DEPARTMENT OF **CITY PLANNING**

COMMISSION OFFICE (213) 978-1300

CITY OF LOS ANGELES **CALIFORNIA**

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MAYOR

Decision Date: March 3, 2022

Appeal End Date: March 14, 2022

SFV RE Development, LLC (O/A) VTT-83061-SL-HCA Re: Dan Reichman 13906 W. Oxnard Street

14556 Raymer Street Van Nuys – North Sherman Oaks Plan Area

Los Angeles, CA 91405 Zone : RD1.5-1 D.M. : 177B153 Steve Nazemi (R) : 2 – Krekorian C.D.

CEQA: ENV-2020-4358-CE DHS & Associate Inc.

275 Centennial Way, Unit 205 Legal Description: Portion of Lot 59 (Arb 1);

Tustin, CA 92780 Tract: 1000

In accordance with provisions of Section 17.51 and 17.53 of the Los Angeles Municipal Code (LAMC), the Advisory Agency determines that the project is categorically exempt, and issues ENV-2020-4358-CE as the environmental clearance and approves Vesting Tentative Tract Map No. VTT-83061-SL located at 13906 W. Oxnard Street, for a maximum 7 small lots, pursuant to LAMC Section 12.22 C.27, and adjustments to permit a reduced lot area for the seventh lot and a 3-foot building line encroachment for Lots 1, 2, 3, and 4 as shown on revised map stamp-dated December 22, 2021, in the Van Nuys-North Sherman Oaks Community Plan area. This unit density is based on the RD1.5-1 Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more agencies must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

Any questions regarding BOE conditions should be directed to Quyen Phan of the Permit Case Management Division at (213) 808-8604 (email: quyen.phan@lacity.org).

- 1. That a 3-foot-wide strip of land be dedicated along Ranchito Avenue adjoining the tract to complete a 33-foot wide half public right-of-way in accordance with the Collector Street Standard of the LA Mobility Plan including a 20-foot radius property line return at the intersection with Oxnard Street.
- 2. That a 2-foot sidewalk easement be provided along Ranchito Avenue adjoining the subdivision.
- 3. That if this tract map is approved as a "Small Lot Subdivision" then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
- 4. That if this tract map is approved as small lot subdivision, then the final map be labeled as "Small Lot Subdivision per Ordinance No. 185,462" satisfactory to the City Engineer.
- 5. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
- 6. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Valley Engineering District Office.
- 7. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
- 8. That the subdivider make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
- 9. That all pedestrian common access easements be shown on the final map.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

Grading Division approvals are conducted at 221 North Figueroa Street, 12th Floor, Suite 1200. The approval of this Tract Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.

10. That prior to issuance of a grading or building permit, or prior to recordation of the final map, the subdivider shall make suitable arrangements to assure compliance, satisfactory to the Department of Building and Safety, Grading Division, with all the requirements and conditions contained in the Geology and Soils Report Approval dated July 2, 2020, Log No. 113496 and attached to the case file for Tract No. 1000.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Laura Duong at (213) 482-0434 to schedule an appointment.

- 11. <u>That prior to recordation of the final map</u>, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
 - a. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
 - b. For the purpose of determining the required setbacks, the perimeter of this subdivision shall be treated as a lot. For a corner lot, the front lot line shall be the narrowest street frontage. After the required dedication is taken, the narrowest frontage shall be along Oxnard Street; therefore, the front lot line shall be along Oxnard Street and the side and rear lot line shall be determined with respect to the front lot line. Due to this, side yards shall be the west and east side of the subdivision and the rear lot line shall be the South side of the subdivision. Revise the Setback Matrix to reflect the correct setback for each Lots 5, 6, and 7.
 - c. For any subdivision that shares a property line with an R1 or more restrictive single-family zone, the provisions of the front yard, side yard, and rear yard of the underlying zone shall apply. Provide a minimum 15 ft. rear yard setback for the subdivision (along the south side of the Subdivision Lots 5, 6, and 7) for the proposed 4-story building as required for the RD1.5 Zone. Revise the map to show compliance with the above requirement or obtain approval from the Department of City Planning to reduce the required rear yard setback.
 - d. A minimum 10,500 square feet of lot area is required after the required dedication is taken to comply with the Density requirement for the RD1.5 Zone for the proposed 7 small lots. Revise the map to show compliance with the above requirement or obtain approval from the Department of City Planning to allow seven units on a lot less than 10,500 SF of lot area after dedication is taken.
 - e. Show all street dedications as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. Side yard requirement shall be required to comply with current code as measured from new property lines after dedication.

Notes: There is a 22 ft. building line along Oxnard Street.

Owners are to record a maintenance agreement that runs with the land for the purpose of reciprocal private easements maintenance program to all common areas and shared facilities such as trees, landscaping, drainage, trash, parking, community driveway (ground floor width and width clear to sky above the ground floor level), including walkways as shown on the approved Small Lot Subdivision Map.

The proposed building plans have not been checked for and shall comply with Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed

complete. Plan check will be required before any construction, occupancy or change of use.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

Backup space for parking space with less than 26'-8" shall provide sufficient parking stall width and garage door opening width to comply with the current Zoning Code requirement. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

DEPARTMENT OF TRANSPORTATION

Transportation approvals are conducted at 6262 Van Nuys Boulevard, Room 320. Please contact Brandon Wilson at (818) 374-4699 with any questions.

- 12. <u>That prior to recordation of the final map</u>, satisfactory arrangements shall be made with the Department of Transportation to assure:
 - a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of DOT.
 - b. A width of W=30 feet at the driveway apron curb cut is required for all two-way driveways, or to the satisfaction of DOT.
 - c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety.
 - d. The subdivision report fee and condition clearance fee be paid to the Department of Transportation as required per Ordinance No. 183,270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

FIRE DEPARTMENT

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (818) 374-4351. You should advise any consultant representing you of this requirement as well.

- 13. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
 - a. Submittal of plot plans for Fire Department review and approval prior to recordation of Tract Map Action.
 - b. Access for Fire Department apparatus and personnel to and into all structures shall be required.

- c. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
- d. Where above-ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of the individual units.
- e. One or more Knox boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD inspector. (Refer to FPB Req #75).
- f. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
- g. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
- h. The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.
- i. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
- j. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
- k. Smoke vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.
- I. Site plans shall include all overhead utility lines adjacent to the site.
- m. Where access for a given development requires accommodation of Fire Department apparatus, overhead clearance shall not be less than 14 feet.
- n. No proposed development utilizing cluster, group, or condominium design of oneor two-family dwellings shall be more than 150 feet from the edge of the roadway of an improved street, access road, or designated fire lane.
- o. Construction of public or private roadway in the proposed development shall not exceed 15 percent in grade.

- p. Private development shall conform to the standard street dimensions shown on Department of Public Works Standard Plan S-470-0.
- q. Standard cut-corners will be used on all turns.
- r. That in order to provide assurance that the proposed common fire lane and fire protection facilities, for the project, not maintained by the City, are properly and adequately maintained, the subdivider shall record with the County Recorder, prior to the recordation of the final map, a covenant and agreement (Planning Department General Form CP-6770) to assure the following:
 - i. The establishment of a property owners association, which shall cause a yearly inspection to be made by a registered civil engineer of all common fire lanes and fire protection facilities. The association will undertake any necessary maintenance and corrective measures. Each future property owner shall automatically become a member of the association or organization required above and is automatically subject to a proportionate share of the cost.
 - ii. The future owners of affected lots with common fire lanes and fire protection facilities shall be informed of their responsibility for the maintenance of the devices on their lots. The future owner and all successors will be presented with a copy of the maintenance program for their lot. Any amendment or modification that would defeat the obligation of said association as the Advisory Agency must approve required hereinabove in writing after consultation with the Fire Department.
 - iii. In the event that the property owners' association fails to maintain the common property and easements as required by the CC and Rs, the individual property owners shall be responsible for their proportional share of the maintenance.
 - iv. Prior to any building permits being issued, the applicant shall improve, to the satisfaction of the Fire Department, all common fire lanes and install all private fire hydrants to be required.
 - v. That the common fire lanes and fire protection facilities be shown on the final map.
- s. The plot plans shall be approved by the Fire Department showing fire hydrants and access for each phase of the project prior to the recording of the final map for that phase. Each phase shall comply independently with code requirements.
- t. Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.
- u. Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.

- v. Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; but in no case greater than 150 feet horizontal travel distance from the edge of the public street, private street or fire lane. This stairwell shall extend onto the roof.
- w. Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.
- x. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.
- y. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.

DEPARTMENT OF WATER AND POWER

14. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

BUREAU OF STREET LIGHTING - SPECIFIC CONDITIONS

Street Lighting clearance for this Street Light Maintenance Assessment District condition is conducted at 1149 S. Broadway, Suite 200. Street Lighting improvement condition clearance will be conducted at the Bureau of Engineering District office, see condition S-3. (c).

15. Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owner shall provide a good faith effort via a ballot process for the formation or annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District.

BUREAU OF SANITATION

16. Wastewater Collection Systems Division of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject tract and found no potential problems to their structure or potential maintenance problem, as stated in the memo dated August 18, 2020. Upon compliance with its conditions and requirements, the Bureau of Sanitation, Wastewater Collection Systems Division will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1. (d).)

INFORMATION TECHNOLOGY AGENCY

17. To assure that cable television facilities will be installed in the same manner as other required improvements, please email ita.cabletvclearance@lacity.org that provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated response also provides the email address of three people in case the applicant/owner has any additional questions.

DEPARTMENT OF RECREATION AND PARKS

Park fees must be paid at 221 North Figueroa Street, Suite 400, Los Angeles. Please contact Park Fees staff at (213) 202-2657 for any questions or comments, at your convenience.

18. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING

19. **Protected Trees.**

- a. All tree and shrub preservation measures shall be considered to retain all protected native species whenever possible. The project should include feasible alternatives in project design to retain native trees and shrubs. A permit is required for the removal of any native protected tree or shrub. Remove of any on-site native tree or shrub shall be replaced in kind at a 4:1 ration as approved by the Board of Public Works and Urban Forestry Division. The tree replacement plan shall include all retained native trees and shrubs. All on-site tree and shrub replacements shall be planted in locations favorable to the long-term survival of the species.
- b. The applicant shall submit a Protected Tree Report (PTR) with an acceptable tree and shrub replacement plan prepared by a reputable tree expert, as required by Ordinance No. 186,873 for approval by the Advisory Agency and the Bureau of Street Services, Urban Forestry Division. The PTR shall contain the tree expert's recommendations for the preservation of as many protected trees as possible and shall provide their species, health, size, and condition. The PTR shall include a topographical map (construction drawing) identifying tree and shrub location, drip line, and correctly numbered and plotted.

20. Street Trees.

- a. The project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy, mature street trees. A permit is required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS

Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, which can be requested at <u>planning.lacity.org</u>.

21. <u>Prior to the recordation of the final map</u>, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner

satisfactory to the Planning Department, binding the subdivider and all successors to the following:

- a. Limit the proposed development to a maximum of seven small lots.
- b. A Certificate of Occupancy (temporary or final) for the buildings in Vesting Tentative Tract No. 83061-SL shall not be issued until after the final map has been recorded.
- c. Provide a minimum of two covered off-street parking spaces per dwelling unit.
 - In addition, prior to issuance of a building permit, a parking plan showing off-street parking spaces, as required by the Advisory Agency, be submitted for review and approval by the Department of City Planning.
- d. <u>Note to City Zoning Engineer and Plan Check</u>. The Advisory Agency has considered the following setbacks in conjunction with the approved map. Minor deviations to the map's setbacks are allowed in the event that such deviations are necessary in order to accommodate other conditions of approval as required by other City agencies. In no event shall the setback from the perimeter boundary of the subdivision measure less than the yards required pursuant to LAMC Section 12.22 C.27:
 - (i) Setbacks shall be permitted as follows:

Setback Matrix					
Lot No.	Front	Rear	Side	Side	
	(North)	(South)	(East)	(West)	
1	22'	8'	7'	5'	
2	22'	8'	5'	5'	
3	22'	8'	5'	5'	
4	22'	8'	5'	7'	
5	8'	12'	5'	7	
6	8'	12'	5'	5'	
7	8'	12'	7'	5'	

- (ii) The Common Access Driveway may have a minimum width of 16 feet clear-to-sky.
- (iii) An adjustment for a 19 percent reduction in lot area to allow for the density of the seventh lot permitting 1,214 square feet in lieu of 1,500 otherwise required of LAMC Section 12.09.1 B.4.
- (iv) An adjustment for a 3-foot, or 14 percent, encroachment of the 22-foot building line setback on Oxnard Street for Lot Nos. 1, 2, 3, and 4 to provide a 19-foot front-yard setback.
- e. <u>That prior to issuance of a certificate of occupancy</u>, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front

yard.

- f. The applicant shall maintain two significant street trees (trees A and B, identified in the Protected Tree Report dated June 4, 2020) and shall maintain tree D (also identified in the report) if feasible.
- g. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
- h. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
- i. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, of if the City

fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

- 22. A Community Maintenance Agreement shall be prepared, composed of all property owners, to maintain all common areas such as trees, landscaping, trash, parking, community driveway, walkways, monthly service for private fire hydrant (if required), etc. Each owner and future property owners shall automatically become party to the agreement and shall be subject to a proportionate share of the maintenance. The Community Maintenance Agreement shall be recorded as a Covenant and Agreement to run with the land. The subdivider shall submit a copy of this Agreement, once recorded, to the Planning Department for placement in the tract file.
- 23. That copies of all recorded Covenant and Agreement(s) for all reciprocal private easements shall be submitted to the Planning Department for placement in the tract file.

DEPARTMENT OF CITY PLANNING - STANDARD SMALL LOT CONDITIONS

- SL-1. That approval of this tract constitutes approval of model home uses, including a sales office and off-street parking. If models are constructed under this tract approval, the following conditions shall apply:
 - 1. <u>Prior to recordation of the final map</u>, the subdivider shall submit a plot plan for approval by the Development Services Center of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.
 - 2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11

and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.

SL-2. That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any grading or building permits before the recordation of the final map. The landscape plan shall identify replacement of the existing nine on-site trees on a 1:1 basis with a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site.

In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the tract in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
 - (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.
 - (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
 - (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
 - (e) That drainage matters be taken care of satisfactory to the City Engineer.
 - (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the tract and any necessary topography of adjoining areas be submitted to the City Engineer.
 - (g) That any required slope easements be dedicated by the final map.
 - (h) That each lot in the tract complies with the width and area requirements of the Zoning Ordinance.
 - (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.
 - (j) That any 1-foot future street and/or alley adjoining the tract be dedicated for public

use by the tract, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.

- (k) That no public street grade exceeds 15%.
- (I) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.
- S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:
 - (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
 - (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
 - (c) All grading done on private property outside the tract boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
 - (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.
 - (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.
- S-3. That the following improvements are either constructed <u>prior to recordation of the final</u> <u>map</u> or that the construction is suitably guaranteed:
 - (a) Construct on-site sewers to serve the tract as determined by the City Engineer.
 - (b) Construct any necessary drainage facilities.
 - (c) Install street lighting facilities to serve the tract as required by the Bureau of Street Lighting.
 - (1) Construct one (1) new streetlight on Ranchito Avenue.
 - (2) If street widening per BOE improvement conditions, relocate and upgrade streetlight: one (1) on Oxnard Street.

Notes:

The quantity of streetlights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3)

by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division ((213) 847-3077) upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
 - (1) Improve Ranchito Avenue being dedicated and adjoining the subdivision by the construction of a 5-foot concrete sidewalk adjacent to the easement line and landscaping of the parkway including any necessary removal and reconstruction of existing improvements.
 - (2) Improve Oxnard Street adjoining the subdivision by remove and replace bad order curb, gutter and sidewalk, including any necessary removal and reconstruction of the existing improvements.
 - (3) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

NOTES:

The Advisory Agency approval is the maximum number of units permitted under the tract map action. However, the existing or proposed zoning may not permit this number of units. This vesting map does not constitute approval of any variations from the Municipal Code, unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval, unless a time extension is

granted before the end of such period.

The Advisory Agency hereby finds that this tract conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this nocost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

The Advisory Agency determines that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of Vesting Tentative Tract Map No. VTT-83061-SL, the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

(a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The subdivision of land is regulated pursuant to Article 7 of the LAMC. Pursuant to LAMC Section 1706 B. A, a Vesting Tentative Tract Map must be prepared by or under the direction of a licensed land surveyor or registered civil engineer. It is required to contain information regarding the boundaries of the project site, as well as the abutting public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the tract map. The Vesting Tentative Tract Map VTT-83061-SL-HCA indicates the map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by LAMC Section 17.06 B. Additionally, as a small lot subdivision, the map indicates the common access easement for vehicular and/or pedestrian access to the proposed small lots, consistent with LAMC Section 12.22 C.27.

