

DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

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August 20, 2020

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10250 Constellation Boulevard, Suite 800
Los Angeles, CA 90067

DJ Moore (R)
Latham & Watkins, LLP
355 S. Grand Avenue, Suite 100
Los Angeles, CA 90071

Case No.: CPC-2013-210-SPP-SPR-
MSC; CPC-2009-817-DA
CEQA No.: ENV-2004-6269-EIR-SUP1
Address: 1950 Avenue of the Stars
Related Case: VTT-723
Council No.: 5 – Hon. Paul Koretz
Plan Area: West Los Angeles
Certified NC: Westside

Exhibit A – Substantial Conformance

On November 29, 2006, the Los Angeles City Council approved the original iteration of a project on the 5.5-acre Project Site (Residential Project), which proposed the demolition of existing structures, surface parking lots, and driveways, and the new construction of 483 residential condominium units in two 47-story, approximately 570-foot high buildings and one 12-story, approximately 135-foot high loft building, along with 1,208 parking spaces in a four-level subterranean parking garage, for a total of approximately 1,292,358 square feet of new development (CPC-2004-6275-SPP-SPR; VTT-61958). The project approvals included a Development Agreement associated with the Residential Project dated September 16, 2009 (Ordinance No. 180,765).

Due to changes in market conditions resulting from the Great Recession, the Applicant sought approval of the Commercial Project as an alternative to the Residential Project so that either project could be developed on the Project Site. The City Council approved the Commercial Project on January 27, 2015, which proposed a 37-story, approximately 700,000-square-foot office tower, with approximately 10,338 square feet of one- and two-story creative office spaces, approximately 17,102 square feet of ancillary retail uses, an approximately 2,389-square-foot Mobility Hub, and a transit plaza adjacent to the proposed, but yet to be designed, Metro Portal for the Purple Line Extension. The City of Los Angeles and the Applicant also entered into a First Amendment to the Original Development Agreement (Ordinance No. 183411 - "First Amendment"), dated April 23, 2015, which allowed the development of the Commercial Project as an alternative to the Residential Project. The case numbers for the Commercial Project include CPC-2013-210-SPP-SPR-MSC; CPC2009-817-DA-M1.

The Commercial Project's approvals, specifically Condition No. A-1 includes the following language:

1. "Site Plan. The use and development of the subject property shall be in substantial conformance with the site plan (Exhibit A) and elevations attached to the subject case file and as approved by the City Planning Commission. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code and the Conditions of Approval. All signage shall be implemented in accordance with the Los Angeles Municipal Code and any applicable regulations of the Specific Plan. The project shall be constructed consistent with the following project description:

- One 37-story building containing approximately 700,000-square feet of office space;
- Approximately 10,338 square feet of low-rise, one- and two-story office space;
- An approximate 2,389-square-foot Mobility Hub;
- Transit Plaza;
- Approximately 17,102 square feet of ancillary retail, and a partially subterranean parking structure;
- The parking structure shall feature an approximate 2.14-acre (approximately 93,000 square feet) landscaped green roof deck open to members of the public between 6:00 a.m. - 8:00 p.m., seven days per week, subject to reasonable rules and regulations, including the allowance for periodic use of the deck by the Applicant for private, non-public events; and
- Approximately 39,037 square feet of additional public open space on the project site.

On July 10, 2020, the project proponent has requested the Department of City Planning's consideration of their Revised Exhibit A (Revised Plans) under the Substantial Conformance procedures and site specific design requirements in the Conditions of Approval noted in Condition No. A-1 (Site Plan), and Project Design Feature TRA-3, which requires the project to integrate the Westside Subway Extension station portal at the northeast corner of Constellation Boulevard and Avenue of the Stars.

The Substantial Conformance request complies with the conditions of approval, which require 700,000 square feet of office space, 10,388 square feet of one- and two-story creative office-space, and a Transit Plaza accessible from Avenue of the Stars and Constellation Boulevard. To accommodate the design of the station portal, which changed over time and ultimately was proposed to occupy a different configuration on the Project Site than originally contemplated, refinements were made to the other aspects of the project, including the provision of approximately 12,681 square feet of ancillary retail uses (in lieu of the 17,102 square feet), 2.07-acres of landscaped open space (in lieu of 2.14 acres), and 41,857 square feet of publicly accessible ground floor common open space (in lieu of the 39,037 square feet).

Additionally, the 2,389-square-foot Mobility Hub has been replaced with 2,011 square feet of mobility and transportation-related amenities that are distributed across the Project Site in both the expanded area that is now reserved for the reconfigured Metro Portal (containing bicycle storage, bicycle rental, and transit information), and in the Transit Plaza (containing a proposed Mobility Kiosk). The space in the retail building previously reserved for the Mobility Hub has been replaced with a new retail storefront to further activate the eastern edge of the Metro Portal adjacent to the portal's elevators. The total floor area of the Revised Project is approximately

729,289 square feet (a decrease of approximately 540 square feet compared to the approved Commercial Project.

In summary, the primary refinements to the Commercial Project are illustrated in the table below:

Commercial Project	Substantial Conformance	Net Difference
37-story building w/700k sf office space	36-story bldg w/700k sf office space	Reduction of one (1) story
Approx. 10,338 sf low-rise, one- and two-story office space	Approx. 10,338 sf of low-rise, one- and two-story office space	N/A
Approx. 2,389- square-foot Mobility Hub	Approx. 2,011 sf of mobility and transportation-related amenities	-378 sf
Transit Plaza w/ approx. 20,425 sf	Transit Plaza w/ approx. 24,894 sf	+4,469 sf
Approx. 17,102 sf of ancillary retail	Approx. 12,681 sf of ancillary retail	-4,421 sf
Approx. 2.14-acre (93,000 sf) landscaped green roof deck	Approx. 2.07-acre (90,124 sf) landscaped green roof deck	-2,876 sf
Approx. 39,037 sf of ground-level public open space (inclusive of Transit Plaza)	Approx. 41,857 sf of ground-level public open space (inclusive of Transit Plaza)	+2,820 sf

Conclusion

Based on the analysis above and the submittals by the applicant, the Department of City Planning has determined that the Revised Plans for the Commercial Project substantially conform to the Approved Plans and the Conditions of Approval delineated in the Case Numbers CPC-2013-210-SPP-SPR-MS and CPC-2009-817-DA-M1 and are within the scope of the CEQA analysis undertaken for the Project. The proposed changes continue to be consistent with the overall design, total square footage, allowable land uses and operational activities that were considered for the Project under the Project approvals. As such, the Revised Plans are in substantial conformance with the Exhibit A as approved by the City Council on January 27, 2015.

VINCENT P. BERTONI, AICP
Director of Planning


Luciralia Ibarra
Principal City Planner
(213) 847-3634



CENTURY CITY CENTER

DRAWING INDEX

- A0.01 COVER SHEET, LOCATION MAP, DRAWING INDEX
- C130 PLOT PLAN
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- A2.01 PARKING PLAN LEVEL B3
- A2.02 PARKING PLAN LEVEL B1 + B2
- A2.03 GROUND LEVEL PLAN
- A2.04 PARKING PLAN LEVEL 2
- A2.05 PODIUM LEVEL PLAN
- A2.06 LEVEL 3 PLAN
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- A2.08 ROOF PLAN
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- A3.02 BUILDING SECTION
- A3.03 BUILDING ELEVATION
- A3.04 BUILDING ELEVATION
- A3.05 BUILDING ELEVATION
- A3.06 BUILDING ELEVATION
- A4.01 RENDERING
- A4.02 RENDERING
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- L2.01 LANDSCAPE LAYOUT + GRADING PLAN - FIRST LEVEL
- L2.02 LANDSCAPE LAYOUT + GRADING PLAN - PODIUM LEVEL
- L4.01 SITE SECTIONS



JOHNSON FAIN
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A CALIFORNIA CORPORATION

Exhibit: A
Case No. CE-2013-210
Approved By: W. Ciralla Ibarra
Date: 8/20/2020

DATE	ISSUE DESCRIPTION
06-30-20	ENTITLEMENT SUBMITTAL

CENTURY CITY REALTY, LLC
CENTURY CITY CENTER
1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
**COVER SHEET LOCATION
MAP DRAWING INDEX**

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE PROJECT NUMBER
19000

SHEET NUMBER
A0.01

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PLANS APPROVED

These plans are in Substantial Conformance with:

PLANS APPROVED

These plans are in Substantial Conformance with:

Exhibit: h

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ARCHITECTURE • URBAN DESIGN/PLANNING • INTERIORS

1331 NORTH BRADWAY
LOS ANGELES, CA 90012
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FACSIMILE: 213.224.4339
A CALIFORNIA CORPORATION

Approved By: Wanda Wang
Date: 8/20/2020
C.S. No. CP-2013-210

kpti Consulting Engineers
2280 Corner Ct. Suite 200
Los Angeles, CA 90008
Tel: 310.207.4400 Fax: 310.207.4075

4-20-11 DRAFT ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1650 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
PLOT PLAN

ARCHITECT
JOHNSON FAIN

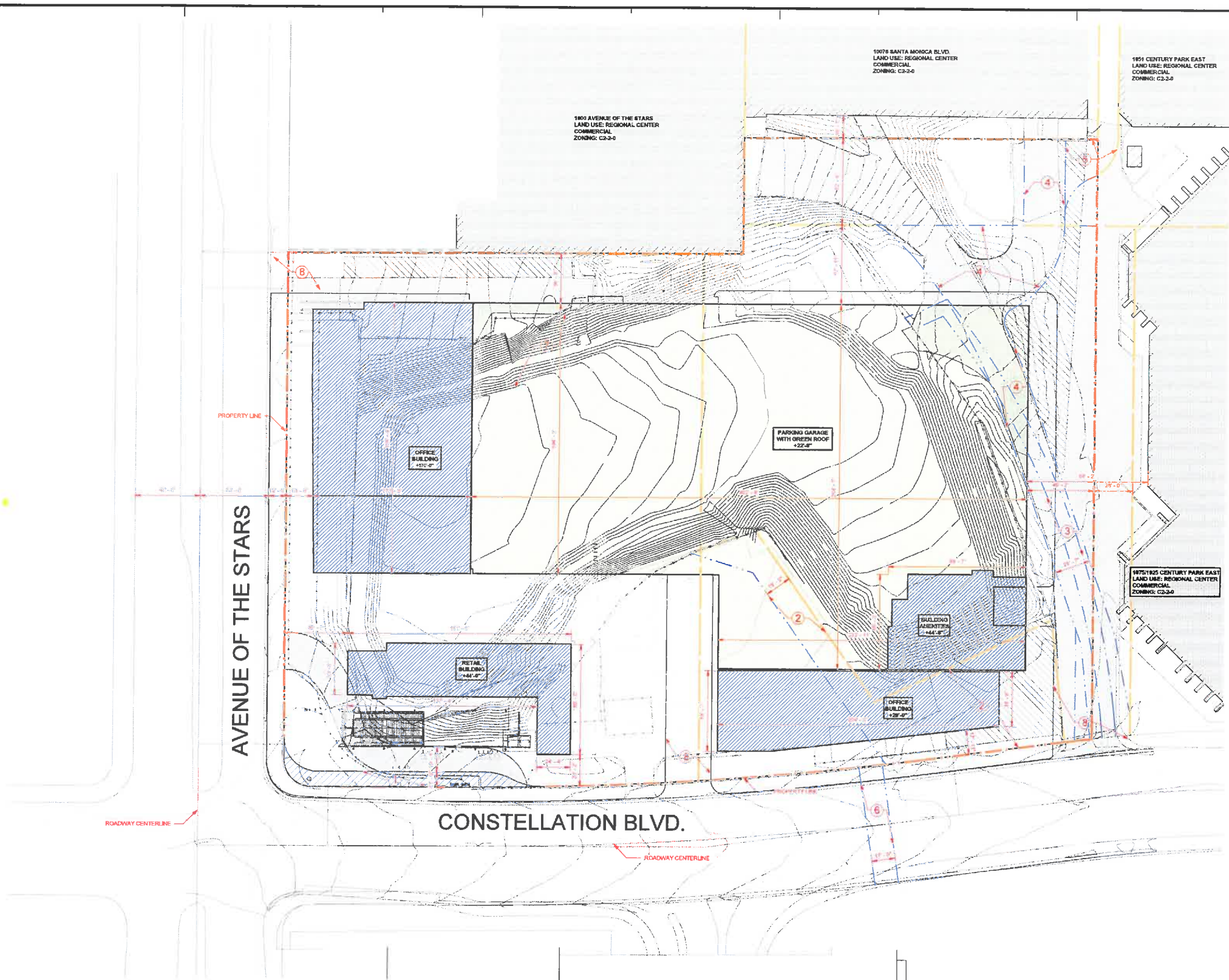
DATE
06-30-20

FILE
SHEET NUMBER

PROJECT NUMBER
19000

C130

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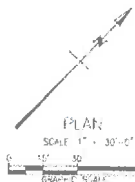


LEGEND

- | | | | |
|--|--------------------------------|--|----------------------|
| | OFFICE BUILDING | | EXISTING BUILDING |
| | RETAIL BUILDING | | EXISTING ROADWAY |
| | PARKING GARAGE WITH GREEN ROOF | | EXISTING PARKING LOT |
| | STREET DEDICATION | | EXISTING FENCE |
| | CENTRAL PLANT | | EXISTING WALL |
| | PROPERTY/BOUNDARY LINE | | |
| | LOT LINE/PARCEL LINE | | |
| | EASEMENT LINE | | |

