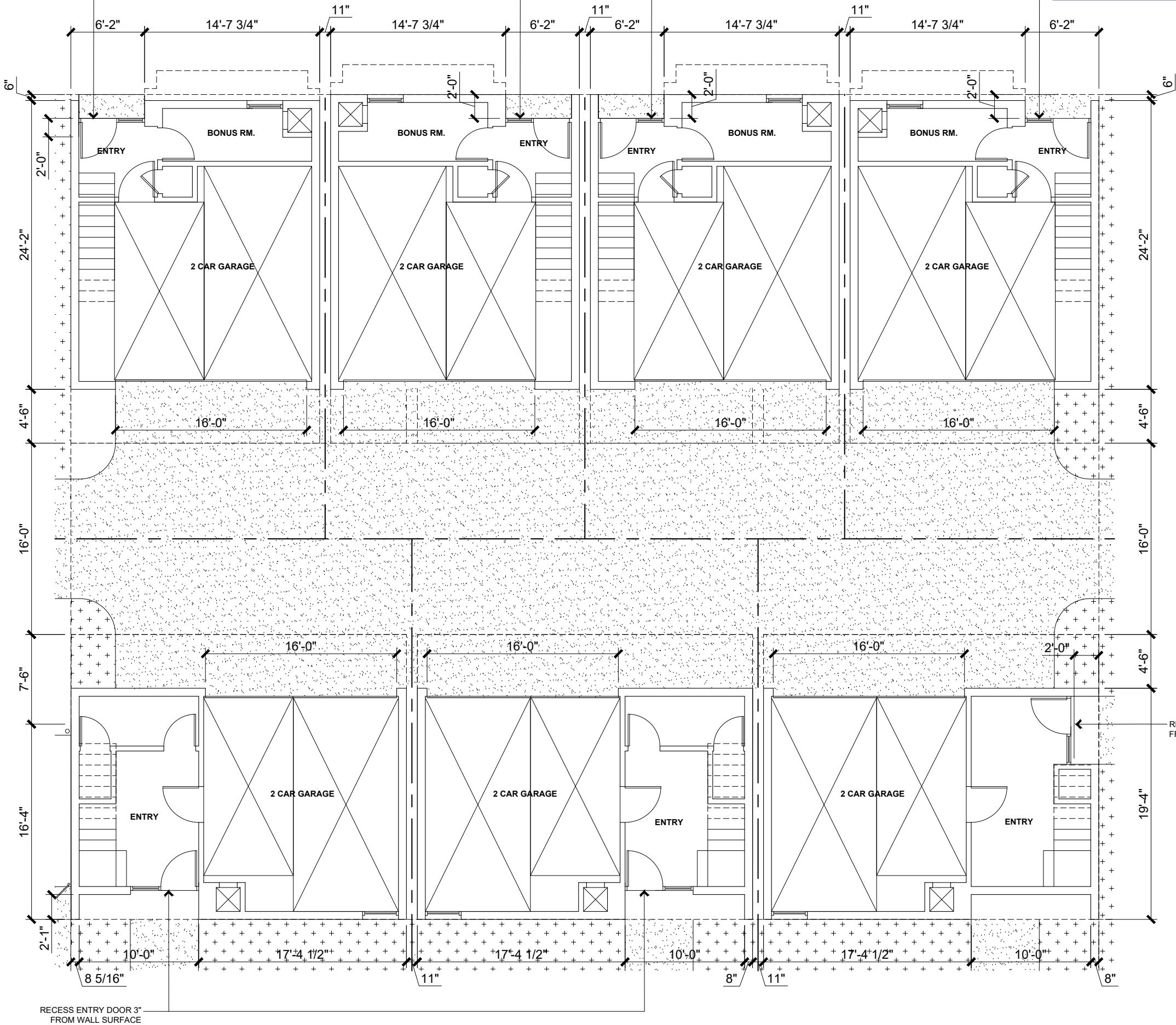
Drawing Title :

FIRST FLOOR PLAN

Sheet No. :

A02.01

RECESS ENTRY DOOR 3"  
FROM WALL SURFACE



RECESS ENTRY DOOR 24"  
FROM WALL SURFACE

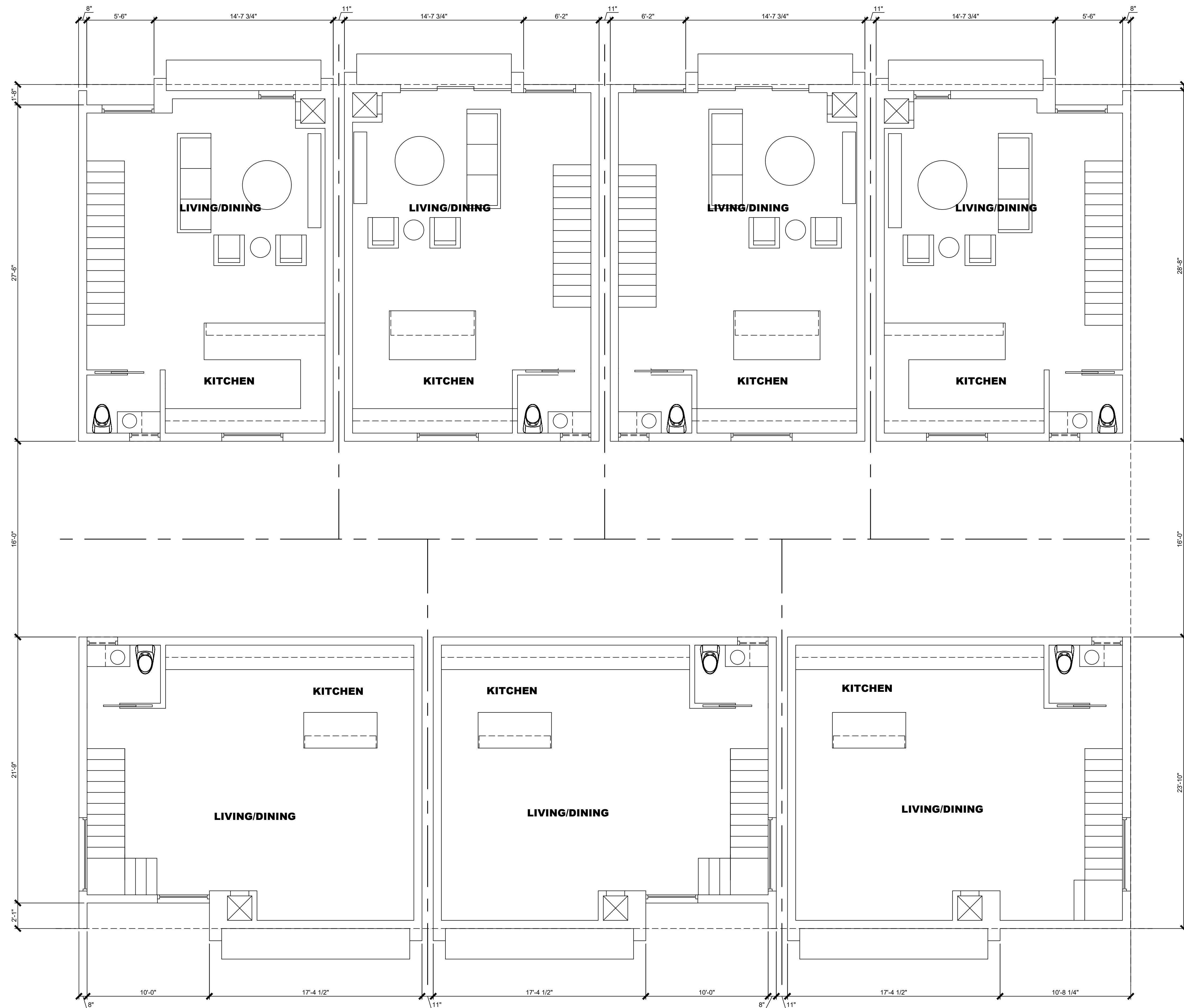
RECESS ENTRY DOOR 3"  
FROM WALL SURFACE