Pursuant to LAMC Section 17.05 C., tract maps are to be designed in conformance with the tract map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. The subject site is located within the Van Nuys-North Sherman Oaks Community Plan, one of 35 community plans that comprise the Land Use Element of the General Plan. The adopted Van Nuys-North Sherman Oaks Community Plan designates the site for Low Medium II Residential land uses with the corresponding zones of RD1.5, RD2, RW2, and RZ2.2. The property is zoned RD1.5-1, which is consistent with the land use designation. The RD1.5-1 Zone requires at least 1,500 square feet of lot area per dwelling unit and limits building height to a maximum of 45 feet. The applicant is requesting two adjustment from development standards for the subject site: a

3-foot encroachment on the 22-foot building line on the Oxnard Street frontage (a 14 percent adjustment), resulting in a 19-foot front yard setback, and a 19 percent adjustment in lot area for the seventh lot.

The building line encroachment will provide a 19-foot front yard setback on Oxnard Street for the subdivision, ensuring that it complies with the required 15-foot rear yard setback from the south property line adjoining a single-family use and the required driveway width. This adjustment is consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Without the encroachment on the building line, the subdivision would have to reduce the rear yard setback to 12 feet, affecting the privacy of adjoining residents.

Additionally, the tract map must be designed in conformance with the Street Standards established pursuant to LAMC Section 17.05 B. The Bureau of Engineering requires that the applicant dedicate a 3-foot-wide strip of land along Ranchito Avenue to complete a 33foot-wide half public right-of-way. After the required dedication, the area of the project site is approximately 10,214 square feet, which would permit a maximum of six dwelling units. As shown on the Vesting Tentative Tract Map, the Project proposes to subdivide the project site into seven small lots, pursuant to LAMC Section 12.22 C.27. As part of the tract case the applicant is requesting a Zoning Administrator's Adjustment under LAMC Section 17.03 to allow area of 1,214 square feet in lieu of the otherwise required 1,500 square feet for the seventh lot, a deviation of 19 percent. This adjustment is supported by Objective 1-1 of the Community Plan, which is to provide for the preservation of existing housing and development of new housing to meet the diverse economic and physical needs of the area's residents. Small lot subdivisions generate new for-sale housing in a market where such housing is rare, expanding opportunities for homeownership. The seventh lot will provide an additional housing unit without conflicting with any of the residential objectives or policies of the Community Plan.

Therefore, the proposed map demonstrates compliance with LAMC Sections 17.05 C, 17.06 B, and 12.22 C.27, as well as the Land Use Element of the General Plan.

(b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The tract map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication, and/or improvement recommendations. The Bureau of Engineering reviewed the tract map for compliance with the Street Design Standards. The Bureau of Engineering has recommended dedication and improvements to the public right-of-way along Ranchito Avenue and Oxnard Street, consistent with the standards of the Mobility Element. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 2010. The Bureau of Street Lighting has recommended the construction of one new streetlight on Ranchito Avenue and the relocation and upgrading of one streetlight on Oxnard Street if Bureau of Engineering conditions require street widening.

For the purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout.

Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and "improvements" refers to the infrastructure facilities serving the subdivision. LAMC Section 17.05 enumerates the design standards for a tract map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan.

As indicated in Finding (a), LAMC Section 17.05 C requires that the tract map be designed in conformance with the zoning regulations of the project site. The project site is zoned RD1.5-1, which would permit a maximum of six lots/dwellings on the approximately 10,214 square-foot site (after dedication). As the map is proposed for a subdivision with seven small lots, the applicant is requesting a deviation of 19 percent from the area requirement for the seventh lot, pursuant to LAMC Section 17.03. The project roof height is 40 feet, in compliance with the height requirement of 45 feet in the RD1.5-1 Zone. As noted above, the 19 percent adjustment in lot size is supported by Objective 1-1 of the Community Plan, since it will support the additional unit without encroaching upon adjacent lower density uses.

The applicant is requesting one adjustment from development standards for the subject site: to encroach on the 22-foot building line on Oxnard Street by three feet (14 percent adjustment), resulting in a 19-foot front yard setback. This encroachment will enable the subdivision to provide the required 15-foot rear yard setback (enhancing the privacy of the adjacent single-family property to the south) and the required driveway width, while maintaining a generous front yard setback. This adjustment is consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Without the encroachment on the building line, the subdivision would have to reduce the rear yard setback to 12 feet, affecting the privacy of adjoining residents.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site is a level, rectangular lot with 10,214 square feet of area (after street dedication). The site is developed with a vacant single-family dwelling that is proposed for demolition and will be replaced with seven small-lot dwellings. The project site is located 7 kilometers (4.3 miles) from the Hollywood Fault but is not located within the Alquist-Priolo Fault Zone. The site is also not located within a designated hillside area, a BOE Special Grading Area, a high fire hazard severity zone, flood zone, or a landslide, methane, or tsunami inundation zone. The site is located in a liquefaction zone and will be required to comply with all applicable regulations for development within a methane zone. Prior to the issuance of any permits, the project will be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is outside the Flood Zone, nor is it subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

The tract map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits, subject to the conditions stated in the Soils Report Approval Letter dated July 2, 2020, Log No. 113496. Therefore, the site will be physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The subject site is an approximately 10,214 square-foot corner lot (after street dedication), with 125 feet of frontage along Oxnard Street and 125 feet of frontage on Ranchito Avenue. The site is relatively flat. The proposed subdivision is an infill project in a highly urbanized residential neighborhood. Oxnard Street is a transitional street, marking a shift from a predominantly multiple-family residential neighborhood to the north to a predominantly low-density, single-family neighborhood to the south. The adjoining properties to the north and west are developed with multi-story, multiple-family complexes, although to the north the land use designation is Medium Residential with an R3-1 Zone and to the west the land use designation is Low Medium II Residential with a zone of [Q]RD1.5-1. The abutting properties to the east and south are developed with single-family dwellings. However, while the property to the east has a Low Medium II Residential General Plan land use designation and is zoned [Q]RD1.5-1, the adjoining property to the south is zoned R1-1, with a General Plan Land Use designation of Low Residential.

The project proposes to construct seven small lot homes, which would be four stories tall with a maximum roof height of 40 feet. The project site is zoned RD1.5-1, which would permit a maximum of six lots/dwellings on the approximately 10,214 square-foot site. The proposed density is seven small lot homes; the applicant is requesting a deviation of 19 percent from the lot area requirement for the seventh lot, pursuant to LAMC Section 17.03. The applicant is also requesting a 14 percent adjustment in the front yard setback to encroach on an existing 22-foot building line on Oxnard Street by three feet.

Additionally, prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned the proposed tract map is physically suitable for the proposed density of the development.

(e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

A seven-unit small lot residential project is proposed for development on the project site, which is an infill site in a highly urbanized area of Los Angeles. The site is improved with a single-family dwelling built in 1936. To the south along Ranchito Avenue is a single-family neighborhood where most homes were built in the 1950s-1960s. On Oxnard Street, the development pattern is dominated by one- to three-story multifamily buildings. The tree survey indicates that there are a total of nine trees on-site, none of which are protected pursuant to Ordinance No. 186,873. Neither the project site nor the surrounding area provides a natural habitat for fish or wildlife. It has been determined that the project and the design of the subdivision and proposed improvements will not cause substantial environmental damage or injury to wildlife or their habitat.

(f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appear to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where

the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

(g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

The project site consists of a parcel identified as Lot No. PT 59 of Tract 1000 and is identified by the Assessor Parcel No. 2246-003-037. While the project will provide a private easement for common/vehicular access purposes within the subdivision, there are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the tract map. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed tract map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

(h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation.

The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development.

ADJUSTMENT FINDINGS (Sections 17.53 J and 12.28 C.4)

(i) THAT WHILE SITE CHARACTERISTICS OR EXISTING IMPROVEMENTS MAKE STRICT ADHERENCE TO THE ZONING REGULATIONS IMPRACTICAL OR

INFEASIBLE, THE PROJECT NONETHELESS CONFORMS WITH THE INTENT OF THOSE REGULATIONS.

The RD1.5-1 Zone requires a minimum of 1,500 square feet per dwelling unit and a maximum height of 45 feet. Prior to the required street dedication, the subject site totaled 10,543 square feet, and after dedication, 10,214 square feet. The difference of 329 feet in area reduced the allowed density of the site from seven units to six units. LAMC Section 17.03 A authorizes the Deputy Advisory Agency, acting in the capacity of an Associate Zoning Administrator, to grant a deviation of no more than 20 percent from applicable area, yard, and height requirements. Even though the total number of lots permitted is calculated by the density of the zone (RD1.5 in this grant), LAMC Section 12.22 C. 27(a)(3) allows for a minimum lot area of 600 square feet for small lots. Therefore, the 286 square-foot difference represents a 19 percent deviation from the lot area requirement of the last lot, but lots over the entire site could be as small as 600 square feet in area without the granting of a deviation. Regarding height, the proposed maximum height is 40 feet, which is in compliance with the 45-foot height limit in the RD1.5-1 Zone.

The applicant is also requesting an adjustment to permit a deviation from the 22-foot building line setback on Oxnard Street, reducing it to 19 feet (a 14 percent adjustment) on Lots 1, 2, 3, and 4. Pursuant to LAMC Section 17.03 A, up to a 20 percent adjustment in yard areas may be approved by the Deputy Advisory Agency. There is also precedent for this encroachment on the building line. The adjoining site to the west on Oxnard Street, which is developed with a 12-unit condominium, obtained a building line adjustment in 2004 to allow a 15-foot building line setback in lieu of the 22-foot setback required by Ordinance 97,939. The building line encroachment will enable the proposed subdivision to provide the required 15-foot rear yard setback adjacent to the single-family use to the south, ensuring the necessary privacy buffer between single-family and multiple-family densities.

Therefore, while site characteristics make strict adherence to the zoning regulation regarding lot area impractical, the project nonetheless conforms with the intent of those regulations.

(j) THAT IN LIGHT OF THE PROJECT AS A WHOLE, INCLUDING ANY MITIGATION MEASURES IMPOSED, THE PROJECT'S LOCATION, SIZE, HEIGHT, OPERATIONS AND OTHER SIGNIFICANT FEATURES WILL BE COMPATIBLE WITH AND WILL NOT ADVERSELY AFFECT OR FURTHER DEGRADE ADJACENT PROPERTIES, THE SURROUNDING NEIGHBORHOOD, OR THE PUBLIC HEALTH, WELFARE, AND SAFETY.

The proposed subdivision is an infill project in a highly urbanized residential neighborhood. Oxnard Street is a transitional street, marking a shift from a predominantly multiple-family residential neighborhood to the north to a predominantly low-density, single-family neighborhood to the south. The adjoining properties to the north and west are developed with multi-story, multiple-family complexes, although to the north the land use designation is Medium Residential with an R3-1 Zone and to the west the land use designation is Low Medium II Residential with a zone of [Q]RD1.5-1. The abutting properties to the east and south are developed with single-family dwellings. However, while the property to the east has a Low Medium II Residential General Plan land use designation and is zoned [Q]RD1.5-1, the adjoining property to the south is zoned R1-1, with a General Plan Land Use designation of Low Residential.

As proposed, the project complies with all the applicable zoning regulations except for two: lot size and an encroachment on the building line setback on Oxnard Street. Regarding lot size, the Bureau of Engineering requires that the applicant dedicate a 3-foot-wide strip of land along Ranchito Avenue to complete a 33-foot-wide half public right-of-way. After the required dedication, the project site has approximately 10,214 square feet of lot area, which would permit a maximum of six dwelling units. The project proposes to subdivide the project site into seven small lots and is requesting a Zoning Administrator's Adjustment to allow a deviation of 19 percent from the otherwise required 1,500 square feet to provide 1,214 square feet for the seventh lot. This reduction in lot area for the seventh lot would enable the project to provide one additional small lot home than allowed by-right that will not adversely affect adjacent properties and the surrounding neighborhood, nor will it adversely affect the public health, welfare, and safety. Moreover, the small lot subdivision proposed will generate new for-sale housing in an area where such housing is rare, expanding opportunities for homeownership.

The project is also proposing a 14 percent adjustment in the building setback on Oxnard Street, from 22 feet to 19 feet. The encroachment would enable the subdivision to provide a generous front yard while maintaining the full 15-foot rear yard setback adjacent to single-family uses and the required driveway width.

Therefore, while the project's location, size, height, operations, and other significant features will be compatible with the surrounding neighborhood and will not adversely affect the public health, welfare, and safety.

(k) THAT THE PROJECT IS IN SUBSTANTIAL CONFORMANCE WITH THE PURPOSE, INTENT AND PROVISIONS OF THE GENERAL PLAN, THE APPLICABLE COMMUNITY PLAN AND ANY APPLICABLE SPECIFIC PLAN.

The General Plan is the City's roadmap for future growth and development. The General Plan elements establish goals, policies, purposes, and programs that provide for the regulatory environment in managing the City, and for addressing environmental concerns and problems. The majority of the policies derived from these elements are in the form of LAMC requirements. The General Plan is comprised of the Framework Element, seven state-mandated elements, and additional elements adopted by the City Council. In a general sense the proposed small-lot subdivision is in compliance with certain objectives of the Framework Element:

Objective 3.6.1: Ensure that the new development of "duplex" or multifamily units maintains the visual and physical character of adjacent single-family neighborhoods, including the maintenance of front property setbacks, modulation of building volumes and articulation of façade to convey the sense of individual units, and use of building materials that characterize single-family housing.

Objective 3.7: Provide for the stability and enhancement of multifamily neighborhoods and allow for growth in areas where there is sufficient public infrastructure and services and the residents' quality of life can be maintained or improved.

The tract map proposes to provide seven small-lot homes on Oxnard Street, which is already fully developed with a variety of low-scale multifamily apartment buildings and condominiums. On the north side of Oxnard Street, across the street from the project site, the lots are zoned R3-1, while the south side is zoned RD1.5-1 as the neighborhood

transitions into a predominantly single-family neighborhood to the south. The proposed small-lot subdivision will provide the type of transitional housing that is already evident on Oxnard Street, which has a mix of low-scale condominium projects, apartment buildings, and a few single-family homes.

The proposed map is consistent with the Van Nuys-North Sherman Oaks Community Plan, one of 35 community plans that comprise the Land Use Element of the General Plan. The adopted Van Nuys-North Sherman Oaks Community Plan designates the site for Low Medium II Residential land uses with the corresponding zones of RD1.5, RD2, RW2, and RZ2.2. The property is zoned RD1.5-1, which is consistent with the land use designation. The applicant is requesting two adjustments from area regulations applicable to the subject property: a 19 percent deviation from the required lot area and a 14 percent encroachment in the building line setback on Oxnard Street.

The applicant's request for a Zoning Administrator's Adjustment under LAMC Section 17.03 to allow a lot area of 1,214 square feet in lieu of the otherwise required 1,500 square feet for the seventh lot is supported by Objective 1-1 of the Community Plan, which is to provide for the preservation of existing housing and development of new housing to meet the diverse economic and physical needs of the area's residents. Small lot subdivisions generate new for-sale housing in a market where such housing is rare, expanding opportunities for homeownership. The seventh lot will provide an additional housing unit without conflicting with any of the residential objectives or policies of the Community Plan.

The proposed 14 percent adjustment in the building line setback on Oxnard Street from 22 feet to 19 feet will enable the subdivision to be consistent with Policy 1-1.3 of the Van Nuys-North Sherman Oaks Community Plan, which states: "Protect existing stable single family and low-density residential neighborhoods from encroachment by higher density residential and other incompatible uses." Allowing this encroachment on the building line will result in the subdivision complying with the required 15-foot rear yard setback, where the subject property abuts a single-family dwelling to the south.

Therefore, the proposed map is consistent with the applicable Community Plan.

These findings shall apply to both the tentative and final maps for Vesting Tentative Tract No VTT-83061-SL.

