

845 OLIVE STREET

845 SOUTH OLIVE STREET, LOS ANGELES, CA 90014

DEVELOPMENT PERMIT SUBMITTAL

NOVEMBER 05, 2021

ZONING INFORMATION

ZONE	[Q]R5-4D
GENERAL PLAN LAND USE	HIGH DENSITY RESIDENTIAL
SPECIFIC PLAN AREA	NONE
COMMUNITY PLAN IMPLEMENTATION OVERLAY	NONE
HILLSIDE AREA (ZONING CODE)	NO
TRANSIT PRIORITY AREA	ZI 2452
REDEVELOPMENT PROJECT AREA - CITY CENTER	ZI 2488
GREATER DOWNTOWN HOUSING INCENTIVE AREA	ZI 2385
STATE ENTERPRISE ZONE LOS ANGELES	ZI 2374

JURISDICTIONAL INFORMATION

COMMUNITY PLAN AREA	CENTRAL CITY
AREA PLANNING COMMISSION	CENTRAL
NEIGHBORHOOD COUNCIL	DOWNTOWN LOS ANGELES
COUNCIL DISTRICT	CD 14 - KEVIN DE LEON
CENSUS TRACT #	2077.10
LADBS DISTRICT OFFICE	LOS ANGELES METRO

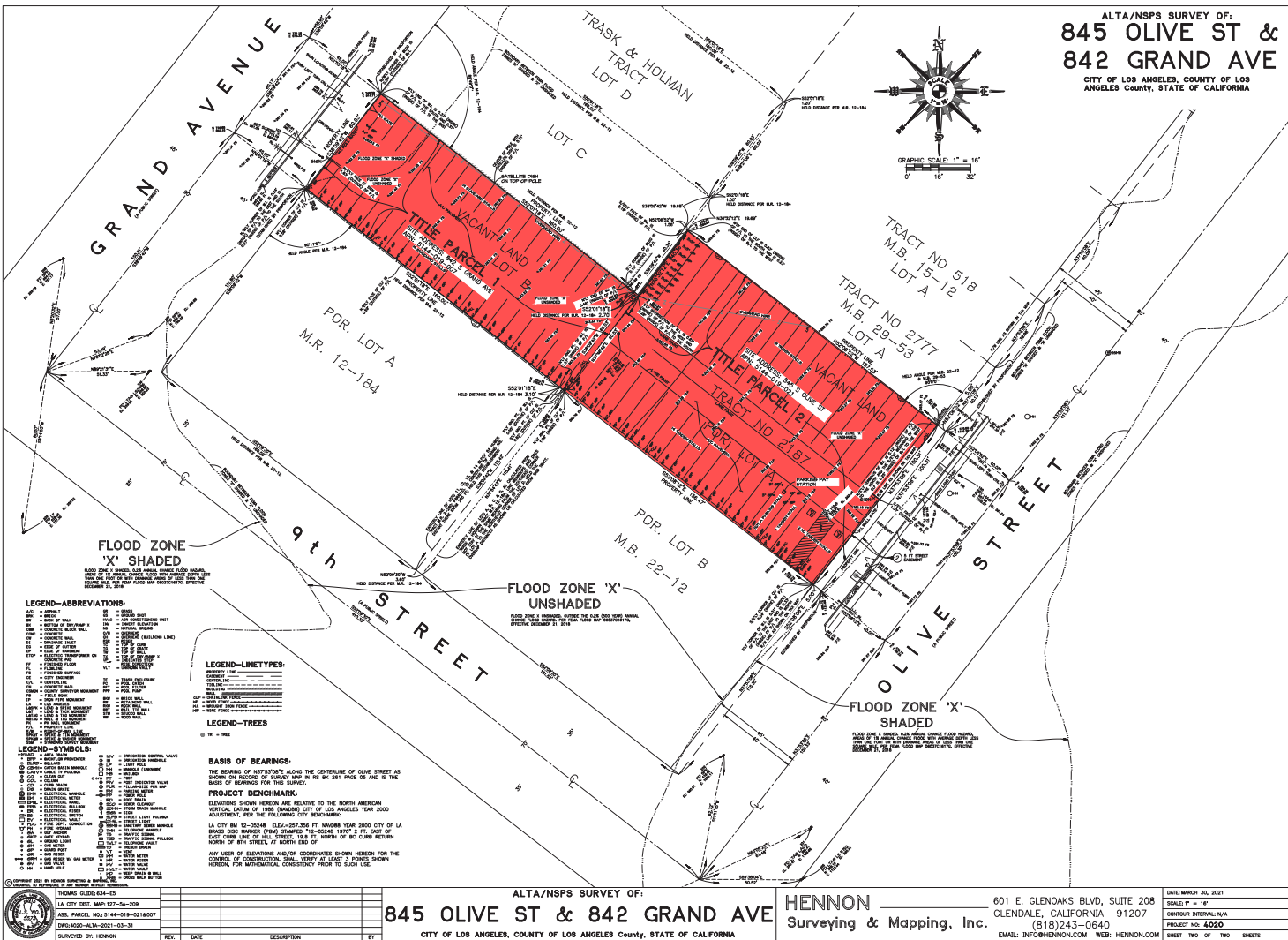
SITE INFORMATION

LOT AREA	25,507 SF	
LAND USE	HIGH DENSITY RESIDENTIAL	
SETBACKS	PER GREATER DOWNTOWN HOUSING INCENTIVE AREA, ALL YARD REQUIREMENTS WERE ELIMINATED	
DEDICATIONS	SOUTH GRAND AVENUE SOUTH OLIVE STREET	NONE NONE
EASEMENTS	SOUTH GRAND AVENUE SOUTH OLIVE STREET	7'-0" SIDEWALK EASEMENT NONE
BUILDING HEIGHT	ALLOWABLE MAX HEIGHT PROPOSED HEIGHT	UNLIMITED 227'-6"
FAR	ALLOWABLE FAR PROPOSED FAR	6.0 : 1 FAR 9.98 : 1 FAR
FLOOR AREA	ALLOWABLE FLOOR AREA PROPOSED FLOOR AREA	25,507 SF x 6.0 = 153,042 SF 254,527 SF
RESIDENTIAL DENSITY	PER GREATER DOWNTOWN HOUSING INCENTIVE AREA ZI NO. 2385, THE MAXIMUM NUMBER OF DWELLING UNITS IS UNLIMITED	
PROPOSED RES DENSITY	329 UNITS	

VICINITY MAP



PARCEL MAP



SHEET INDEX

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A0.11	OPEN SPACE CALCULATIONS AND PLAN DIAGRAMS
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	ALTA/NSPS DESIGN SURVEY 2/2

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A2.03	FLOOR PLAN - LEVEL 03
A2.04	FLOOR PLAN - LEVELS 04 - 17
A2.05	FLOOR PLAN - LEVEL 18
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A2.07	UNIT PLANS
A3.01	BUILDING SECTIONS AA
A3.02	BUILDING SECTIONS BB
A3.03	BUILDING SECTIONS CC
A4.01	BUILDING ELEVATIONS EAST AND WEST
A4.02	BUILDING ELEVATION SOUTH
A4.03	BUILDING ELEVATION NORTH
A5.00	EXTERIOR MATERIALS

L-100	LANDSCAPE HARDSCAPE SCHEDULE
L-110	LANDSCAPE LEVEL 01 / STREETSCAPE
L-111	LANDSCAPE LEVEL 03
L-112.1	LANDSCAPE LEVEL ROOF
L-112.2	LANDSCAPE LEVEL ROOF
L-112.3	MATERIALS PALETTE

PROJECT INFORMATION

SITE ADDRESS :		
845 SOUTH OLIVE STREET LOS ANGELES CA 90014	AND	842, 844, 846 SOUTH GRAND AVENUE LOS ANGELES CA 90017
OWNER :	ARCHITECT :	LAND USE CONSULTANT :
THE RELEVANT GROUP 1605 N. CAHUENGA BLVD HOLLYWOOD CA 90028 CONTACT : GRANT KING +1 323 466 1400	GENSLER 500 S. FIGUEROA ST LOS ANGELES CA 90071 CONTACT : OLIVIER SOMMERHALDER +1 213 485 1234	THREE6IXTY 11287 W. WASHINGTON BLVD CULVER CITY, CA 90230 CONTACT : SARA HOUGHTON +1 310 204 3500

PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF THE CONSTRUCTION, USE AND MAINTENANCE OF A MIXED-USE BUILDING CONTAINING APPROXIMATELY 254,294 SF SQUARE FEET OF FLOOR AREA HAVING 329 RESIDENTIAL DWELLING UNITS, 36 (11% OF THE TOTAL NUMBER OF UNITS) OF WHICH ARE RESTRICTED TO VERY LOW INCOME HOUSEHOLDS, INCLUDING APPROXIMATELY 5,300 SQUARE FEET OF GROUND AND SECOND FLOOR COMMERCIAL USES, IN A 19-STORY BUILDING COMPOSED OF SIXTEEN STORIES OF TYPE II CONSTRUCTION OVER THREE STORIES OF TYPE I CONSTRUCTION WITH A MAXIMUM HEIGHT OF 227'-6" FEET (EXCLUSIVE OF ROOFTOP RAILINGS/GUARDRAILS, STAIR AND ELEVATOR SHAFTS AND/OR ROOF PROJECTIONS), OVER ONE LEVEL OF SUBTERRANEAN PARKING.

THE PROPOSED PROJECT IS REQUESTING A DENSITY BONUS APPROVAL PURSUANT TO LAMC SECTION 12.22 A.25, INCLUDING ONE ON-MENU INCENTIVE FOR A REDUCTION IN THE REQUIRED AMOUNT OF OPEN SPACE, ONE OFF-MENU INCENTIVE FOR AN INCREASE IN THE ALLOWABLE FAR, AND ONE WAIVER OF DEVELOPMENT STANDARDS FOR THE ELIMINATION OF REQUIRED PARKING FOR RESIDENTIAL USES, IN ADDITION TO A CONDITIONAL USE PERMIT FOR ALCOHOL (CUB) PURSUANT TO LAMC SECTION 12.24 W.1 AND SITE PLAN REVIEW APPROVAL PURSUANT TO LAMC SECTION 16.05.

LEGAL DESCRIPTION

PARCEL 1:
LOT "B" OF THE TRASK AND HOLMAN TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 184 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE SOUTHEASTERLY PORTION OF SAID LOT HAS BEEN RE-SUBDIVIDED AND IS INCLUDED WITHIN THE LINES OF TRACT 2187, AS PER MAP RECORDED IN BOOK 22, PAGE 12 OF MAPS.

APN: 5144-019-007

PARCEL 2:
LOT "A" OF TRACT 2187, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGE 12 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION THEREOF, INCLUDED WITHIN THE LINES OF LOT "B" OF THE TRASK AND HOLMAN TRACT, AS PER MAP RECORDED IN BOOK 12, PAGE 184 OF MAPS, GRANTED TO DAVE H. KARN, ET AL., BY DEED RECORDED JULY 11, 1950 AS INSTRUMENT NO. 1950-343 IN BOOK 33639, PAGE 94 OFFICIAL RECORDS, AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT "B"; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT, 60.02 FEET TO THE MOST SOUTHERLY CORNER OF LOT "B"; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF TRACT NO. 2187, AS PER MAP RECORDED IN BOOK 22, PAGE 12 OF MAPS; THENCE TO THE NORTHEASTERLY ALONG SAID NORTHWESTERLY LINE, 60.00 FEET TO THE NORTHEASTERLY LINE OF SAID LOT "B"; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE, 2.70 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPT ANY PORTION THEREOF, LYING WITHIN THE LINES OF LOT "C" OF SAID TRASK AND HOLMAN TRACT, AS SAID LOT "C" IS SHOWN ON THE MAP OF SAID TRACT.

APN: 5144-019-021



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Date	Description
11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
PROJECT INFORMATION

Scale

A0.01

RESIDENTIAL UNIT SUMMARY

Unit Type	Unit Count	Unit Percentage	Average Unit Size (Net SF measured to inside face of wall)
STUDIO	75	23%	347 SF
1BR	194	59%	397 SF
2BR	60	18%	670 SF
TOTAL UNITS	329		

VERY LOW INCOME UNIT SUMMARY

Total Unit Count	329
	x 11%
TOTAL VERY LOW INCOME UNITS	36

VERY LOW INCOME UNIT MIX			
Very Low Income	Unit Type	% Mix	Qty.
	Studio	22.2%	8
	1 Bedroom	58.3%	21
	2 Bedroom	19.4%	7
	TOTAL UNITS	77.8%	36

PARKING CALCULATIONS

SUMMARY OF PARKING REGULATIONS
Automobile Parking per Central City Parking Ordinance: **LAMC Section 12.21 A.4 (p)**
Commercial Parking: Downtown Business District **LAMC Section 12.21 A.4 (l)** and **Ordinance No. 135,901 & 137,036**

For compact stall dimensions see **LAMC Section 12.21A5.(a)**.
For compact stall standards (% of stalls) see **LAMC Section 12.21A5.(c)**.

Per AB 2345 effective January 1, 2021 for Density Bonus projects, 0.5 spaces per dwelling unit will be required.