NOTES

1. VARIABLE WIDTH OFFER TO DEDICATE FOR FUTURE STREET PURPOSES PER INSTRUMENT NO. 01-006464 RECORDED JANUARY 6, 2001
2. VARIABLE WIDTH EASEMENT FOR POLE LINES, CABLES, WIRES, OVERHEAD AND UNDERGROUND EQUIPMENT FOR THE TRANSMISSION OF ELECTRICAL POWER PURPOSES PER INSTRUMENT NO. 3425 RECORDED JANUARY 26, 1985
3. 10' WIDE EASEMENT FOR SANITARY SEWER PER INSTRUMENT NO. 6277 RECORDED MAY 28, 1984 AS SHOWN ON TRACT NO. 30364 M.S. 803 0394
4. VARIABLE WIDTH ACCESS EASEMENT PER COVENANT AND AGREEMENTS TO MAINTAIN THE EASEMENT PER INST. NO. 4945 REC. 8/9/176, INST. NO. 78-886433 REC. 8/11/178, INST. NO. 82-241250 REC. 3/26/82, INST. NO. 80-21952 AND INST. NO. 80-21959 BOTH REC. 1/7/80
5. VARIABLE WIDTH ACCESS EASEMENT PER INSTRUMENT NO. 78-886430 RECORDED AUGUST 11, 1978
6. 17' WIDE EASEMENT FOR UNDERGROUND OIL, GAS AND HYDROCARBONS AND WATER PIPE LINE PURPOSES PER INSTRUMENT NO. 4488 RECORDED APRIL 29, 1982
7. LANDSCAPING ON THE GRADED SLOPES SHALL BE MAINTAINED AT ALL TIMES AND ANY STANDING WATER SHALL BE REMOVED PER INSTRUMENT NO. 02-172397 RECORDED SEPTEMBER 15, 1982
8. PROPOSED DRIVEWAY



DRAFT

PLANS APPROVED

These plans are in Substantial Conformance with:

Exhibit: **A**

JOHNSON FAIN

ARCHITECTURE • URBAN DESIGN • PLANNING • INTERIORS

1391 NORTH BROADWAY
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A CALIFORNIA CORPORATION

Approved By: *Luciana Ibarra*

Date: *8/10/2020*

Case No. *Cpe-2013-210*

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
SITE PLAN

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE

SHEET NUMBER

A1.01

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Project Address
1950 Avenue of the Stars
Subject site is located on the Northeast corner of Constellation Boulevard and Avenue of the Stars

Legal Description
PARCEL 1:

THAT PORTION OF LOT 5 OF TRACT NO. 30364, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 803 PAGES 63 AND 64 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF PARCEL "B" IN SAID CITY, COUNTY AND STATE, AS SHOWN ON PARCEL MAP LA NO. 3247, FILED IN BOOK 69 PAGES 93 AND 94 OF PARCEL MAPS, IN SAID RECORDERS OFFICE, LYING SOUTHWESTERLY OF THE SOUTHEASTERLY PROLONGATION OF THAT CERTAIN COURSE IN THE SOUTHWESTERLY BOUNDARY OF SAID PARCEL "B" AS SHOWN ON THE MAP LA NO. 3247, AS HAVING A BEARING AND LENGTH OF NORTH 39 DEGREES 31 MINUTES 17 SECONDS WEST 313.58 FEET.

EXCEPT THAT PORTION OF SAID LOT 5 LYING NORTHEASTERLY OF SAID SOUTHEASTERLY PROLONGATION.

ALSO EXCEPT THEREFROM THAT PORTION OF SAID LOT 5, LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHEASTERLY TERMINUS OF THAT CERTAIN COURSE IN THE SOUTHEASTERLY LINE OF SAID LOT 5, AS SHOWN ON SAID TRACT NO. 30364, AS HAVING A BEARING AND LENGTH OF "SOUTH 42 DEGREES 58 MINUTES 43 SECONDS WEST 104.31 FEET"; THENCE NORTH 45 DEGREES 55 MINUTES 10 SECONDS WEST 88.98 FEET; THENCE SOUTH 25 DEGREES 11 MINUTES 40 SECONDS WEST 141.00 FEET; THENCE NORTH 74 DEGREES 48 MINUTES 20 SECONDS WEST 152.00 FEET; THENCE SOUTH 31 DEGREES 51 MINUTES 40 SECONDS WEST 42.14 FEET TO A POINT IN THE MOST SOUTHWESTERLY LINE OF SAID LOT 5, SAID POINT BEING DISTANT THEREON SOUTH 39 DEGREES 29 MINUTES 03 SECONDS EAST 214.21 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT 5.

EXCEPT ALL MINERALS, OIL, GAS AND HYDROCARBONS AND THE RIGHT TO EXPLORE FOR, DEVELOP, PRODUCE AND EXTRACT THE SAME, BUT WITHOUT THE RIGHT OF ENTRY UPON THE SURFACE OR UPPER 500 FEET (MEASURED FROM THE SURFACE) AS RESERVED BY FOX REALTY CORPORATION OF CALIFORNIA, A CORPORATION, IN DEED RECORDED APRIL 17, 1961 IN BOOK D-1190 PAGE 104, OFFICIAL RECORDS, AND IN DEED RECORDED NOVEMBER 5, 1973 AS INSTRUMENT NO. 319.

PARCEL 2:

LOT 6 OF TRACT NO. 30364, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 803 PAGES 63 AND 64 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF LOT 5 OF TRACT NO. 30364, LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHEASTERLY TERMINUS OF THAT CERTAIN COURSE IN THE SOUTHEASTERLY LINE OF SAID LOT 5, AS SHOWN ON SAID TRACT NO. 30364, AS HAVING A BEARING AND LENGTH OF "SOUTH 42 DEGREES 58 MINUTES 43 SECONDS WEST 104.31 FEET"; THENCE NORTH 45 DEGREES 55 MINUTES 10 SECONDS WEST 88.98 FEET; THENCE SOUTH 25 DEGREES 11 MINUTES 40 SECONDS WEST 141.00 FEET; THENCE NORTH 74 DEGREES 48 MINUTES 20 SECONDS WEST 152.00 FEET; THENCE SOUTH 31 DEGREES 51 MINUTES 40 SECONDS WEST 42.14 FEET TO A POINT IN THE MOST SOUTHWESTERLY LINE OF SAID LOT 5, SAID POINT BEING DISTANT THEREON SOUTH 39 DEGREES 29 MINUTES 03 SECONDS EAST 214.21 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT 5.

EXCEPT ALL MINERALS, OIL, GAS AND HYDROCARBONS AND THE RIGHT TO EXPLORE FOR, DEVELOP, PRODUCE AND EXTRACT THE SAME, BUT WITHOUT THE RIGHT OF ENTRY UPON THE SURFACE OR UPPER 500 FEET (MEASURED FROM THE SURFACE) AS RESERVED BY FOX REALTY CORPORATION, A CORPORATION, IN DEED RECORDED APRIL 17, 1961 AS INSTRUMENT NO. 4 IN BOOK D-1190 PAGE 104, OFFICIAL RECORDS, AND IN DEED RECORDED NOVEMBER 5, 1973 AS INSTRUMENT NO. 319.

Parking Required	Office-2.0 spaces/1,000 SF ((710,338sqft/1,000) x 2)	1,421 spaces
	Retail-4.0 spaces/1,000 SF ((12,681sqft/1,000) x 4)	51 spaces
	844g. Amenities-4.0 spaces/1,00 SF ((5,270sqft/1000) x 4)	25 spaces
	Screening Room-1.0 space/5 Seats (200 seats/5)	10 spaces
		1,537 total

Parking Provided	Standard Spaces	831 spaces
	Compact Spaces	573 spaces
	Handicapped Spaces	27 spaces
	Compact Car Ratio	57 %
	Total Spaces provided	1,537 spaces

Open Space	Provided	
	Green Roof Deck	90,124 sqft (2.07 acres)
	Ground Level Open Space	41,857 sqft (0.96 acres)

Area	Lot Area	240,672 sqft
	Buildable Area	240,672 sqft
	Total Allowable Floor Area (FAR 6.0)	1,444,032 sqft
	Office Tower Area:	700,000 sqft
	Creative Office Area:	10,338 sqft
	Building Amenities:	6,270 sqft
	Retail Area:	12,681 sqft
	Total Proposed Floor Area	729,289 sqft (FAR 3.03)

Building Heights (Shown above 288'-0" ASL)

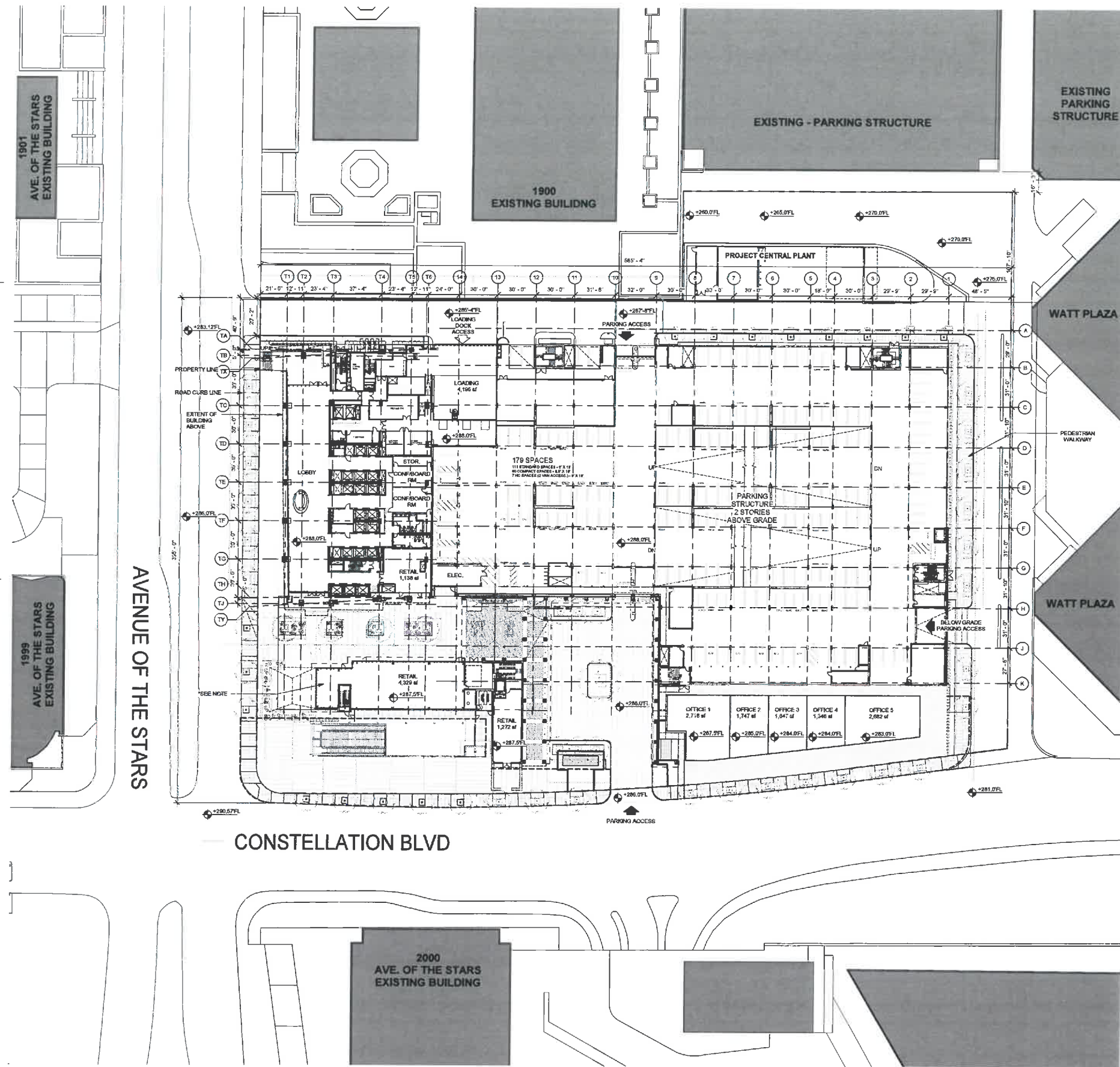
Office Tower	570'-0"
2 Story Retail Building	44'-0"
Creative Office	29'-0"
Parking Structure + Roof Garden	22'-8"
Building Amenities	44'-8"

Overall Building Heights (Per Sec. 12.21.2 of the Century City NSP)

Office Tower	508'-2"
2 Story Retail Building	38'-0"
Creative Office	26'-0"
Parking Structure + Roof Garden	26'-6"
Building Amenities	45'-8"

PARKING ACCESS
 LOADING DOCK ACCESS

* CONCEPTUAL VERTICAL CIRCULATION
PLAN FOR TRANSIT STATION TBD



SITE PLAN
SCALE: 1/32" = 1'-0"



These plans are in Substantial Conformance with:

PG-2013-240

Approved By: Wairaka Parra

Date: 8/20/2024

ARCHITECTURE • URBAN DESIGN+PLANNING • INTERIORS

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A CALIFORNIA CORPORATION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

**1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067**

SHEET TITLE
**PARKING PLAN LEVEL B4
& B3**

ARCHITECT
JOHNSON FAIN

DATE 08-30-20

FILE	PROJECT NUMBER 19000
------	-------------------------

SHEET NUMBER

A2.01

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Exhibit: **A**

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Case No. **CPC-2013-210**
Approved By: **Wairaka Iwan**
Date: **8/20/2020**

DATE	DESCRIPTION
06-30-20	ENTITLEMENT SUBMITTAL
	ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