*By Kora McNaughton at 2:33 pm, Jan 04, 2022*

Page No. 6 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

[illegible]

## A02.02

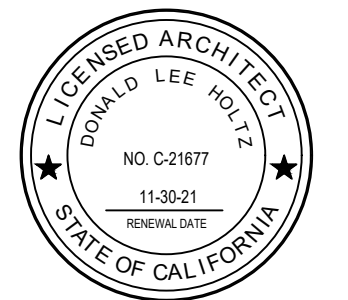


*By Kora McNaughton at 2:33 pm, Jan 04, 2022*

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<b>EXHIBIT "A"</b>	
Page No. <u>7</u>	of <u>21</u>
Case No. <u>ADM-2020-4357-SLD &amp; VTT-83061-SL-HCA</u>	

DATE		REVISIONS

Project :

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

**Client :**

xxx  
xxx  
xxx

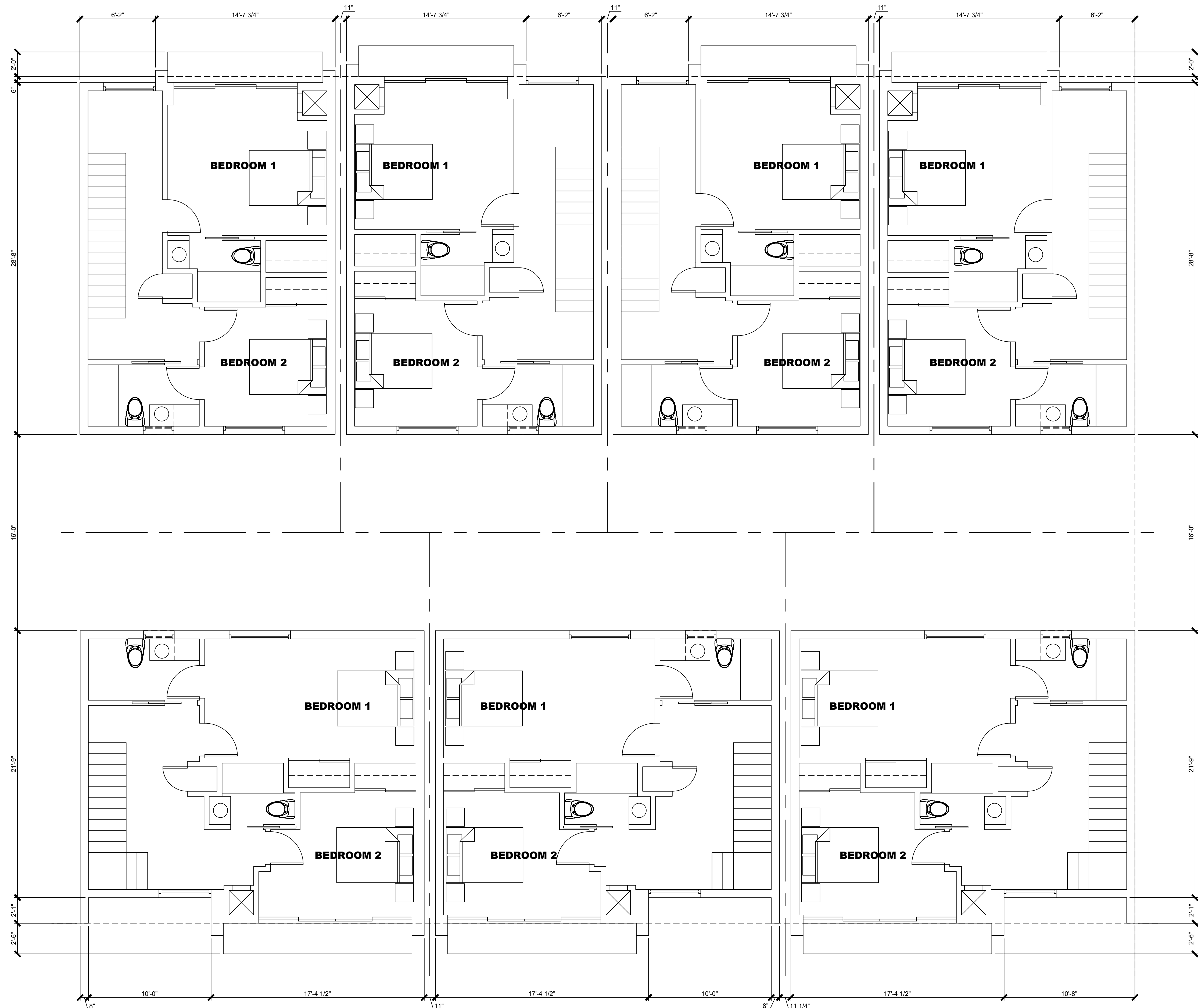
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 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX  
 Scale: AS NOTED