Total Unit Count 329

REQUIRED PARKING - RESIDENTIAL

Number of Units	Ratio	Spaces
329	0.50	165

Total Residential Required Stalls: 165

REQUIRED PARKING - COMMERCIAL

Total Commercial Space = 5,300 sf
None required if under 7,500 sf (Downtown Parking District)

Total Commercial Required Stalls: 0

Total Building Required Stalls: 165

PARKING PROVIDED

	H/C	EV H/C	EV Standard	Standard	8'-6" Compact	TOTAL
Level 01	1	1	0	0	0	2
Level B1	0	0	1	11	0	12

Total Stalls Provided: 14

BIKE PARKING CALCULATIONS

REQUIRED BICYCLE PARKING
Bicycle Parking: LAMC Section 12.21 A.16.(a)(1)(i) (Based on incremental increases in dwelling units)

Residential	Units	Ratio	Required Spaces	
Short-Term Spaces	1 to 25	1 space / 10 units	3	
	26 to 100	1 space / 15 units	5	
	100 to 200	1 space / 20 units	5	
	201 to 329	1 space / 40 units	3	
	Residential Short-Term Required:		16	
Long-Term Spaces	1 to 25	1 space / 1 unit	25	
	26 to 100	1 space / 1.5 units	50	
	100 to 200	1 space / 2 units	50	
	201 to 329	1 space / 4 units	32	
	Residential Long-Term Required:		157	
Commercial/Retail/Restaurant				
Short-Term Bicycle Parking (min. 2)		Area	Ratio	Required Spaces
		7,499	1/2,000 sf	4
Long-Term Bicycle Parking (min. 2)		7,499	1/2,000 sf	4

TOTAL SHORT-TERM BIKE PARKING REQUIRED (Residential + Commerical)	20
TOTAL LONG-TERM BIKE PARKING REQUIRED (Residential + Commerical)	161
TOTAL BIKE PARKING REQUIRED	181

PROVIDED BICYCLE PARKING

Short Term Bike Parking:	
Sidewalk Bike Racks on Olive and Grand (Commerical & Residential Use):	20
TOTAL SHORT-TERM PROVIDED:	20
Required:	20

Long-Term Bike Parking Rooms:	
Residential	157
Commercial/Retail/Restaurant	4
TOTAL LONG-TERM PROVIDED:	161
Required:	161
TOTAL BIKE PARKING PROVIDED	181



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Project Name
OLIVE AND GRAND

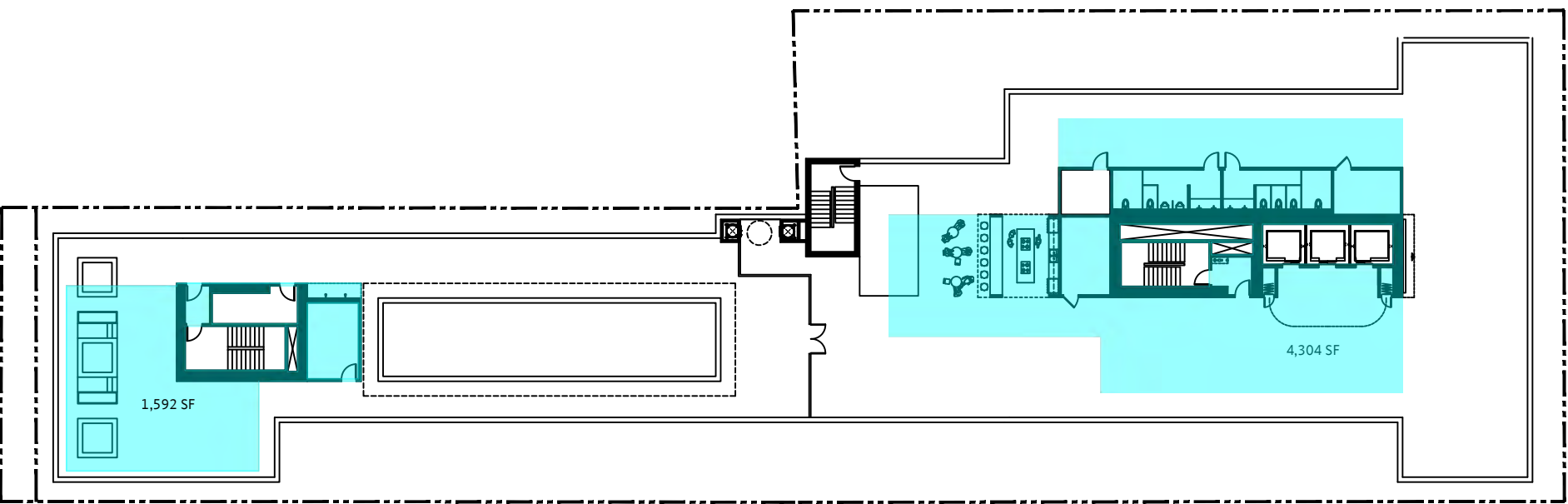
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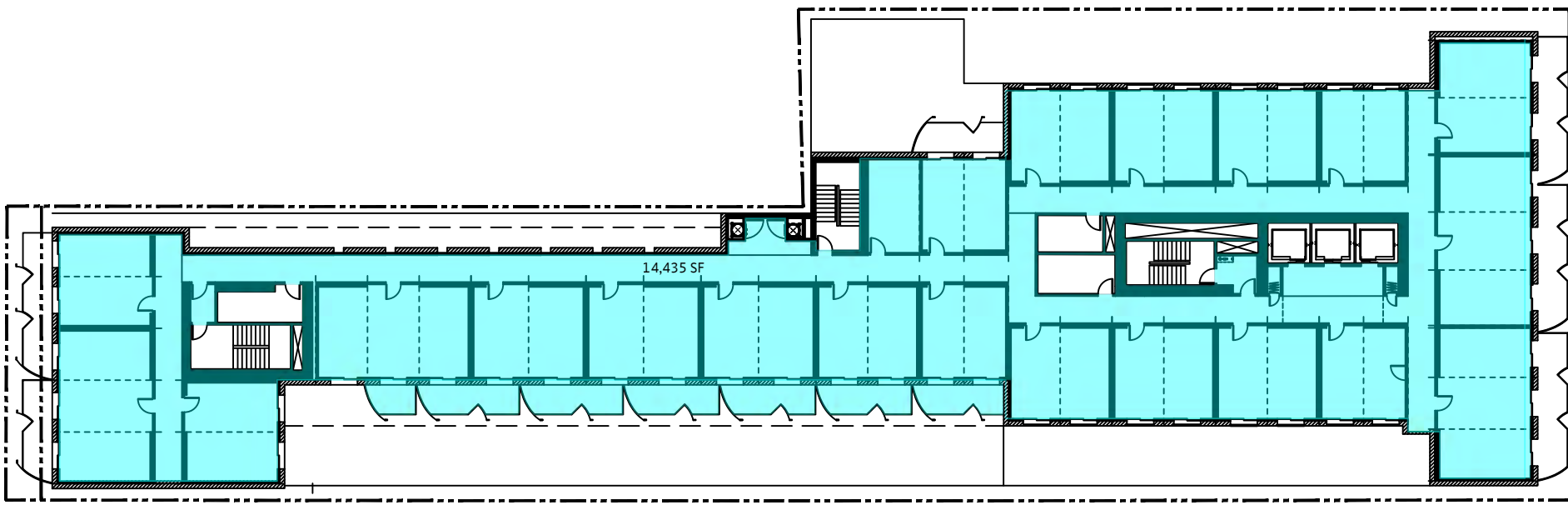
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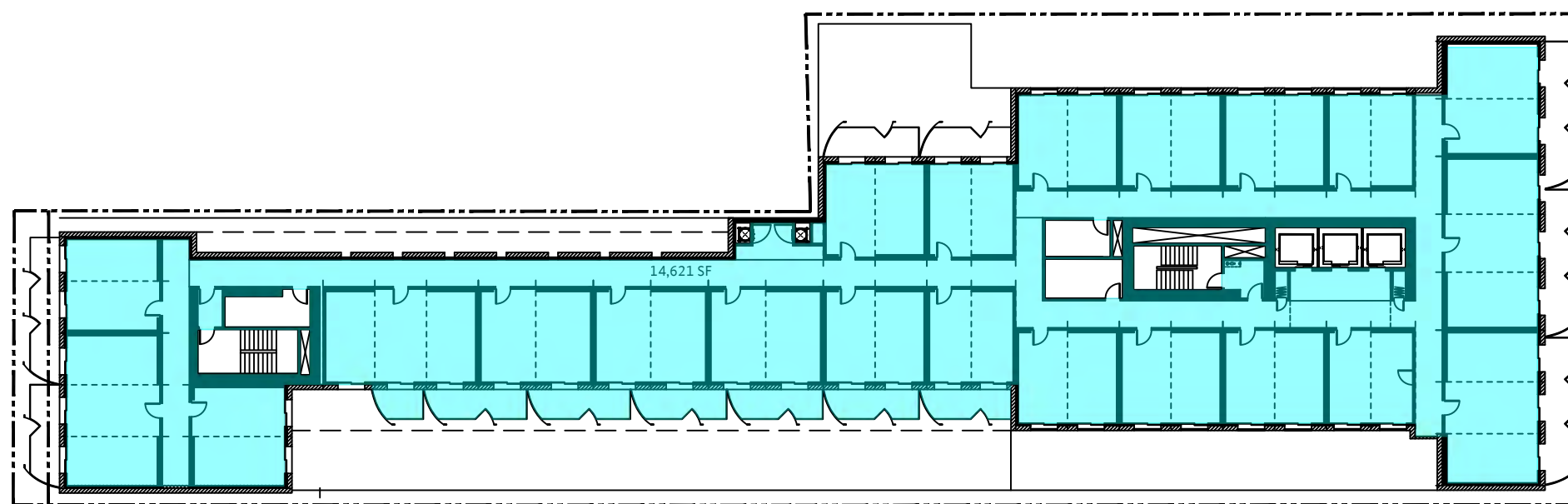
FAR PLAN DIAGRAMS



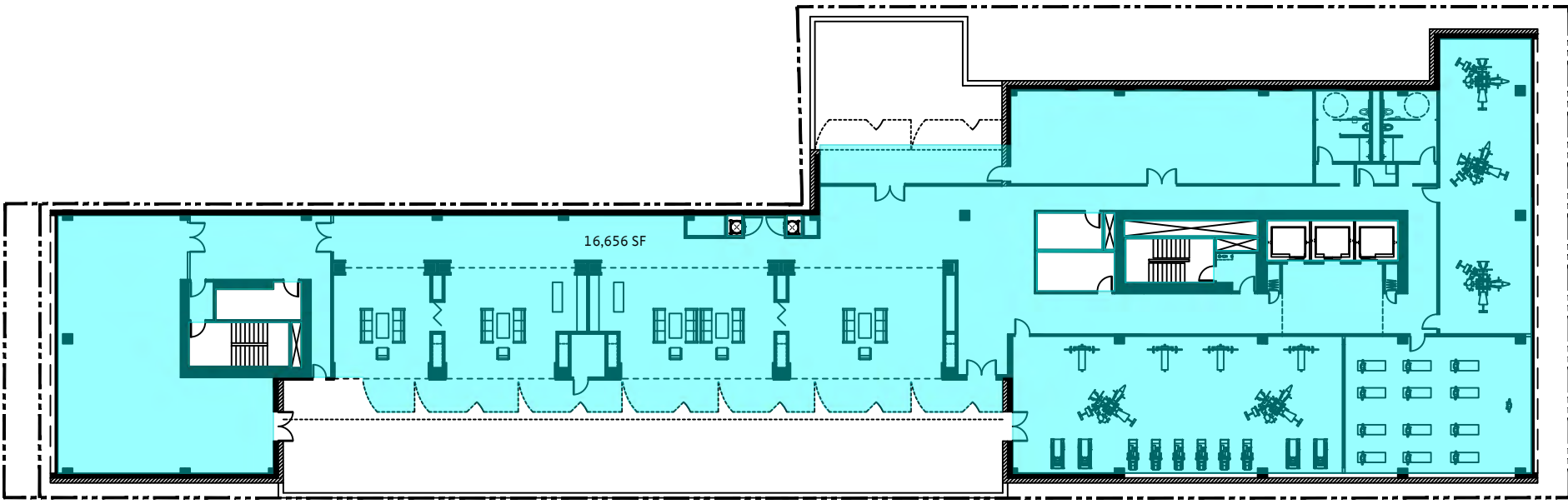
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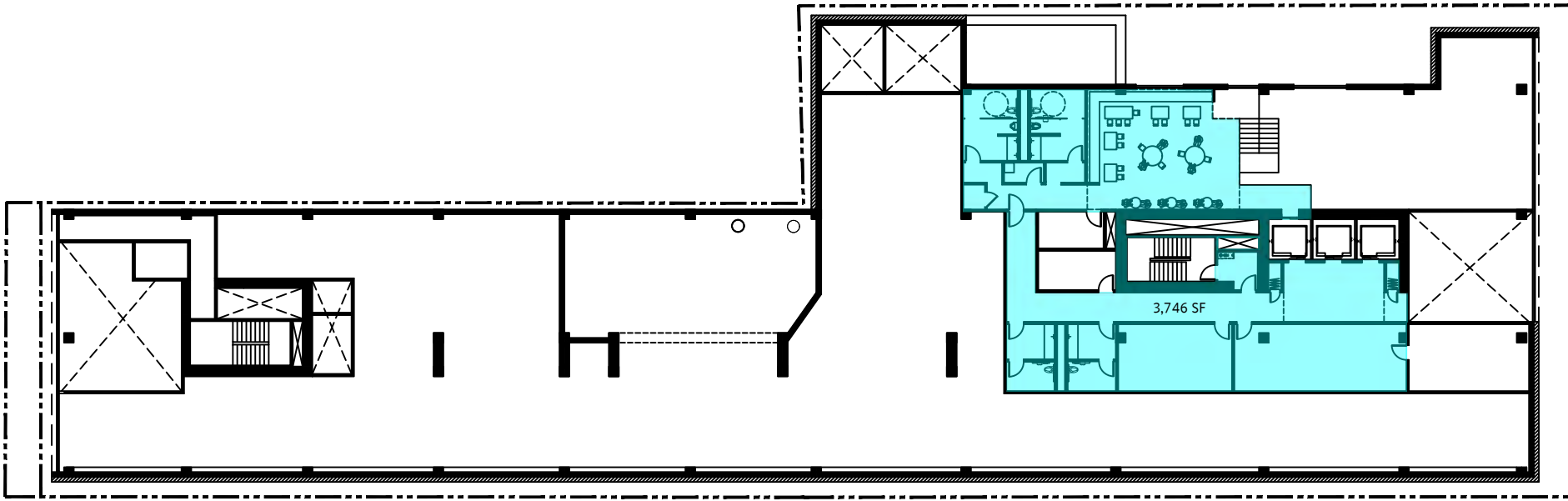
LEVEL 18