PARKING PLAN LEVELS B1 & B2

ARCHITECT

JOHNSON FAIN

DATE

06-30-20

FILE

PROJECT NUMBER

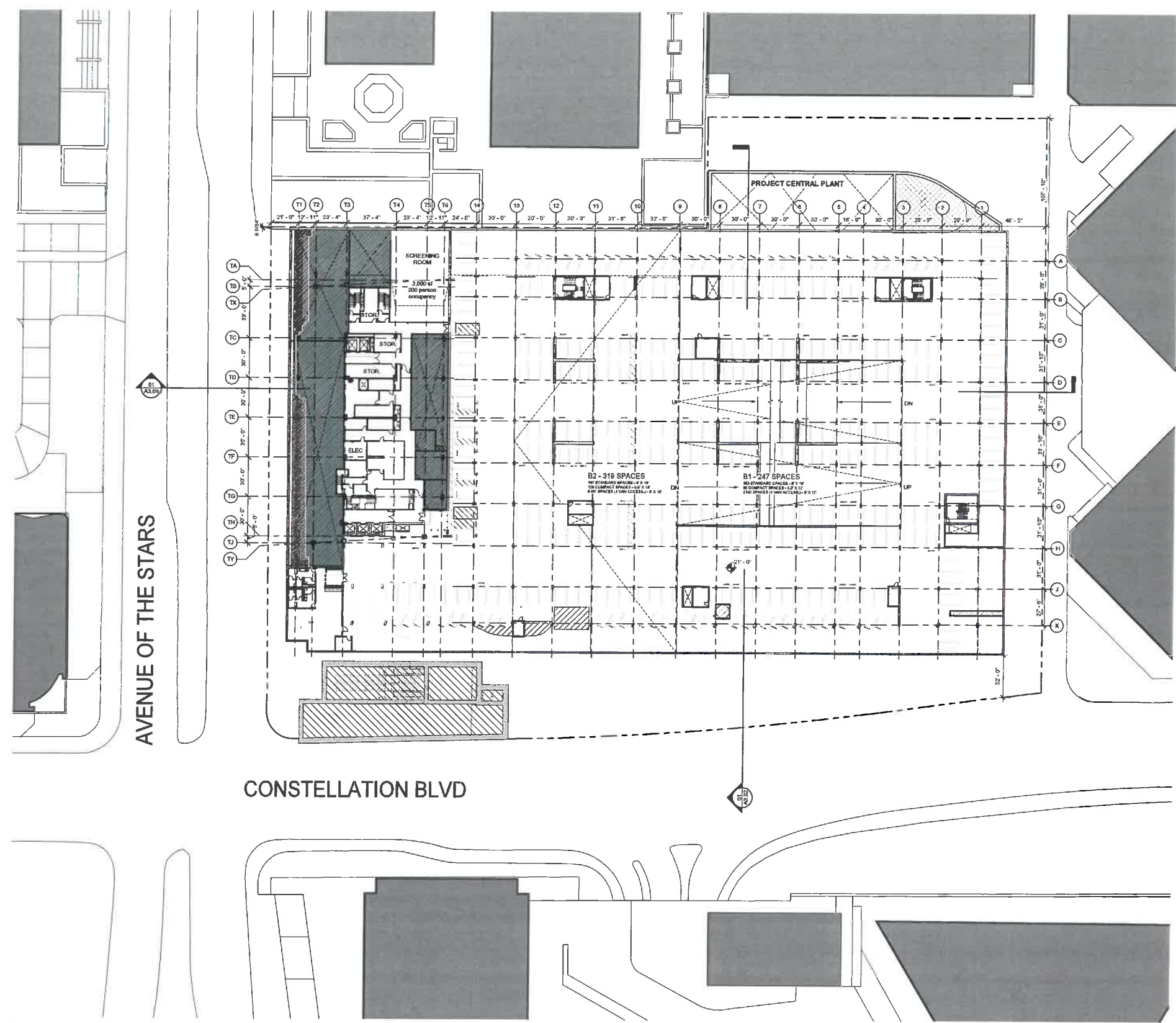
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SHEET NUMBER

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PARKING LEVEL B1 - B2
SCALE: 1/32" = 1'-0"



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Case No. **CPC-2013-210**
Approved By: **W. J. J. J. J.**
Date: **8/10/2020**

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC
**CENTURY CITY
CENTER**
1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
GROUND LEVEL PLAN

ARCHITECT
JOHNSON FAIN

DATE
05-30-20

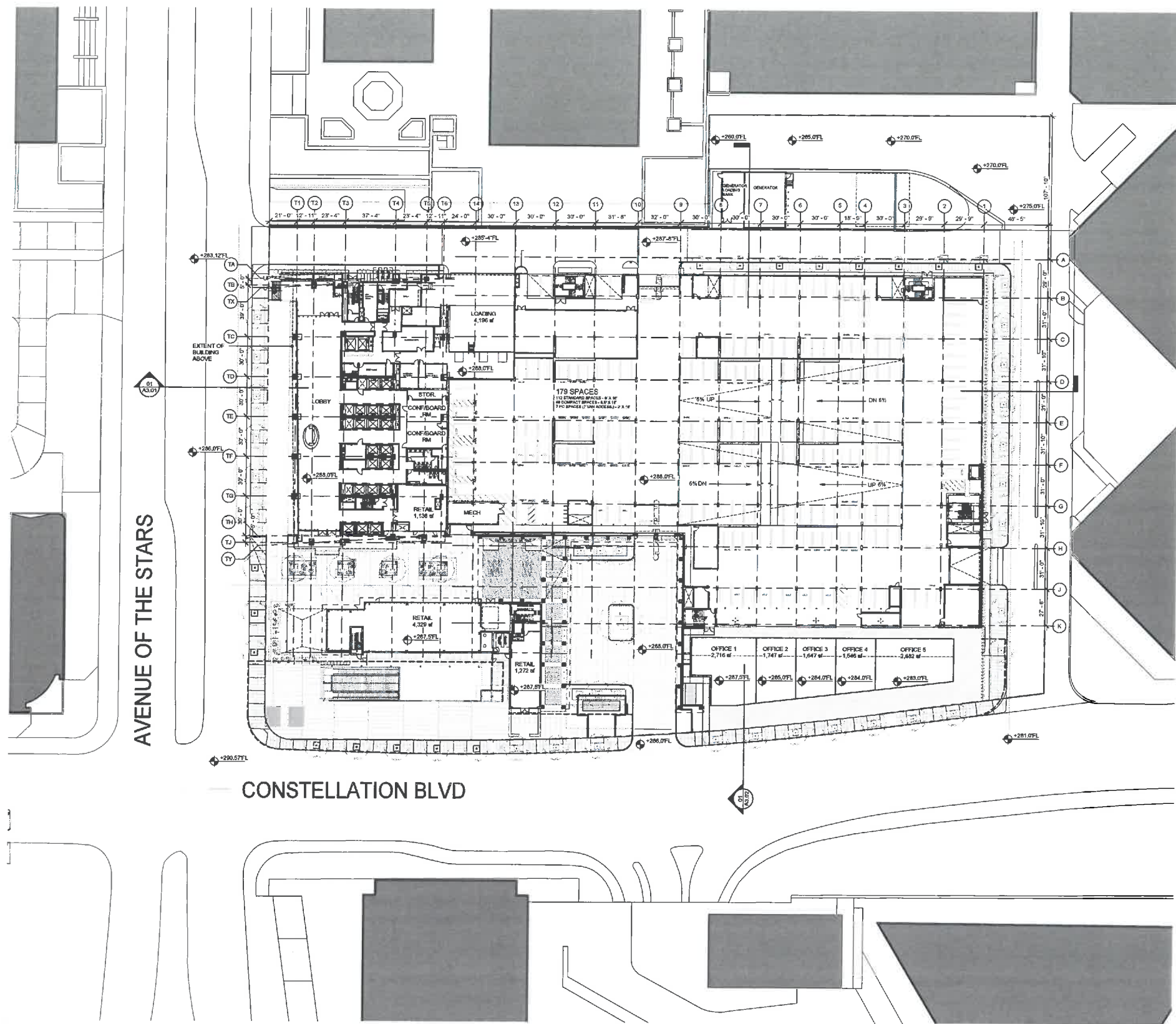
FILE

PROJECT NUMBER
19000

SHEET NUMBER

A2.03

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GROUND LEVEL
SCALE: 1/32" = 1'-0"



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1201 NORTH BROADWAY
LOS ANGELES, CA 90012
TELEPHONE 323.224.6000
FACSIMILE 323.224.6020

A CALIFORNIA CORPORATION

Case No. **CPC-2013-210**
Approved By: **Wendy HARR**
Date: **8/20/2020**

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
PARKING PLAN LEVEL 2

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

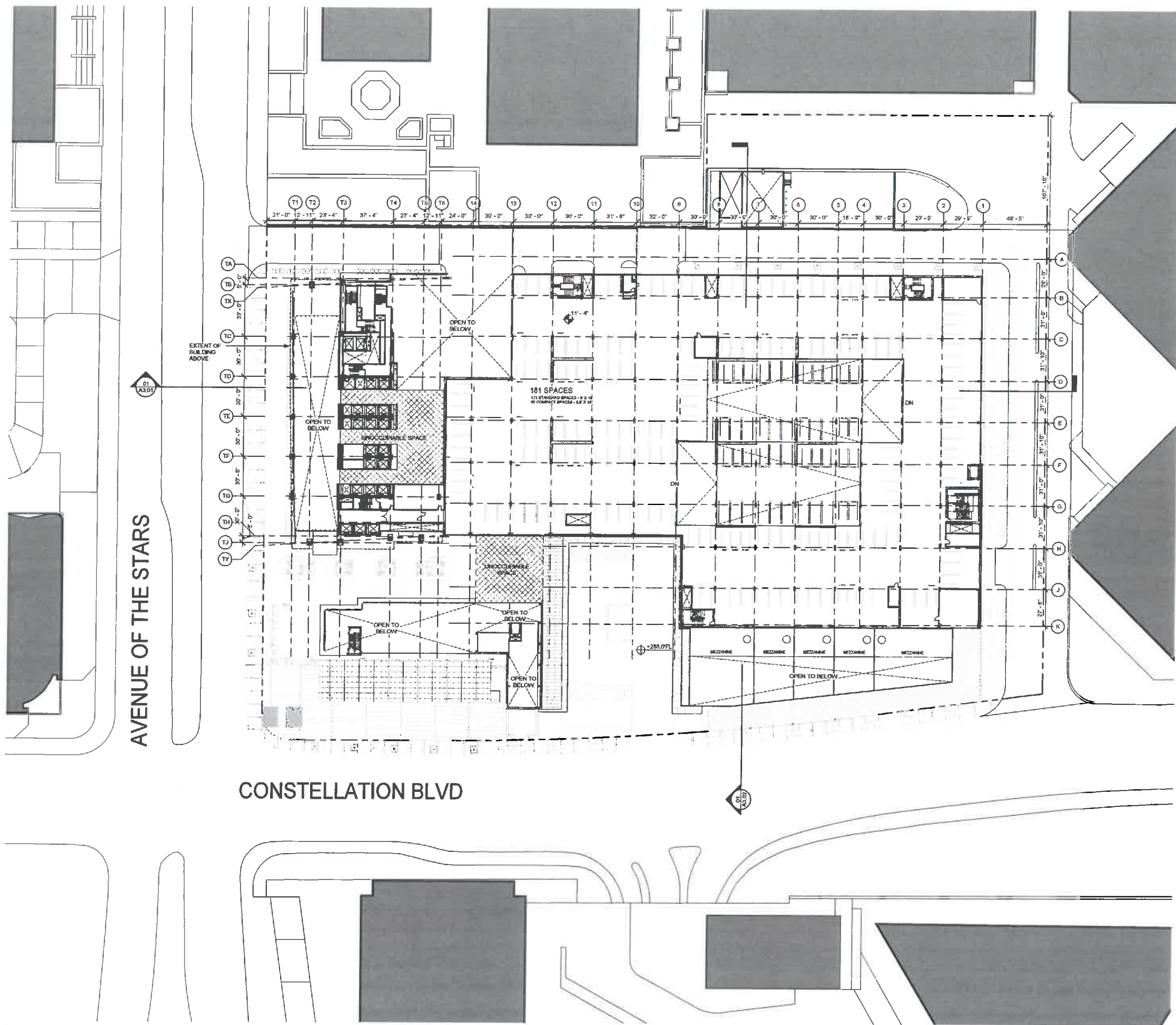
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PROJECT NUMBER
10000

SHEET NUMBER

A2.04

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PARKING LEVEL 2
SCALE: 1/32" = 1'-0"



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1351 NORTH BROADWAY
LOS ANGELES, CA 90013
TELEPHONE 323.224.6988
FACSIMILE 323.224.6928