Drawing Title :

### THIRD FLOOR PLAN

Sheet No. :

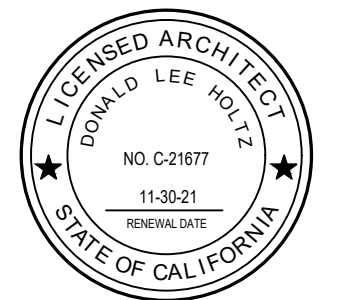
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
*By Kora McNaughton at 2:33 pm, Jan 04, 2022*

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Los Angeles CA 90057

Email  
info@holtz-architecture.com



**Case No.** ADM-2020-4357-SLD & VTT-83061-SL-HCA

DATE		REVISIONS

Project :

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

Client :	xxx
	xxx
	xxx

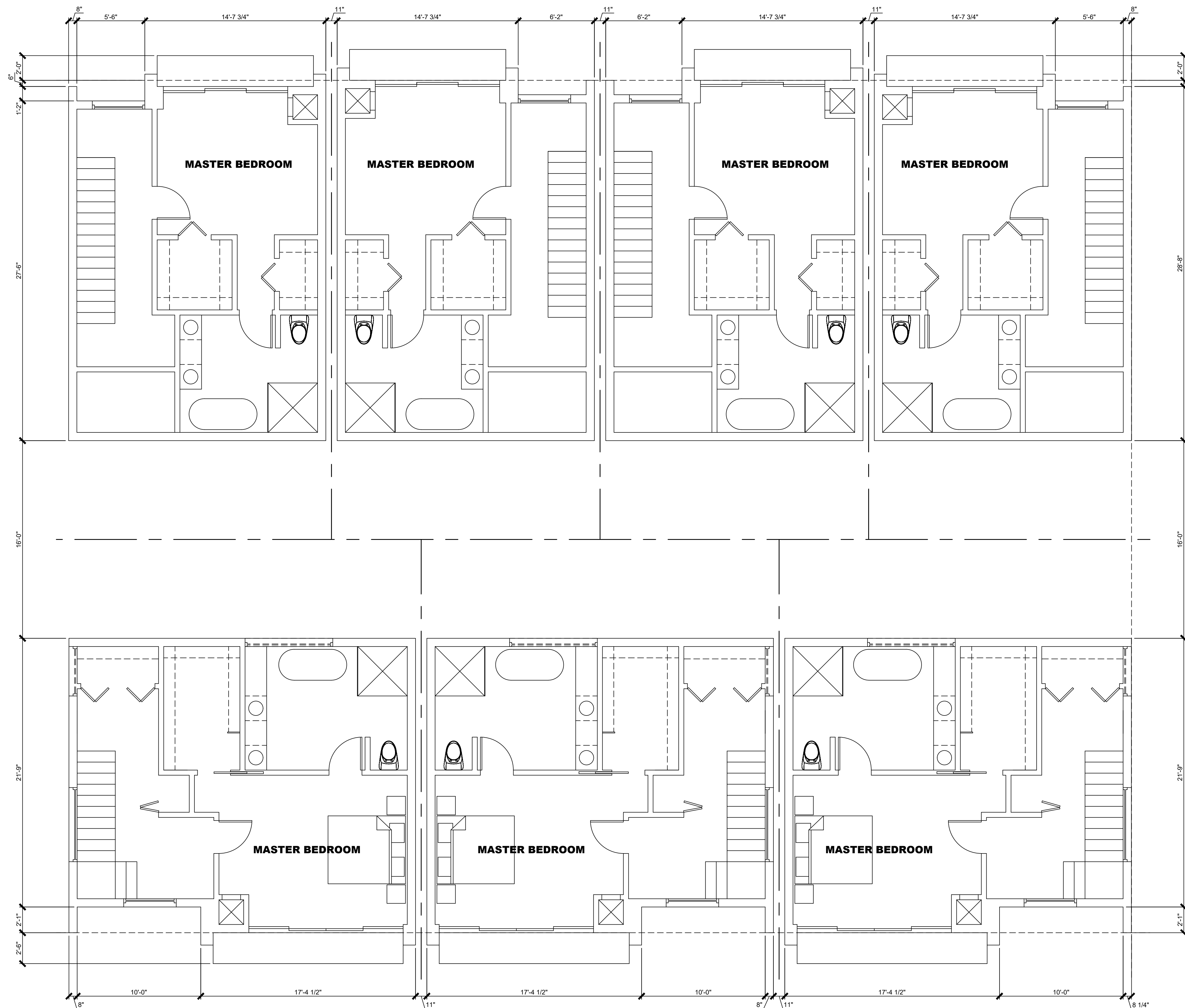
Proj. No.:	20-02.001.01
Drawn By:	CO
Reviewed By:	DLH
Date:	XX/XX/XX
Scale:	AS NOTED

Drawing Title :

FOURTH FLOOR PLAN

Sheet No. :