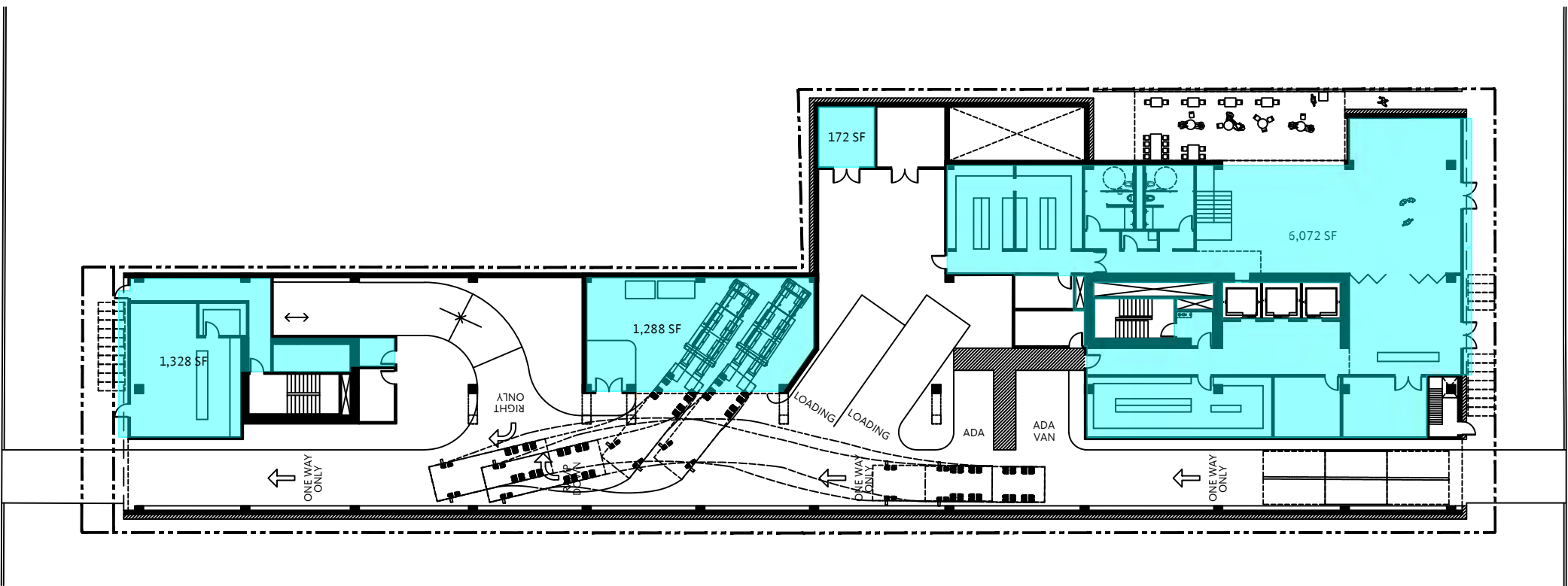
LEVELS 04 - 17



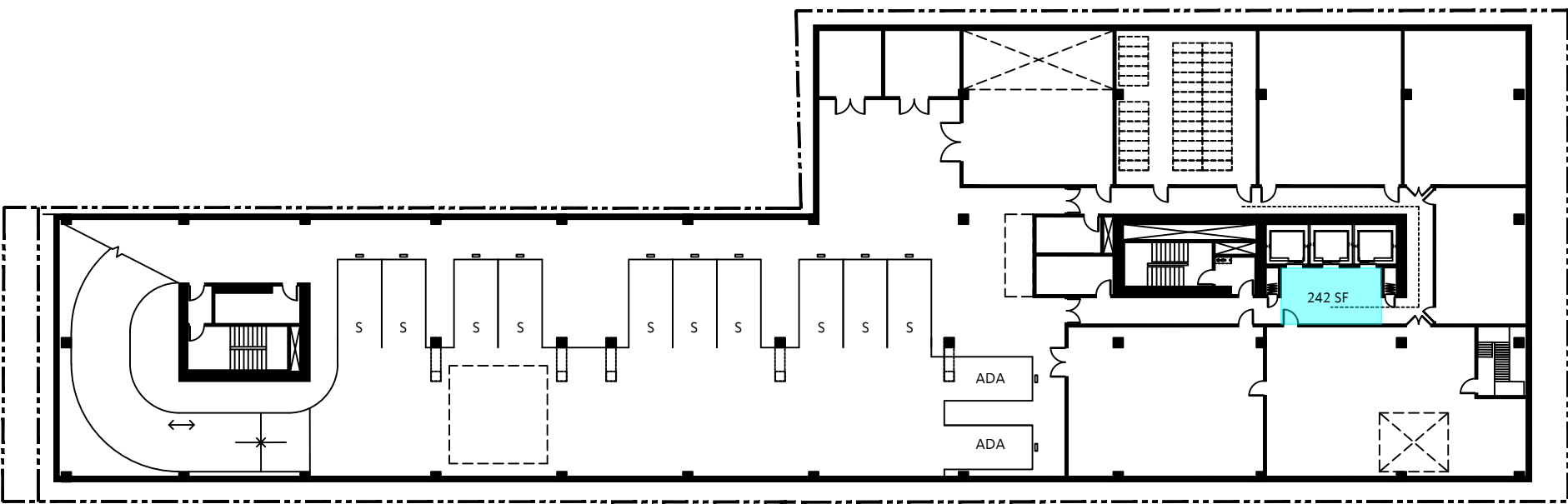
LEVEL 03



LEVEL 02



LEVEL 01



LOWER LEVEL 01

FAR CALCULATIONS

Level	Floor Area (FAR)	Use
LOWER LEVEL 01	242 SF	Residential Lobby
LEVEL 01	8,860 SF	Residential Lobby, Commercial/Retail/Restaurant
LEVEL 02	3,746 SF	Residential Amenity
LEVEL 03	16,656 SF	Residential Dwelling Units
LEVEL 04	14,621 SF	Residential Dwelling Units
LEVEL 05	14,621 SF	Residential Dwelling Units
LEVEL 06	14,621 SF	Residential Dwelling Units
LEVEL 07	14,621 SF	Residential Dwelling Units
LEVEL 08	14,621 SF	Residential Dwelling Units
LEVEL 09	14,621 SF	Residential Dwelling Units
LEVEL 10	14,621 SF	Residential Dwelling Units
LEVEL 11	14,621 SF	Residential Dwelling Units
LEVEL 12	14,621 SF	Residential Dwelling Units
LEVEL 13	14,621 SF	Residential Dwelling Units
LEVEL 14	14,621 SF	Residential Dwelling Units
LEVEL 15	14,621 SF	Residential Dwelling Units
LEVEL 16	14,621 SF	Residential Dwelling Units
LEVEL 17	14,621 SF	Residential Dwelling Units
LEVEL 18	14,435 SF	Residential Amenity Space
LEVEL 19 ROOF DECK	5,896 SF	Residential Amenity Space
Grand total	254,527 SF	

FAR	9.98
FAR BY USE	RESIDENTIAL : 249,227 SF (Includes Amenity, Circulation, & Operations Spaces) COMMERCIAL : 5,300 SF

GSF CALCULATIONS

Level	Floor Area (GSF)	Use
LOWER LEVEL 01	21,967 SF	Parking, Residential Lobby, MEP, BOH
LEVEL 01	20,498 SF	Residential Lobby, Commercial/Retail/Restaurant
LEVEL 02	4,554 SF	Residential Amenity
LEVEL 03	17,302 SF	Residential Dwelling Units
LEVEL 04	15,345 SF	Residential Dwelling Units
LEVEL 05	15,345 SF	Residential Dwelling Units
LEVEL 06	15,345 SF	Residential Dwelling Units
LEVEL 07	15,345 SF	Residential Dwelling Units
LEVEL 08	15,345 SF	Residential Dwelling Units
LEVEL 09	15,345 SF	Residential Dwelling Units
LEVEL 10	15,345 SF	Residential Dwelling Units
LEVEL 11	15,345 SF	Residential Dwelling Units
LEVEL 12	15,345 SF	Residential Dwelling Units
LEVEL 13	15,345 SF	Residential Dwelling Units
LEVEL 14	15,345 SF	Residential Dwelling Units
LEVEL 15	15,345 SF	Residential Dwelling Units
LEVEL 16	15,345 SF	Residential Dwelling Units
LEVEL 17	15,345 SF	Residential Dwelling Units
LEVEL 18	15,345 SF	Residential Dwelling Units
LEVEL 19 ROOF DECK	6,372 SF	Residential Amenity Space
Grand total	294,495 SF	

GSF BY USE	RESIDENTIAL : 289,195 SF (Includes Amenity, Circulation, & Operations Spaces) COMMERCIAL : 5,300 SF
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LEGEND

FAR



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Seal / Signature

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845 OLIVE STREET

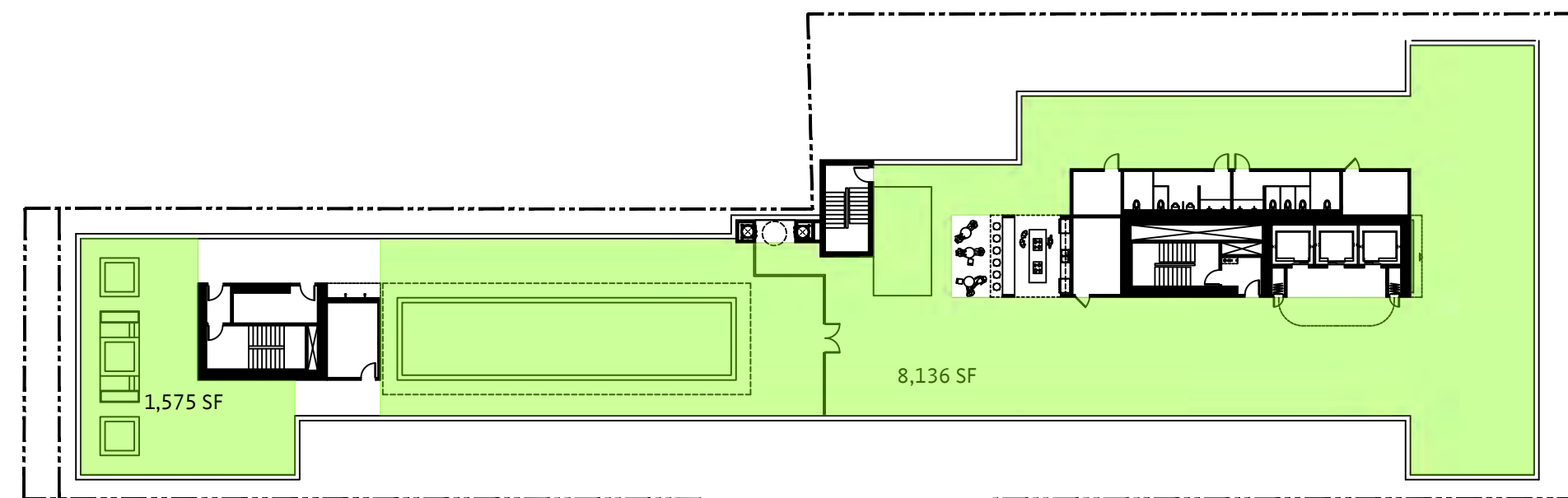
Project Number
05.3670.000

Description
FAR AND GSF
CALCULATIONS AND PLAN
DIAGRAMS

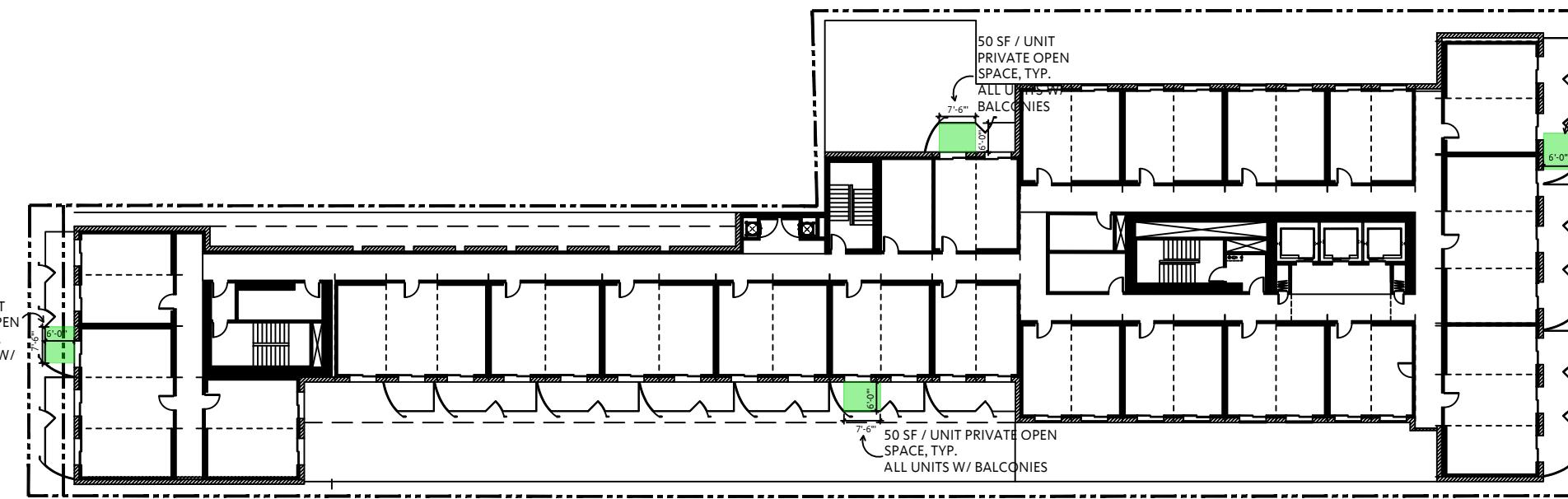
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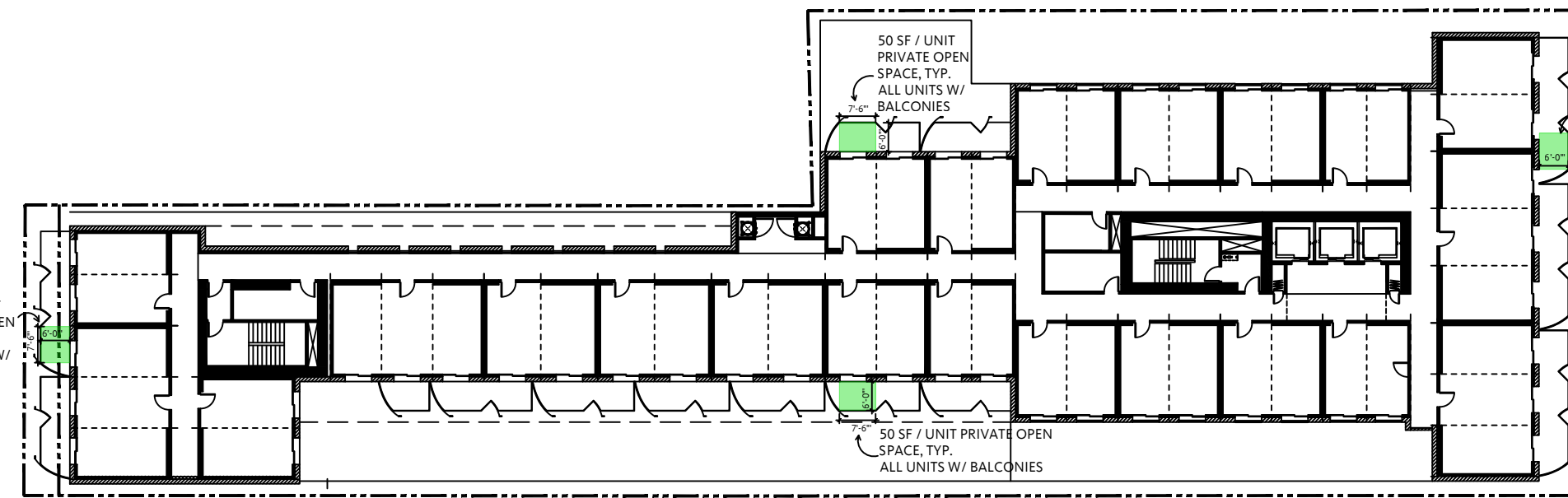
OPEN SPACE DIAGRAMS