Case No. CP-2013-210

Approved By: Wanda Lamm

Date: 8/20/2020

Exhibit: A

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
PODIUM LEVEL PLAN

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

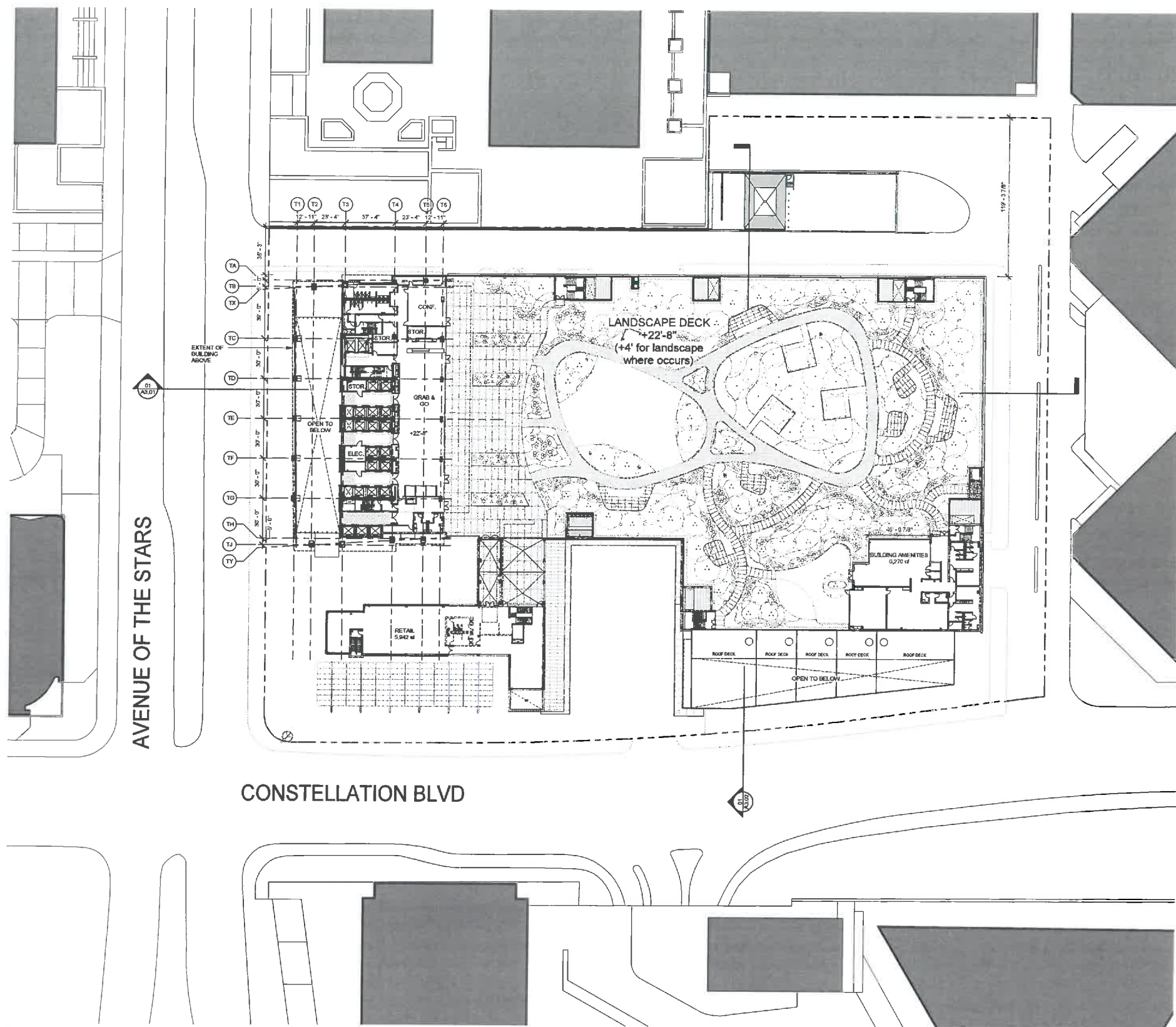
FILE

PROJECT NUMBER
18000

SHEET NUMBER

A2.05

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PODIUM LEVEL
SCALE: 1/32" = 1'-0"

PLANS APPROVED

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Exhibit: **A**

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1251 NORTH BROADWAY
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TELEPHONE 323.324.6000
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A CALIFORNIA CORPORATION

Case No. **CPC-2013-210**
Approved By: **Wendy Hwang**
Date: **8/20/2020**

05-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
LEVEL 3 PLAN

ARCHITECT
JOHNSON FAIN

DATE
05-30-20

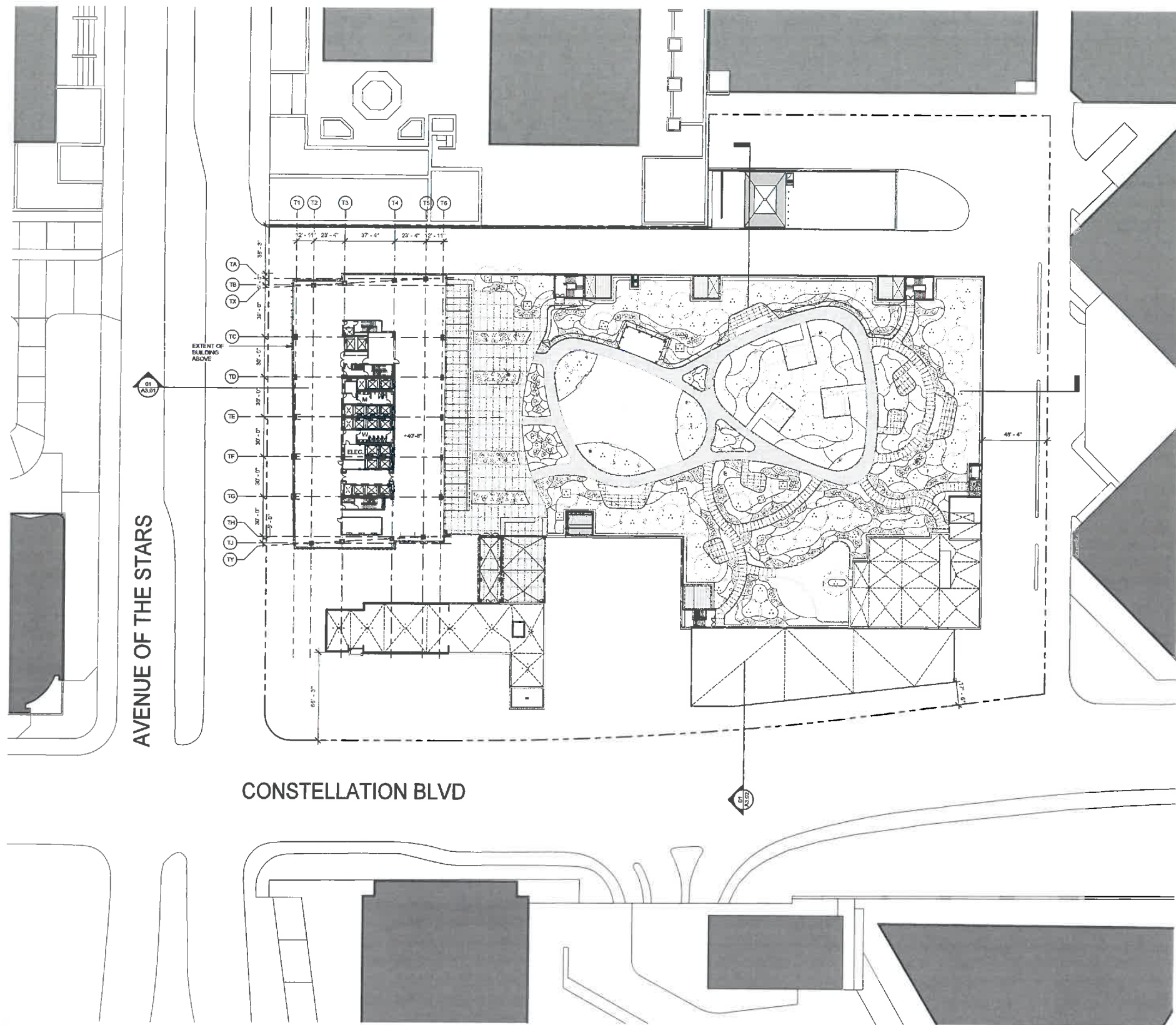
FILE

PROJECT NUMBER
19000

SHEET NUMBER

A2.06

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LEVEL 3
SCALE: 1/32" = 1'-0"

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Exhibit: **A**

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ARCHITECTURE - URBAN DESIGN - PLANNING - INTERIORS

1201 NORTH BROADWAY
LOS ANGELES, CA 90012
TELEPHONE 323.324.6888
FACSIMILE 323.324.6838

A CALIFORNIA CORPORATION

Case No. **09C-2013-210**

Approved By: **Wairaka Ibanez**

Date: **8/14/2020**

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
**OFFICE TOWER TYPICAL
LEVEL PLANS**

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

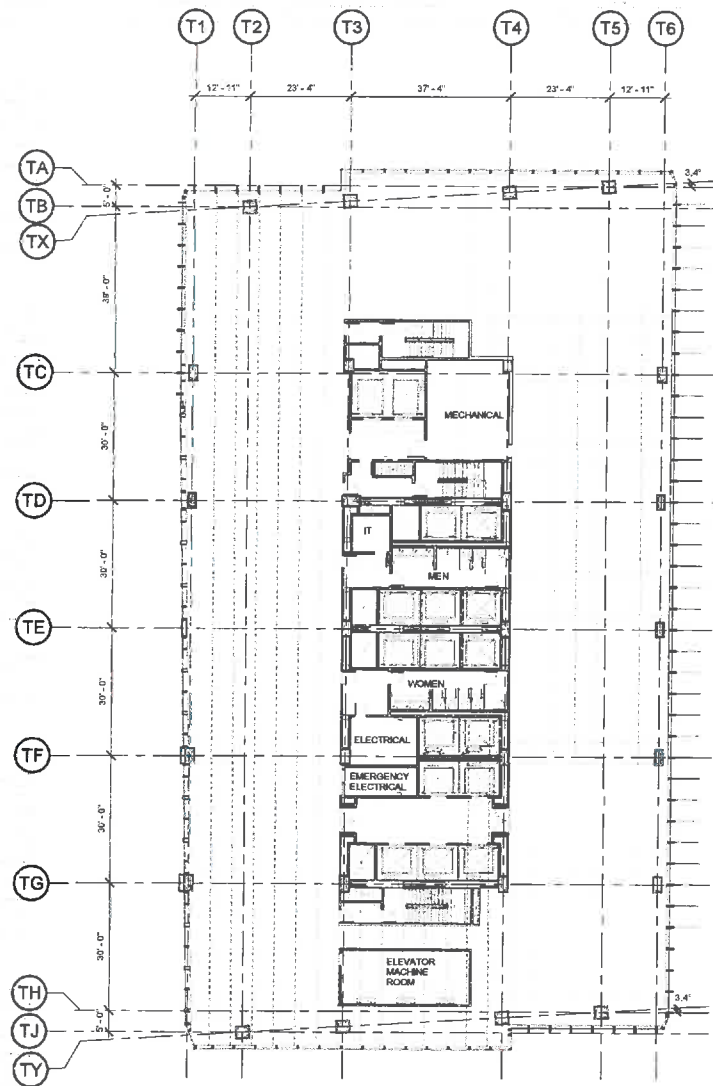
FILE

PROJECT NUMBER
19000

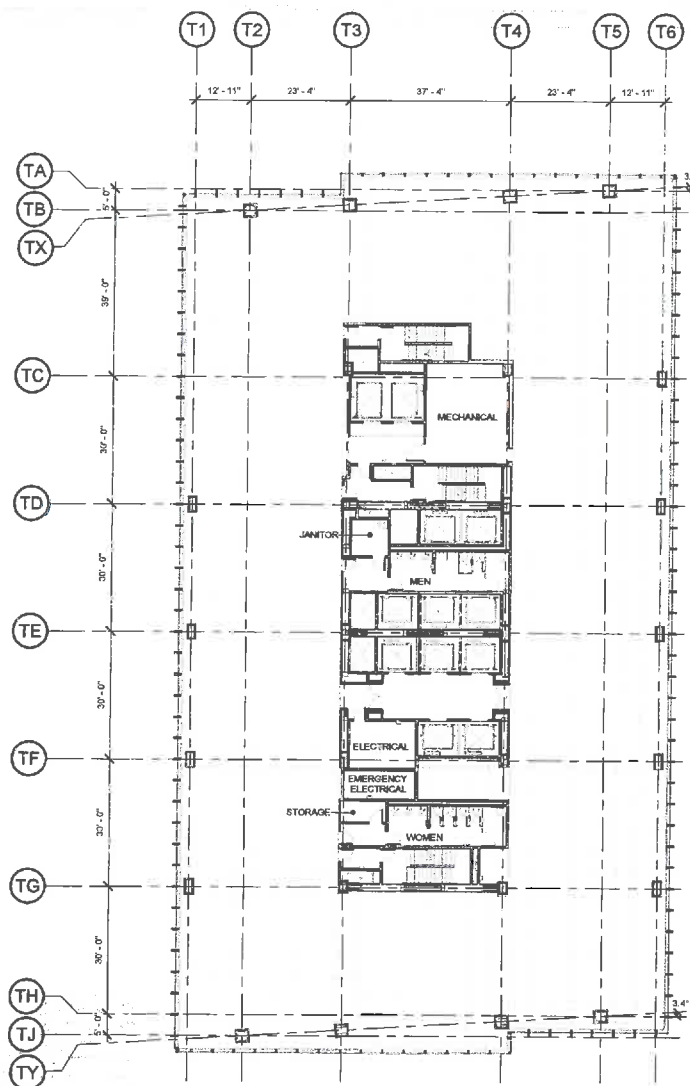
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A2.07