VINCENT P. BERTONI, AICP Advisory Agency

SÀRAH HOUNSELL Deputy Advisory Agency

CR:SH:KM:mr

Note: If you wish to file an appeal, it must be filed within 10 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission or Area Planning Commission, it must be accepted as complete by the

City Planning Department and appeal fees paid, prior to expiration of the above 10day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department's Public Offices, located at:

Figueroa Plaza 201 North Figueroa Street, 4th Floor Los Angeles, CA 90012 (213) 482-7077

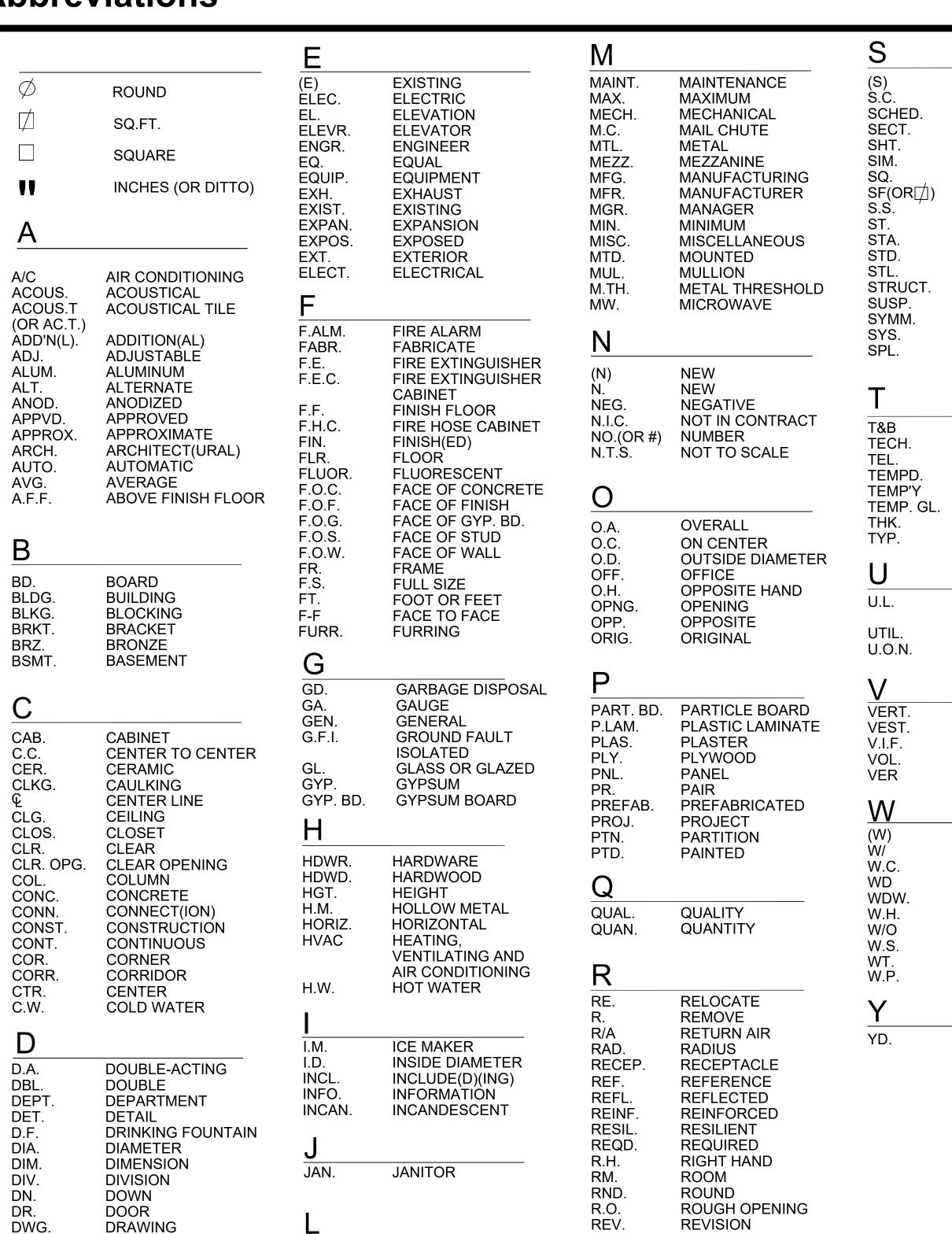
Marvin Braude San Fernando West Los Angeles Valley Constituent Service Center 6262 Van Nuys Boulevard, Room 251 Van Nuys, CA 91401 (818) 374-5050

Development Services Center 1828 Sawtelle Boulevard. 2nd Floor Los Angeles, CA 90025 (310) 231-2912

Forms are also available on-line at http://cityplanning.lacity.org

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Abbreviations



ANGLE

LB. (OR #)

LAMINATE

LEFT HAND



Holtz Architecture

2404 WIIshire Blvd 6F Los Angeles CA 90057

Office

213 377 5550

info@holtz-architecture.com



ADM-2020-4357-SLD & VTT-83061-SL-HCA

Small Lot Subdivision 7 Lots 13906 Oxnard St.

Van Nuys, CA 91401

Project Data

PROJECT ADDRESS:

	PROJECT DESCRIPTION:	8 LOT SMALL LOT SUBDIVISION
	LEGAL DESCRIPTION:	TRACT: TR 1000 BLOCK: NONE LOT: PT 59 ARB: 1 MAP REFERENCE: MB 19-2 (SHT 2) APN: 2246003037
	COMMUNITY PLAN AREA:	VAN NUYS - NORTH SHERMAN OAKS
	NEIGHBORHOOD COUNCIL:	GREATER VALLEY GLEN
	AREA PLANNING COMMISSION:	SOUTH VALLEY
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES	LADBS DISTRICT OFFICE :	VAN NUYS
THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM	BUILDING CODE:	2016 CITY OF LOS ANGELES / GREEN BUILDING CODE
REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY	OCCUPANCY GROUP:	R-3
INFORMED AND OBTAINED WRITTEN APPROVAL FROM THE ARCHITECT. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA,	ZONING:	RD1.5-1
SAMPLES OR SIMILAR SUBMITTALS BY WWCOT REVIEW THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING A COMPLETE INSTALLATION OF ELEMENTS WHETHER OR NOT THE SHOP	GENERAL PLAN LAND USE:	VERY LOW II RESIDENTIAL
DRAWINGS HAVE BEEN REVIEWED BY THE ARCHITECT.	LOT AREA:	10,553.8 SF
CONTRACTOR SHALL SUBMIT 3 PRINT FULL SIZE PRINTS OF REQUIRED SHOP DRAWINGS FOR REVIEW OF CONCEPTUAL DESIGN BY THE ARCHITECT PRIOR TO EXECUTION OF WORK.	TYPE OF CONSTRUCTION:	V-A
ALL AREAS TO RECEIVE MILLWORK SHALL BE FIELD MEASURED PRIOR TO CONSTRUCTION.	BUILDING HEIGHT:	43'-6", 4 STORIES

PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM: NFP-13D

13906 OXNARD ST.

VAN NUYS, CA 91401

Drawing List

A00.00	TITLE SHEET	A06.01	DETAILS
A00.00	ZONING INFORMATION	A06.02	DETAILS
A00.02	NOTES	A06.03	DETAILS
		A06.04	DETAILS
A01.01	SITE PLAN	A06.05	DETAILS
A01.02	SITE ELEVATIONS		
		A07.01	RENDERINGS
A02.01	FLOOR PLANS	A07.02	RENDERINGS
A02.02	FLOOR PLANS	A07.03	RENDERINGS
A02.03	FLOOR PLANS		
A02.04	FLOOR PLANS		
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A03.01 A03.02	ELEVATIONS ELEVATIONS		
A03.02 A03.03	ELEVATIONS		
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A03.04	ELEVATIONS		
A04.01	SECTIONS		
A04.02	SECTIONS		
A04.02	SECTIONS		

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REVISIONS

DATE

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Client: XXX XXX XXX

20-02.001.01 Drawn By: Reviewed By DLH XX/XX/XX

AS NOTED

Drawing Title

TITLE SHEET

Sheet No.:

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITIY AT ALL TIMES DURING THE PROGRESS OF THE JOB. (I.E. REVISIONS)

DRAWER

General Notes

DISHWASHER

THE CONTRACTOR SHALL STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO HOLTZ DESIGN ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES AN ERROR, WITHOUT SUCH NOTICE TO HOLTZ DESIGN. THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED HOLTZ ARCHITECTURE

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE WATER. HEAT. UTILITIES. TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT AND WHETHER OR NOT INCORPORATED OR TO BE INCORPORATED IN THE WORK.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, INCLUDING CERTIFICATE OF OCCUPANCY, WHICH ARE CUSTOMARILY SECURED AFTER EXECUTION OF THE CONTRACT AND WHICH ARE LEGALLY REQUIRED WHEN BIDS ARE RECEIVED OR NEGOTIATIONS CONCLUDED.

THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE

IT IS NOT THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, ORDINANCES, BUILDING CODES, AND RULES AND 13. DO NOT SCALE THE DRAWINGS. REGULATIONS. HOWEVER, IF THE CONTRACTOR OBSERVES THAT PORTIONS OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL PROMPTLY NOTIFY HOLTZ DESIGN IN WRITING AND NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE MODIFICATION.

SOLID CORE

SCHEDULE

SECTION

SHEET

SIMILAR

SQUARE

STATION

STEEL

SYSTEM

SPLASH

TECHNICAL

TELEPHONE

THICK(NESS)

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VERIFY

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TOP AND BOTTOM

TEMPERED GLASS

UNDERWRITERS

UNLESS OTHERWISE

LABORATORY

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STAINLESS STEEL

ALL AREAS TO RECEIVE MILLWORK SHALL BE FIELD MEASURED PRIOR TO CONSTRUCTION. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBREBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOROR EXTERIOR OF BUILDING SHALL MEET THE FORMALDEHYDELIMITS LISTED IN TABLE 4.504.5.

HORIZONTAL DIMENSIONS ARE TO FINISH FACE OF WALL OR FACE OF MASONRY UNLESS OTHERWISE

VERTICAL DIMENSIONS AND ELEVATIONS ARE TO FINISH MATERIALS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE A COMPLETE PARTITION LAYOUT CHALKED IN FIELD FOR REVIEW BY WWCOT PRIOR TO ANY CONSTRUCTION.

CONTRACTOR SHALL VERIFY EQUIPMENT ROUGH-IN REQUIREMENTS WITH THE EQUIPMENT

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS. NOTIFY OWNER OF NON-AVAILABILITY OF SPECIFIED MATERIALS AT THE TIME OF BIDDING. IF NO NOTIFICATION IS GIVEN, IT WILL BE ASSUMED THAT MATERIALS ARE AVAILABLE.

SUBSTITUTIONS OF SPECIFIED PRODUCTS WILL REQUIRE WRITTEN APPROVAL BY WWCOT PRIOR TO ORDERING OR INSTALLATION.

By Kora McNaughton at 2:30 pm, Jan 04, 2022

EXHIBIT "A"

Case No A

ADM-2020-4357-SLD & VTT-83061-SL-HC

CONTRACTOR REQUIREMENTS

THE FOLLOWING ITEMS CONSTITUTE A FULL SET OF CONSTRUCTION DOCUMENTS:

ARCHITECTURAL DRAWINGS
STRUCTURAL ENGINEERING DRAWINGS

IF YOU DO NOT HAVE ALL OF THE ITEMS LISTED ABOVE, YOU DO NOT HAVE A COMPLETE SET OF CONSTRUCTION DOCUMENTS.

THE FOLLOWING DISCIPLINES WILL BE DESIGN/BUILD AND ARE NOT

CIVIL ENGINEERING / GRADING / DEMOLITION HEATING, VENTILATING & AIR-CONDITIONING

DIVISION 18 SECURITY. TELECOMMUNICATIONS,

ELECTRONICS, SOUND SYSTEMS ETC.

THE A.I.A. OR FROM THE ARCHITECT.

PLUMBING
ELECTRICAL
CUSTOM WINDOWS / DOORS I CABINETS I FLOOR AND CEILING
FINISHES I WINDOW TREATMENTS AND CUSTOM LIGHTING;

INCLUDED IN THIS SET OF CONTRACT DOCUMENTS:

1. THE A.I.A. A201 GENERAL CONDITIONS SHALL GOVERNTHE CONSTRUCTION OF THIS PROJECT, AND SHALL APPLY TO ALL CONTRACTS FOR THIS PROJECT. COPIES MAY BE OBTAINED FROM

2. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, LAWS, ORDINANCES AND ORDERS BY ANY PUBLIC AUTHORITY HAVING JURISDICTION ON THE PROJECT. THE TERM "CONTRACTOR" SHALL INCLUDE GENERAL CONTRACTOR AND/OR THE CONSTRUCTION MANAGER DEPENDING ON TYPE OF CONSTRUCTION USED FOR THIS PROJECT.

3. THE INTENT OF THESE DRAWINGS IS TO PROVIDE A COMPLETE AND FINISHED JOB IN ALL RESPECTS. CONTRACTOR SHALL MAKE ACCURATE FIELD INSPECTIONS OF ALL ASPECTS OF THE JOB, VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR REQUIRED INFORMATION THAT DOES NOT APPEAR ON THE PLANS. EXTRAS WILL NOT BE ALLOWED UNLESS AUTHORIZED BY THE OWNER AND ARCHITECT FOR "AUTHORIZED CHANGES AND REVISIONS." WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT PROCEED WITH WORK WHERE THERE IS A KNOWN DISCREPANCY, WITHOUT FIRST RESOLVING DISCREPANCY WITH THE ARCHITECT, OWNER OR WITH THE APPROPRIATE CONSULTING ENGINEER.

4. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES HAVING JURISDICTION OVER THE PROJECT. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO CONFORM WITH THE CODES, AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

5. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

6. ALL DIMENSIONS ARE TO FACE OF CONCRETE, COLUMN GRID LINES, FACE OF CONCRETE BLOCK WALLS, AND FACE OF WALL FRAMING UNLESS NOTED OTHERWISE.

7. SHOP DRAWINGS, PROJECT DATA, MATERIALS SAMPLES, PERFORMANCE CHARTS, INSTRUCTIONS, BROCHURES AND OTHER INFORMATION SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER WHEN REQUESTED. NO PORTION OF SUCH WORK SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER WHEN REQUESTED. NO PORTION OF SUCH WORK SHALL BE COMMENCED UNTIL REQUIRED SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT AND THE

8. THE CONTRACTOR SHALL SECURE THE NECESSARY DEMOLITION PERMITS PRIOR TO EXECUTION OF THE WORK. THE CONTRACTOR SHALL ALSO MAKE NECESSARY ARRANGEMENTS WITH GOVERNING UTILITIES AND AGENCIES FOR ON-SITE SERVICE INTERRUPTION, RELOCATION OF NEW POWER POLES AND UTILITIES, TEMPORARY SERVICES, RELOCATION OF METERS, MANHOLE COVERS AND OTHER AFFECTED SERVICES. PROVIDE OUTSIDE GAS SHUTOFF VALVE CONSPICUOUSLY

9. FIRE PROTECTION FACILITIES, INCLUDING ACCESS, MUST BE PROVIDED PRIOR TO AND DURING THE CONSTRUCTION PERIOD AS REQUIRED BY THE CITY FIRE DEPARTMENT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH THE WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT. COPIES OF CERTIFICATES OF INSURANCE, WITH THE OWNER AS ADDITIONAL INSURED, SHALL BE PROVIDED TO THE OWNER, AND REVIEWED AS REQUIRED DURING THE DURATION OF CONSTRUCTION CONTRACT.

11. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES DURING CONSTRUCTION.

12. GAS AND ELECTRICAL SUBCONTRACTORS SHALL VERIFY THE LOCATION OF METERS WITH OWNER, PRIOR TO COMMENCEMENT

13. ALL BIDDERS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS FOR THIS PROJECT. THE CONTRACTOR ONLY SHALL CONTACT THE OWNER TO ARRANGE TO VISIT THE SITE. ALL SUBCONTRACTORS SHALL MAKE ARRANGEMENTS THROUGH THE CONTRACTOR.

14. CONTRACTOR SHALL CHECK WITH ALL EQUIPMENT MANUFACTURERS TO VERIFY DIMENSIONS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORK.

15. THE CONTRACTOR SHALL PROTECT THE ADJACENT NEIGHBOR PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY DUE TO HIS NEGLECT. CONTRACTOR SHALL ALSO PROTECT TRUNKS OF EXISTING TREES TO BE RETAINED, PER SPECIFICATIONS OF LANDSCAPE ARCHITECT.

16. CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND OTHER NECESSARY TASKS TO COMPLETE AND- RESTORE ANY WORK DAMAGED OR AFFECTED BY WORK INCLUDED IN THIS CONTRACT. WORK MUST BE PERFORMED TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.

17. ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT SHALL BE NEW AND FREE FROM FAULTS AND DEFECTS. THE ARCHITECT AS THE OWNER'S AGENT SHALL DECIDE ALL QUESTIONS AS TO THE INTENT OF THE DRAWINGS AND THE QUALITY OF MATERIALS AND WORKMANSHIP.

CONTRACTOR REQUIREMENTS,

18. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE WORK PREMISES, SITE, EXTERIOR AND INTERIOR OF THE BUILDING, REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS, AND SKYLIGHTS AND WASH AND POLISH, REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC. CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH. VACUUM CLEAN THE ENTIRE INTERIOR OF THE BUILDING. THIS SHALL BE THE FINAL CLEANING BEFORE TURNING THE BUILDING OVER TO THE OWNER.

19. TELEVISION ANTENNAS, IF INSTALLED, TO BE SEVEN FEET (7'-0") MINIMUM CLEAR ABOVE ROOF.

20. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WITHIN 6" OF GRADE SHALL BE PRESSURE TREATED OR SHALL BE FOUNDATION GRADE REDWOOD.

21. BACK PRIME AND PRIME CUTS ON ALL EXTERIOR PLANT-ONS OR TRIM APPLIED OVER STUCCO OR FRAMING.

22. PLYWOOD USED AS EXTERIOR COVERING ON WALLS AND IN OTHER AREAS DIRECTLY EXPOSED TO THE WEATHER SHALL BE EXTERIOR GRADE PLYWOOD.

23. PLUMBING CONTRACTOR TO SIZE DRAINS, SCUPPERS, OVERFLOW DRAINS AND DOWNSPOUTS. FINAL SIZE AND LOCATION TO BE APPROVED BY ARCHITECT PRIOR TO COMMENCING ANY

24. CONTRACTOR SHALL OBTAIN ARCHITECT'S APPROVAL OF SIZE OF MECHANICAL EQUIPMENT PADS, BASES, ROOF EQUIPMENT PADS, OPENINGS, EQUIPMENT MANUFACTURERS' EQUIPMENT SIZES LOCATION OF DUCTS, DUCT AND VENT OPENINGS ON ROOF, IN CEILINGS AND IN WALLS, AND LOCATION OF PADS, BASES AND EQUIPMENT. WHERE POSSIBLE, ABSOLUTELY, GANG ROOFTOP

VENTS TO MINIMIZE ROOF PENETRATIONS.

25. PROVIDE CEMENT PLASTER SCRATCH COAT FOR CERAMIC TILE.

26. PROVIDE MINIMUM OF 50 SQ. IN. VENTED OPENING AT TOP AND BOTTOM OF WATER HEATER CLOSET, WITHIN 12 INCHES OF CEILING AND FLOOR OF CLOSET. WATER HEATERS OVER FOUR FEET (4'-0") IN HEIGHT FROM BASE TO TOP OF TANK TO HAVE RIGID WATER CONNECTION AND BE LATERALLY / SEISMIC BRACED. VENTILATION REQUIREMENTS SHALL CONFORM TO THE UNIFORM BUILDING

27. PROVIDE FLUSH ACCESS HATCH, 12 INCHES SQUARE MINIMUM, OPENING FOR PLUMBING AT EACH BATH TUB, IN LOCATION APPROVED BY ARCHITECT.

28. OPEN EXTERIOR: JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AND AT PENETRATIONS OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.

29. CLOTHES DRYER LOCATED IN A HABITABLE AREA OR IN AN AREA CONTAINING OTHER FUEL BURNING APPLIANCES SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE, OR INTO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES. A 4 " DIAMETER EXHAUST VENT IS LIMITED TO 14' WITH 2 ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2. PER UNIFORM MECHANICAL CODE, SECTION 19.03, 5" DIAMETER DUCT IS ALLOWABLE: MAXIMUM DEVELOPED LENGTH ALLOWED 44 FEET, (DEDUCT 4 FT. FOR EACH 90 DEGREE ELBOW); 6" DIAMETER DUCT IS ALSO ALLOWED: MAXIMUM DEVELOPED LENGTH ALLOWED 71 FT., (DEDUCT 4.5 FT. FOR EACH 90 DEGREE ELBOW).

30. ALL BATHROOM FLOOR FINISHES SHALL BE OVER 15 LB. FELT. SHOWER ENCLOSURES, SHOWER DOORS AND PANELS TO BE OF AN APPROVED IMPACT RESISTANT MATERIAL.

31 .THE CENTER OF ALL FLASHING FOR VENT PIPES, HEATER PIPES, ELECTRICAL SERVICE CONNECTIONS, ETC. SHALL BE NOT LESS THAN 12 HORIZONTAL INCHES FROM THE CENTER OF ANY ROOF

32. ALL STAIRWAYS SHALL HAVE MINIMUM 7'-0" HEADROOM WITH 8" MAXIMUM RISERS, 9" MINIMUM TREADS. PROVIDE HANDRAILS, MINIMUM OF ONE SIDE PER STAIR RUN UP TO 44" WIDTH, TWO IF GREATER THAN 44" WIDTH MOUNTED 34" TO 38" ABOVE NOSING, REFER TO PLANS.

33. ALL DOOR SIZES SHOWN ON DOOR SCHEDULE ARE FINISH OPENING SIZES. ALLOWANCE FOR THRESHOLDS, JAMBS, ETC. SHALL BE ADDED. FRAMES SHALL BE REINFORCED WHERE REQUIRED FOR CLOSERS, STOPS AND SECURITY HARDWARE.

34. DOORS THAT SWING OVER LANDING/PORCH REQUIRE A LANDING EQUAL TO DOOR WIDTH IN LENGTH AND NOT MORE THAN 1" BELOW THRESHOLD. DOORS THAT DO NOT SWING OVER TOP STEP OR LANDING MAY OPEN ON A LANDING OR TOP STEP THAT IS NOT MORE THAN 7 1/2" BELOW FLOOR LEVEL.

35. GLASS DOORS, FRENCH DOORS, ADJACENT GLAZED PANELS AND ALL GLAZED OPENINGS WITHIN 18" OF ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD (SEE DOOR AND WINDOW SCHEDULES).

36. STUDS IN EXTERIOR WALLS OF ROOMS WITH OPEN BEAM/SLOPING CEILING SHALL EXTEND FROM FLOOR TO ROOF WITHOUT INTERMEDIATE PLATES UNLESS PLATES ARE SO DESIGNED. MAXIMUM HEIGHT 2"X 4" IS 14 FT., 2"X 6" IS 20 FT.

37. FIRE BLOCK STUD WALLS AND PARTITIONS (INCLUDING FURRED SPACES) AT FLOOR, CEILING AND SOFFIT, AND AT MID-HEIGHT OF ALL WALLS OVER 101-0" IN HEIGHT. NOTCHING OF EXTERIOR AND BEARING/NON-BEARING WALLS SHALL NOT EXCEED 40%/60% RESPECTIVELY, IF NOT DESCRIBED IN STRUCTURAL ENGINEERING,

38. ALL METAL FRAMING ANCHORS, EXPOSED SCREWS, NAILHEADS & BOLTHEADS, AND OTHER METAL STRUCTURAL COMPONENTS SHALL BE DOUBLE-DIPPED GALVANIZED BEFORE ASSEMBLY, OR RUST-INHIBITOR PAINTED BEFORE OR AFTER ASSEMBLY TO REDUCE STRUCTURAL CORROSION. ALL EXPOSED SHEET METAL TO BE DOUBLE-DIPPED CORROSION AT ALL METAL TO METAL CONNECTIONS BE USING ONLY ONE TYPE OF METAL, SHIMMING BETWEEN THE METALS WITH NON-METALLIC WASHERS, OR UTILIZING REPLACEABLE ZINC SACRIFICIAL PLATE GALVANIC CORROSION DEVICES.

CONTRACTOR REQUIREMENTS,

39. EXTERIOR OPENINGS INTO ATTICS, UNDER FLOOR AREAS AND OTHER ENCLOSED AREAS SHALL BE COVERED WITH 1/4" TO 1/4" CORROSION RESISTANT WIRE MESH EXCEPT FOR OPENINGS WITH DESIGNATED SASH OR DOORS.

40. PLASTER SURFACES ON WALLS, CEILINGS AND ROOF SOFFITS EXPOSED TO THE WEATHER SHALL HAVE EXTERIOR LATH AND PLASTER, UNLESS EXEMPTED. EXTERIOR PLASTER REINFORCING MAY BE APPLIED OVER GYPSUM LATH ON CEILINGS AND ROOF SOFFITS.

THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.

41. THE BUILDER SHALL PROVIDE ORIGINAL OCCUPANT A LIST OF

42. MAINTENANCE LABELS SHALL BE AFFIXED TO ALL EQUIPMENT REQUIRING PREVENTATIVE MAINTENANCE, AND A COPY OF THE MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED FOR THE OWNER'S USE.

43. TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND ARE NOT PERMITTED, UNLESS IN CONFORMANCE WITH APPLICABLE OSHA OR OTHER GUARANTEED REGULATIONS.

44. ITEMS NOTED BELOW SHALL BE INSTALLED AT THE HEIGHTS INDICATED, UNLESS NOTED OTHERWISE. MEASURE HEIGHT ABOVE FINISH FLOOR OR ADJACENT FINISH SURFACE TO CENTER OF RECEPTACLE/FIXTURE. PROVIDE BLOCKING AS REQUIRED FOR ALL TOWEL BARS, TOILET PAPER HOLDERS, CABINETS, WATER INLET LINES, HOSE BIBBS, COAT HOOKS AND OTHER WALL-MOUNTED ACCESSORIES.

ELECTRICAL ITEMS:
-12" SMOKE DETECTOR (12 OR LESS INCHES BELOW CEILING
MEASURED @ HIGHEST POINT)
+6". ELECTRICAL OUTLETS @ COUNTERS (MEASURE ABOVE
COUNTER SURFACE)
+6" TELEPHONE JACKS COUNTERS (MEASURE ABOVE COUNTER

+12" ELECTRICAL OUTLETS (SET DUPLEX OUTLETS HORIZONTALLY)
+12" STEP LIGHTS

+12" TELEPHONE JACKS +12" CATV JACKS +12" STEREO SPEAKER JACK NOT LOCATED @ CABINET +18" EXTERIOR WP TELEPHONE JACK +18" EXTERIOR WP ELECTRICAL OUTLETS

+24" UNDER SINK GARBAGE DISPOSER & HOT WATER DISPENSER PLUG +36" REFRIGERATOR PLUG +40" STEREO SPEAKER JACK @ FULL-HEIGHT CABINET +40" ELECTRICAL SWITCHES

+60" INTERCOM +66" OUTDOOR LIGHT FIXTURES (SCONCES), ABOVE FINISH WALK SURFACE +66" INDOOR SCONCES

+84 " SECURITY SENSOR

PLUMBING ITEMS:
+6" FUEL GAS INLET PIPES @ FIREPLACES (ABOVE HEARTH),
CONTROL KEY @ +24" A.F.F.
+12 FUEL GAS PIPE @ OVEN/RANGE/BBO

+12 FUEL GAS PIPE @ OVEN/RANGE/BBQ +18" HOSE BIBBS, A.F.G. +40" SHOWER VALVES +72" SHOWERHEADS

HEATING ITEMS: +54" THERMOSTATS

+40" DOOR BELL BUTTONS

GENERAL ITEMS:
+18" TOILET PAPER HOLDER
+34" HANDRAILS, TOP, MIN.
+42" GUARDRAILS, TOP, MIN.
+36" DOOR KNOBS, CENTER
+42" DEAD BOLTS, CENTER

+42" DEAD BOLTS, CENTER +42" TOWEL RACKS & BARS +60" COAT HOOKS ON BACKS OF DOORS, KID'S BEDROOMS +78" COAT HOOKS ON BACKS OF DOORS, GENERAL +60" CLOSET POLE & SHELF @ SINGLE SHELF

COSTS THE GENERAL CONTRACTOR SHALL PREPARE THE FOLLOWING "OWNERS MANUAL TO BE LEFT WITH THE OWNER AT THE COMPLETION OF THE PROJECT. THE MANUAL SHALL INCLUDE:

A. INTRODUCTION AND LIST OF CONTENTS AND CONTRACTOR COMMENTARY, ANECDOTES, AND NEIGHBORING OBSERVATIONS (MAIL DELIVERY, TRASH SERVICE, NEIGHBORS, ETC.)

45. AT OWNERS DISCRETION, AND WITH PRE-APPROVAL OF ADDED

RESIDENTIAL SECURITY REQUIREMENTS

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR. SUCH A VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.

2.SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDES AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES.

3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 - DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB. (6709.4)

4.EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTION DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2/12" LONG. (91.6709.5,6709.7)

6.PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES. (6709.2)

7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOD-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.

9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN ½ IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES WIDTH. (91.6709.1 ITEM 2)

10. SLIDING GLASS DOORS SHALL BE PROVIDED THE A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6710)

11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1

12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

14. IN B,F,M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN., BUT LESS THAN 48 IN., SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES. (6714)

15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OR 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713)

16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3)

17. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

OPEN POSITION. (6715.1)

19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS

SPECIFIED IN SEC. 6717.2.

18. SLICING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE

UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND

REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY

20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSED OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (91.6715.4)

21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (91.6716)

LADBS REQUIREMENTS

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATERS SHALL BE STRAPPED TO WALL IN ACCORDANCE WITH SEC. 507.3, LAPC

9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

16. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3)

17. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREES FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R 303.8)

MATERIALS AND AS REQUIRED IN SECTION R406.1

19. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7.

20. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS.

BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION

18. DAMP PROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH

PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)

21. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH

22. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END

USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

23. WATER HEATER STRAPPING REQUIREMENTS:
WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESISIT
HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.
STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD (1/3)
AND LOWER ONE-THIRD (1/3) OF ITS VERTICAL DIMENSIONS. AT THE
LOWER POINT, A MINIMUM DISTANCE OF 4 I" SHALL BE MAINTAINED
ABOVE THE CONTROLS. USE MINIMUM 16 GAUGE METAL STRAPPING
LAGGED TO STUDS WITH 1/4 X 3 INCH LAG SCREWS WITH WASHERS.

24. THE CONTROL VALVE FOR SHOWERS/TUBS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
25. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. "
(1115B.2 AND 2406.3(5)

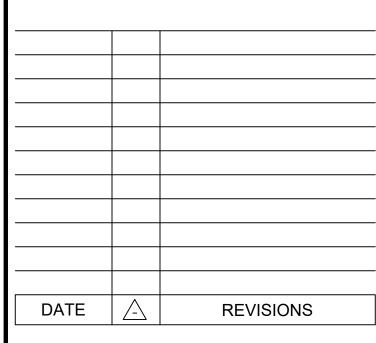
Holtz Architecture

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Small Lot Subdivision: 7 Lots
13906 Oxnard St.