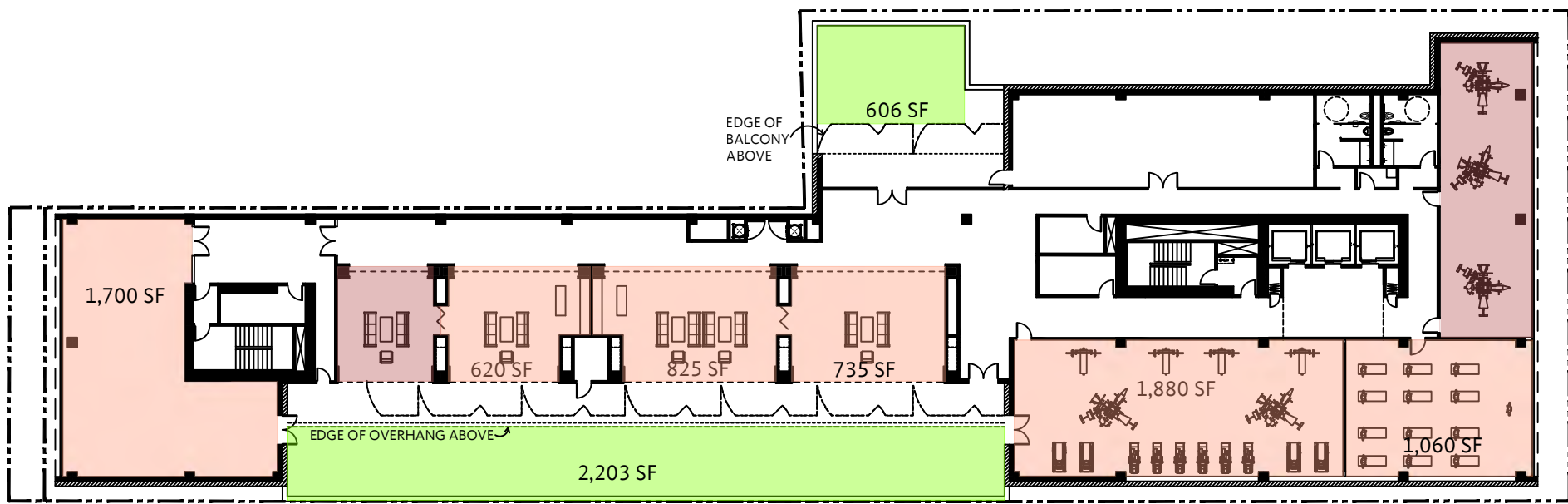
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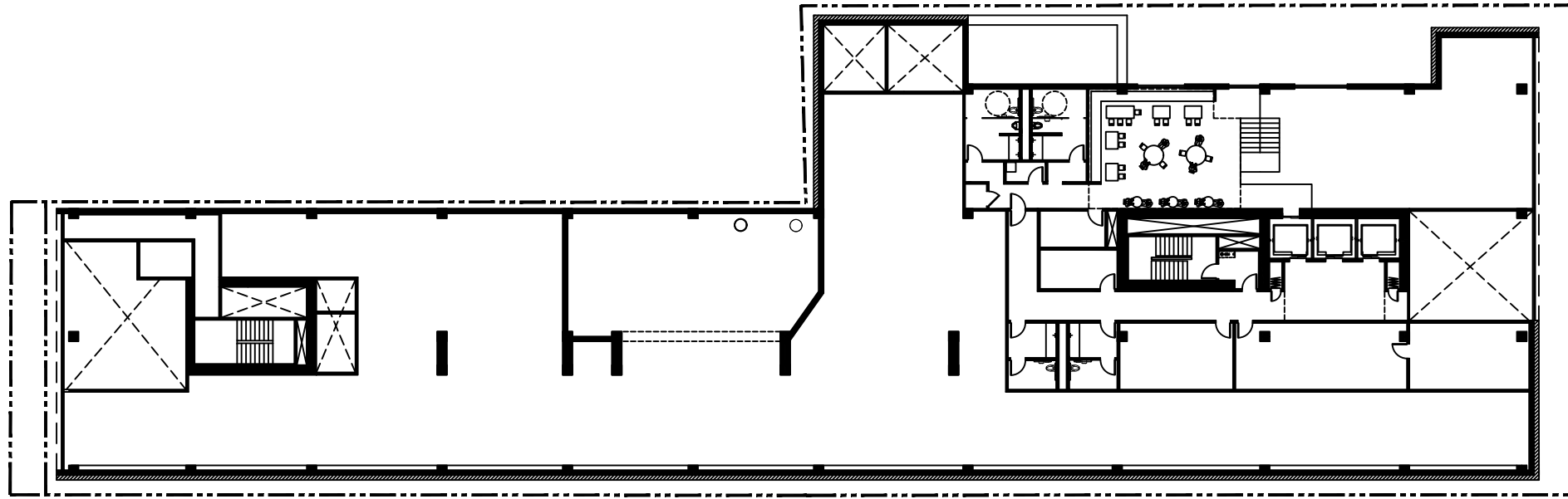
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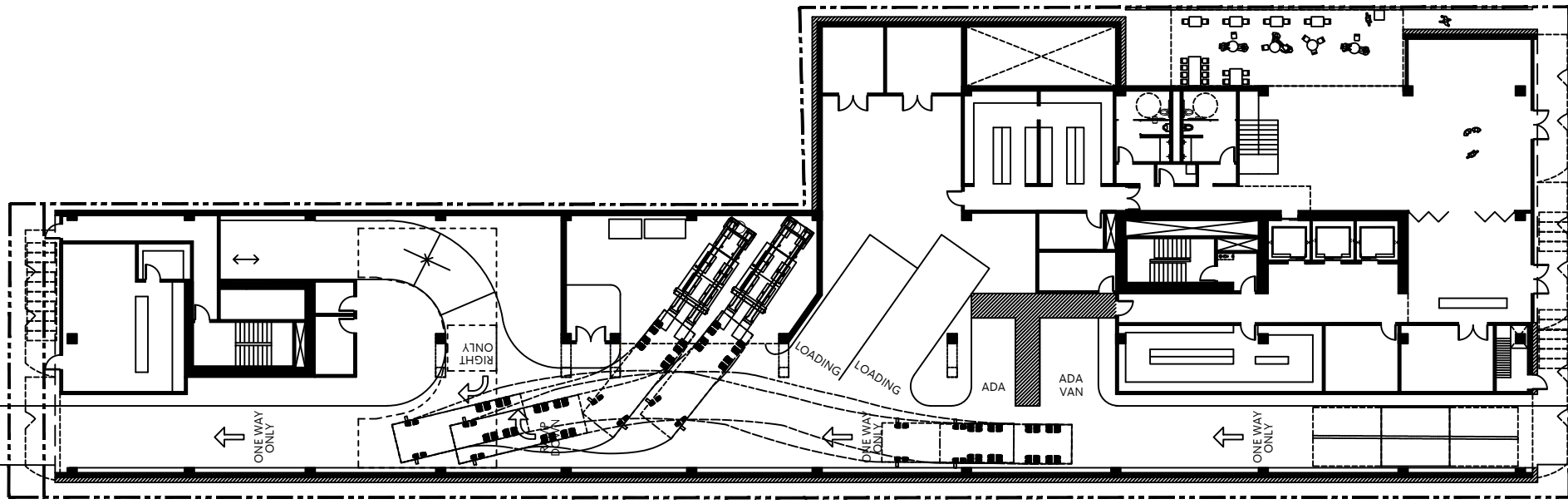
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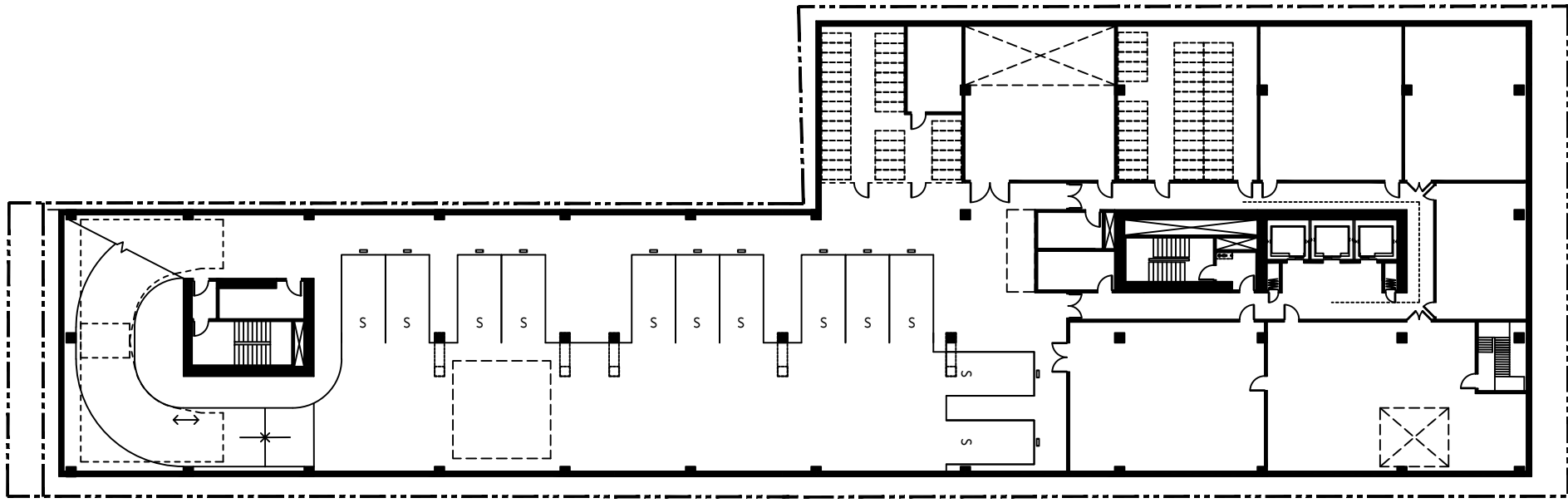
LEVEL 03



LEVEL 02



LEVEL 01



LOWER LEVEL 01

OPEN SPACE CALCULATIONS

SUMMARY OF OPEN SPACE REGULATIONS

Open Space/Trees: LAMC Section 12.21-G.3

Residential Uses		
Studio	100 sf / unit	(dwelling unit <3 habitable rooms)
1 Bedroom Units	100 sf / unit	(dwelling unit <3 habitable rooms)
2 Bedroom Units	125 sf / unit	(dwelling unit <3 habitable rooms)

REQUIRED OPEN SPACE

Unit Type	Qty.	SF/Unit	Area
Studio	75	100	7,500 SF
1 Bedroom	194	100	19,400 SF
2 Bedroom	60	125	7,500 SF

TOTAL REQUIRED OPEN SPACE	34,400 SF
15% REDUCTION IN OPEN SPACE PER LAMC 12.22 A25 F6	29,240 SF

PRIVATE OPEN SPACE PROVIDED

	Units w/ Balconies	Min. Balcony Area	Total Area Provided
Private Open Space (Balconies)	198	50 sf	9,900 SF

COMMON AREA OPEN SPACE PROVIDED

Floor	Open Space Area	Indoor	Outdoor
Level 19	Amenity Deck and Recreation Room(s)	0	9,711
Level 03	Amenity Deck and Recreation Room(s)	6,820	2,809
Sub-Total Indoor Open Space:		6,820 SF	
Sub-Total Outdoor Open Space:			12,520 SF
TOTAL INDOOR & OUTDOOR COMMON OPEN SPACE:		19,340 SF	

TOTAL PROVIDED PRIVATE & COMMON OPEN SPACE:	29,240 SF
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Planted Area Required based on Common Outdoor Open Space:	Common Outdoor Open Space Provided	12,520 SF
		x 25%
Required Planter Area Based on Required Common Outdoor Open Space		3,130 SF

Level 19 Rooftop Deck	1,358 SF
Level 03	780 SF
Level 01	1,677 SF
TOTAL AREA OF LANDSCAPE PLANTERS	3,815 SF

TREES REQUIRED

Per Ordinance No. 185573 (effective July 5, 2018) , a Director's Decision under Section 12.21(G)(3) of the Code, determining the site cannot feasibly accommodate a required tree, establishes an in-lieu fee that may be used to satisfy a Development Tree Planting Requirement.

See Ordinance 185573

One 24" box for every 4 units: Street tree replacement (2:1 ratio, 36" box):	329 Units / 4 = 1 Existing Street Trees x 2 = Total Required =	82 TREES 2 TREES 84 TREES REQUIRED
Level 19 Rooftop Deck	52	
Level 03	17	
Street Trees At-Grade:	7	
In-Lieu Fee:	8	
TOTAL TREES PROVIDED:	84	*Meets Requirement

Date	Description
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Description
OPEN SPACE CALCULATIONS AND
PLAN DIAGRAMS