## A02.04



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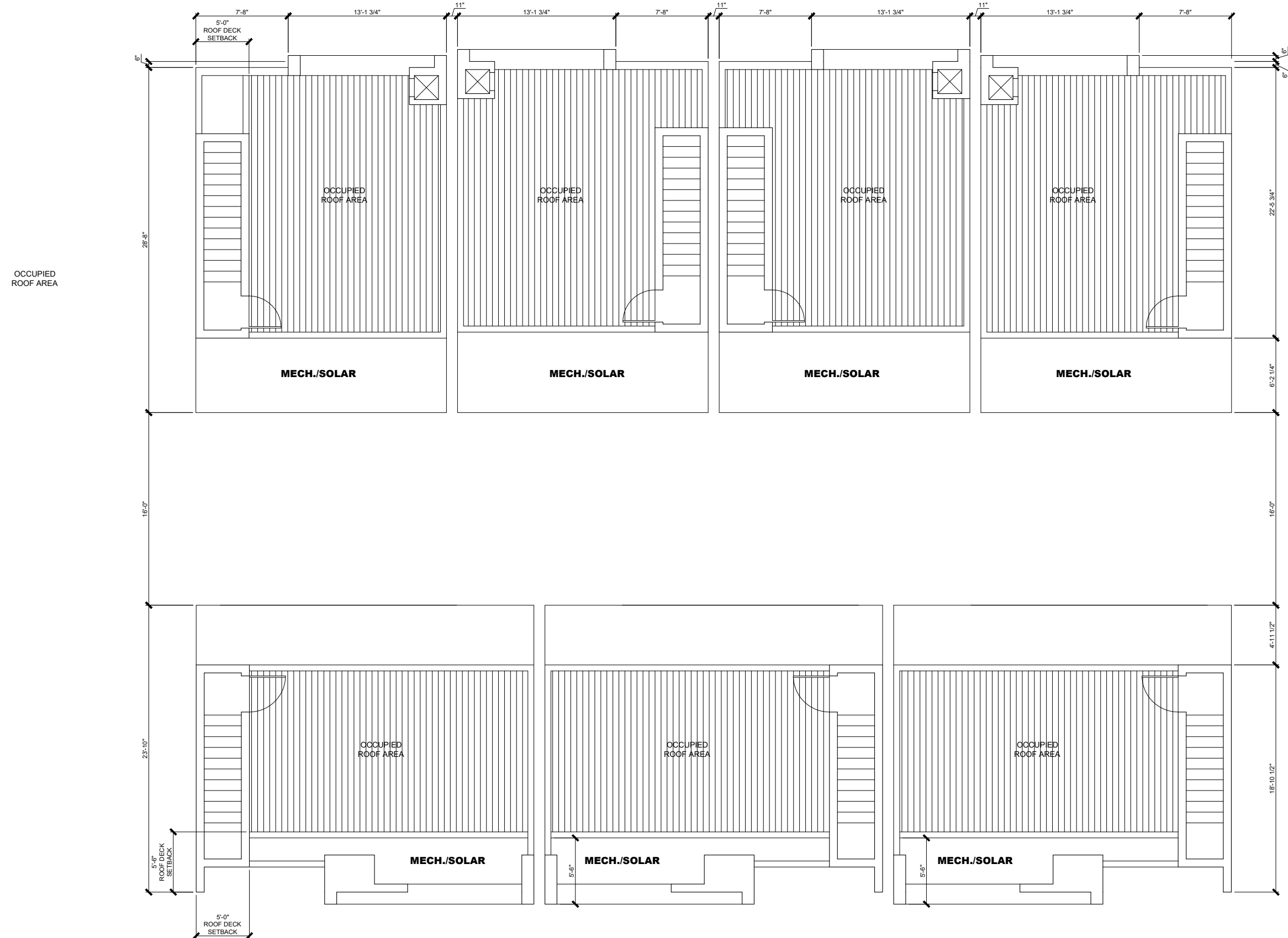
# EXHIBIT "A"

Page No. 9 of 21

**Case No.** ADM-2020-4357-SLD & VTT-83061-SL-HCA

[illegible]

## A02.05



**By Kora McNaughton at 2:34 pm, Jan 04, 2022**

3" LAP FLUSH CEDAR SIDING,  
CLEAR FINISH; PANELS  
PROJECT 3" FROM STUCCO  
SURFACE

Sheet No. :

**EXHIBIT "A"**  
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[illegible]

**Project :**

Small Lot Subdivision: 7 Lots

13906 Oxnard St.  
Van Nuys, CA 91401

Client :               XXX  
                XXX  
                XXX

Proj. No.: 20-02.001.01  
 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX

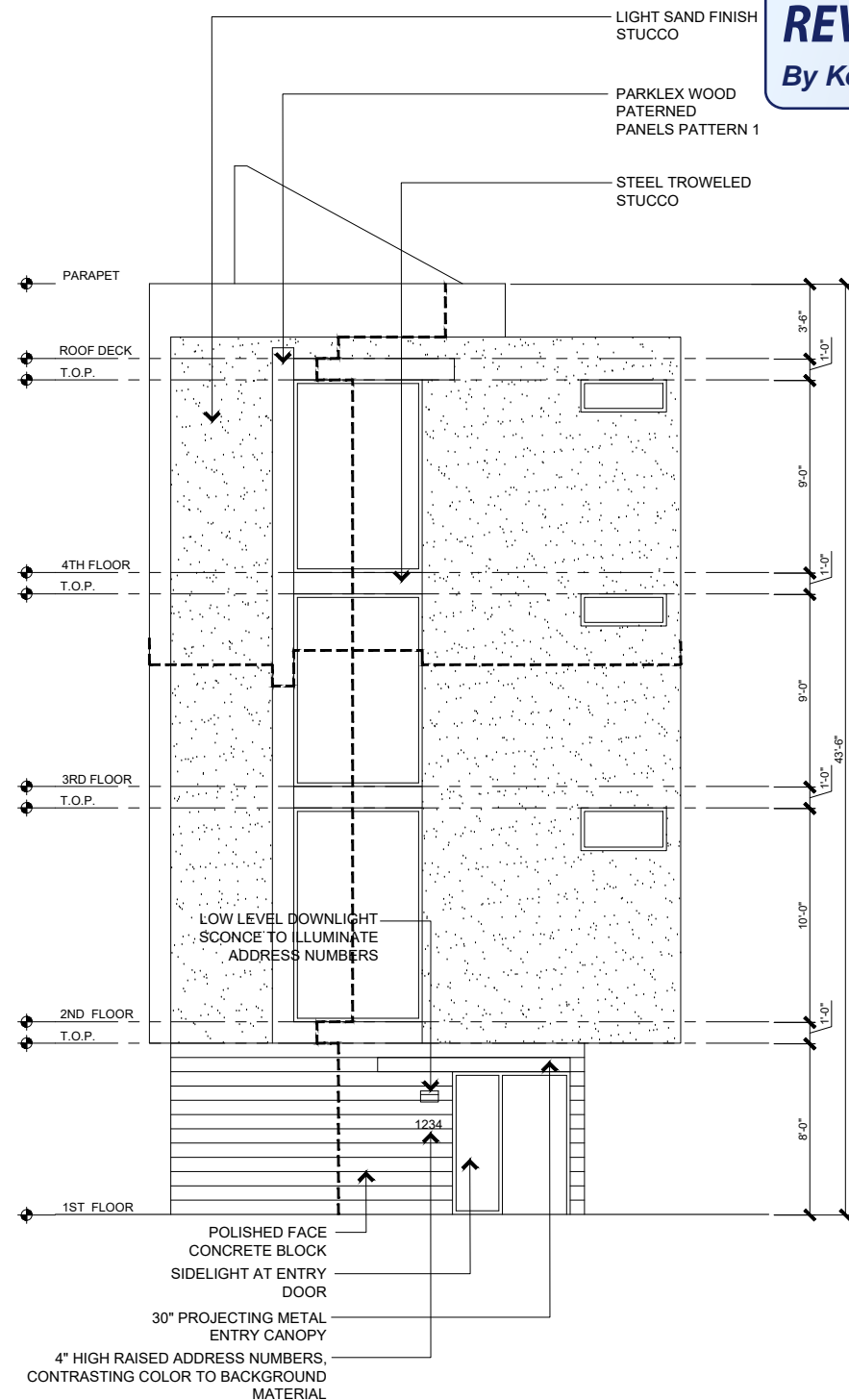
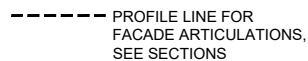
Scale: AS NOTED