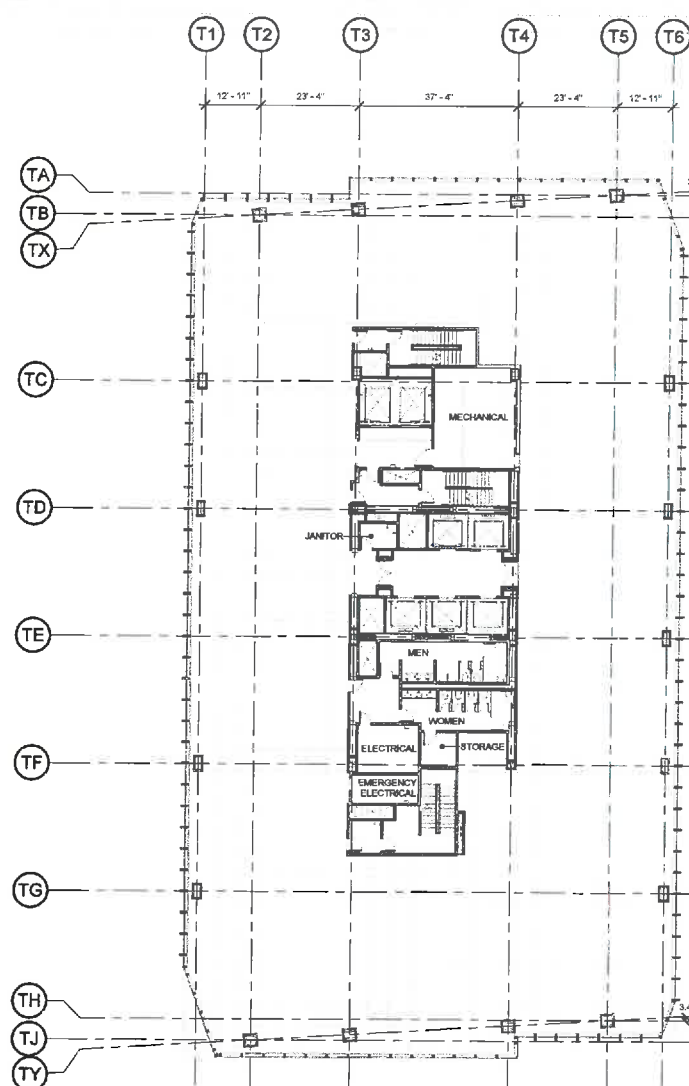
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LEVELS 4-18 19,180 SF AVG
SCALE: 1/16" = 1'-0"



LEVELS 19-28 19,899 SF AVG
SCALE: 1/16" = 1'-0"



LEVELS 29-37 20,104 SF AVG
SCALE: 1/16" = 1'-0"



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TELEPHONE 323.334.4000
FACSIMILE 323.334.4028

A CALIFORNIA CORPORATION

Case No. **PC-2013-210**
Approved By: **Leiriana Ibarra**
Date: **8/26/2013**

06-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
ROOF PLAN

ARCHITECT
JOHNSON FAIN

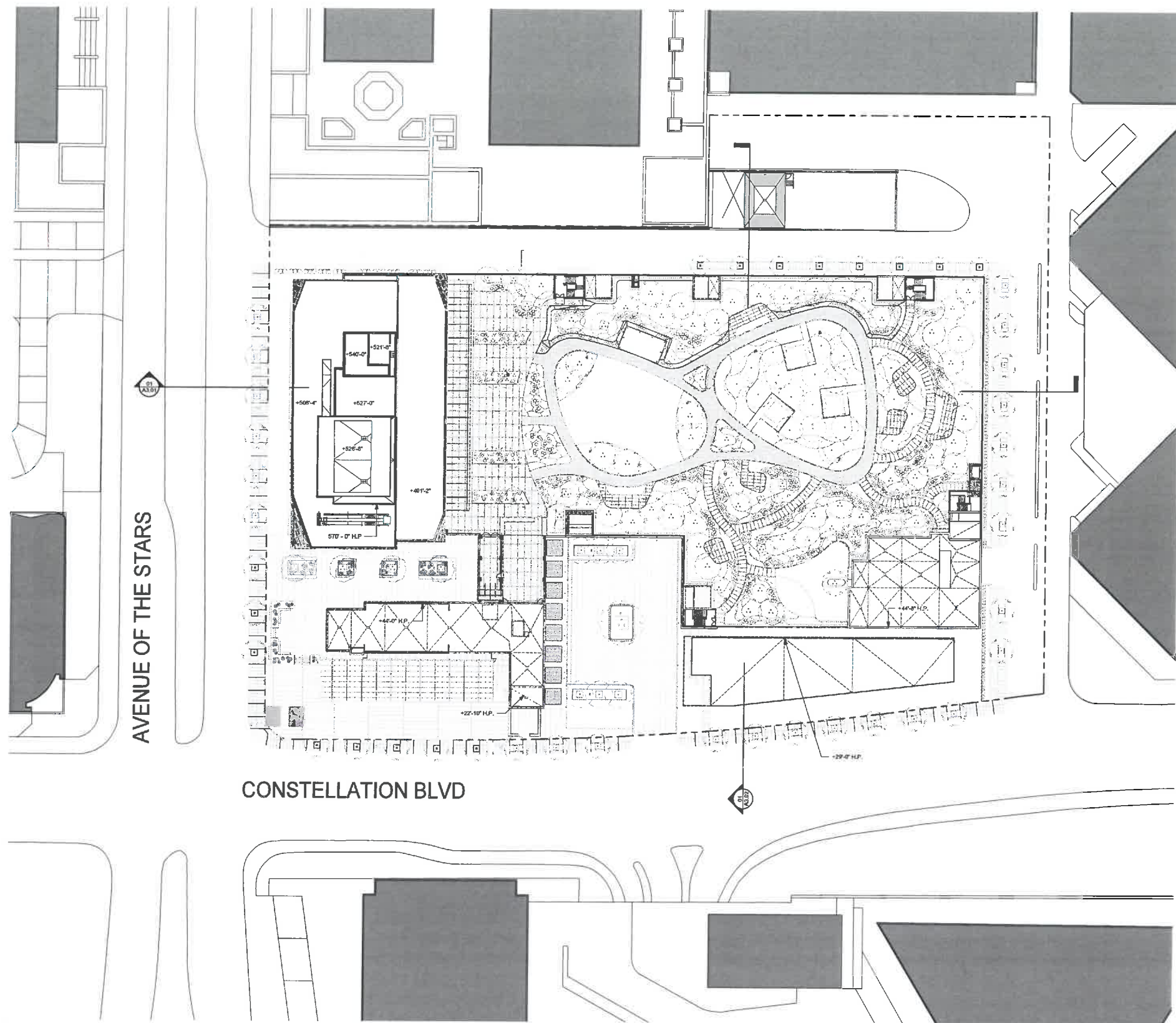
DATE
06-30-20

FILE PROJECT NUMBER
19000

SHEET NUMBER

A2.08

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ROOF PLAN
SCALE: 1/32" = 1'-0"



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TELEPHONE 323.224.6000
FACSIMILE 323.224.6030

A CALIFORNIA CORPORATION

Case No. **CPE-2013-240**
Approved By: **Wendy Haine**
Date: **8/20/2020**

08-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90087

SHEET TITLE
BUILDING SECTION

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE

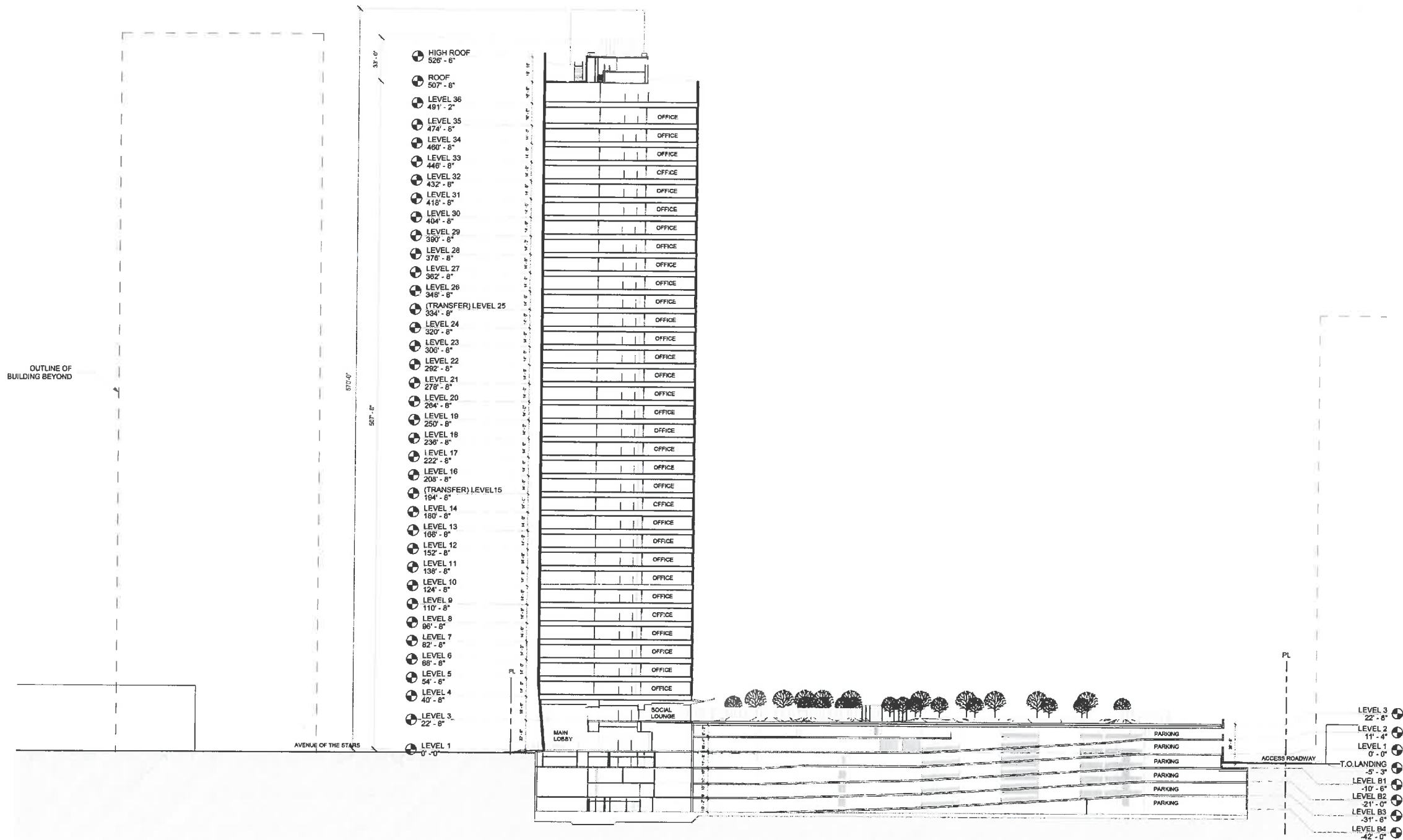
PROJECT NUMBER
19000

SHEET NUMBER

A3.01

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BUILDING SECTION NORTH
SCALE: 1/32" = 1'-0"



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TELEPHONE 323.224.6888
FACSIMILE 323.224.4830
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Case No. **CPC. 2013. 240**
Approved By: **Wairaka Ibanez**
Date: **8/20/2020**

06-30-20 | ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC
CENTURY CITY CENTER
1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
BUILDING SECTION

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

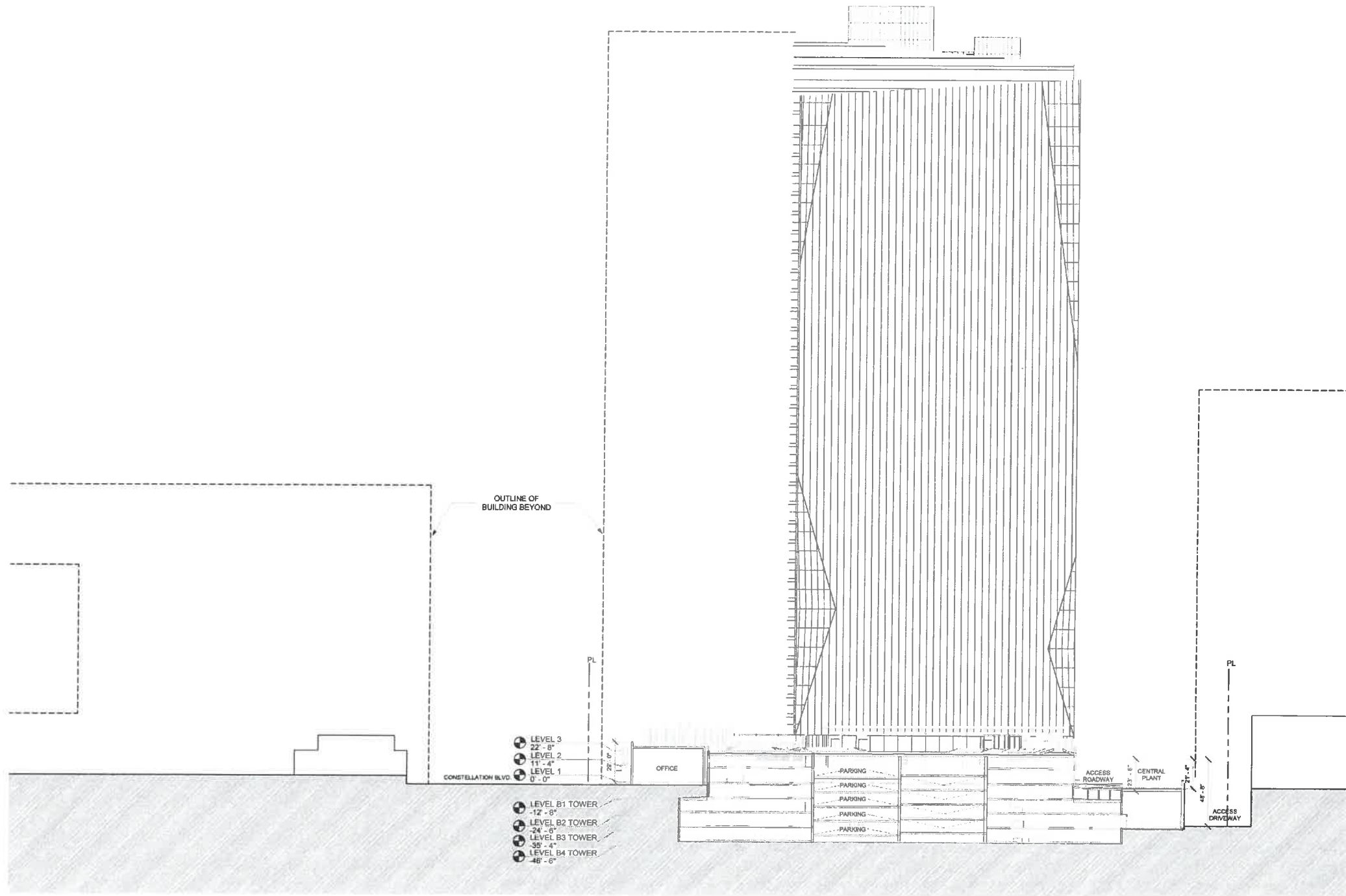
FILE

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19000

SHEET NUMBER

A3.02

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BUILDING SECTION WEST
SCALE: 1/32" = 1'-0"