Scale

A0.11

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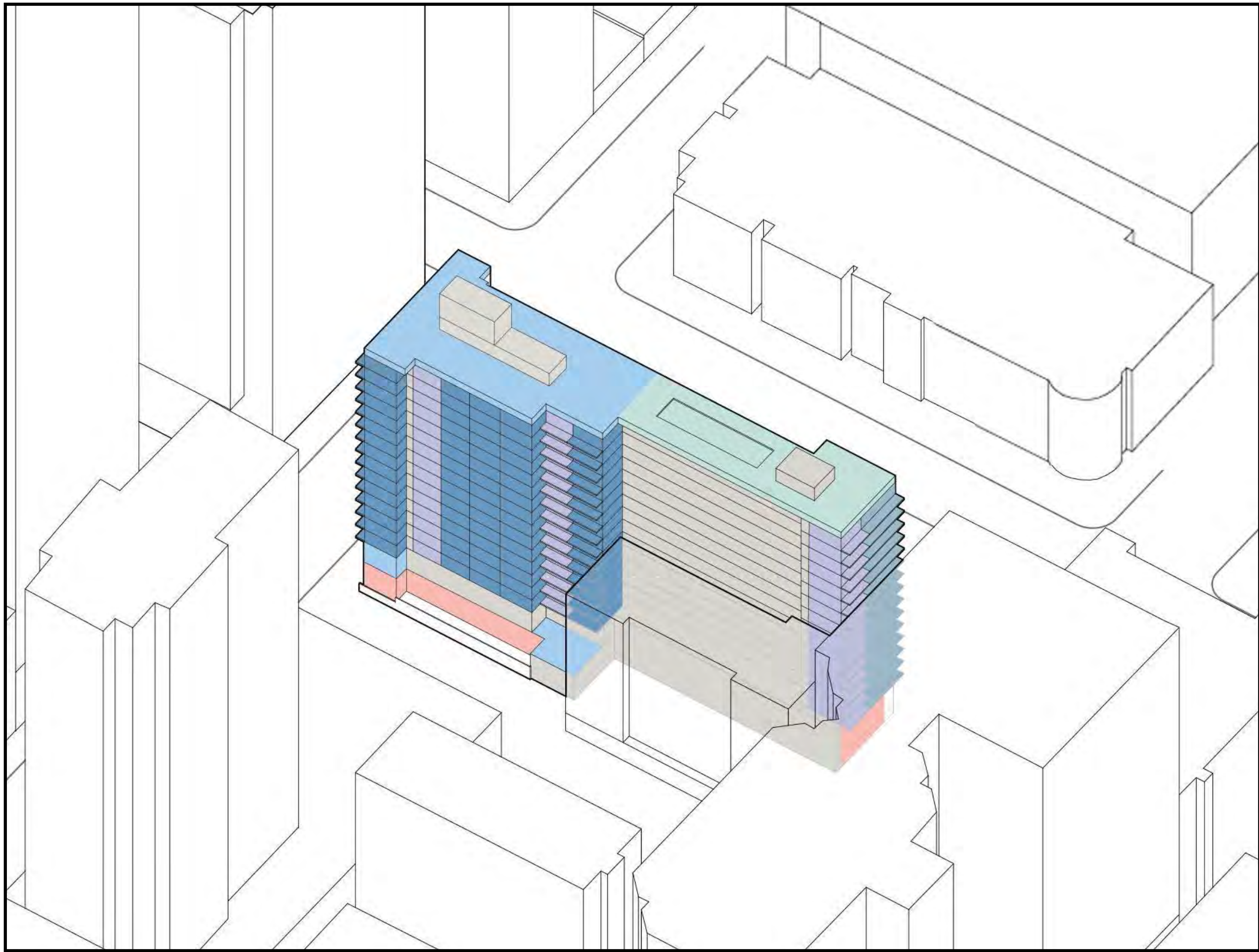
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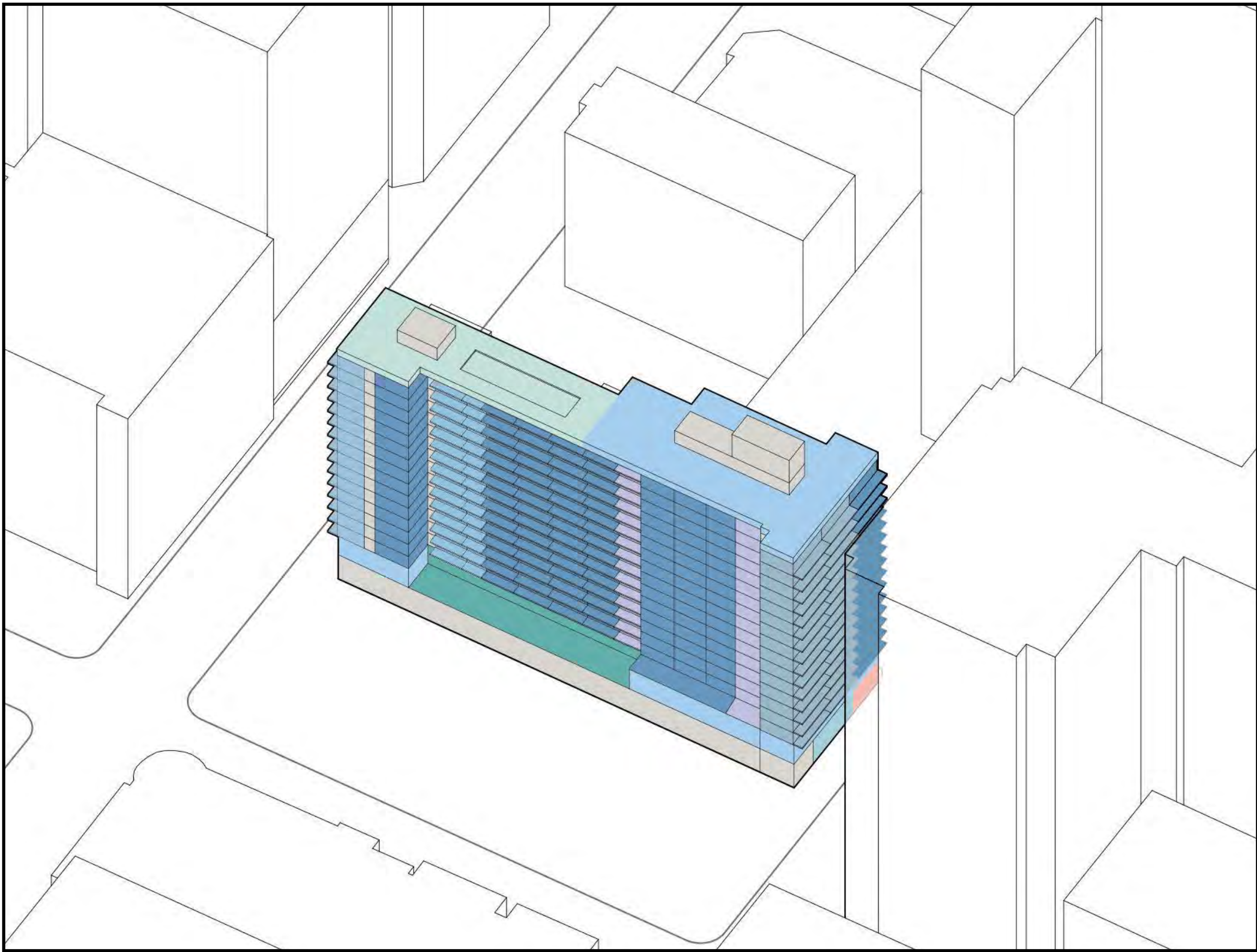
Description
PROGRAM MASSING
DIAGRAM

Scale

A0.20



MASSING AXONOMETRIC - NW



MASSING AXONOMETRIC - SE

LEGEND

- | | |
|-------------|-------------|
| RETAIL | 1 BED SMALL |
| LOBBY | 1 BED |
| AMENITY | 2 BED |
| GYM | |
| POOL & SPA | |
| CIRCULATION | |

△ Date	Description
11/05/21	ENTITLEMENT SUBMITTAL



1



2



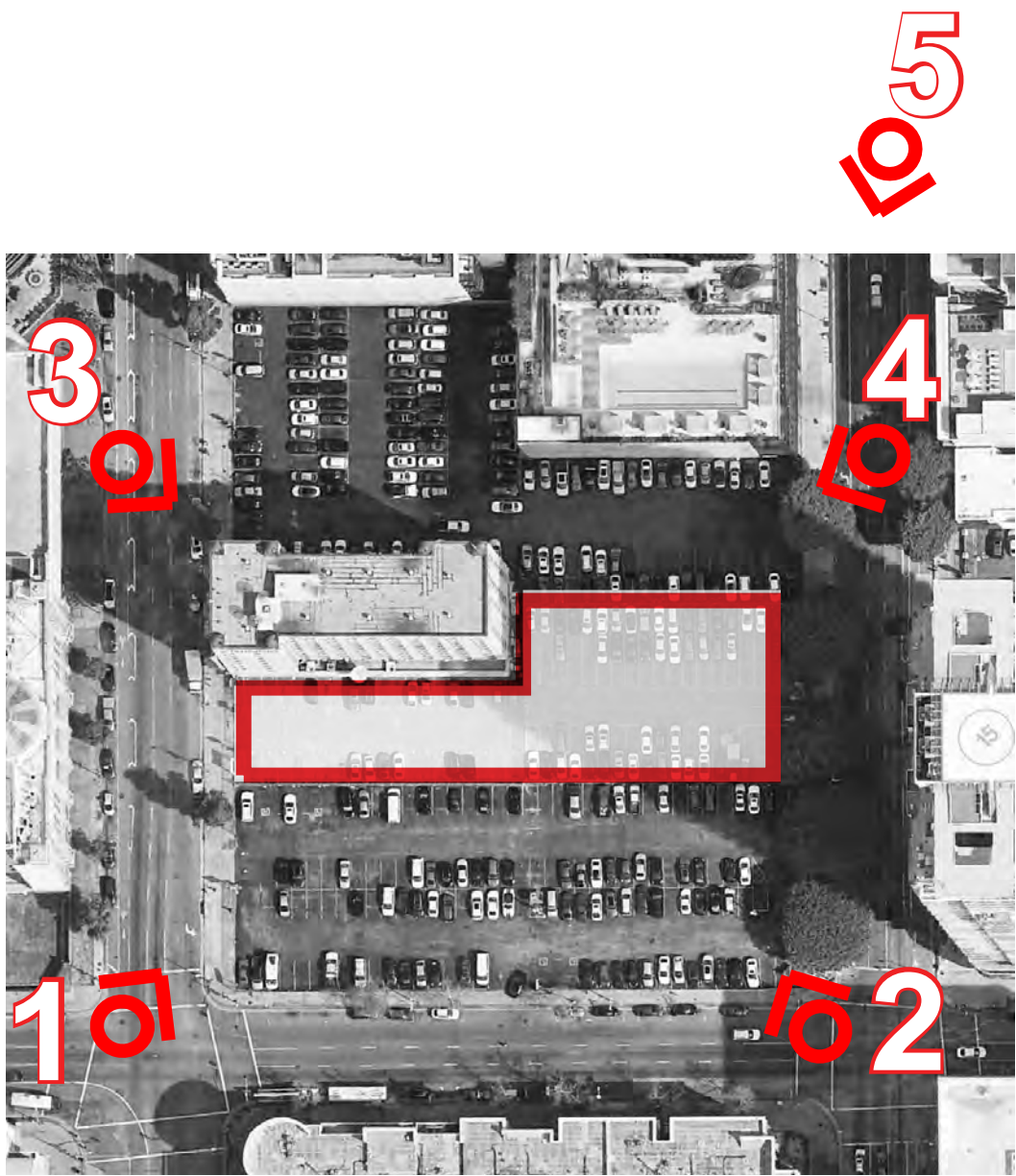
3



4



5



Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
OLIVE AND GRAND

Project Number
05.3670.000

Description
EXISTING SITE PHOTOS

Scale

A0.30



VIEW FROM OLIVE AND 9TH LOOKING NORTH



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Project Name
OLIVE AND GRAND

Project Number
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Description
RENDERINGS

Scale

A0.40



VIEW FROM GRAND AND 9TH LOOKING NORTH EAST



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OLIVE AND GRAND

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Description
RENDERINGS

Scale

A0.41



VIEW OF OLIVE STREET ELEVATION



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Project Name
OLIVE AND GRAND

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Description
RENDERINGS

Scale

A0.42



VIEW OF GRAND AVENUE ELEVATION

Gensler

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Tel 213.327.3600
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OLIVE AND GRAND

Project Number
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Description
RENDERINGS

Scale

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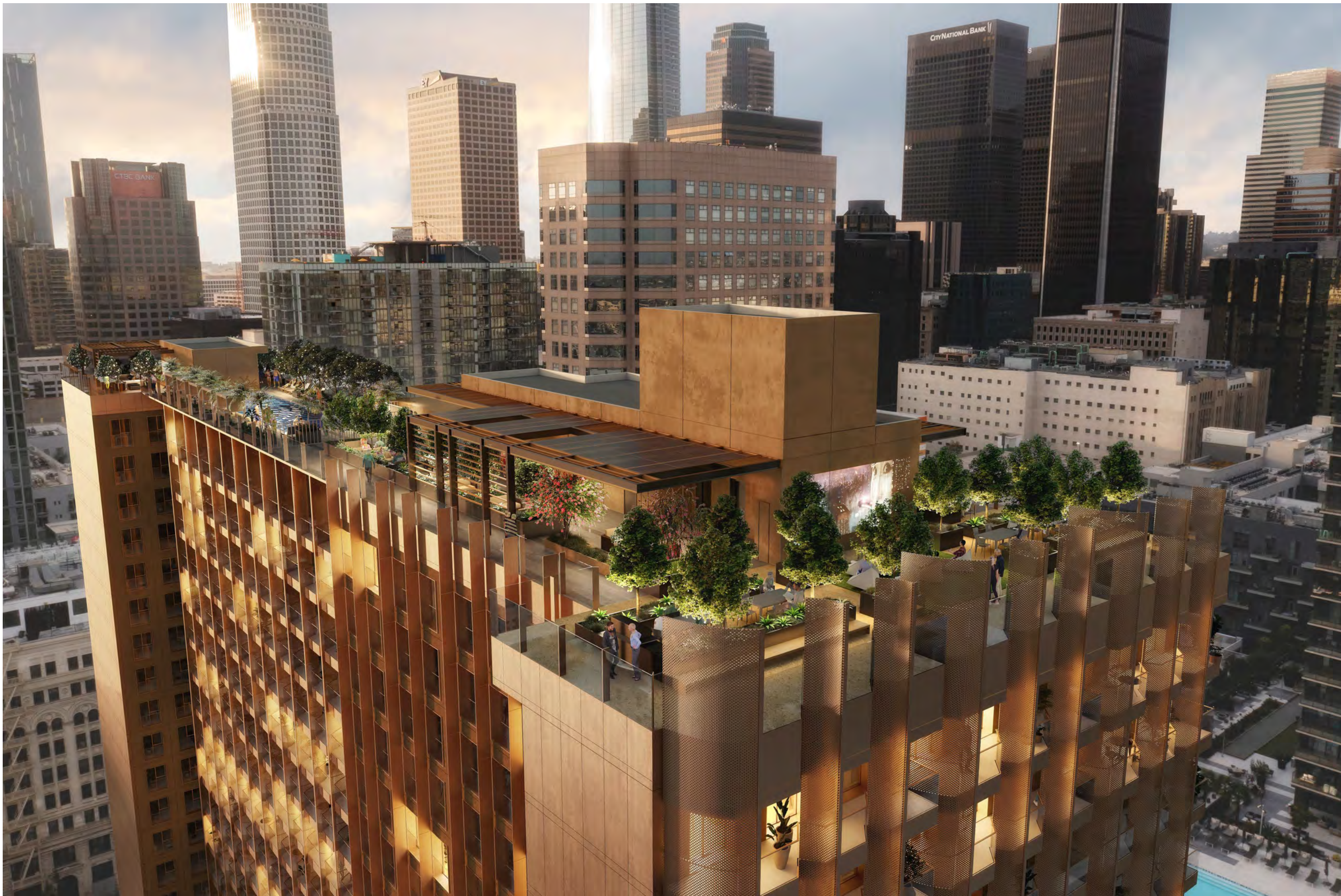
Project Name
OLIVE AND GRAND