Drawing Title :

ELEVATIONS  
HOUSE TYPE D, F  
WEST

Sheet No. :

# A03.02



**HOUSE TYPE D: WEST ELEVATION**  
SCALE 1/4" = 1'-0"

#### 4 HOUSE TYPE F: EAST ELEVATION


---

1

## EXHIBIT "A"

Page No. 11 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

*By Kora McNaughton at 2:34 pm, Jan 04, 2022*

DATE		REVISIONS

# A03.03



**EXHIBIT "A"**  
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Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

*By Kora McNaughton at 2:34 pm, Jan 04, 2022*

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## A03.04

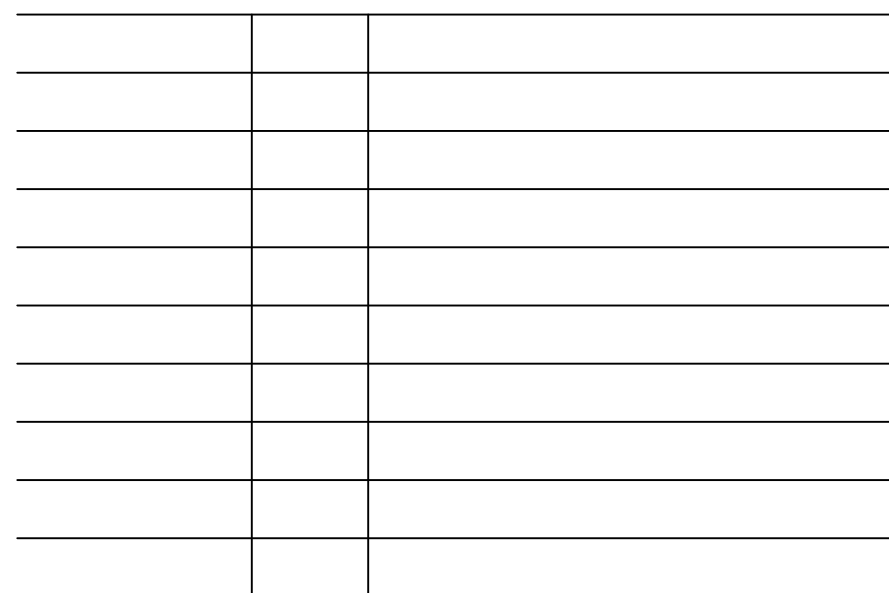


**EXHIBIT "A"**  
Page No. 13 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

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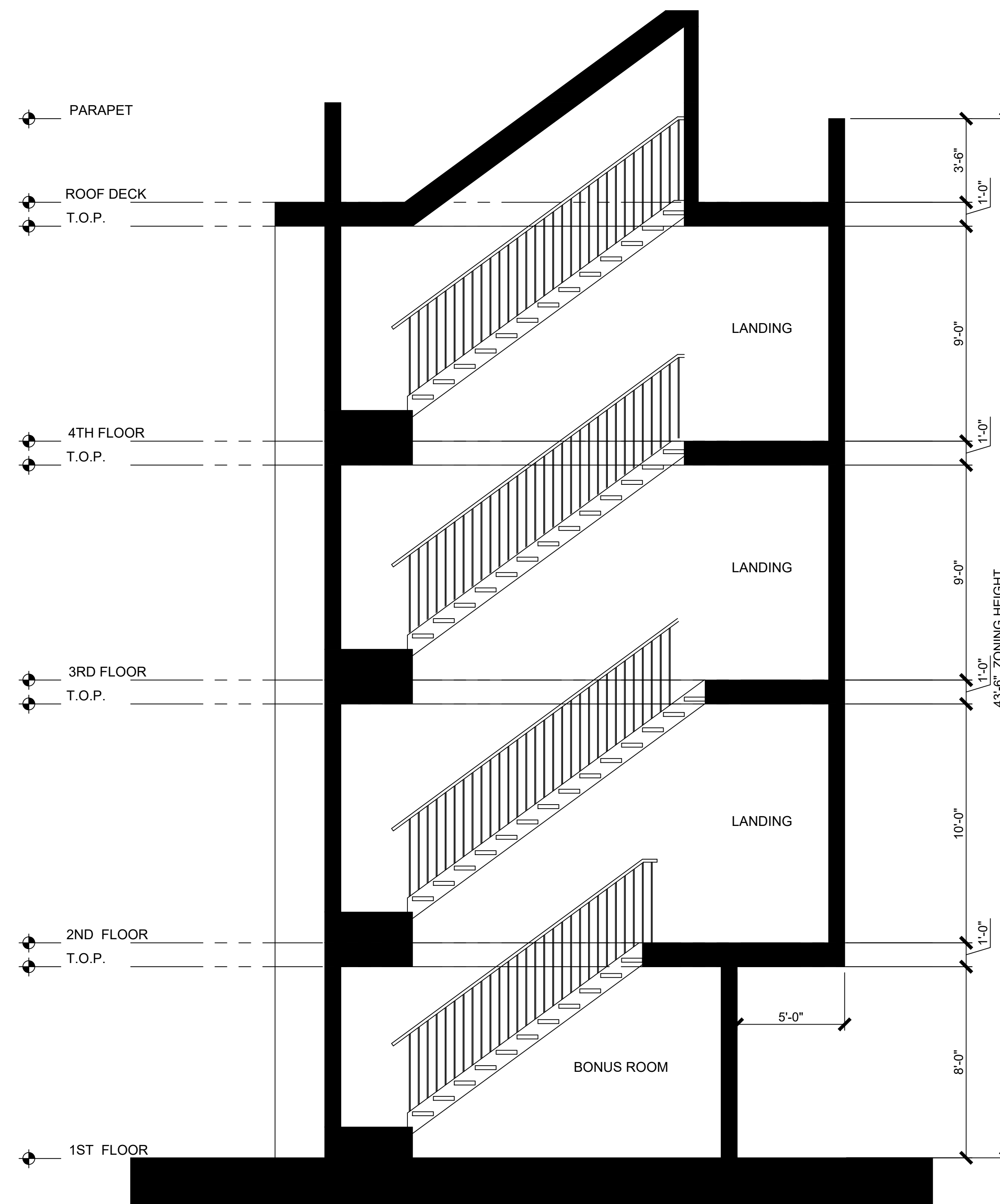
Project :