Client: xxx xxx xxx

Van Nuys, CA 9140*°*

Proj. No.: 20-02.001.01
Drawn By: CO
Reviewed By: DLH
Date: XX/XX/XX

Drawing Title :

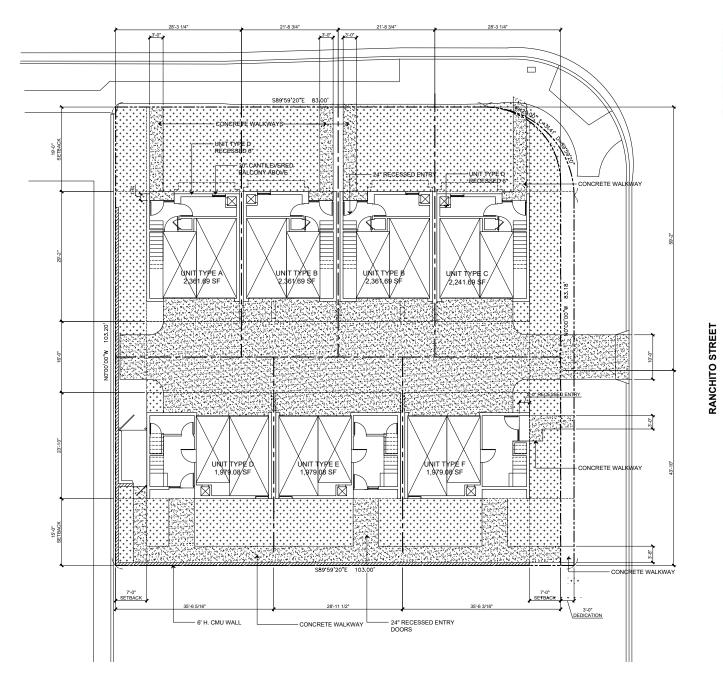
NOTES

Sheet No. :

A00.02

By Kora McNaughton at 2:31 pm, Jan 04, 2022

OXNARD STREET



Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

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DATE	Δ	REVISIONS

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

20-02.001.01 CO DLH XX/XX/XX AS NOTED

SITE PLAN

A01.01

LEGEND

SITE PLAN SCALE 1" = 8'-0"

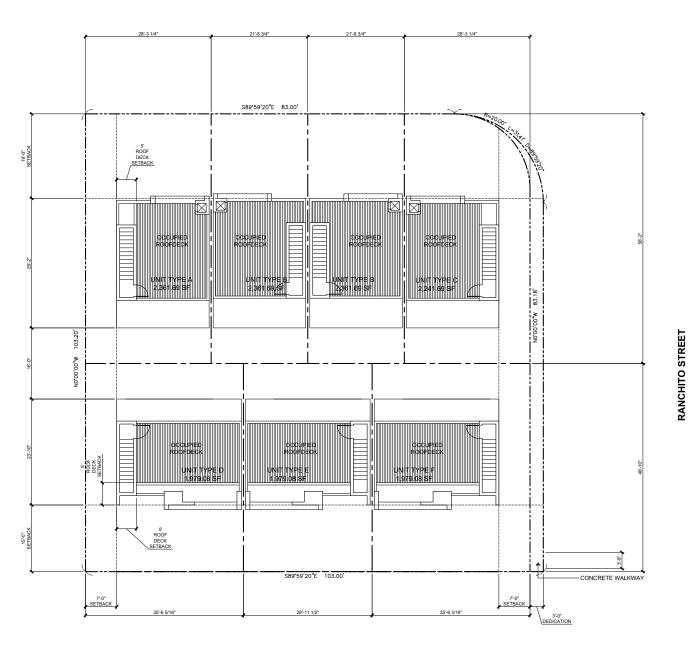
+ + + + + LANDSCAPED AREA

SETBACK LINE BUILDING LINE

PROPERTY LINE --- HIWAY DEDICATION LINE

By Kora McNaughton at 2:32 pm, Jan 04, 2022

OXNARD STREET



Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

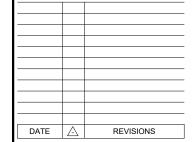
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Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Drawing Title :

SITE PLAN: ROOFS

A01.01A

LEGEND

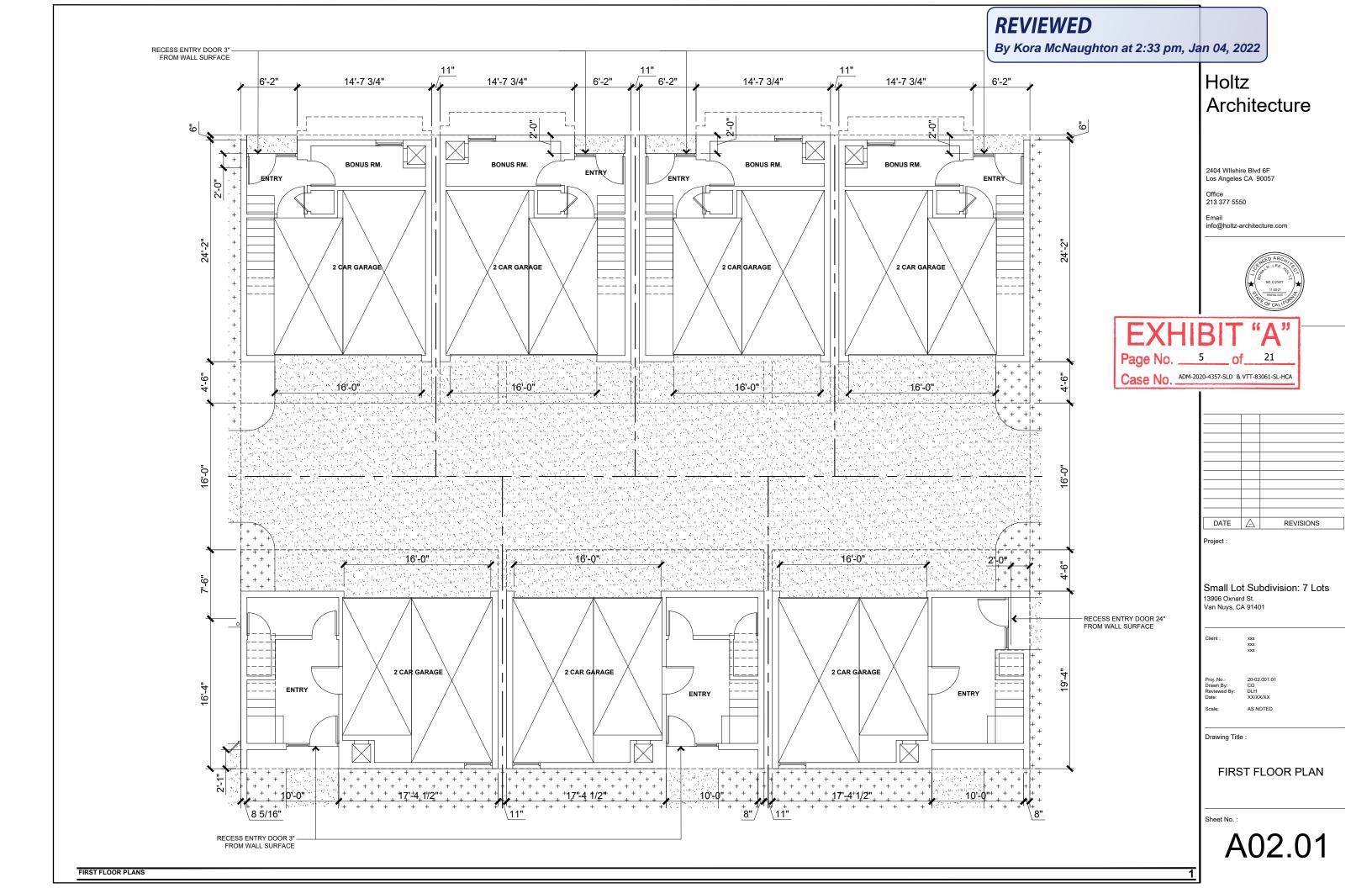
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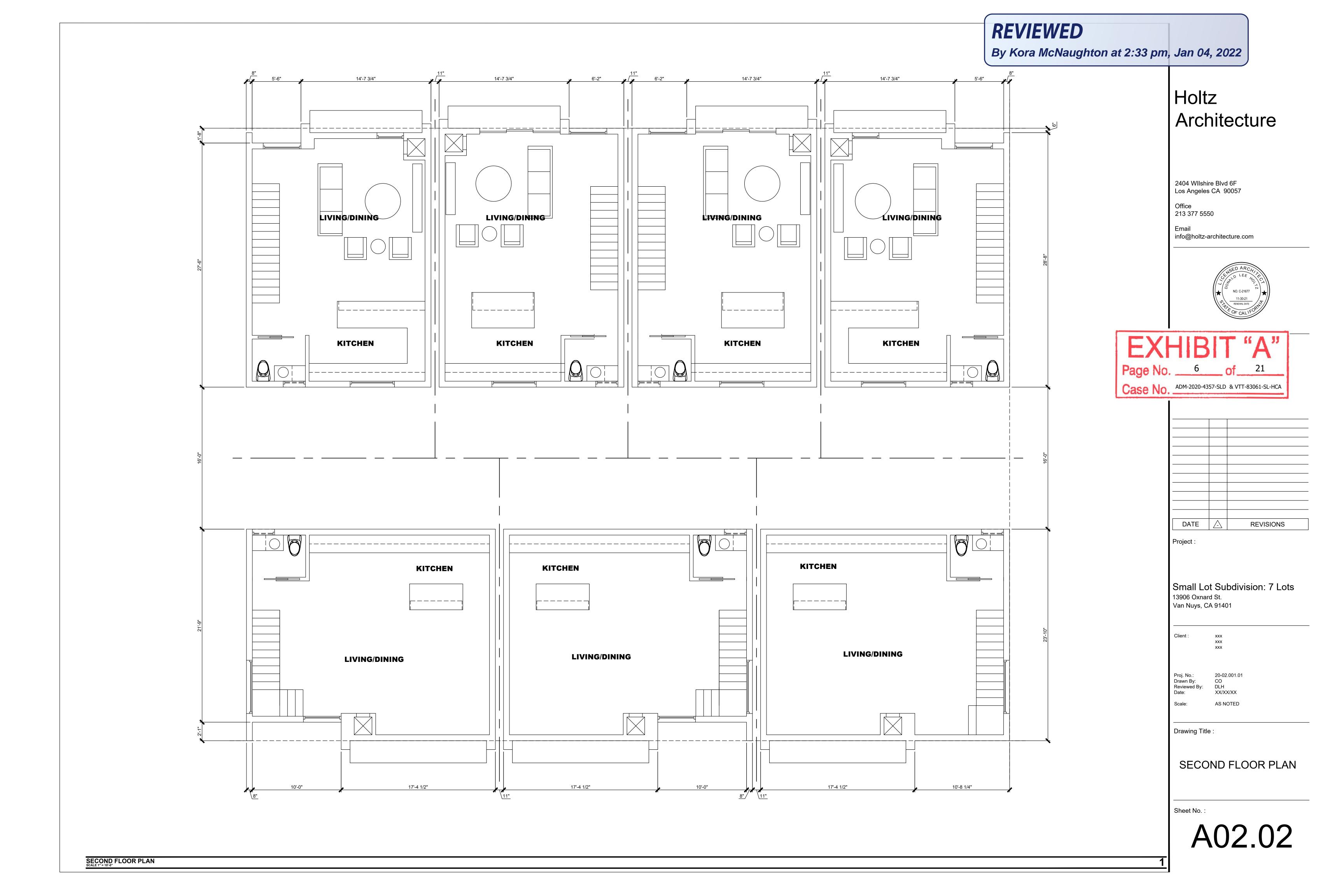
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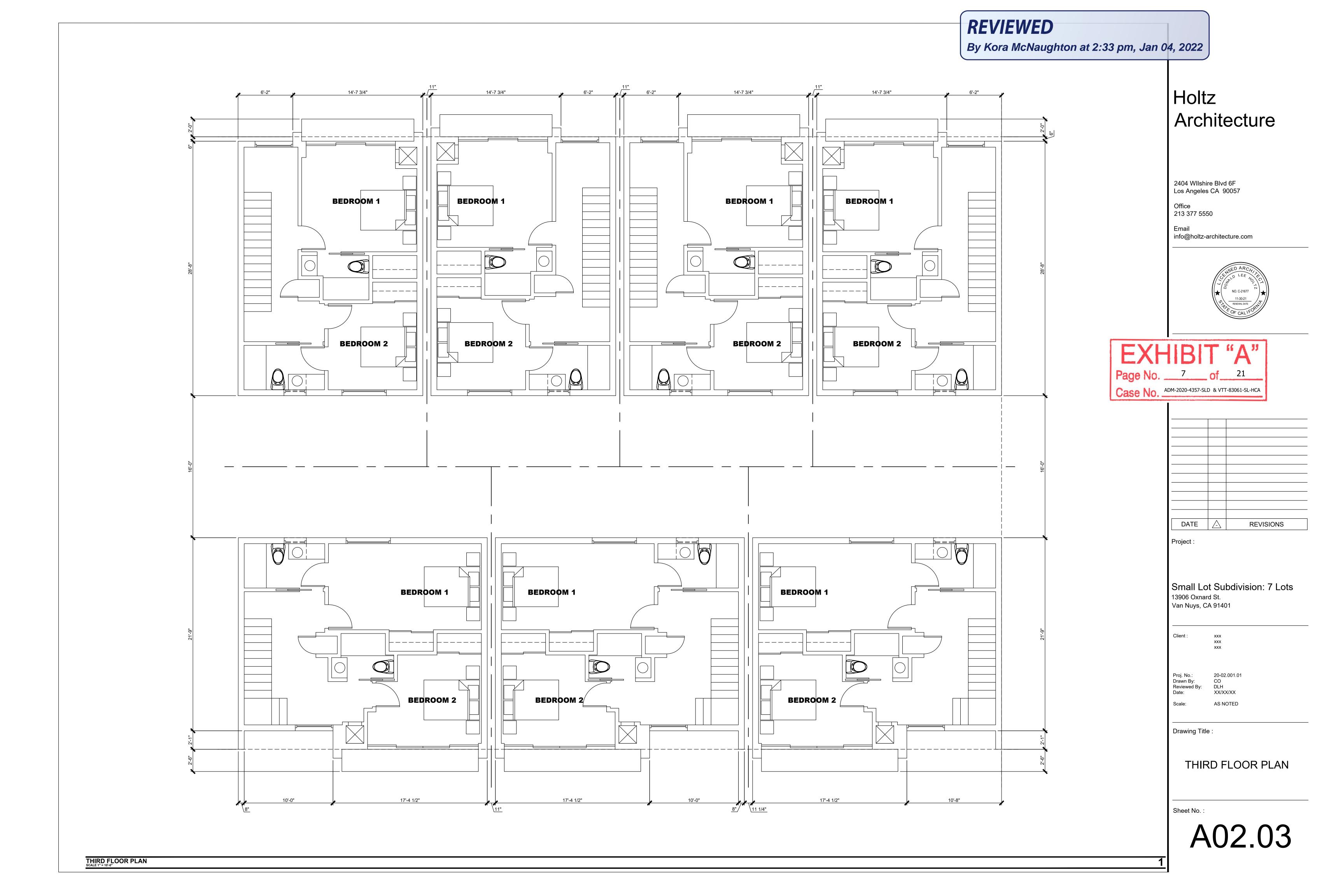
--- HIWAY DEDICATION LINE

BUILDING LINE

--- SETBACK LINE





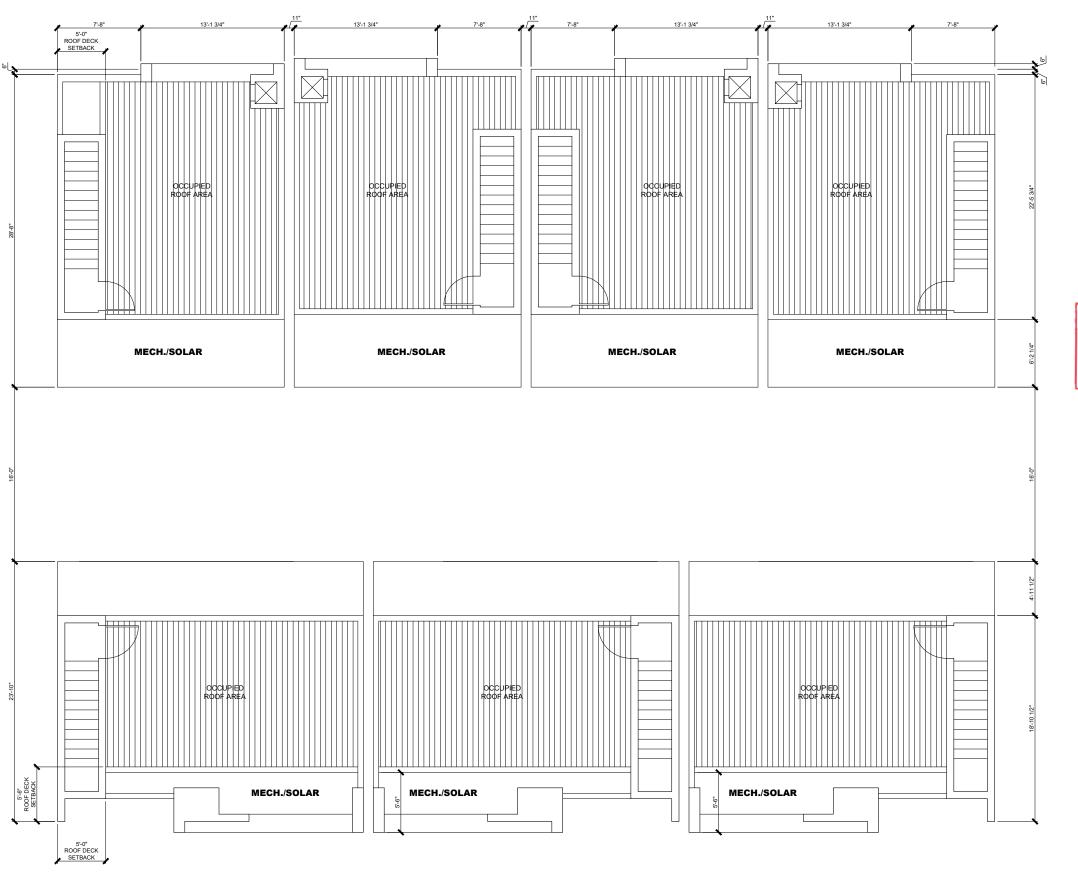


REVIEWED By Kora McNaughton at 2:33 pm, Jan 04, 2022 14'-7 3/4" Holtz Architecture 2404 WIIshire Blvd 6F Los Angeles CA 90057 **MASTER BEDROOM MASTER BEDROOM MASTER BEDROOM MASTER BEDROOM** Office 213 377 5550 Email info@holtz-architecture.com Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA DATE **REVISIONS** Project : Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401 20-02.001.01 CO DLH MASTER BEDROOM MASTER BEDROOM MASTER BEDROOM Reviewed By: Date: XX/XX/XX AS NOTED Drawing Title: FOURTH FLOOR PLAN Sheet No.:

FOURTH FLOOR PLAN SCALE 1" = 10'-0"

A02.04

By Kora McNaughton at 2:33 pm, Jan 04, 2022



Holtz Architecture

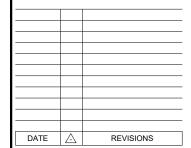
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Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

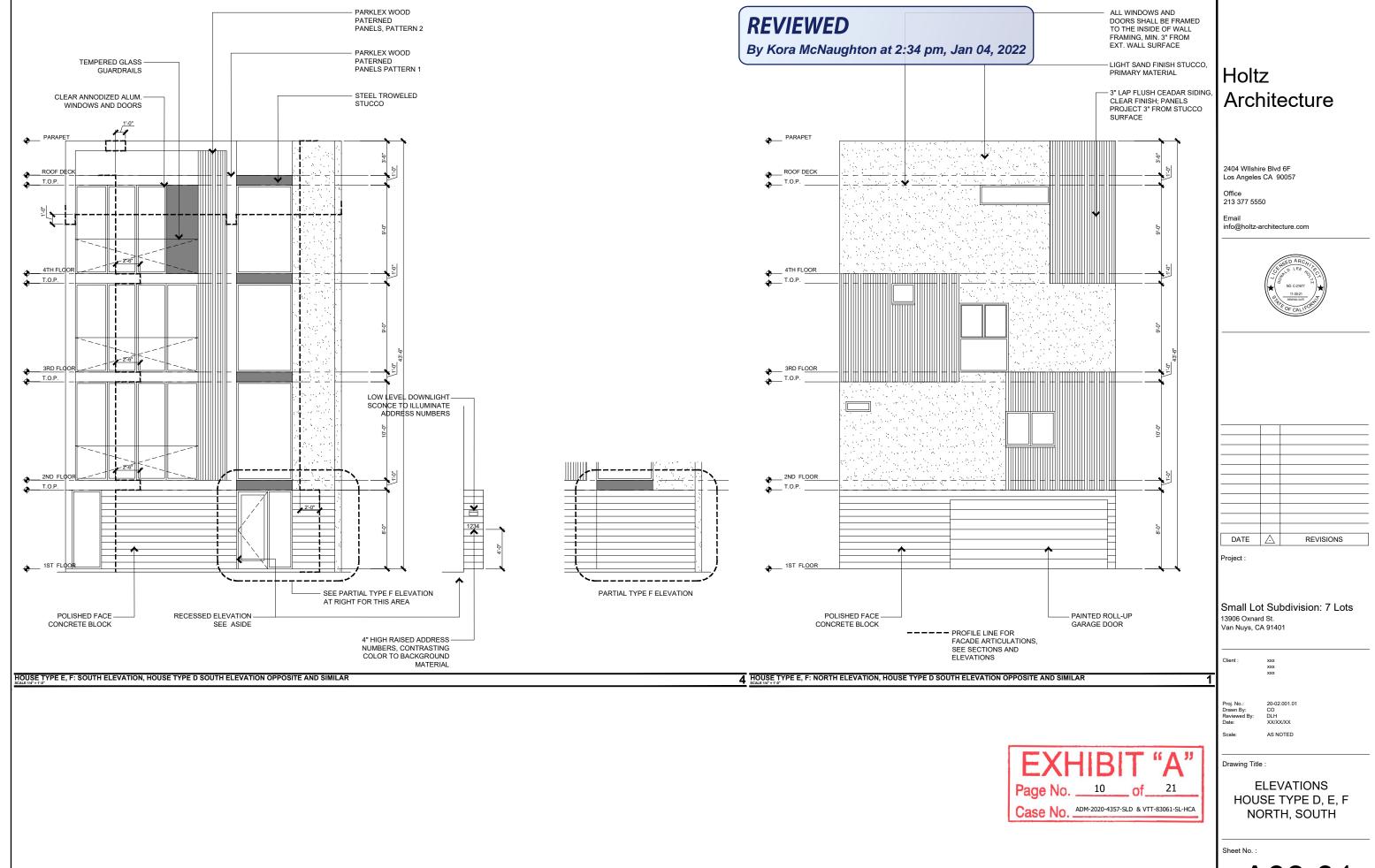
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ROOF PLAN

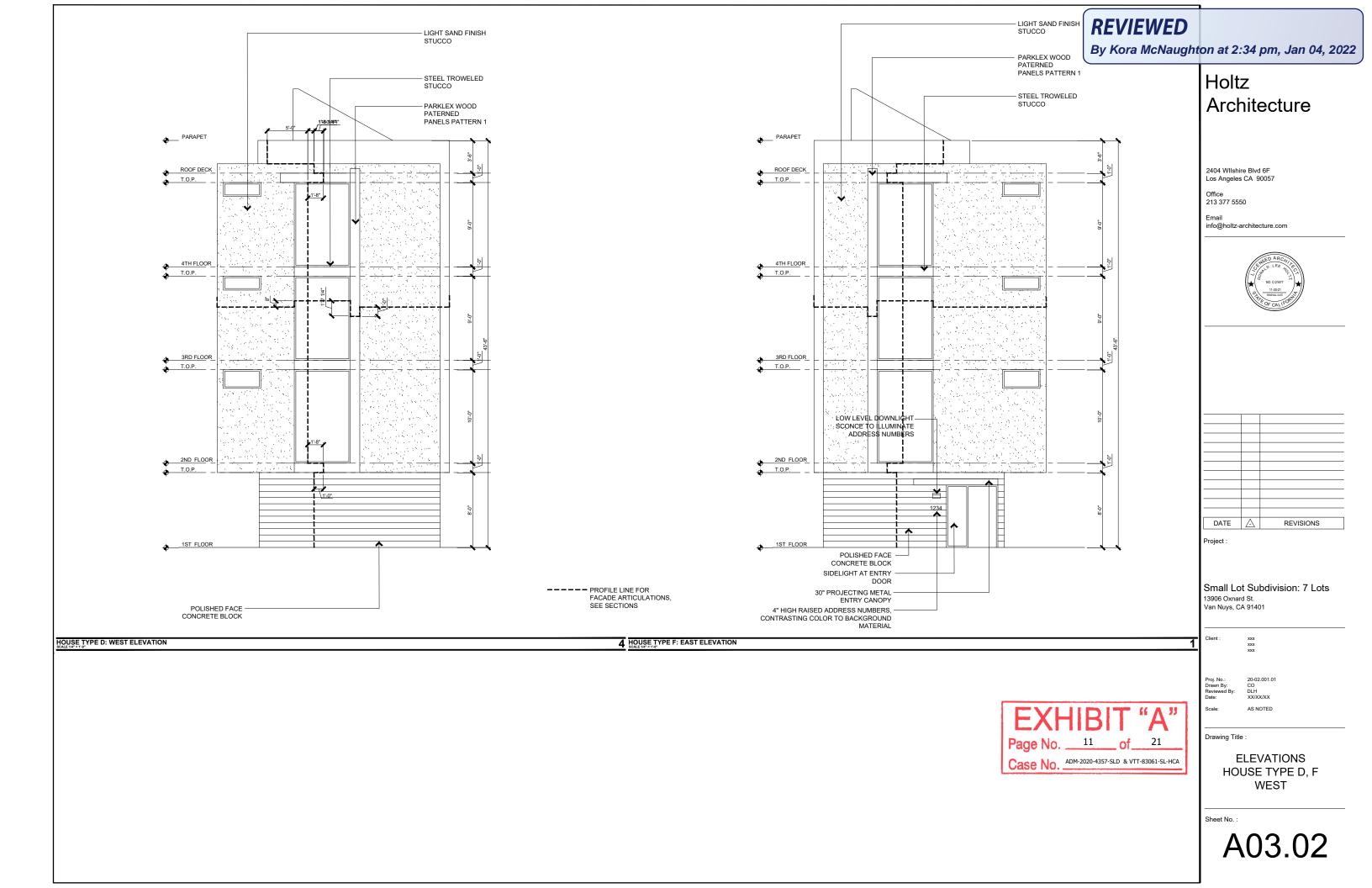
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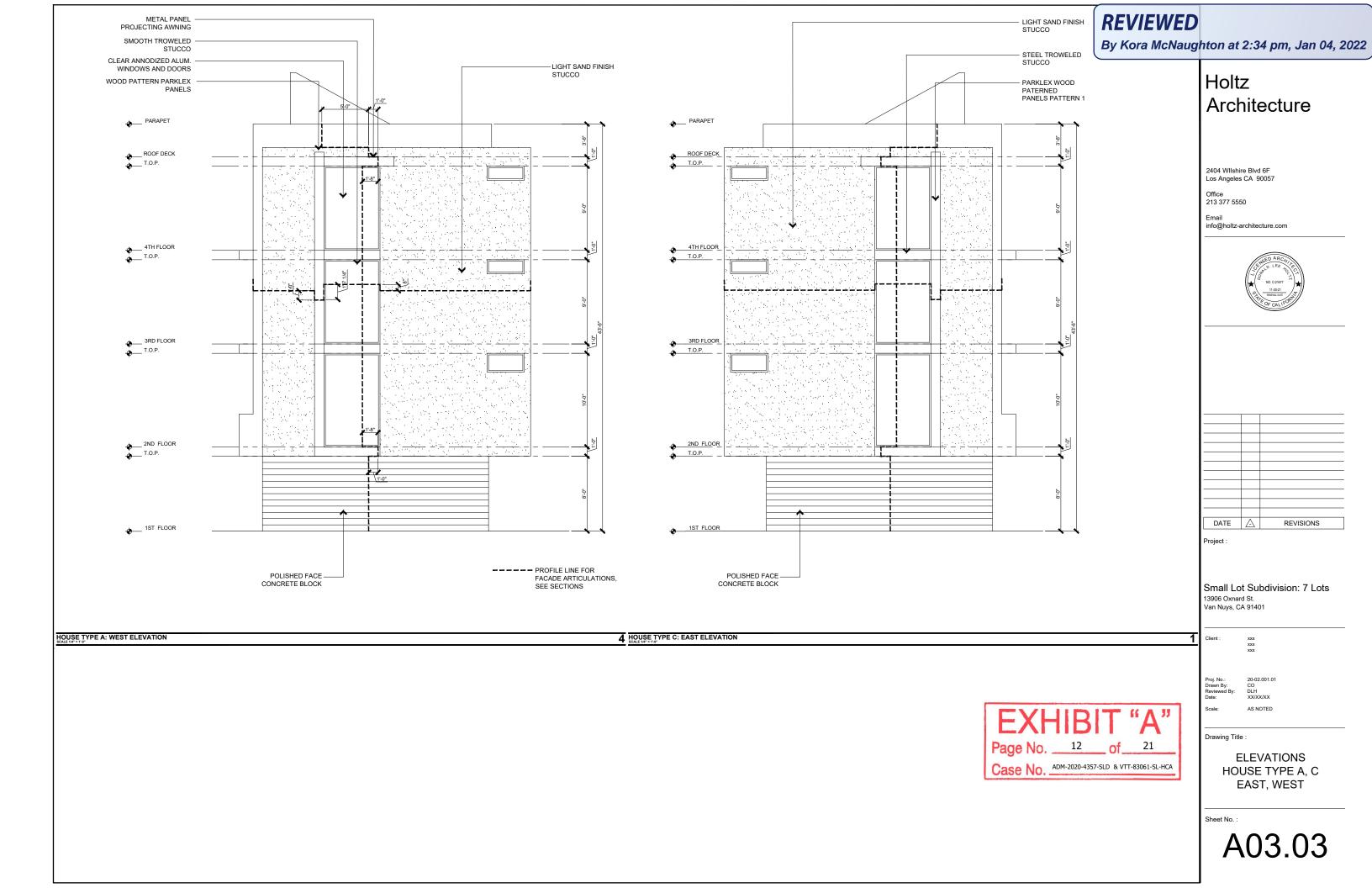
FOURTH FLOOR PLAN