Project Number
05.3670.000

Description
RENDERINGS

Scale

A0.44



ROOF DECK AERIAL LOOKING NORTH WEST



AERIAL LOOKING NORTH

Gensler

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Fax 213.327.3601

△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
OLIVE AND GRAND

Project Number
05.3670.000

Description
RENDERINGS

Scale

A0.45

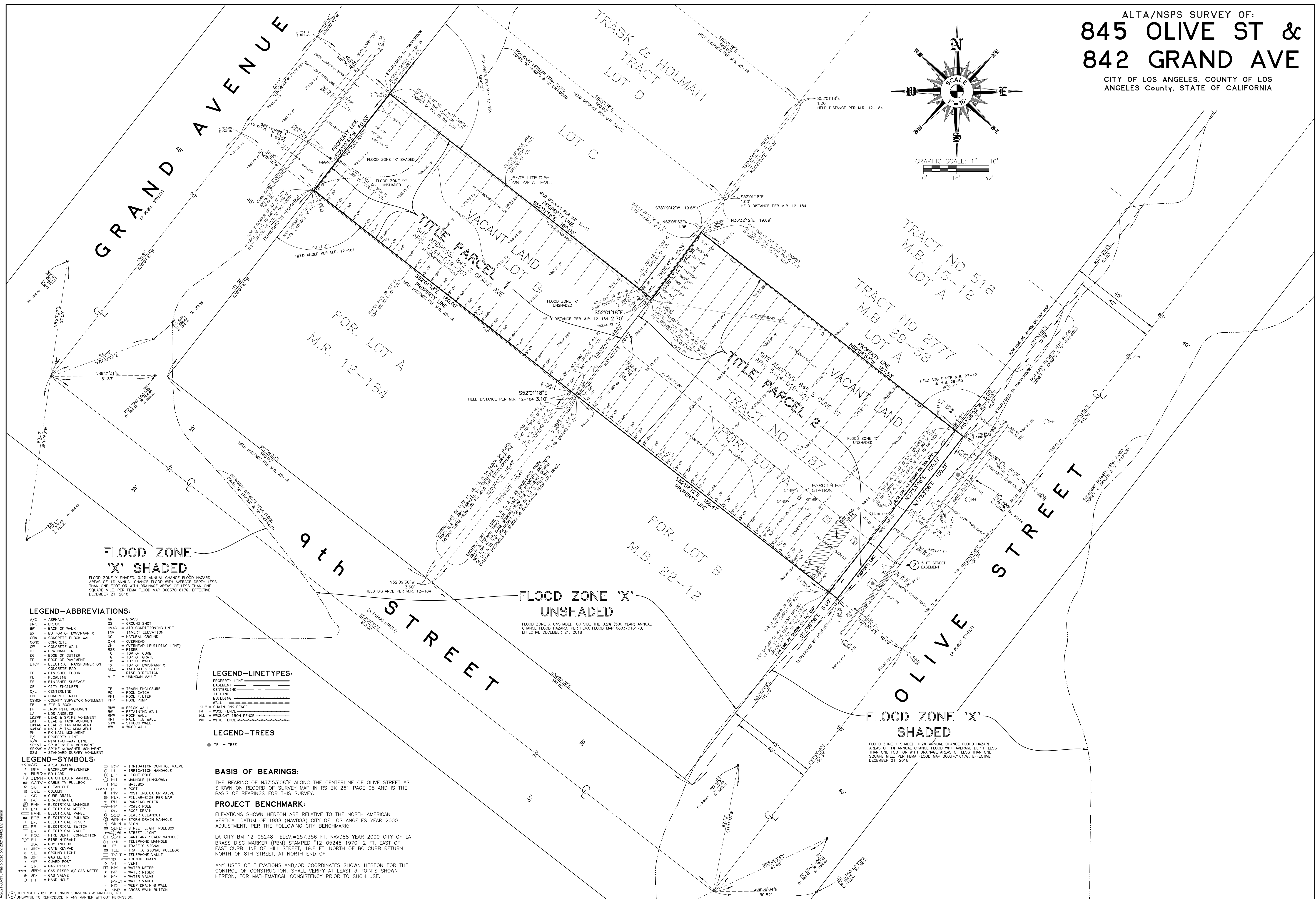
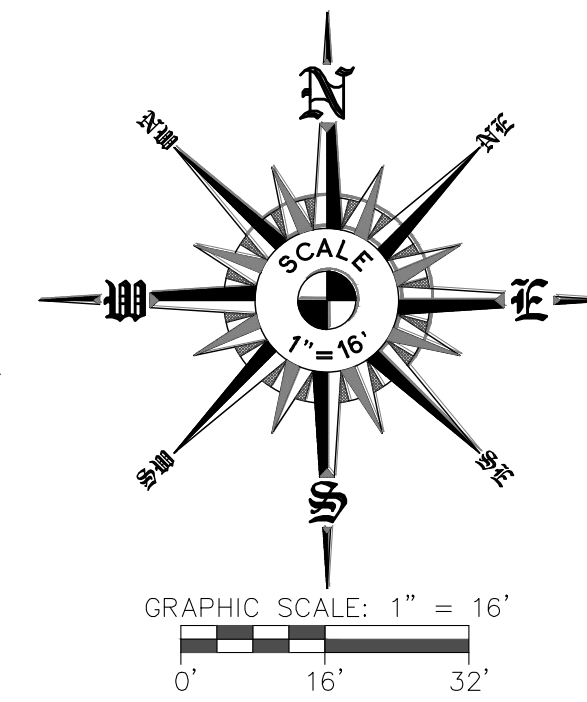


AERIAL LOOKING SOUTH EAST



ROOF DECK AERIAL LOOKING SOUTH EAST

ALTA/NSPS SURVEY OF:
**845 OLIVE ST &
842 GRAND AVE**
CITY OF LOS ANGELES, COUNTY OF LOS
ANGELES County, STATE OF CALIFORNIA



LEGEND-ABBREVIATIONS:

- | | |
|--------------------------------|-------------------------------|
| A/C = ASPHALT | GR = GRASS |
| BRK = BRICK | GS = GROUND SHOT |
| BW = BACK OF WALK | HC = AIR CONDITIONING UNIT |
| CK = CONCRETE BLOCK WALL | IN = INVERT ELEVATION |
| CONC = CONCRETE | NO = NATURAL GROUND |
| OW = CONCRETE WALL | OH = OVERHEAD |
| DI = DRAINAGE INLET | OR = OVERHEAD (BUILDING LINE) |
| EG = EDGE OF GUTTER | RE = RESEAL CURB |
| EP = EDGE OF PAVEMENT | TO = TOP OF GRADE |
| ETOP = ELECTRIC TRANSFORMER ON | TX = TOP OF WALL |
| FF = FINISHED FLOOR | TX = TOP OF DRAIN/RAMP X |
| FL = FINISHED SURFACE | UL = RISE DIRECTION |
| FS = FINISHED SURFACE | VL = UNKNOWN VAULT |
| CE = CITY ENGINEER | TE = TRASH ENCLOSURE |
| CA = CENTER LINE | PC = POOL CATCH |
| CH = CONCRETE WALL | PFT = POOL FILTER |
| CSM = COUNTY SURVEYOR MONUMENT | PP = POOL PUMP |
| FB = FIELD BOOK | PP = POOL PUMP |
| IP = IRON PIPE MONUMENT | PP = POOL PUMP |
| LA = LOS ANGELES | PP = POOL PUMP |
| LEAK = LEAK & TAG MONUMENT | PP = POOL PUMP |
| LEAD = LEAD & TAG MONUMENT | PP = POOL PUMP |
| LEAD = LEAD & TAG MONUMENT | PP = POOL PUMP |
| NETAG = NAIL & TAG MONUMENT | PP = POOL PUMP |
| PK = PLY MONUMENT | PP = POOL PUMP |
| P/L = PROPERTY LINE | PP = POOL PUMP |
| R/L = RIGHT-OF-WAY LINE | PP = POOL PUMP |
| SP&T = SPIKE & TIN MONUMENT | PP = POOL PUMP |
| SP&M = SPIKE & IRON MONUMENT | PP = POOL PUMP |
| SSM = STANDARD SURVEY MONUMENT | PP = POOL PUMP |

LEGEND-LINETYPES:

- | | |
|-------------------------|-------|
| PROPERTY LINE | --- |
| EASEMENT | - - - |
| CENTERLINE | --- |
| TITLE LINE | --- |
| BUILDING | --- |
| WALL | --- |
| CLF = CHAIN LINE FENCE | --- |
| WF = WOOD FENCE | --- |
| WU = WROUGHT IRON FENCE | --- |
| WF = WIRE FENCE | --- |

LEGEND-TREES

- TR = TREE

BASIS OF BEARINGS:

THE BEARING OF N37°53'08"E ALONG THE CENTERLINE OF OLIVE STREET AS SHOWN ON RECORD OF SURVEY MAP IN RS BK 261 PAGE 05 AND IS THE BASIS OF BEARINGS FOR THIS SURVEY.

PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) CITY OF LOS ANGELES YEAR 2000 ADJUSTMENT, PER THE FOLLOWING CITY BENCHMARK:

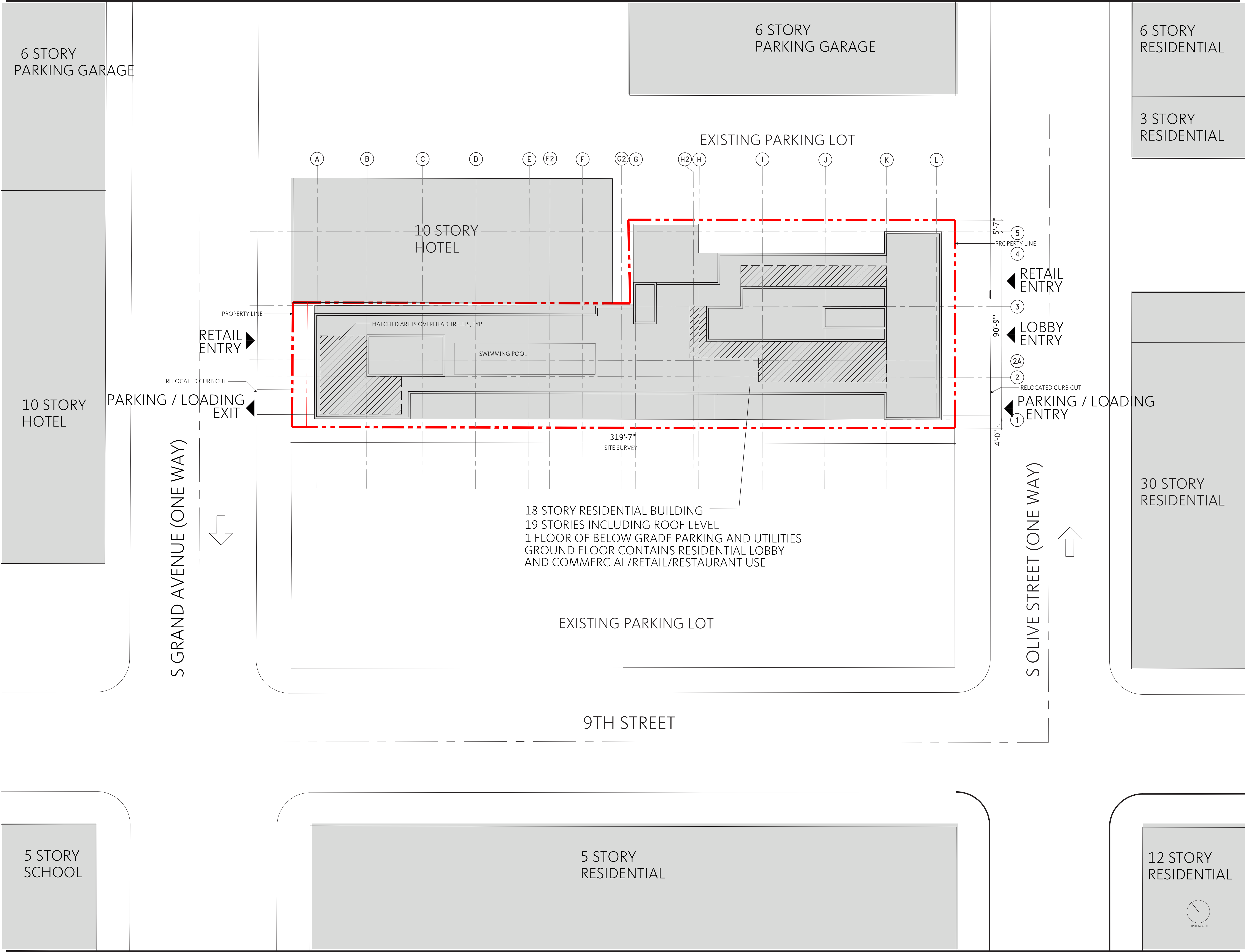
LA CITY BM 12-05248 ELEV.=257.356 FT. NAVD88 YEAR 2000 CITY OF LA BRASS DISC MARKER (PBM) STAMPED "12-05248 1970" 2 FT. EAST OF EAST CURB LINE OF HILL STREET, 19.8 FT. NORTH OF BC CURB RETURN NORTH OF 8TH STREET, AT NORTH END OF

ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE.

		THOMAS GUIDE: 634-E5	
LA CITY DIST. MAP: 127-5A-209			
ASS. PARCEL NO.: 5144-019-021&007			
DWG: 4020-ALTA-2021-03-31			
SURVEYED BY: HENNON			
REV.	DATE	DESCRIPTION	BY

ALTA/NSPS SURVEY OF:		HENNON	
845 OLIVE ST & 842 GRAND AVE		Surveying & Mapping, Inc.	
CITY OF LOS ANGELES, COUNTY OF LOS ANGELES County, STATE OF CALIFORNIA		601 E. GLENOAKS BLVD, SUITE 208 GLENDALE, CALIFORNIA 91207 (818)243-0640 EMAIL: INFO@HENNON.COM WEB: HENNON.COM	

DATE: MARCH 30, 2021
SCALE: 1" = 16'
CONTOUR INTERVAL: N/A
PROJECT NO: 4020
SHEET TWO OF TWO SHEETS





RELEVANT
GROUP

RELEVANT OLIVE PARTNERS, LLC
1605 NORTH CAHUENGA BLVD.
HOLLYWOOD, CA 90028



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Los Angeles, California 90071
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Fax 213.327.3601

△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
SITE PLAN

 PROJECT NORTH

Scale
1" = 20'

A1.01

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NOT FOR
CONSTRUCTION

Project Name

845 OLIVE STREET

Project Number

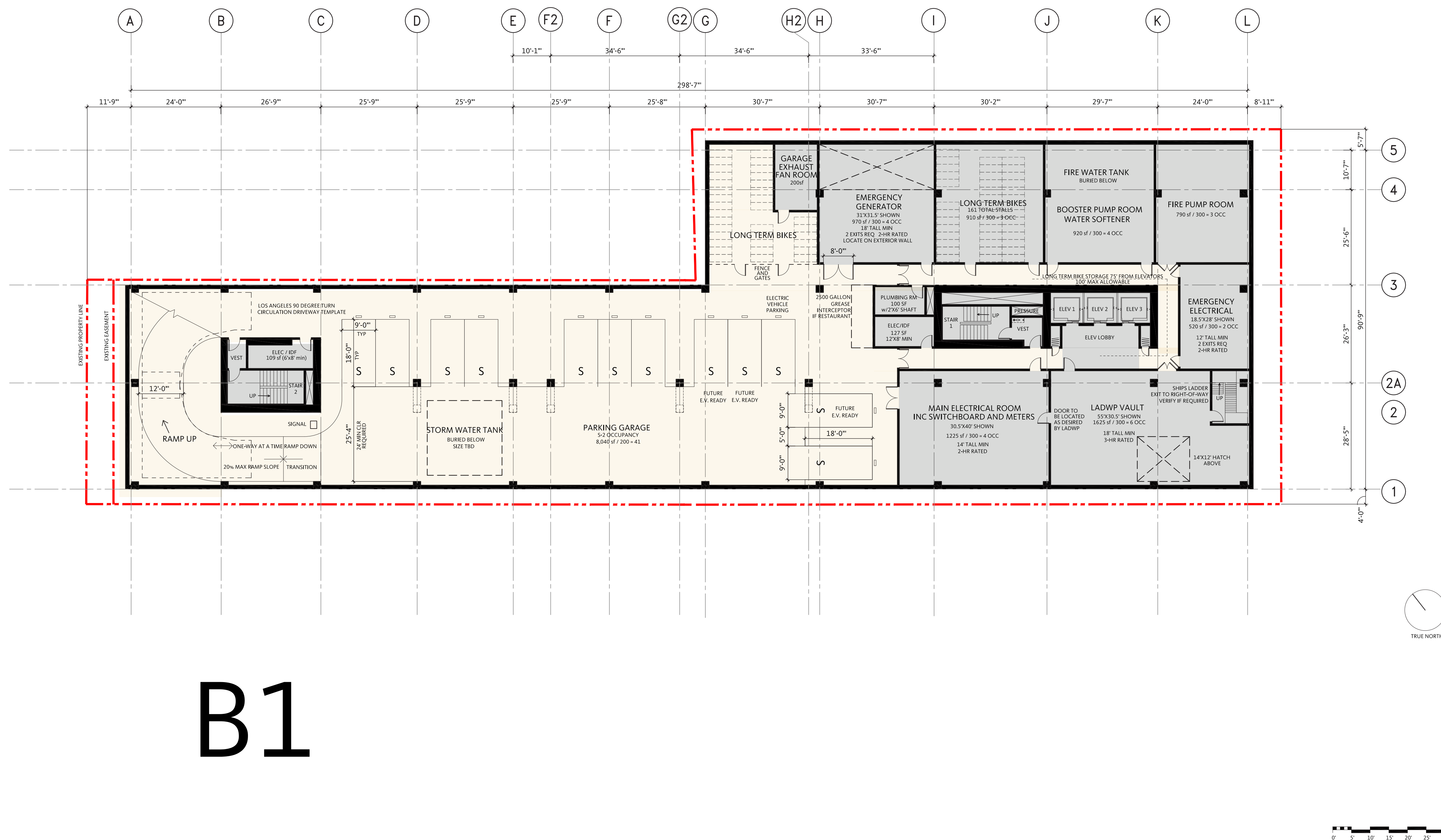
Description
FLOOR PLAN - LEVEL B1

Scale

$1/16" = 1'-0"$

A2.00

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11/05/21	ENTITLEMENT SUBMITTAL