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FACSIMILE 323.224.6938

A CALIFORNIA CORPORATION

Case No. **CPC-2013-210**
Approved By: **Wendy L. Lerner**
Date: **8/14/2020**

4-20-11 ENTITLEMENT SUBMITTAL

05-30-20 ENTITLEMENT SUBMITTAL
ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
BUILDING ELEVATION

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE

PROJECT NUMBER
19000

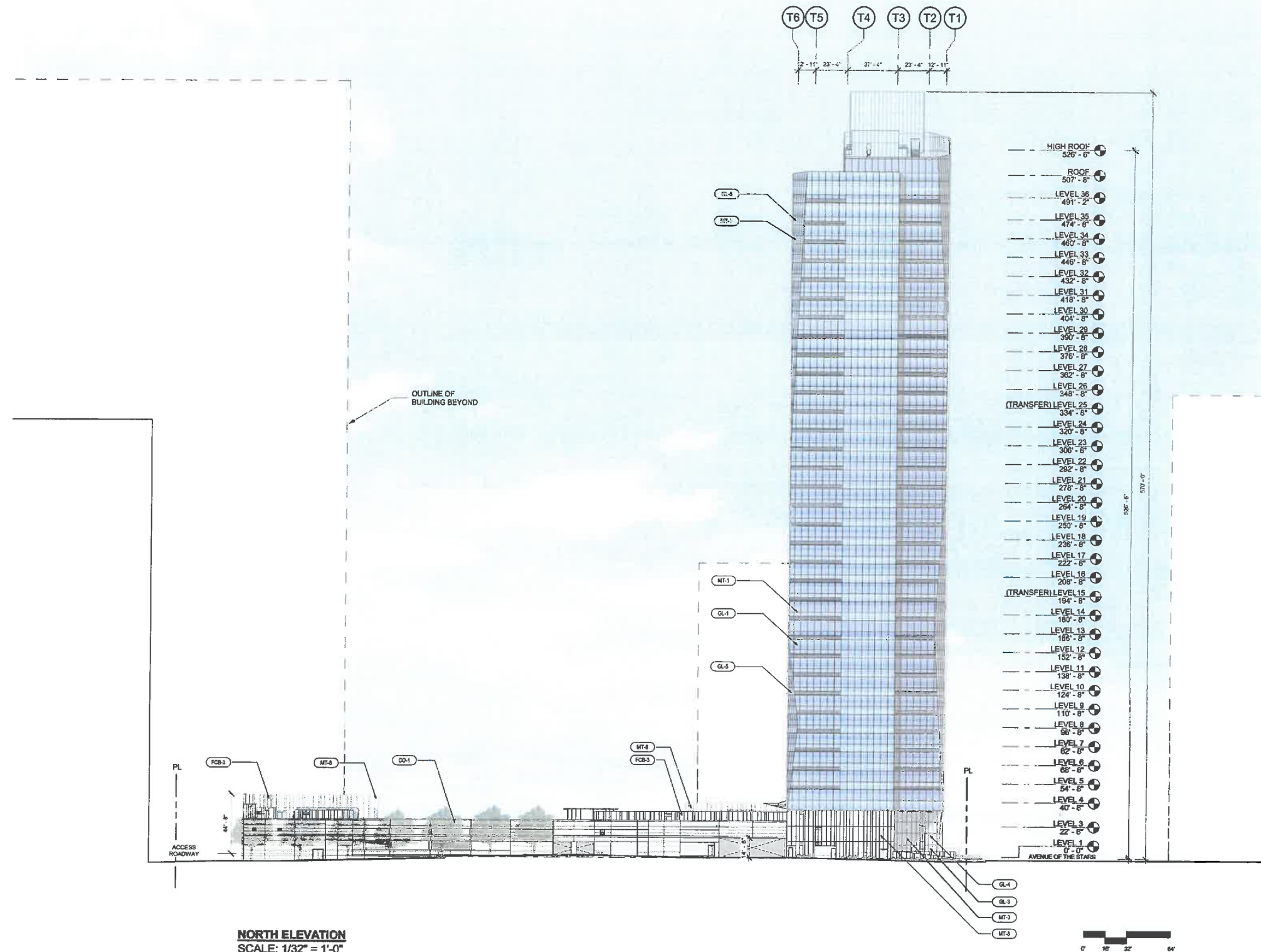
SHEET NUMBER

A3.03

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MATERIAL LEGEND

SYMBOL	MATERIAL
GL-1	VISION GLASS - LOW E, INSULATED
GL-3	SOLARBAN - LOW E, LAMINATED
GL-4	VISION - CUSTOM VERTICAL FRIT PATTERN, INSULATED
GL-5	VISION - CUSTOM DOT FRIT PATTERN, INSULATED
MT-1	EXTRUDED ALUMINUM MULLION, CURTAIN WALL
MT-3	EXTRUDED ALUMINUM MULLION
MT-5	METAL WALL PANEL
FCB-3	FIBER CEMENT PANEL
PRC-1	PRE-CAST CONCRETE PANEL
CO-1	CAST-IN-PLACE CONCRETE



NORTH ELEVATION
SCALE: 1/32" = 1'-0"

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FACSIMILE 323.224.6010

A CALIFORNIA CORPORATION

Case No. **OPC-2013-210**

Approved By: **Wendy HARRIS**

Date: **8/20/20**

4-20-11 ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

BUILDING ELEVATION

ARCHITECT
JOHNSON FAIR

DATE
06-30-20

FILE

PROJECT NUMBER
19000

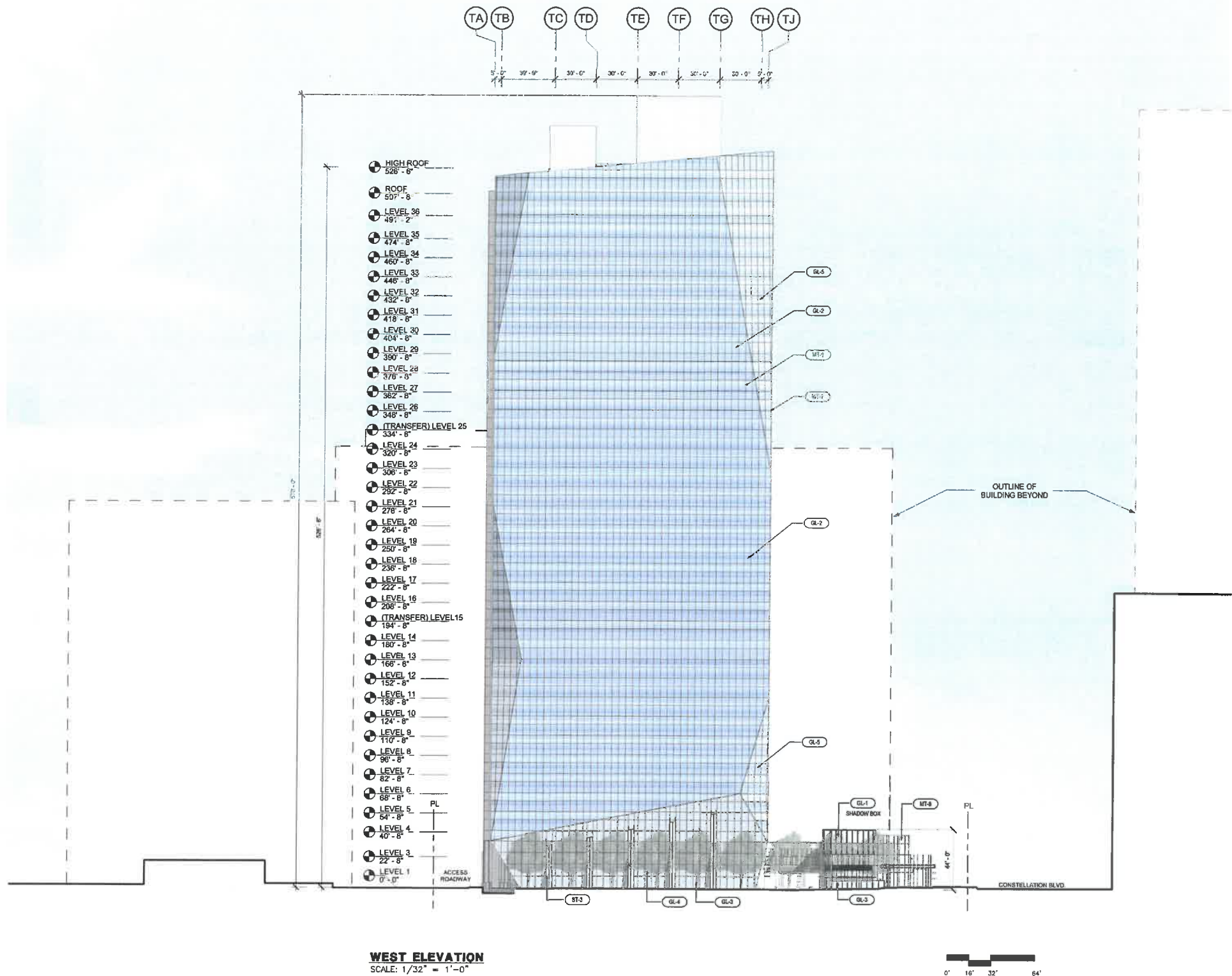
SHEET NUMBER

A3.04

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MATERIAL LEGEND

SYMBOL	MATERIAL
GL-1	VISION GLASS - LOW E, INSULATED
GL-2	TRIPLE GLAZING FACADE, INSULATED
GL-3	SOLARBAN - LOW E, LAMINATED
GL-4	VISION - CUSTOM VERTICAL FRIT PATTERN, INSULATED
GL-5	VISION - CUSTOM DOT FRIT PATTERN, INSULATED
MT-1	EXTRUDED ALUMINUM MULLION, CURTAIN WALL
MT-6	METAL WALL PANEL
ST-3	LIMESTONE - HONED



PLANS APPROVED

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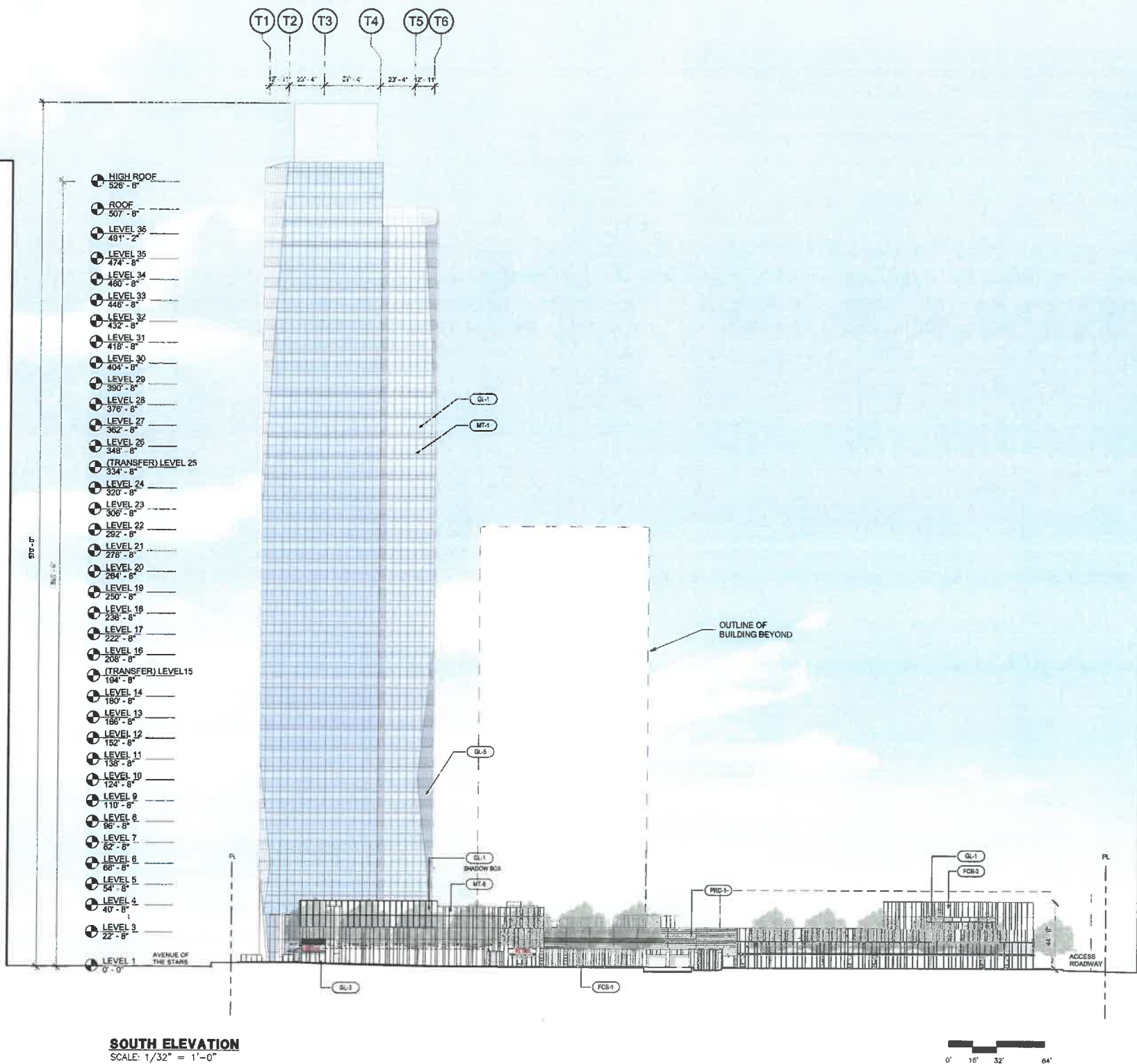
1201 NORTH BROADWAY
LOS ANGELES, CA 90012
TELEPHONE 213.214.6800
FACSIMILE 213.214.6836