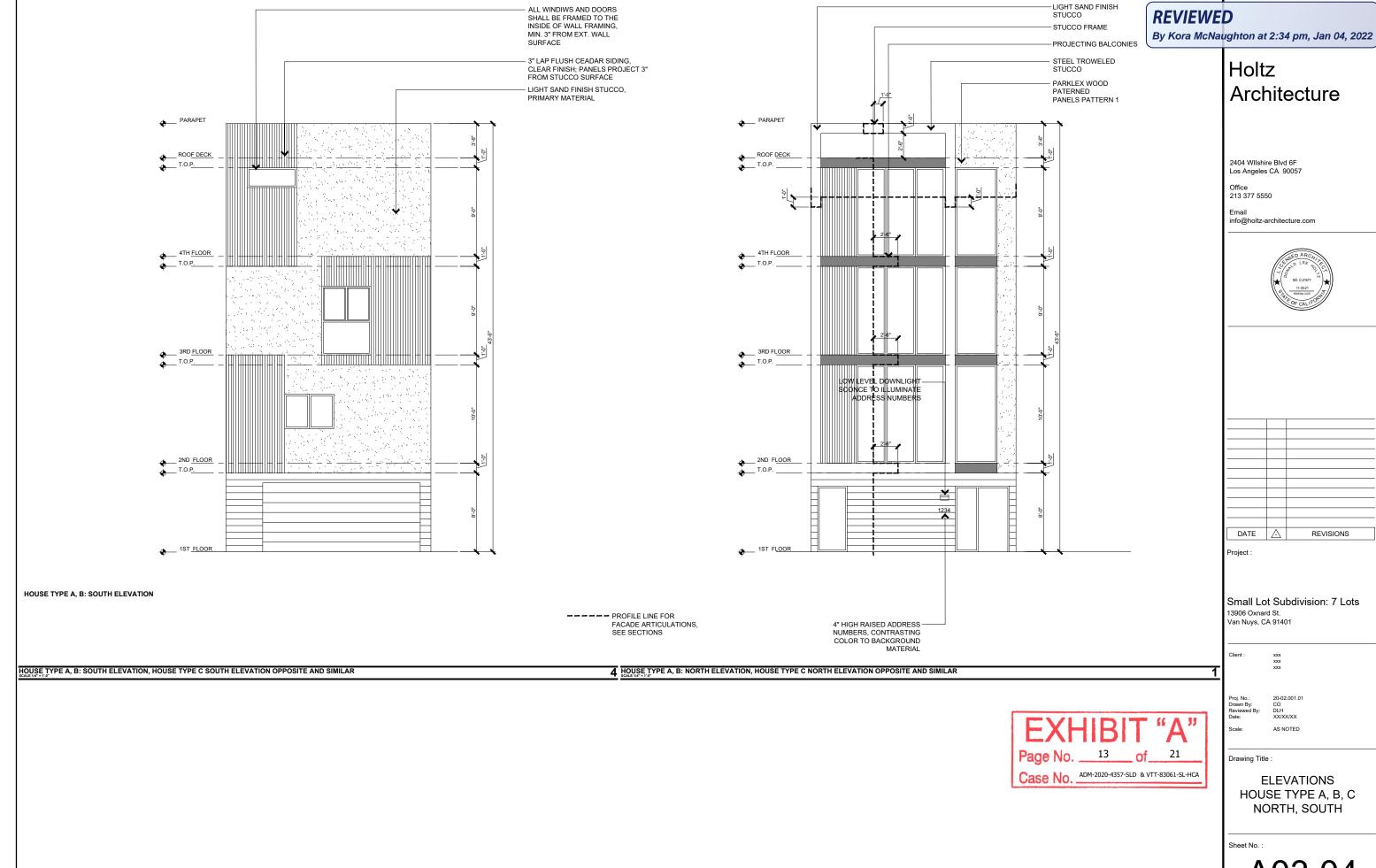
OCCUPIED ROOF AREA



A03.01

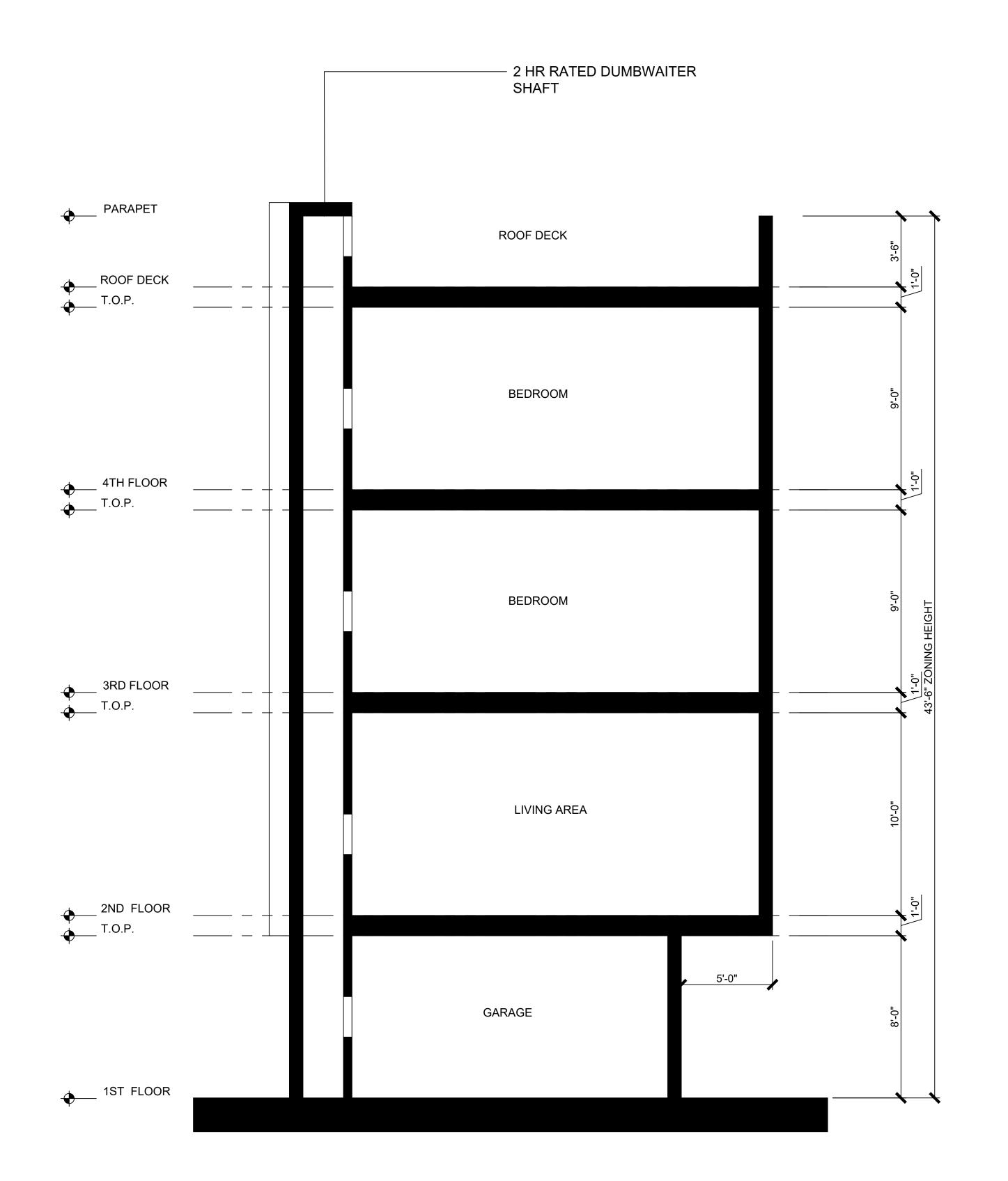


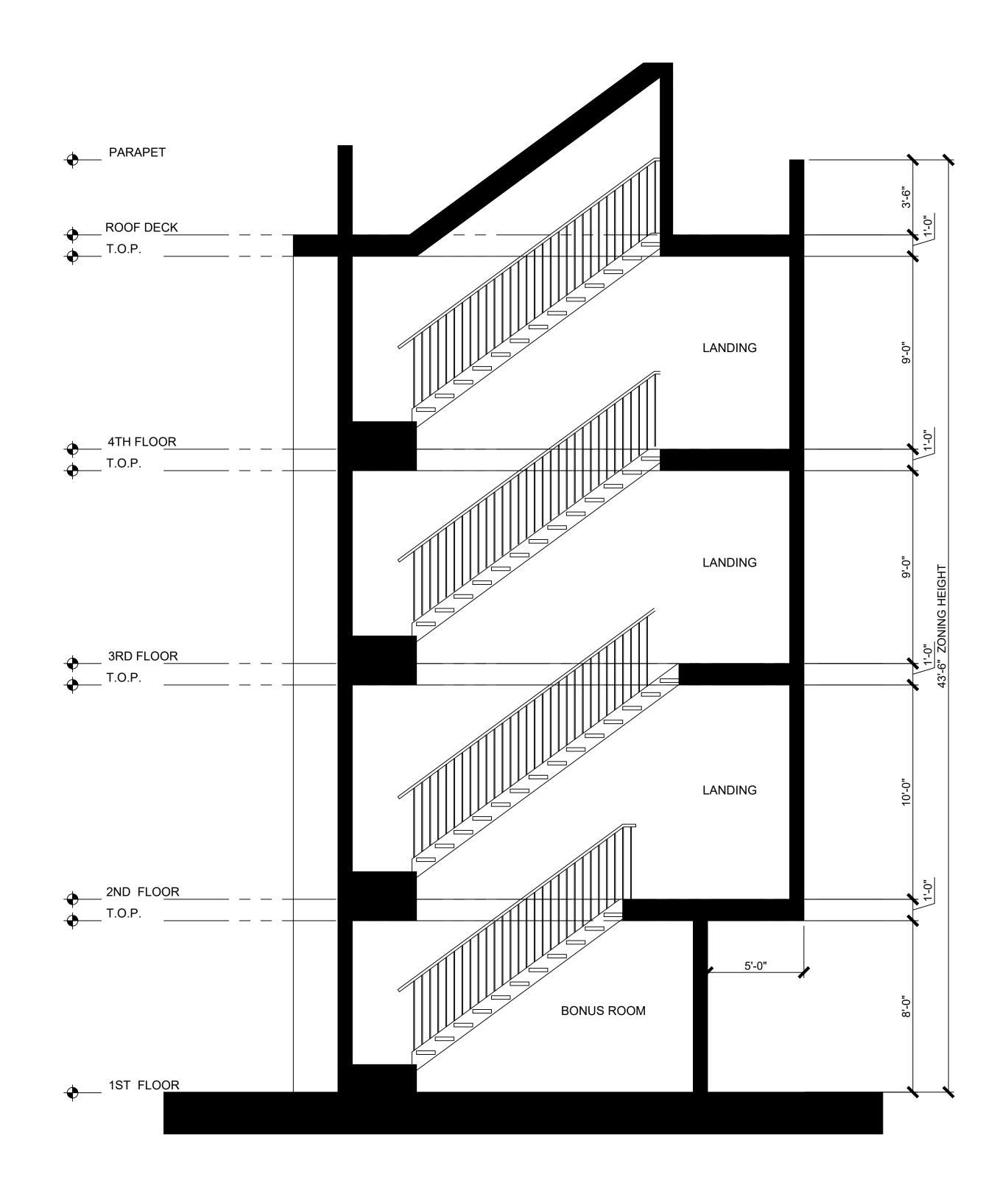




A03.04

By Kora McNaughton at 2:35 pm, Jan 04, 2022



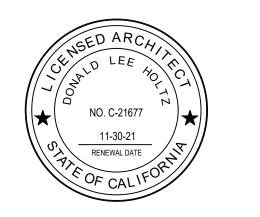


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REVISIONS

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Client:

20-02.001.01 Reviewed By:

XX/XX/XX AS NOTED

Drawing Title :

EXHIBIT "A"

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

SECTIONS HOUSE TYPE A, C

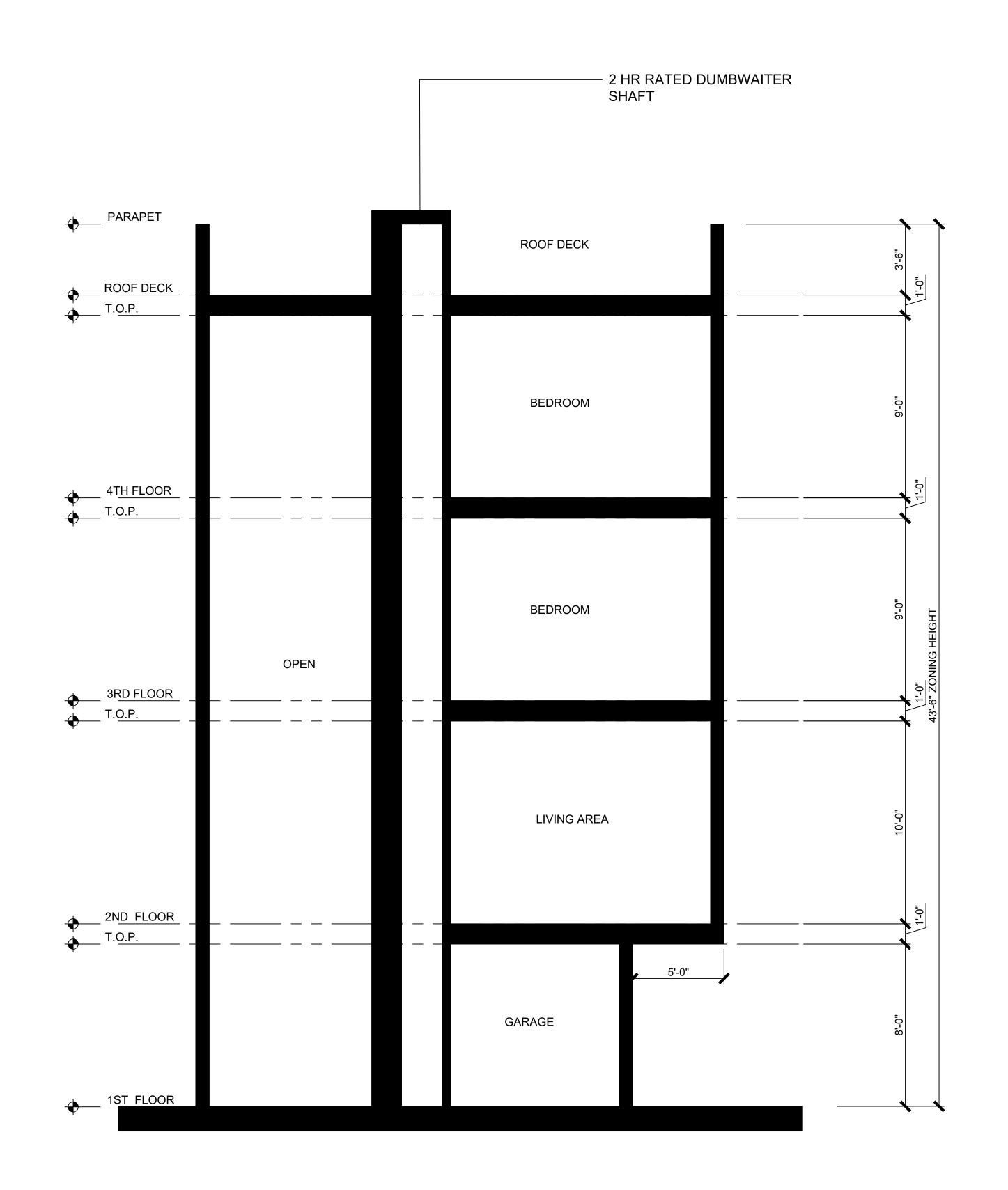
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A04.01

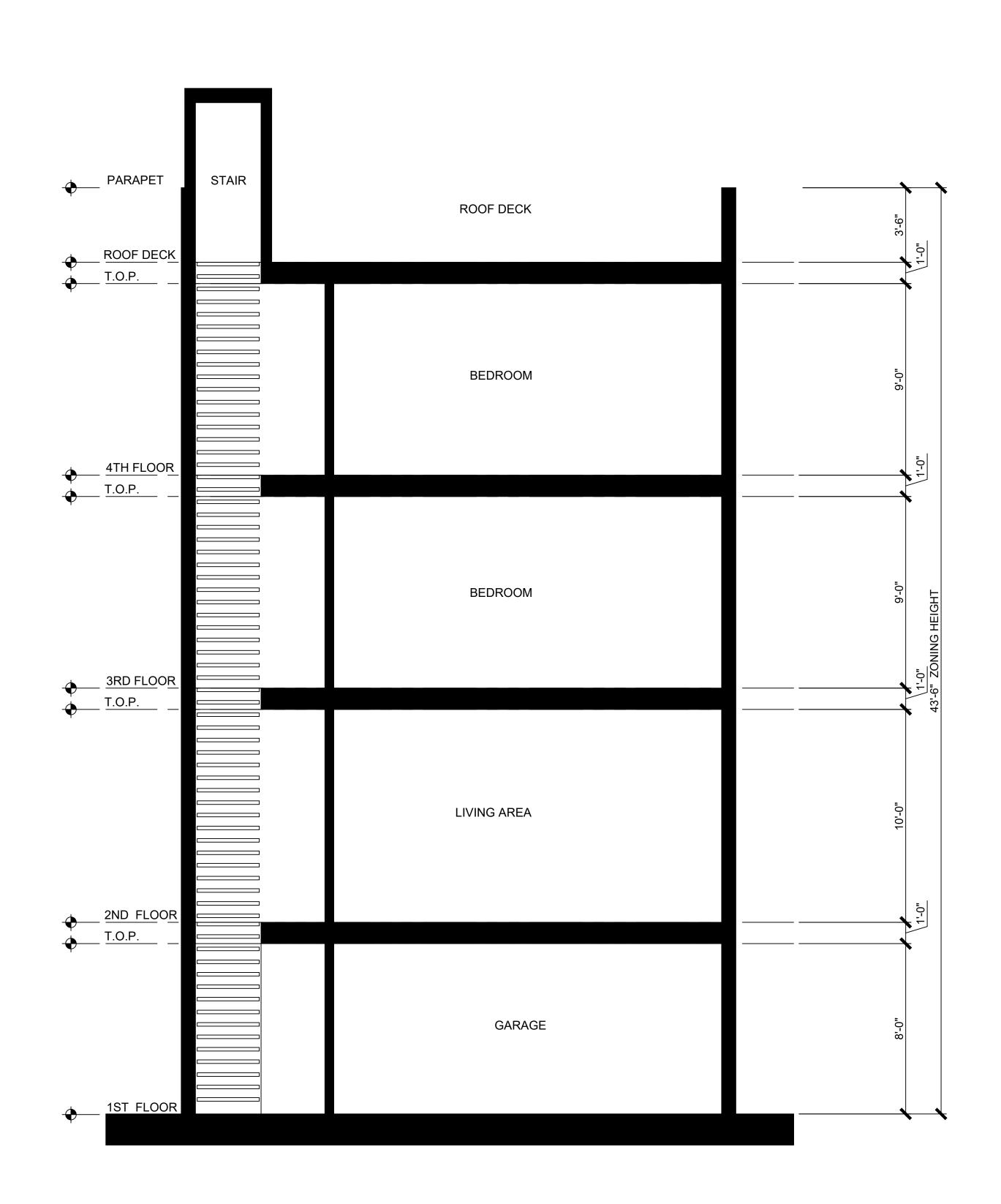


HOUSE TYPE A: NORTH-SOUTH SECTION

By Kora McNaughton at 2:35 pm, Jan 04, 2022



HOUSE TYPE A: NORTH-SOUTH SECTION
SCALE 1/4" = 1'-0"



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DATE **REVISIONS**

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Client:

Project

20-02.001.01 CO DLH XX/XX/XX

AS NOTED

Drawing Title :