[illegible]

Drawing Title :

Sheet No. :

# A04.01



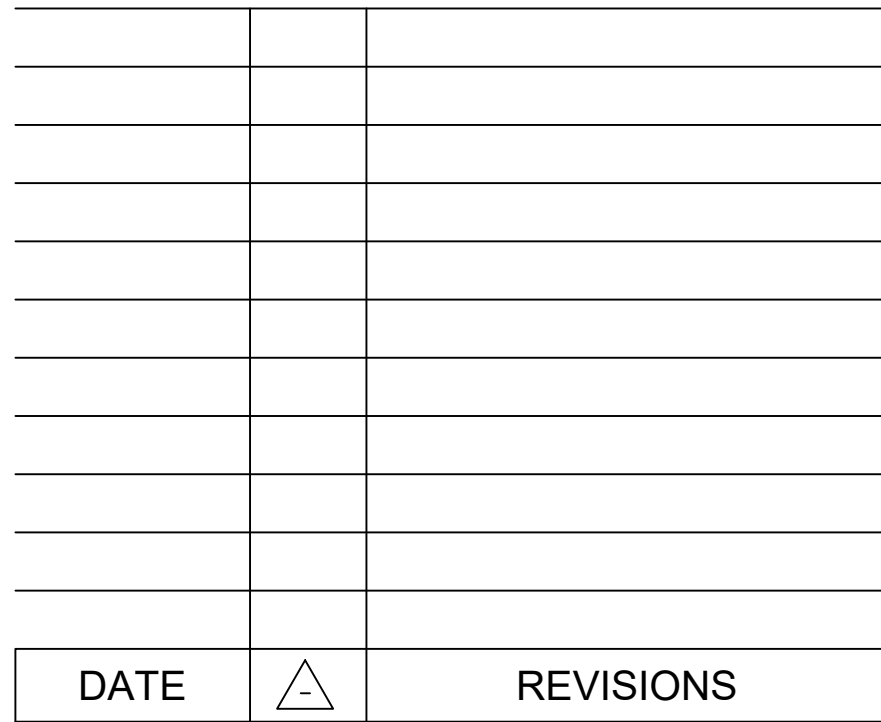
## 2 HOUSE TYPE A: NORTH-SOUTH SECTION

**EXHIBIT "A"**  
Page No. 14 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

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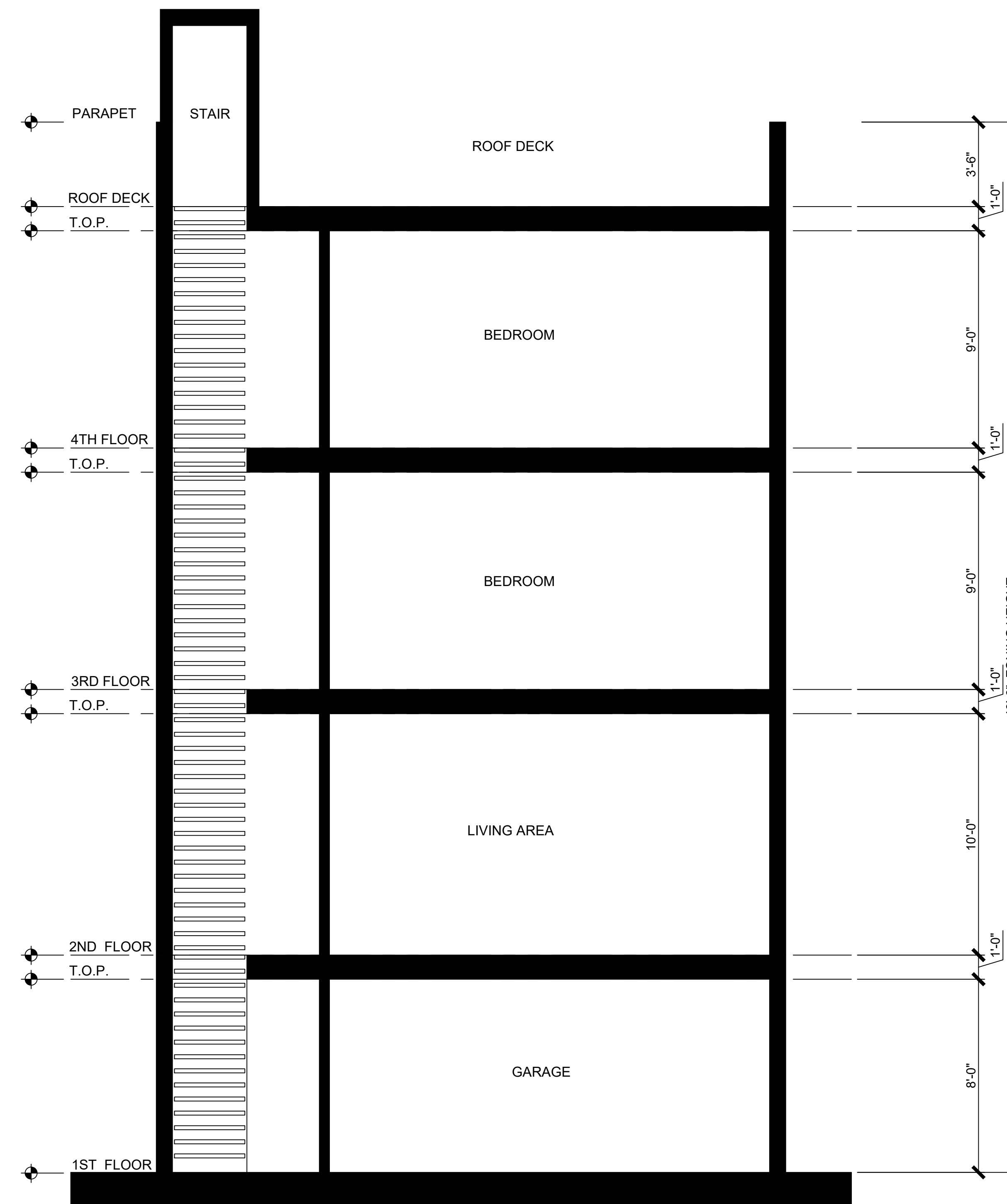