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CONSTRUCTION

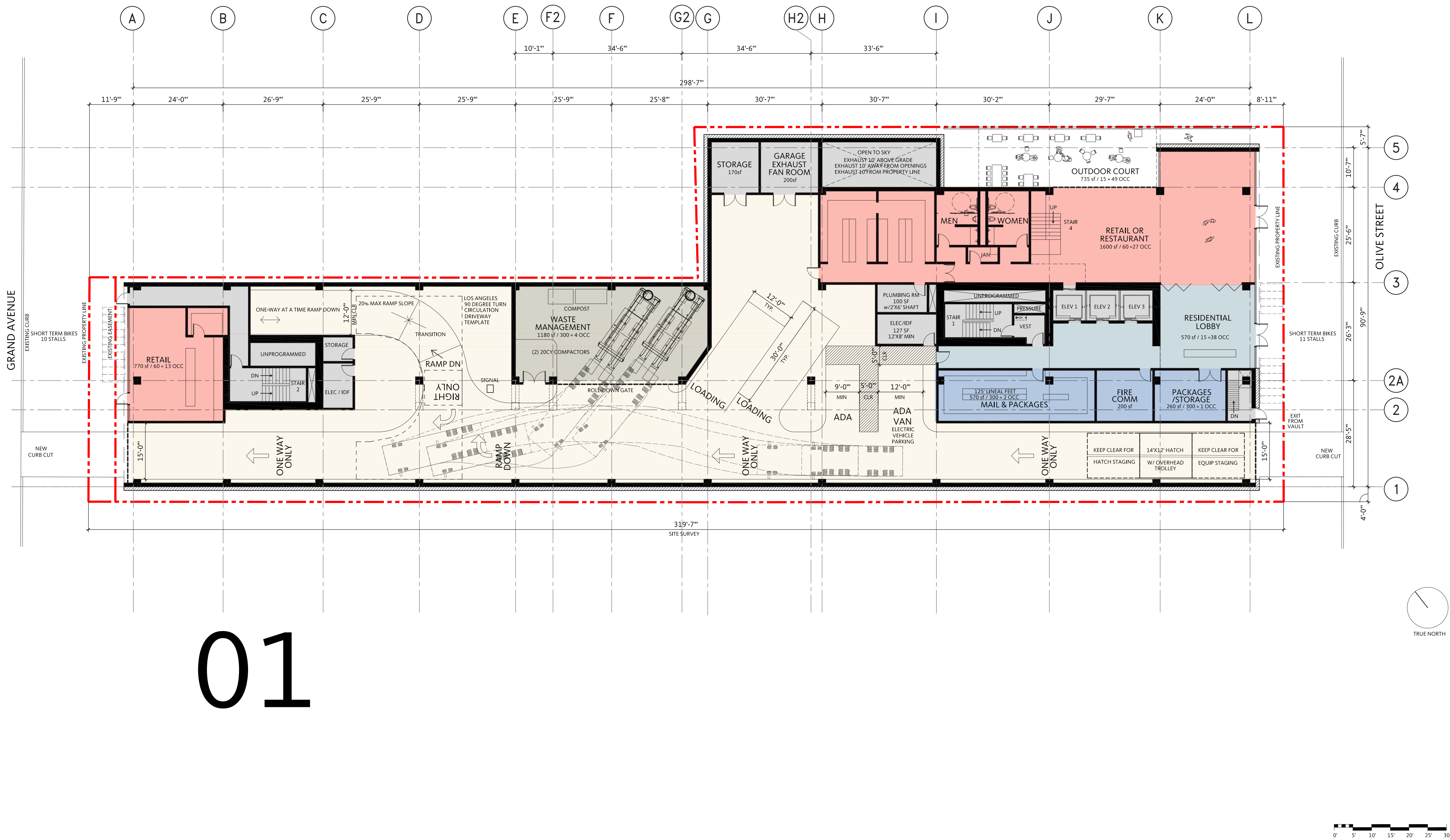
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 01

Scale
1/16" = 1'-0"

A2.01



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CONSTRUCTION

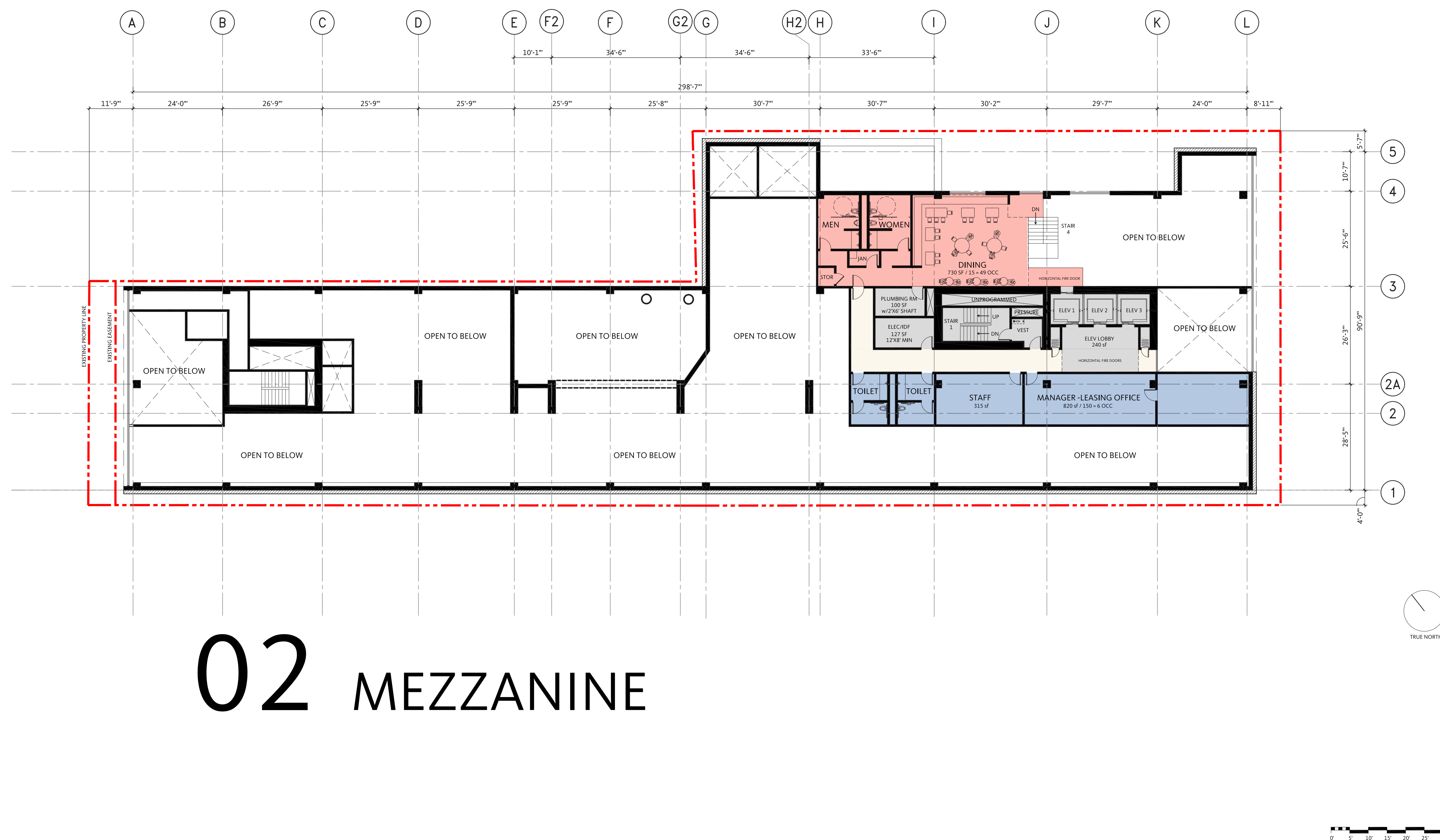
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 2 MEZZANINE

Scale
1/16" = 1'-0"

A2.02



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Date	Description
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CONSTRUCTION

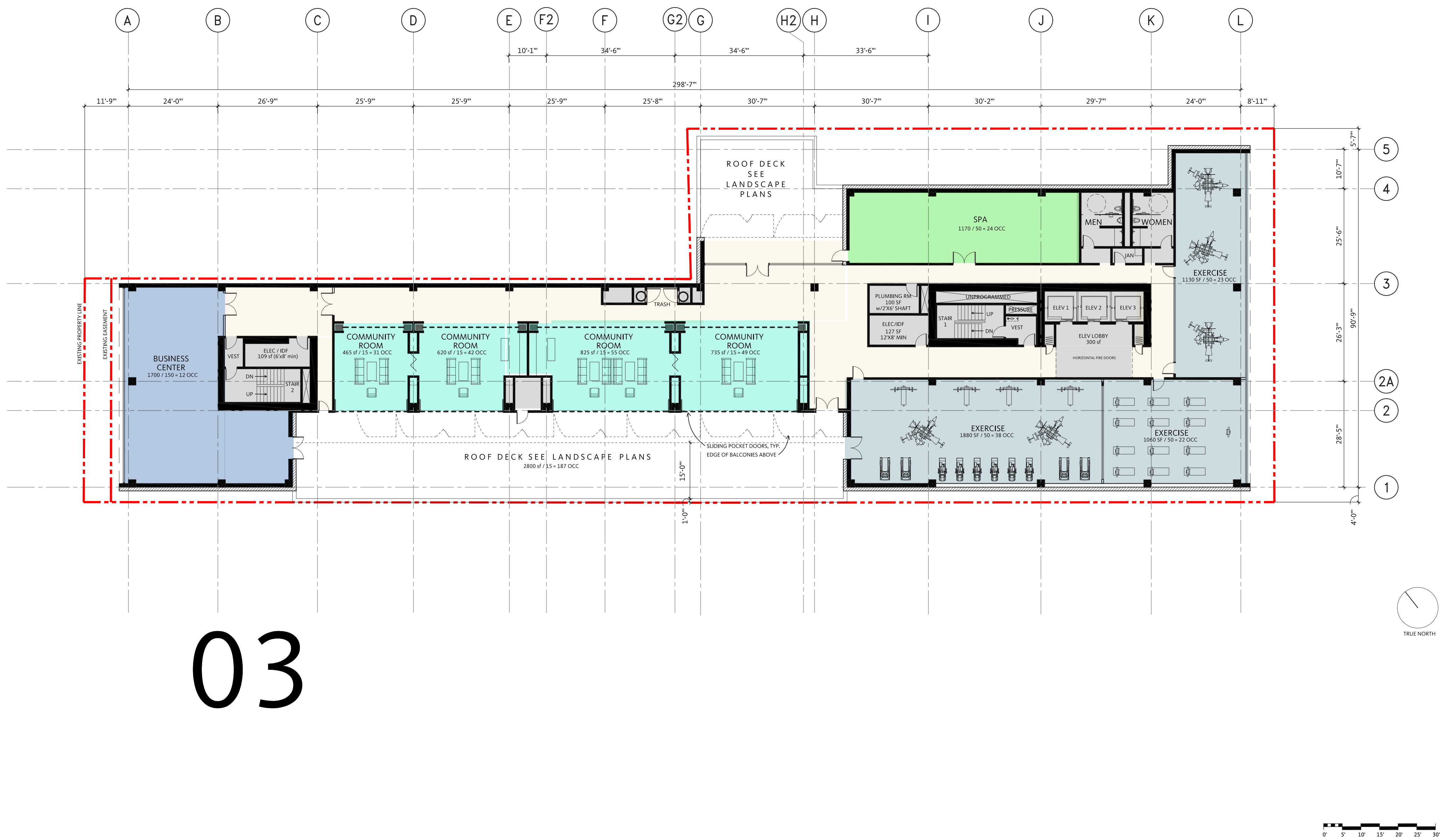
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 03

Scale
1/16" = 1'-0"

A2.03



Date	Description
11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

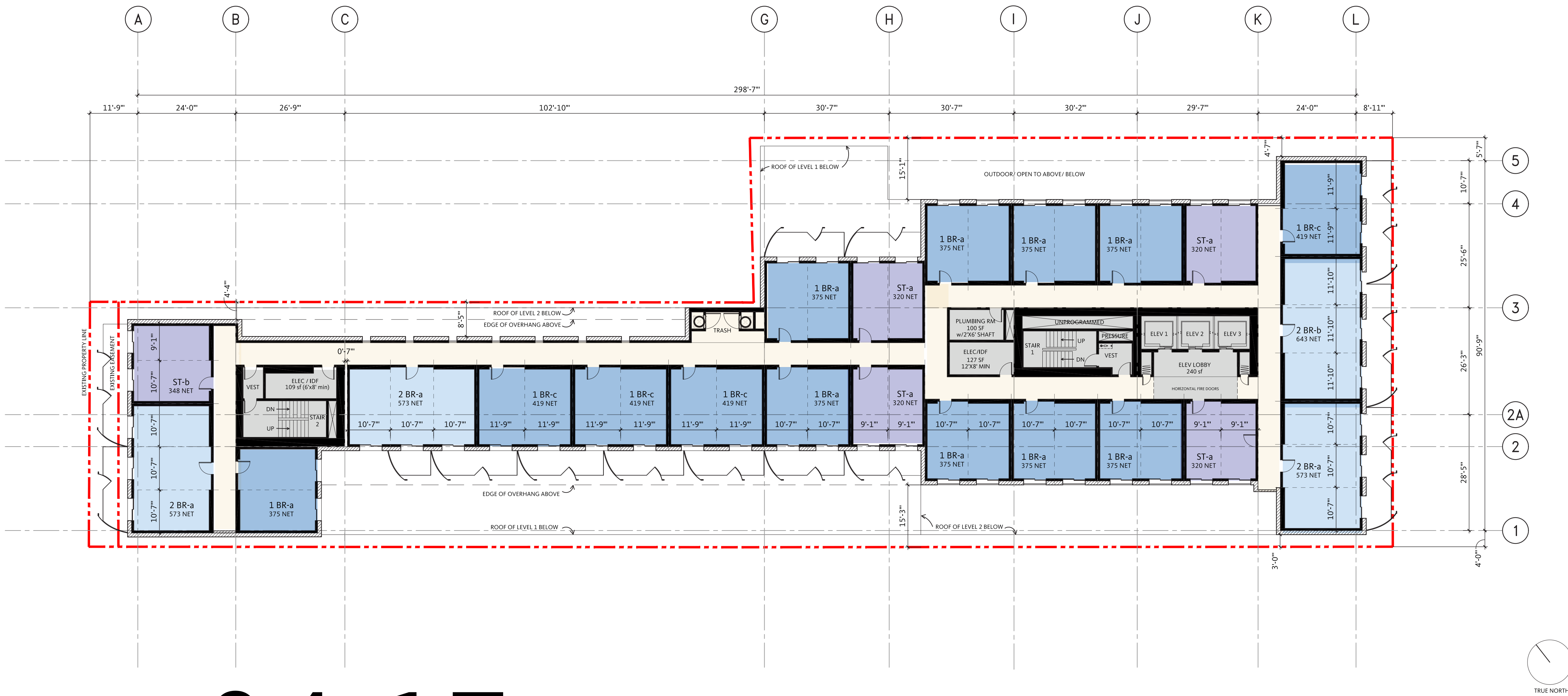
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 04-17