A CALIFORNIA CORPORATION

Case No. **OPC-2013-2020**
Approved By: **Wairale Harra**
Date: **8/20/2020**

MATERIAL LEGEND

SYMBOL	MATERIAL
(GL-1)	VISION GLASS - LOW E, INSULATED
(GL-3)	SOLARBAN - LOW E, LAMINATED
(GL-5)	VISION - CUSTOM DOT FRIT PATTERN, INSULATED
(MT-1)	EXTRUDED ALUMINUM MULLION, CURTAIN WALL
(MT-8)	METAL WALL PANEL
(FCB-1)	FIBER CEMENT PANEL
(FCB-3)	FIBER CEMENT PANEL
(PRC-1)	PRE-CAST CONCRETE PANE



SOUTH ELEVATION
SCALE: 1/32" = 1'-0"

CENTURY CITY REALTY, LLC

CENTURY CITY CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

BUILDING ELEVATION

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE

PROJECT NUMBER
19000

SHEET NUMBER

A3.05

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LOS ANGELES, CA 90012

TELEPHONE 323.224.6000
FACSIMILE 323.224.6000

APPROVED BY: *Miranda Ibanez*

DATE: *8/24/2020*

Exhibit: *A*

Case No. *CP-2019-210*

Approved By: *Miranda Ibanez*

Date: *8/24/2020*

4-20-11 ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

BUILDING ELEVATION

ARCHITECT
JOHNSON FAIN

DATE
06-30-20

FILE

PROJECT NUMBER
19000

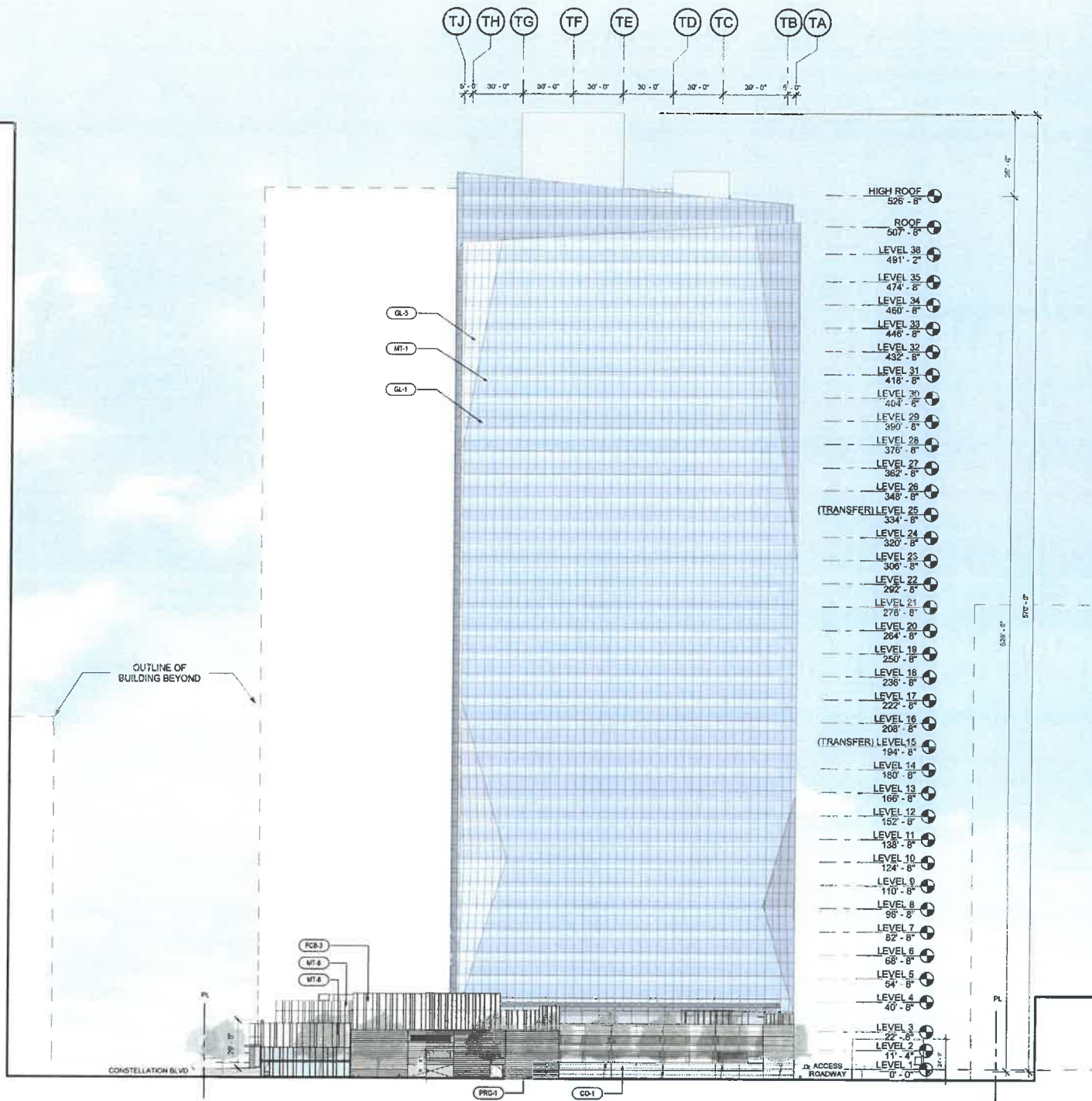
SHEET NUMBER

A3.06

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MATERIAL LEGEND

SYMBOL	MATERIAL
(GL-1)	VISION GLASS - LOW E, INSULATED
(GL-3)	VISION - CUSTOM DOT FRIT PATTERN, INSULATED
(MT-1)	EXTRUDED ALUMINUM MULLION, CURTAIN WALL
(MT-3)	METAL WALL PANELS
(FCB-3)	FIBER CEMENT PANEL
(PRC-1)	PRE-CAST CONCRETE PANE
(CD-1)	CAST-IN PLACE CONCRETE



EAST ELEVATION
SCALE: 1/32" = 1'-0"

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LOS ANGELES, CA 90012
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FACSIMILE 323.224.8030

CALIFORNIA CORPORATION

Case No. 000-2013-210
Approved By: Wairala Ibarra
Date: 8/20/2013

Exhibit: 4

4-20-11 ENTITLEMENT SUBMITTAL

05-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC.

**CENTURY CITY
CENTER**

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

RENDERING

ARCHITECT
Johnson Fain

DATE
05-30-20

CADD FILE
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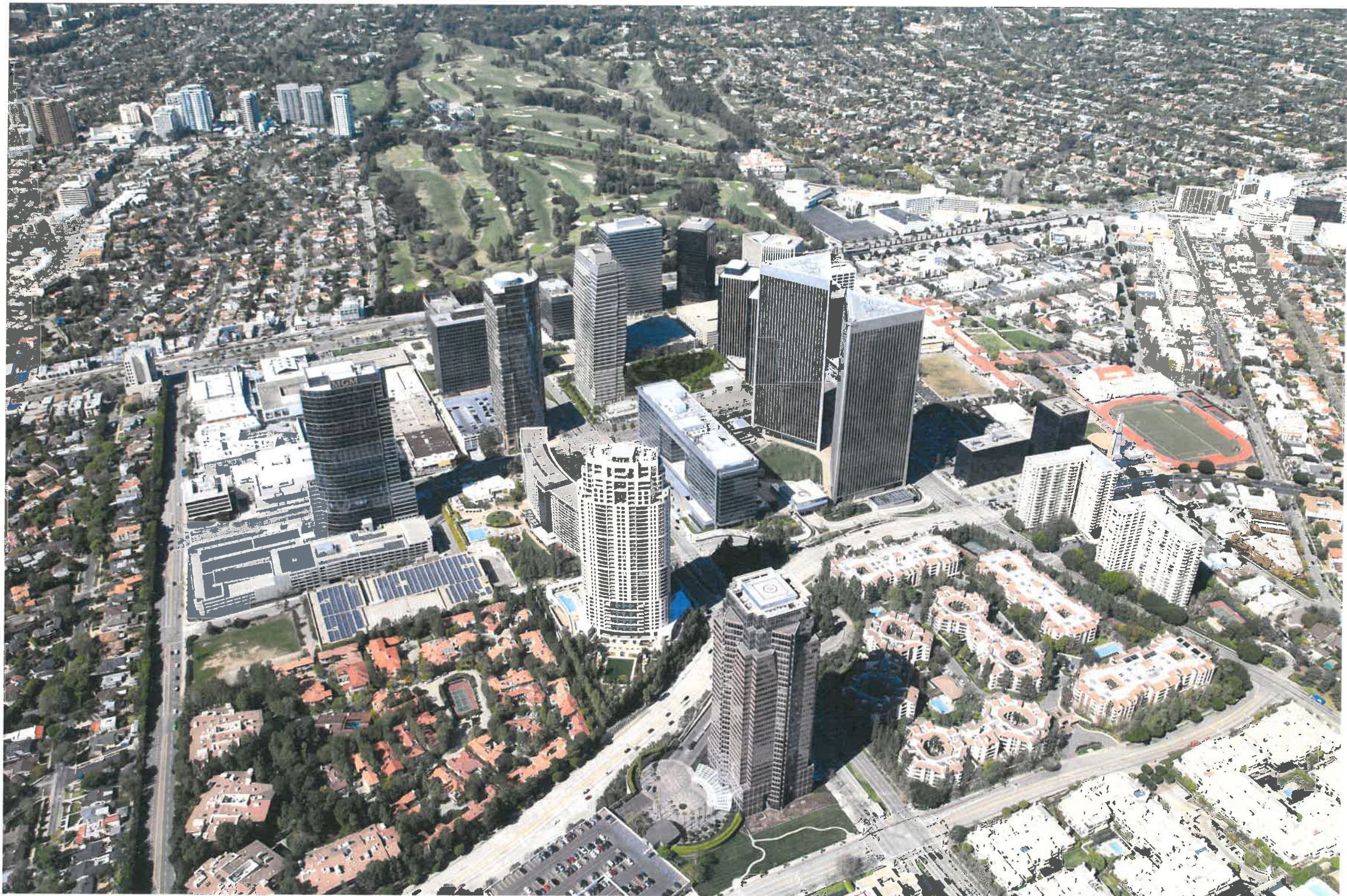
PROJECT NUMBER
10039.00

SHEET NUMBER

A4.01

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Apr 22, 2011 - 4:28pm



AERIAL RENDERING
SCALE: NOT TO SCALE

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LOS ANGELES, CA 90012
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FAX 323.224.6025

CALIFORNIA CORPORATION

Case No. 06-2013-210

Approved By: Wairaka Hanna

Date: 8/20/2013

Exhibit: A

06-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

**CENTURY CITY
CENTER**

1850 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

RENDERING

ARCHITECT
Johnson Fain

DATE
06-30-20

CADD FILE
A4.03.dwg

SHEET NUMBER

PROJECT NUMBER
10039.000

A4.03

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PLAZA RENDERING
SCALE: NOT TO SCALE

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TELEPHONE 323.224.6000
FACSIMILE 323.224.6030

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Case No. 09C-2013-210
Approved By: Mirakha Hana
Date: 8/10/2020

3-9-20 ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY
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1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