**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

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 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX  
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SECTIONS  
HOUSE TYPE A, C

# A04.02



## 2 HOUSE TYPE A: NORTH-SOUTH SECTION

<b>EXHIBIT "A"</b>	
Page No. <u>15</u>	of <u>21</u>
Case No. <u>ADM-2020-4357-SLD &amp; VTT-83061-SL-HCA</u>	

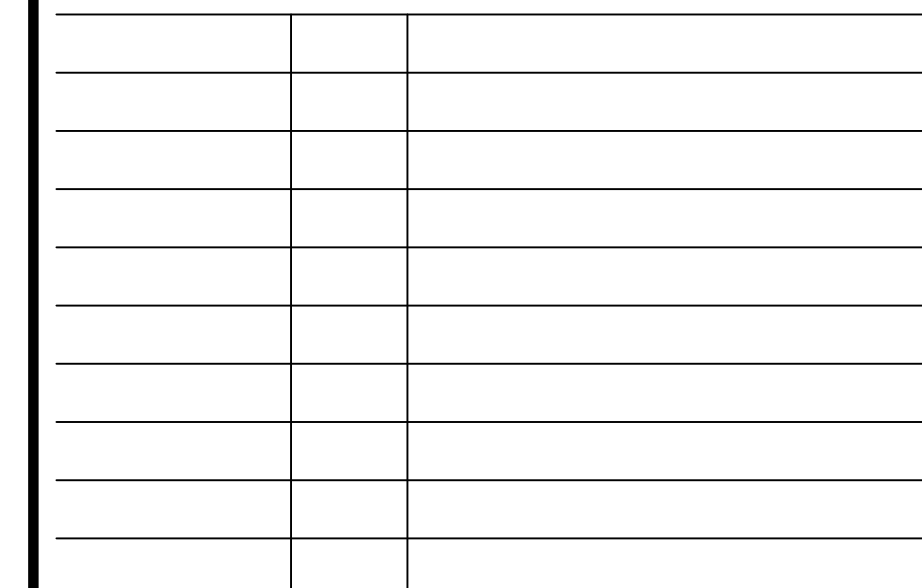
Sheet No. :

*By Kora McNaughton at 2:35 pm, Jan 04, 2022*

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DATE		REVISIONS
------	---	-----------

Project :

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

Client :            xxx  
                       xxx  
                       xxx

Proj. No.:	20-02.001.01
Drawn By:	CO
Reviewed By:	DLH
Date:	XX/XX/XX
Scale:	AS NOTED

Drawing Title :

SECTIONS  
HOUSE TYPE B, D

Sheet No. :

# A04.03

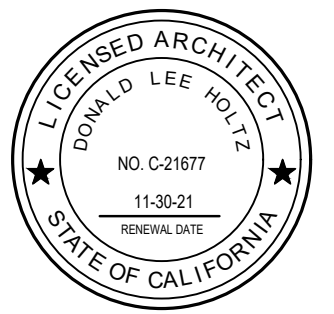


**EXHIBIT "A"**  
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[illegible]

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

Client :	xxx
	xxx
	xxx

Proj. No.: 20-02.001.01  
 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX  
 Scale: AS NOTED

## RENDERINGS

# A07.01



**VIEW FROM OXNARD ST., NORTHWEST**  
NO SCALE

1



## HOUSE TYPE B: STREET ENTRIES

---

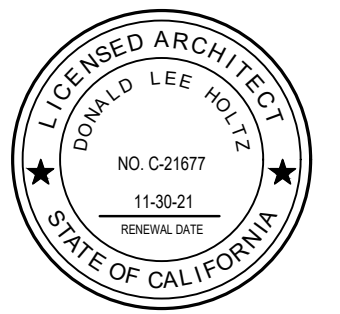
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**EXHIBIT "A"**  
Page No. 17 of 21  
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DATE	△	REVISIONS

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

Client :	xxx
	xxx
	xxx

Proj. No.: 20-02.001.01  
 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX  
 Scale: AS NOTED

## RENDERINGS

## A07.02



**VIEW FROM OXNARD ST., NORTHEAST**  
NO SCALE

---

1

This architectural rendering shows the exterior of a modern house. A woman stands in the glass-paned front door, which is framed by a dark wood panel. The house features a grey stone base, a white upper level, and a prominent dark wood overhang above the entrance. A small black mailbox is mounted on the stone wall to the left of the door. The address number '5309' is displayed on a dark plaque. The landscaping includes tall, feathery grasses and a concrete walkway leading to the entrance. Callout lines from the text on the left point to the mailbox, the address number, the wood overhang, the stone base, and the walkway.

**HOUSE TYPE C, D: STREET ENTRIES AT RANCHITO ST.**  
NO SCALE

---

**2**

**EXHIBIT "A"**  
Page No. 18 of 21  
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Los Angeles CA 90057

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[illegible]

Project :

**Small Lot Subdivision: 7 Lots**  
13906 Oxnard St.  
Van Nuys, CA 91401

**Client :**

xxx  
xxx  
xxx

Proj. No.: 20-02.001.01  
 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX  
 Scale: AS NOTED

Drawing Title :

## FACADE MATERIALS

Sheet No. :