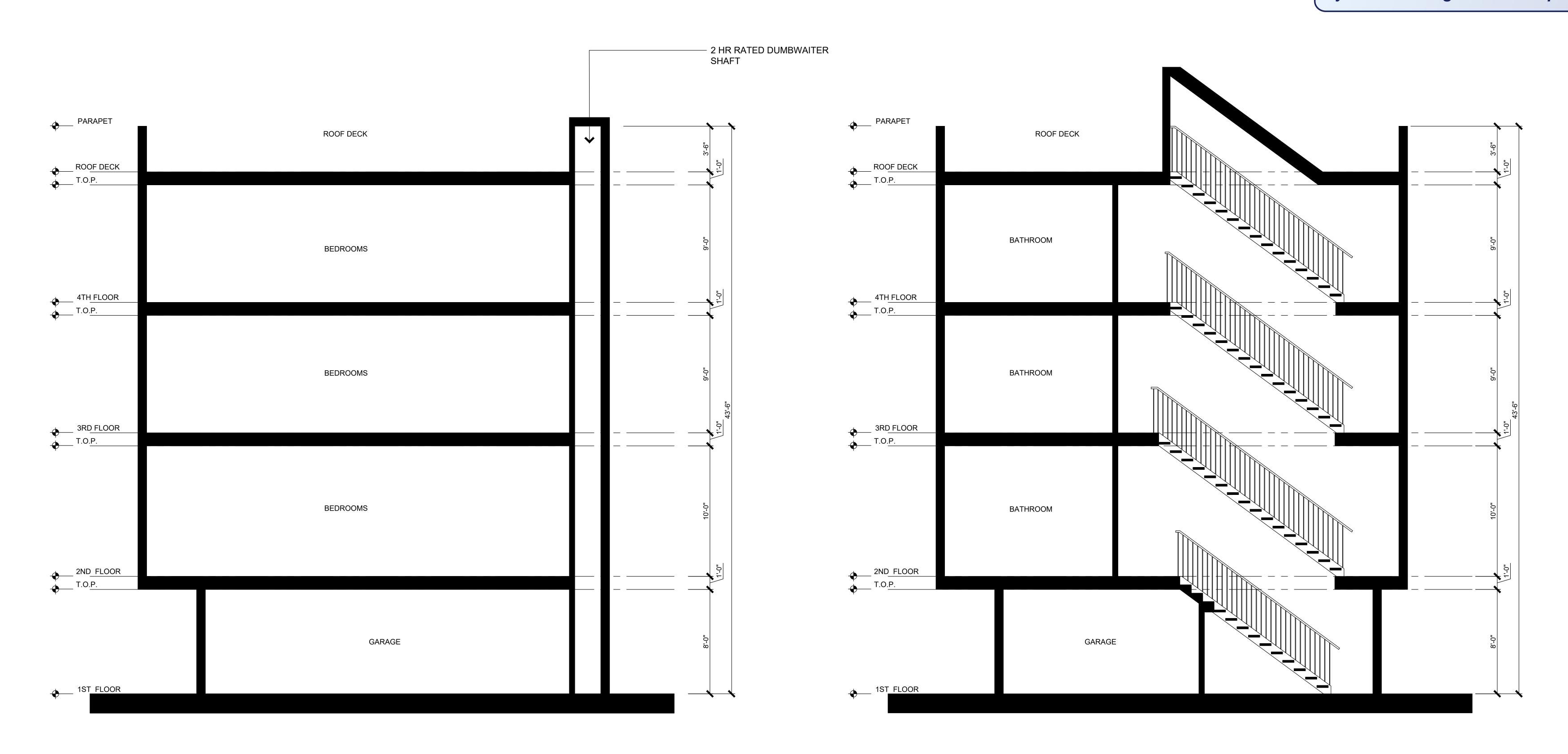
SECTIONS HOUSE TYPE A, C

Sheet No.:

A04.02



By Kora McNaughton at 2:35 pm, Jan 04, 2022



HOUSE TYPE A: NORTH-SOUTH SECTION

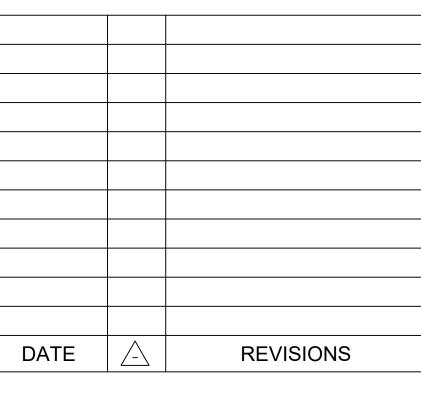
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Project

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Client:

CO DLH XX/XX/XX

AS NOTED

Drawing Title :

SECTIONS HOUSE TYPE B, D

Sheet No.:

A04.03



By Kora McNaughton at 2:36 pm, Jan 04, 2022

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12" ARCHITECTURAL PROJECTION -

BACK AT EACH HOUSE

CHANGE IN SKYLINE AT ROOF, GUARDRAILS SET

WOOD PATTERN PARKLEX PANELS

PLANE OF WALLS AND WINDOWS VARIES A MIN.OF - 12" ACROSS FACADES

POLOISHED FACE CONCRETE BLOCK AT BASE -

VIEW FROM OXNARD ST., NORTHWEST

AT OXNARD ST. ENTRIES, PLANE/WALL OF ENTRY DOORS ARE RECESSED 24' FORM PRIMARY NORTH FACADE SURFACE

WALL SCONCE ILLUMINATES ADDRESS NUMBER AND SIGNIFIES ENTRY AT NIGHT

SIDELIGHT ALLOWS COOMUNICATION BETWEEN EXTERIOR AND INTERIOR AT ENTRY

4" HIGH ADDRESS NUMBERS IN A COLOR WHICH CONTRASTS WITH BASE MATERIAL

DEDCICATED WALKWAYS FROM PUBLIC SIDEWALK
TO INDIVIDUAL ENTRIES

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

REVISIONS

DATE

Project :

20-02.001.01 CO Proj. No.: Drawn By: Reviewed By: Date: DLH XX/XX/XX AS NOTED

Drawing Title :

RENDERINGS

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

A07.01

HOUSE TYPE B: STREET ENTRIES

By Kora McNaughton at 2:36 pm, Jan 04, 2022

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REVISIONS

Small Lot Subdivision: 7 Lots

XXX XXX

20-02.001.01

AS NOTED

DLH XX/XX/XX

CHANGE IN SKYLINE AT ROOF, GUARDRAILS SET — BACK AT EACH HOUSE

12" ARCHITECTURAL PROJECTION -

WOOD PATTERN PARKLEX PANELS -

PLANE OF WINDOWS RECESSED 6" FROM -PRIMARY WALL SURFACE

POLOISHED FACE CONCRETE BLOCK AT BASE

VIEW FROM OXNARD ST., NORTHEAST



AT RANCHITO ST. ENTRY ENTRY DOORS ARE RECESSED 6" FROM PRIMARY EAST FACADE SURFACE

WALL SCONCE ILLUMINATES ADDRESS NUMBER AND SIGNIFIES ENTRY AT NIGHT

SIDELIGHT ALLOWS COOMUNICATION BETWEEN EXTERIOR AND INTERIOR AT ENTRY

4" HIGH ADDRESS NUMBERS IN A COLOR WHICH CONTRASTS WITH BASE MATERIAL

DEDCICATED WALKWAYS FROM PUBLIC SIDEWALK
TO INDIVIDUAL ENTRIES

HOUSE TYPE C, D: STREET ENTRIES AT RANCHITO ST.

EXHIBIT "A"

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

Sheet No. :

Drawn By:

Drawing Title :

DATE

13906 Oxnard St. Van Nuys, CA 91401

A07.02

RENDERINGS



Holtz Architecture

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VIEW FROM OXNARD ST., NORTHEAST



DATE **REVISIONS**

Project :

Small Lot Subdivision: 7 Lots 13906 Oxnard St. Van Nuys, CA 91401

Client : XXX

20-02.001.01 Drawn By: Reviewed By: Date: DLH XX/XX/XX

AS NOTED

Drawing Title :

RENDERINGS

HOUSE TYPE C, D: STREET ENTRIES AT RANCHITO ST.

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

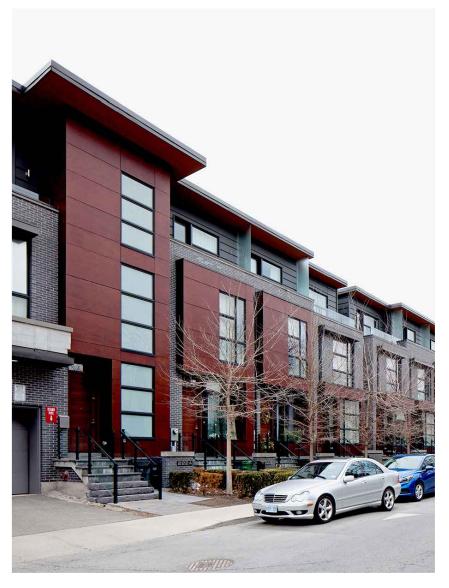
Sheet No.:

A07.03

By Kora McNaughton at 2:37 pm, Jan 04, 2022

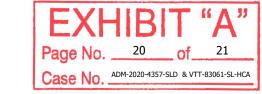


6" TO THE WEATHER VERTICAL TONGUE AND GROOVE SIDING, CLEAR FINISH SEALANT



PARKLEX PANELS, COLOR "RUBI" MATERIAL MOUNTED IN A LARGE SCALE PATTERN

CEDAR SIDING
NO SCALE



Holtz Architecture

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Client :

Proj. No.: 20-02.00 Drawn By: CO Reviewed By: DLH Date: XX/XX/X

Drawing Title :

FACADE MATERIALS

Sheet No

A07.04

FRUITLESS OLIVE



CALIFORNIA GRAY RUSH



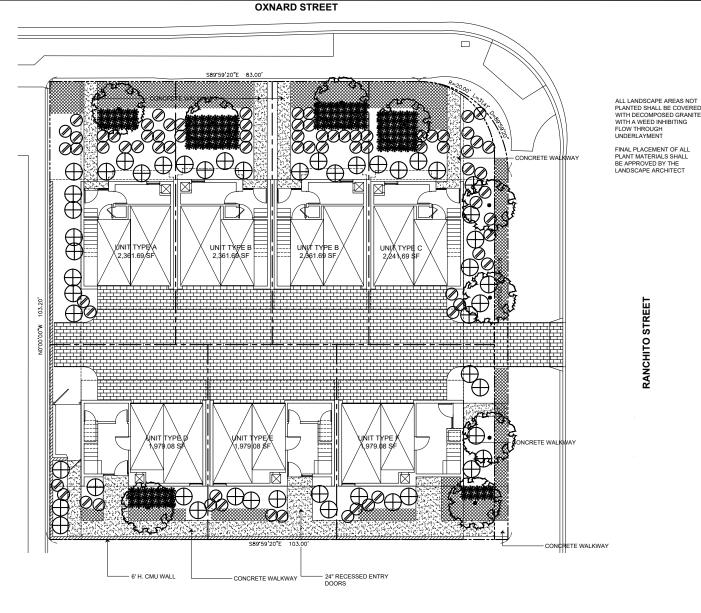
SPANISH LAVENDER



DEER GRASS



LANTANA



GENERAL PLANTING NOTES

1. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.

2. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.

3. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER GROWN TREES, 3. THE COS AND SHALL FURNISH AND PAY FOR DELOTING ROWN THE ROWN THE REST. THE COS AND THE COST AND THE ROWN THE REST. THE COST AND THE COST AND THE ROWN THE REST. THE COST AND THE COST THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.

4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.

5. ALL BOXED TREES IN PAVING SHALL BE SELECTED AND SPOTTED BY THE LANDSCAPE ARCHITECT OR OWBERS REPRESENTATIVE IN CONJUNCTION WITH PAVING CONTRACTOR AND GENERAL CONTRACTOR. GENERAL CONTRACTOR TO ASSUME ALL LIABILITY FOR ACCURATE PLACEMENT OF TREES.

6. ALL VINE RUNNERS SHALL BE INSTALLED WITH THE NURSERY STAKES REMOVED AND VINE RUNNERS SHALL BE ESPALIERED TO THE ADJACENT WALL OR FENCE.

7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE SUBCONTRACTOR. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.

8. THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM WALLACE SOILS LABORATORY (310) 615-0116 ANDIOR ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.

9. FOR BIDDING AREA TO BE LANDSCAPED, THE FOLLOWING AMENDMENTS SHALL BE USED UNTIL CONTRACTOR IS PROVIDED WITH 5 OILS AGRONOW REPORT. AMENDMENTS SHALL BE USELD BE UNIFORMLY BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER OR EQUAL.

AMOUNT PER 1,000 SQUARE FEET

CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT DERIVED FROM REDWOOD SAWDUST, FIR SAWDUST OR CEDAR SAWDUST.

 15 LBS. SOIL SULFUR

 15 LBS. 12-12-12 FERTILIZER

10. A MINIMUM 3" (THREE INCHES) LAYER OF SHREDDED BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. CONTRACTOR TO SUBMIT 1/2 CU. FT BAG AS SAMPLE FOR APPROVAL

11. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

12. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED TWICE THE DIAMETER OF THE ROOTBALL WITH A MAXIMUM OF THE HEIGHT OF THE ROOTBALL TO THE BOTTOM OF THE PLANTING PIT.

DO NOT OVER EXCAVATE!!!

THE BACKFILL MIX FOR USE AROUND THE ROOTBALL OF ALL TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING FORMULA:

6 PARTS ON-SITE SOIL
4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE SOIL
PREPARATION
1 LB /CU/YD. OF MIX 12-12-12 COMMERCIAL FERTILIZER
2 LBS /CU, YD. OF MIX RON SULFATE
10 LBS /CU, YD. OF MIX RORS OF MIX AGRICULTURAL GYPS

13. THIRTY (30) DAYS AFTER INSTALLATION ALL LANDSCAPE SHALL BE FERTILIZED WITH BEST FERTILIZER COMPANY 16-8-8 OR APPROVED EQUAL, APPLIED AT THE RATE OF SIX POUNDS (6. BS.) PER 1,000 SQUARE FEET OR PER SOIL AGRONOMY REPORT. FERTILIZER APPLICATION SHALL BE CONTINUED THEREAFTER AT MONTHLY INTERVALS.

14. FOR ALL STAKED TREES, SEE DETAIL 1, THIS SHEET.

15. FOR ALL SHRUBS, SEE DETAIL 2, THIS SHEET.

16. FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS:

1 GALLON SHRUBS 5 GALLON SHRUBS 15 GALLON SHRUBS BOXED TREES 1 PER 4" OF BOX SIZE

PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.

17. ALL EXISTING LANDSCAPE AREAS DISTURBED DURING THE CONSTRUCTION PROCESS WILL BE RECONDITIONED TO THEIR ORIGINAL STATE AT NO ADDITIONAL COST TO THE OWNER.

18. INSTALL 24" DEEP ROOT BARRIER ON ALL TREES WITHIN 4 FEET OF PAVING.

19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" (SIX INCHES) OF SOIL. COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

REVIEWED PROJECT INFORMA

By Kora McNaughton at 2:37 pm, Jan 04, 2022

SCOPE OF WORK: SMALL LOT SU

LEGAL DESCRIPTION: TR 1000, LOT PT 59

ZONF: RD1.5-1 VTT NO: 83061

GREEN BUILDING COMPLIANCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

LANDSCAPE POINTS

PROJECT AREA: 10,553.8 SF REQUIRED POINTS: 15

STRAIGHT LINE ACCESS TO BUILDING ENTRY ON OR OFF-SITE RECYCLING ALL VEGETATIVE WASTE USE OF LA CITY ORGANIC TOPGRO COMPOST TOTAL POINTS

EXHIBIT "A"

Case No. ADM-2020-4357-SLD & VTT-83061-SL-HCA

Architecture

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GENERAL LANDSCAPE NOTES

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I HAVE REVIEWED THE APPROVED "SOLAR ACCESS REPORT" PREPARED

THE SUB-DIVIDER SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:

A) THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.

B) SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC).

C) THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.

D) THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION

PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantit	y Size	WUCOLS	Remarks
200	TREES Olea europaea 'Swan Hill' / Fruitless Olive	4	36" Box	L	multi-trunk
*	SHRUBS Juncus patens / California gray rush @ 18" o.c. Lavandula stoeches / Spanish lavender	56 49	1g 5g	L	
	@ 30" o.c. Muhlenbergia rigens / Deer grass @ 36" o.c.	25	5g	L	
	GROUND COVER Lantana montevidensis / Lantana 415 sf @ 36" o.c. = 42 plants	35	1g	L	

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Project

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	XXX
	XXX

LANDSCAPE PLAN

Sheet No. 1