LANDSCAPE SITE PLAN

ARCHITECT

Johnson Fair

DATE

06-30-20

CADD FILE

PROJECT NUMBER

10039.000

SHEET NUMBER

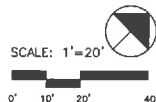
L1.01

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PLANT SCHEDULE							
	Symbol	Botanical Name	Common Name	Quantity	Size	Spacing	Comments
Canopy Trees	BeNi	<i>Betula nigra</i>	River Birch	24	48" box	See Plan	
	PIAc	<i>Platanus acerifolia</i>	London Plane	33	48" box	See Plan	
	PrCh	<i>Prosopis chilensis</i>	Chilean Mesquite	37	48" box	See Plan	
	QuAg	<i>Quercus agrifolia</i>	Coast Live Oak	7	48" box	See Plan	
	TrCo	<i>Tristania conferta</i>	Brisbane Box	8	48" box	See Plan	
	TTTi	<i>Tipuana tipu</i>	Tipu Tree	34	48" box	See Plan	
	UIPa	<i>Ulmus parvifolia</i> 'True Green'	True Green Elm	21	48" box	See Plan	
Grasses, Shrubs & Succulents MIX A	DiLr	<i>Dianella revoluta</i> 'Little Rev'	Little Rev Flax Lily				
	CaDi	<i>Carex divulsa</i>	Berkley Sedge			See Plan	
	AgSp	<i>Agave sp.</i>	Agave			See Plan	
	AlRu	<i>Aloe rudikoppae</i>	Little Red Riding Hood Aloe			See Plan	
	PeSp	<i>Pennisetum spathioctatum</i>	Rye Puffs			See Plan	
	DiCv	<i>Dianella revoluta</i> 'Coolvista'	Coolvista Flax Lily			See Plan	

Grasses, Shrubs & Succulents MIX A							
	Symbol	Botanical Name	Common Name	Quantity	Size	Spacing	Comments
	SeGr	<i>Sesleria</i> 'Greenlee'	Greenlee Moor Grass				
	LoLo	<i>Lomandra longifolia</i> 'Breeze'	Breeze Mat Rush				
	WeFr	<i>Westringia fruticosa</i> 'Mundi'	Low Coast Rosemary				
	LaSt	<i>Lavandula stoechas</i>	Spanish Lavender				
	DiHy	<i>Dianella hybrid</i> 'Clarity Blue'	Clarity Blue Flax Lily				
	KnJu	<i>Kniphofia juania</i> 'Yellow'	Yellow Torch Lily				
	OIEu	<i>Olea europea</i> 'Montra'	Little Olive				
				Total: 58,241 sqft			
Grasses, Shrubs, Perennials MIX B							
	SeGr	<i>Sesleria</i> 'Greenlee'	Greenlee Moor Grass				
	WeFr	<i>Westringia fruticosa</i> 'Mundi'	Low Coast Rosemary				
	SaSo	<i>Salvia sonomensis</i>	Creeping Sage				
	EsCa	<i>Eschscholzia californica</i>	California Poppy				
	CoLa	<i>Coreopsis lanceolata</i>	Lanceleaf Tickseed				
	ArPu	<i>Arctotis</i> 'Purple Torch'	African Daisy				
				Total: 1,514sqft			



PLANS APPROVED

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Exhibit: 1

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1201 NORTH BROADWAY
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TELEPHONE 323.224.6000
FACSIMILE 323.224.6030

APPROVED FOR THE CITY OF LOS ANGELES

Case No. CP-2013-210

Approved By: Wairala Ibarra

Date: 8/20/2020

3-9-20 ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY
CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE
LANDSCAPE LAYOUT
& GRADING PLAN
FIRST FLOOR

ARCHITECT
JOHNSON FAIR

DATE
06-30-20

CADD FILE

PROJECT NUMBER
10033.000

SHEET NUMBER

L2.01

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AVENUE OF THE STARS

CONSTELLATION BLVD

SCALE: 1"=20'

0' 10' 20' 40'

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A CALIFORNIA CORPORATION

Case No. APC 2013-210

Approved By: Wairaka Iwama

Date: 8/20/2020

3-9-20 ENTITLEMENT SUBMITTAL

06-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY
CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

LANDSCAPE LAYOUT
& GRADING PLAN
PODIUM LEVEL

ARCHITECT

Johnson Fair

DATE

06-30-20

CADD FILE

PROJECT NUMBER

10033.000

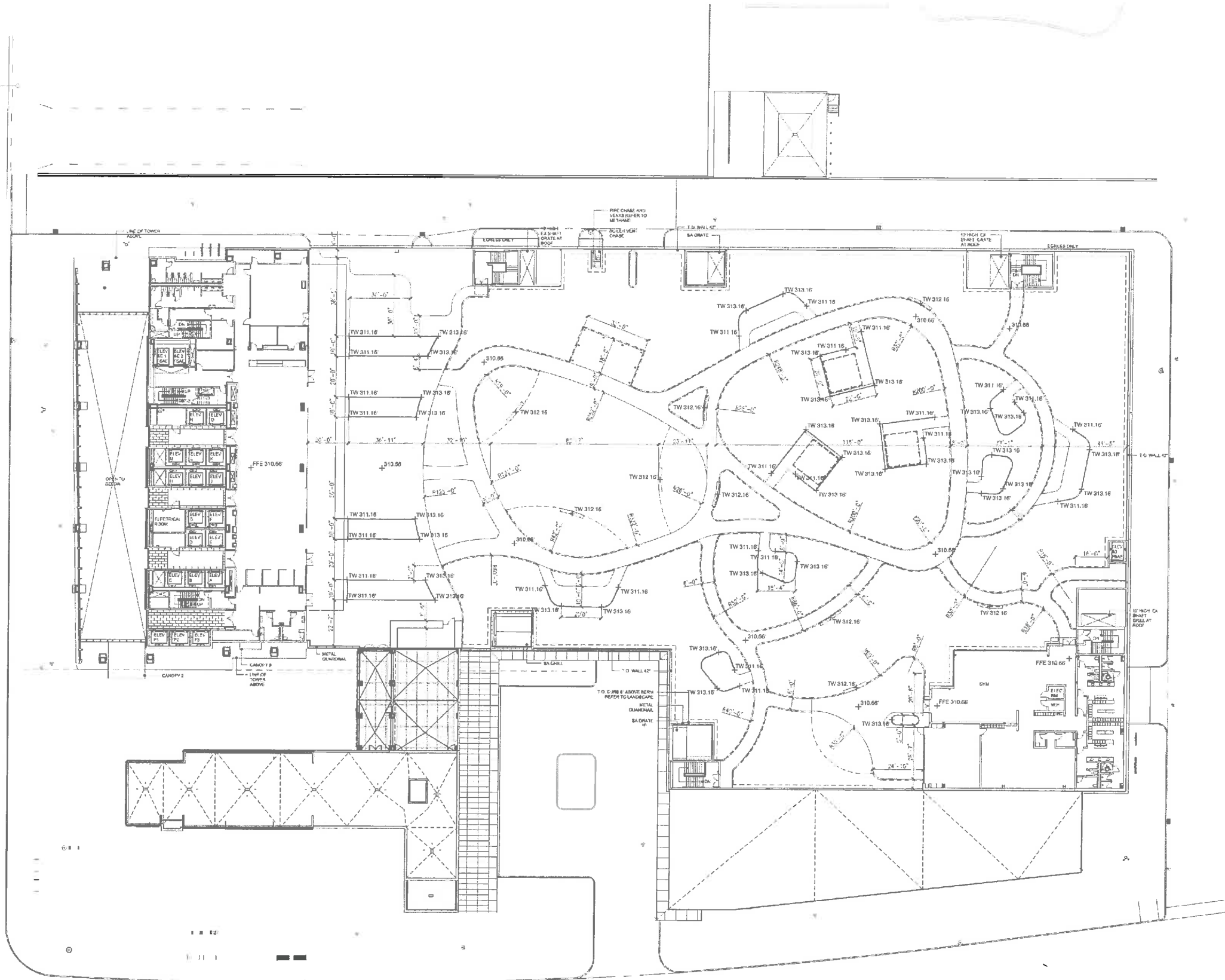
SHEET NUMBER

L2.02

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AVENUE OF THE STARS

CONSTELLATION BLVD



SCALE: 1"=20'

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TELEPHONE 323.224.6000
FACSIMILE 323.224.6030

A CALIFORNIA CORPORATION

Case No. **09C-2013-210**
Approved By: **Wairala Ipparr**
Date: **8/10/2020**

3-9-20 ENTITLEMENT SUBMITTAL

05-30-20 ENTITLEMENT SUBMITTAL

ISSUE DESCRIPTION

CENTURY CITY REALTY, LLC

CENTURY CITY
CENTER

1950 AVENUE OF THE STARS
LOS ANGELES, CA 90067

SHEET TITLE

SITE SECTIONS

ARCHITECT

Johnson Fain

DATE

06-30-20

CADD FILE

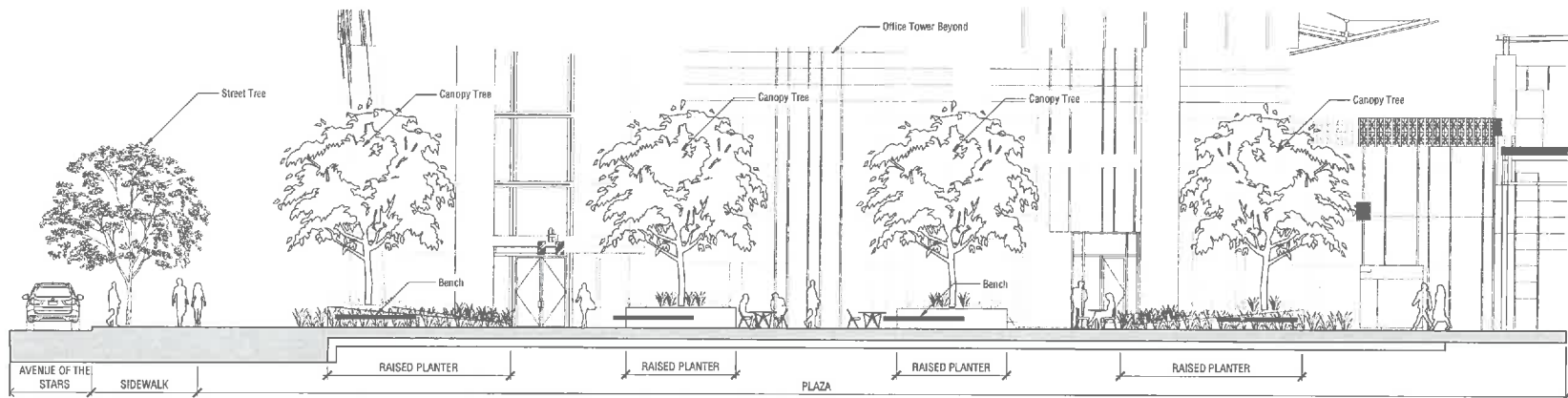
PROJECT NUMBER

10039.000

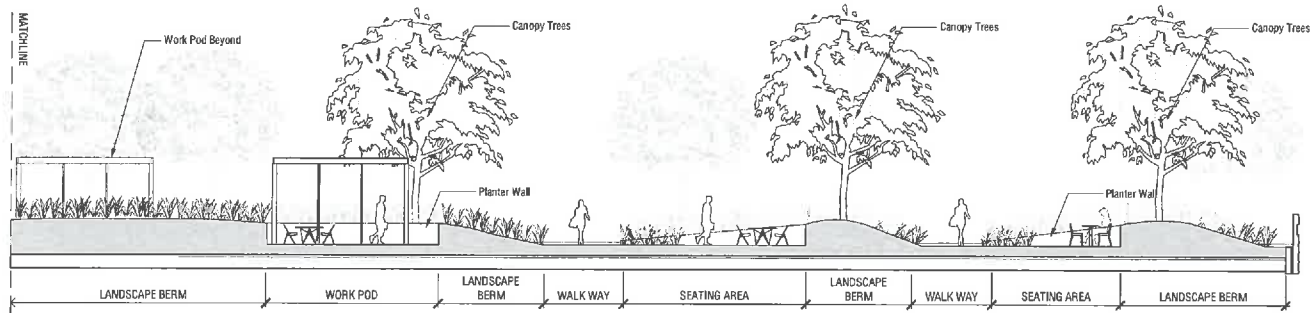
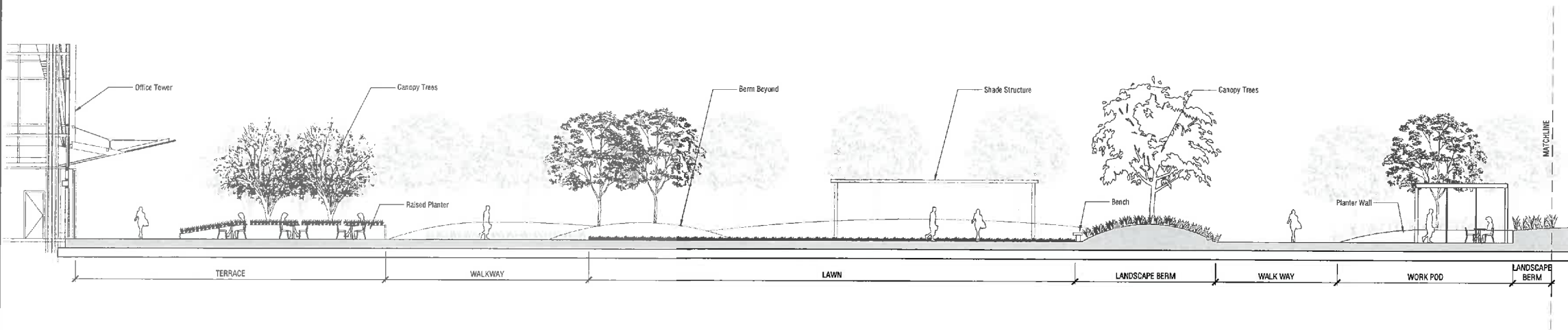
SHEET NUMBER

L4.01

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1 SECTION THROUGH PLAZA
SCALE: 1/8" = 1'-0"



2 E-W SECTION THROUGH ROOF GARDEN
SCALE: 1/8" = 1'-0"