## A07.04



6" TO THE WEATHER VERTICAL TONGUE AND  
GROOVE SIDING, CLEAR FINISH SEALANT



PARKLEX PANELS, COLOR "RUBI"  
MATERIAL MOUNTED IN A LARGE SCALE PATTERN

**CEDAR SIDING**  
NO SCALE

---

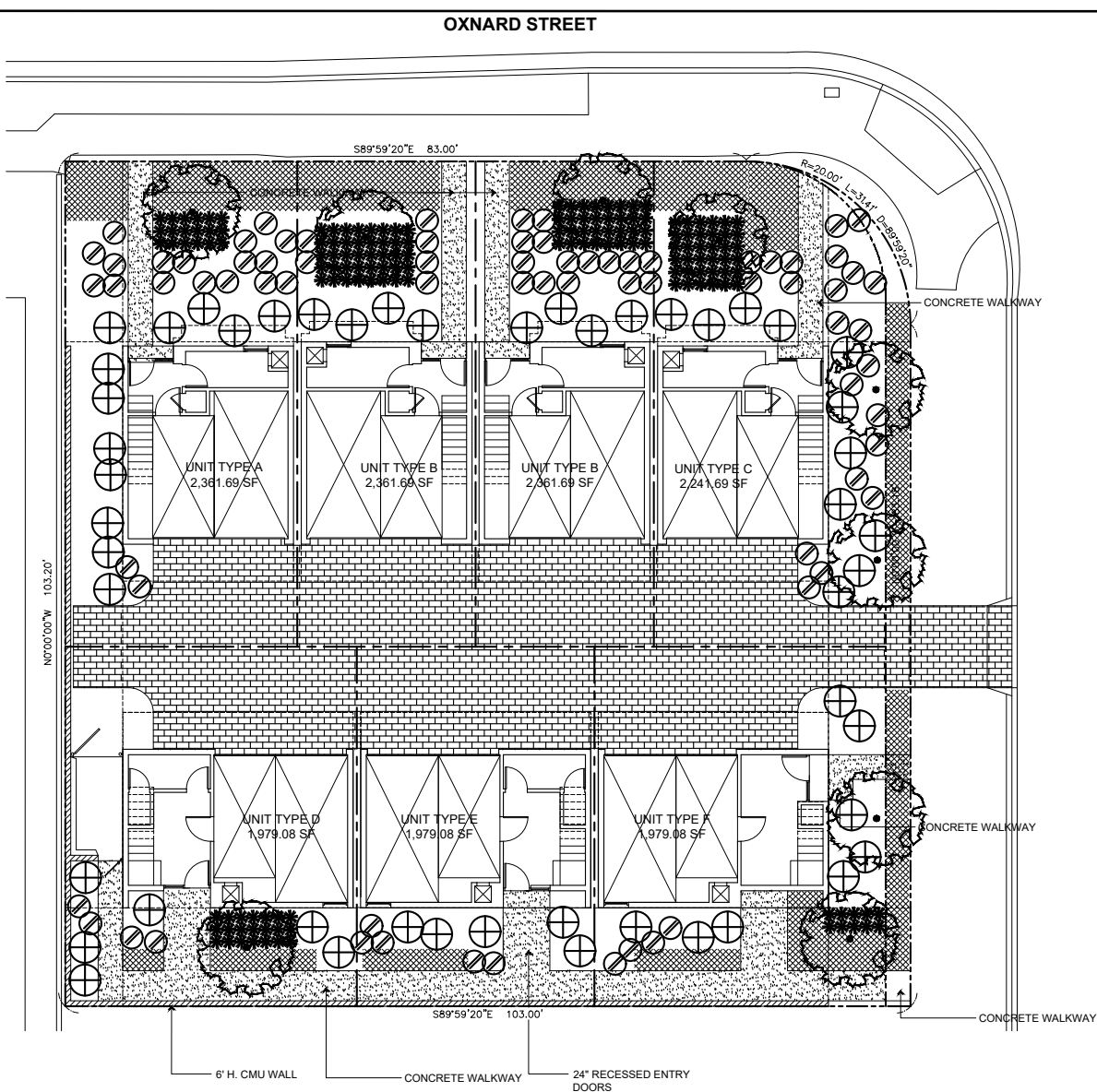
**2**

**PARKLEX FACADE MATERIAL**  
NO SCALE

---

2

**EXHIBIT "A"**  
Page No. 20 of 21  
Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA



ALL LANDSCAPE AREAS NOT  
PLANTED SHALL BE COVERED  
WITH DECOMPOSED GRANITE  
WITH A WEED INHIBITING  
FLOW THROUGH  
UNDERLAYMENT

FINAL PLACEMENT OF ALL  
PLANT MATERIALS SHALL  
BE APPROVED BY THE  
LANDSCAPE ARCHITECT

## PROJECT INFORMATION

SCOPE OF WORK: SMALL LOT SUBDIVISION

APN: 2246003032

ZONE: RD1.5-1

VTT NO: 83061

## GREEN BUILDING COMPLIANCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

## LANDSCAPE POINTS

PROJECT AREA: 10,553.8 SF  
REQUIRED POINTS: 15

STRAIGHT LINE ACCESS TO BUILDING ENTRY	5
ON OR OFF-SITE RECYCLING ALL VEGETATIVE WASTE	5
USE OF LA CITY ORGANIC TOPGRO COMPOST	5
TOTAL POINTS	15

**EXHIBIT "A"**  
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## GENERAL LANDSCAPE NOTES

I HAVE REVIEWED THE APPROVED "SOLAR ACCESS REPORT" PREPARED BY \_\_\_\_\_, DATED \_\_\_\_\_, AND THE TENTATIVE TRACT CONDITIONS OF APPROVAL DATED MARCH, 13, 2020, PRIOR TO PREPARING THE LANDSCAPE PLAN. THE LANDSCAPE PLAN SATISFIES TENTATIVE TRACT CONDITION NOS. 20e, SL-2.

THE SUB-DIVIDER SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:






A) THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.

B) SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC).

C) THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.

D) THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION


## PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
	<b>TREES</b> <i>Olea europaea</i> 'Swan Hill' / Fruitless Olive	4	36" Box	L	multi-trunk
	<b>SHRUBS</b> <i>Juncus patens</i> / California gray rush @ 18" o.c.	56	1g	L	
	<i>Lavandula stoechas</i> / Spanish lavender @ 30" o.c.	49	5g	L	
	<i>Muhlenbergia rigens</i> / Deer grass @ 36" o.c.	25	5g	L	
	<b>GROUND COVER</b> <i>Lantana montevidensis</i> / Lantana 415 sf @ 36" o.c. = 42 plants	35	1g	L	

SCALE: 1/8" = 1'-0"

A horizontal number line with tick marks at 0, 4, 8, and 16. The segment between 4 and 8 is shaded black.



DATE		REVISIONS

Project :

## Small Lot Subdivision: 7 Lots

13906 Oxnard St.  
Van Nuys, CA 91401

Client : XXX  
XXX  
XXX

Proj. No.: 20-02.001.0  
 Drawn By: CO  
 Reviewed By: DLH  
 Date: XX/XX/XX

Scale: AS NOTED

Drawing Title :

LANDSCAPE PLAN

Sheet No.

# L.01