Scale
1/16" = 1'-0"

A2.04



04-17

75
194
60
329

23%	STUDIO	(60) ST-A (15) ST-B
59%	1 BED	(134) 1BR-A (60) 1BR-C
18%	2 BED	(45) 2BR-A (15) 2BR-B



△ Date	Description
11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

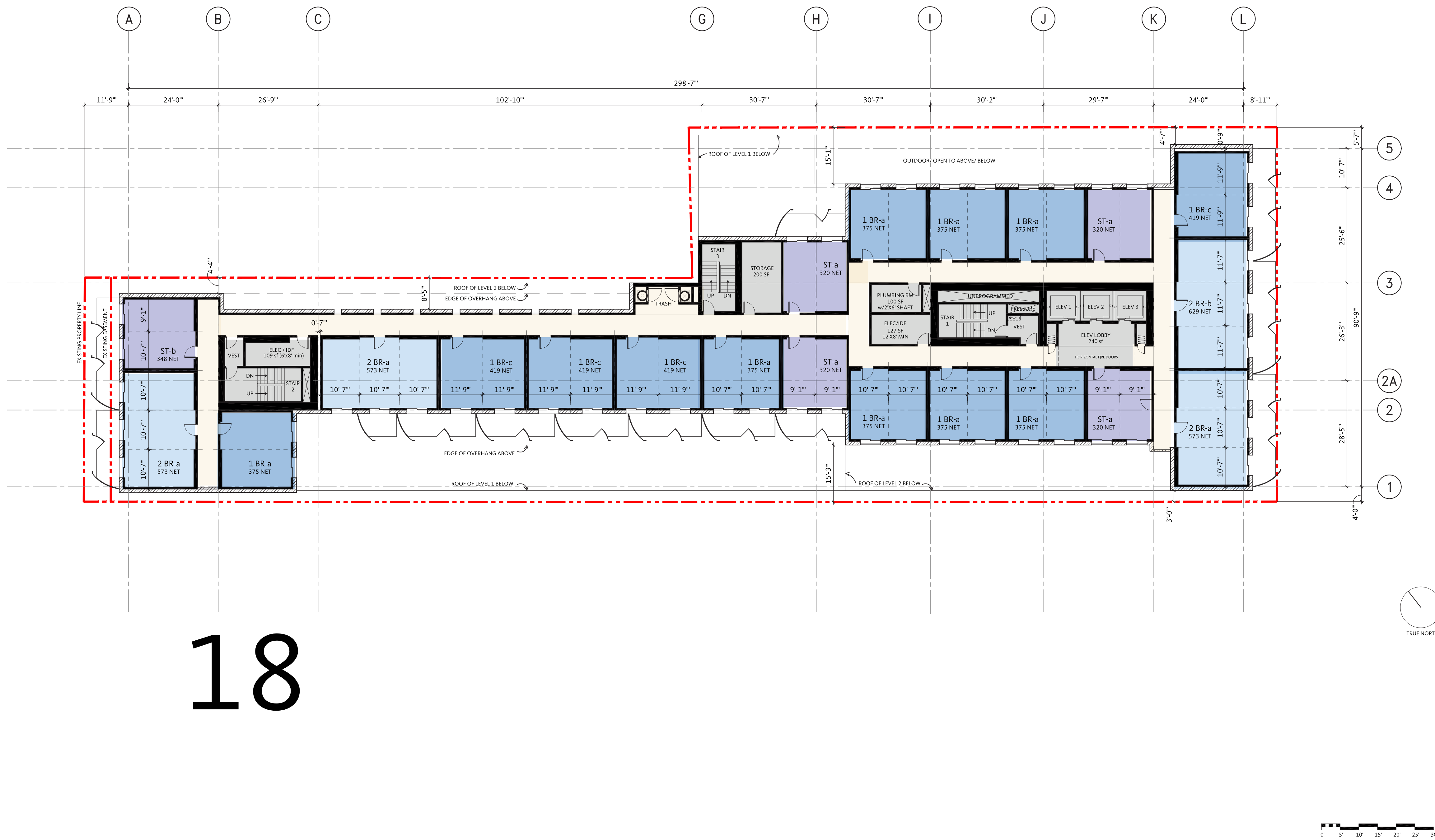
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 18

Scale
1/16" = 1'-0"

A2.05



Date	Description
11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

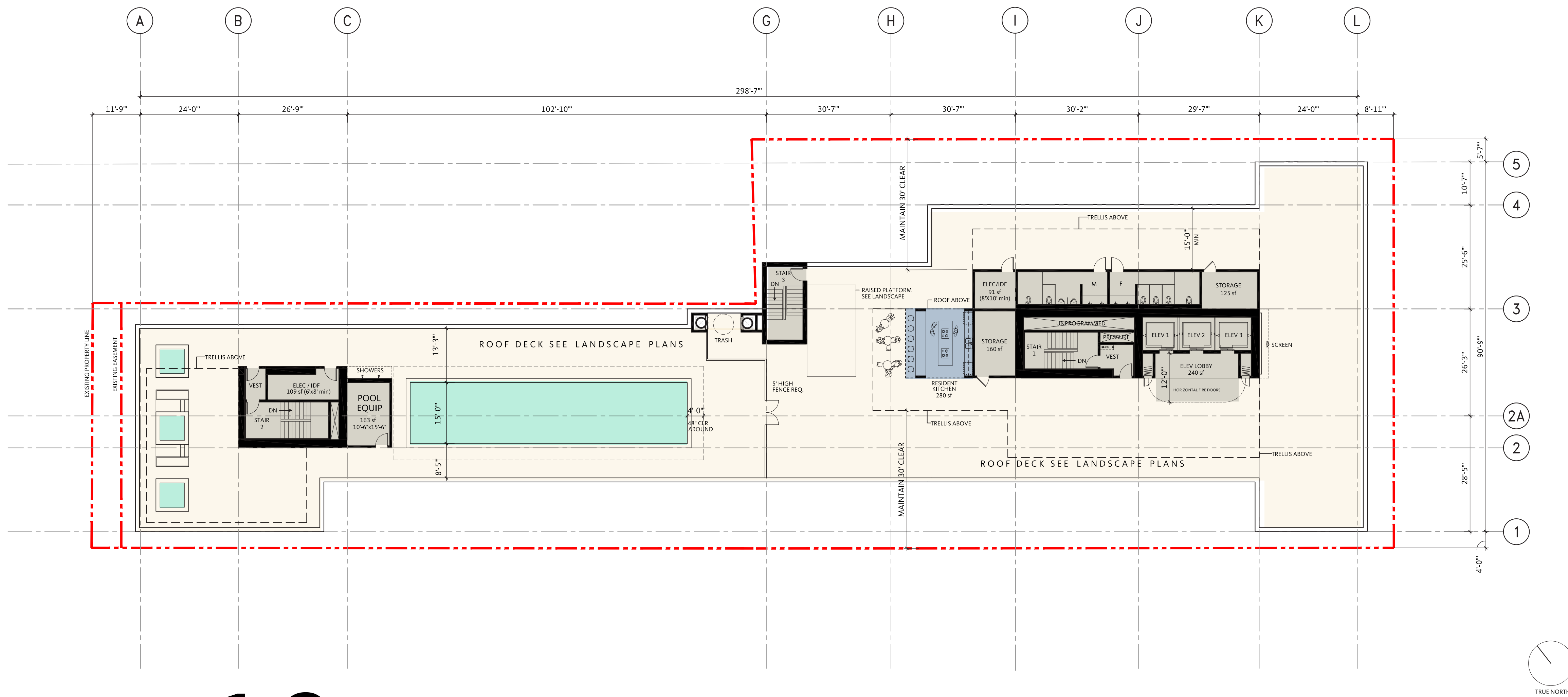
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
FLOOR PLAN - LEVEL 19 ROOF DECK

Scale
1/16" = 1'-0"

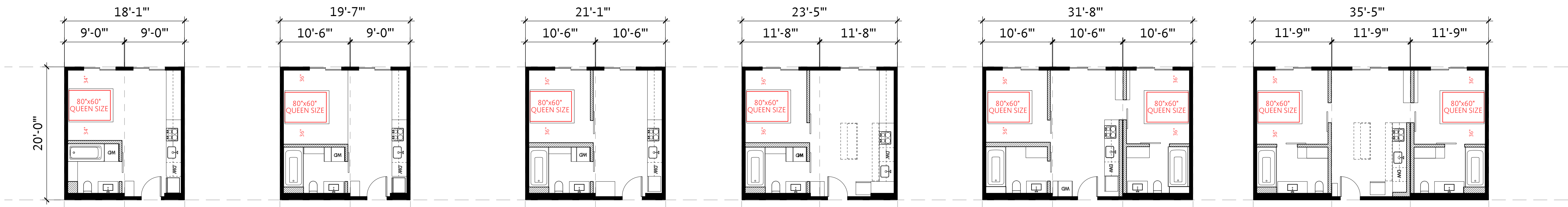
A2.06



19 ROOF



△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL



ST-A STUDIO - SMALL	ST-B STUDIO - LARGE	1BR-A 1 BED - SMALL	1BR-C 1 BED - LARGE	2BR-A 2 BED - SMALL	2BR-B 2 BED - LARGE
320 NET TO INSIDE FACE OF EXTERIOR WALL	348 NET TO INSIDE FACE OF EXTERIOR WALL	375 NET TO INSIDE FACE OF EXTERIOR WALL	419 NET TO INSIDE FACE OF EXTERIOR WALL	573 NET TO INSIDE FACE OF EXTERIOR WALL	643 NET TO INSIDE FACE OF EXTERIOR WALL
362 SF GROSS TO OUTSIDE WALL	392 SF GROSS TO OUTSIDE WALL	422 SF GROSS TO OUTSIDE WALL	468 SF GROSS TO OUTSIDE WALL	633 SF GROSS TO OUTSIDE WALL	708 SF GROSS TO OUTSIDE WALL

Seal / Signature

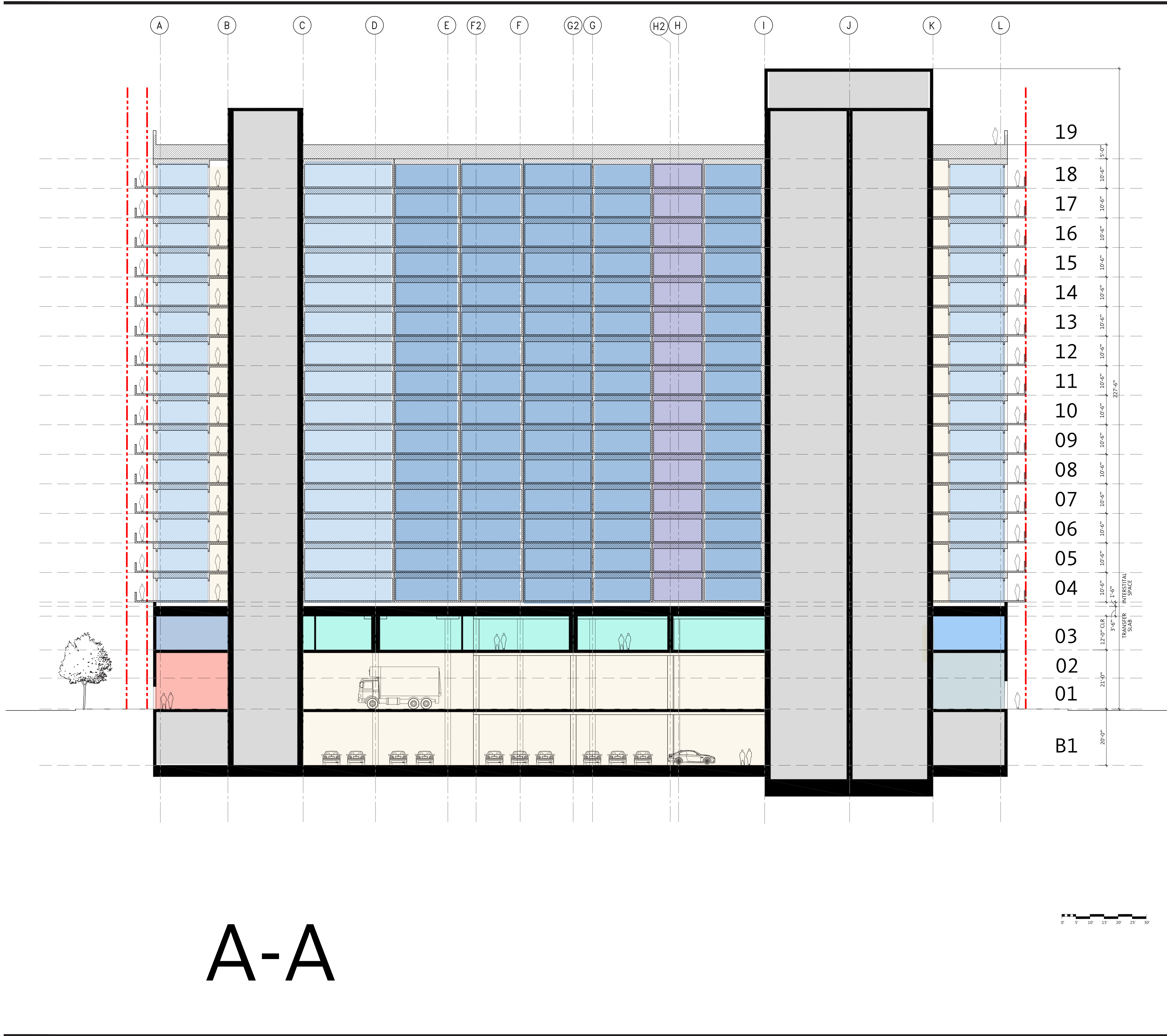
NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
UNIT PLANS

Scale



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Date	Description
11/05/21	ENTITLEMENT SUBMITTAL

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NOT FOR
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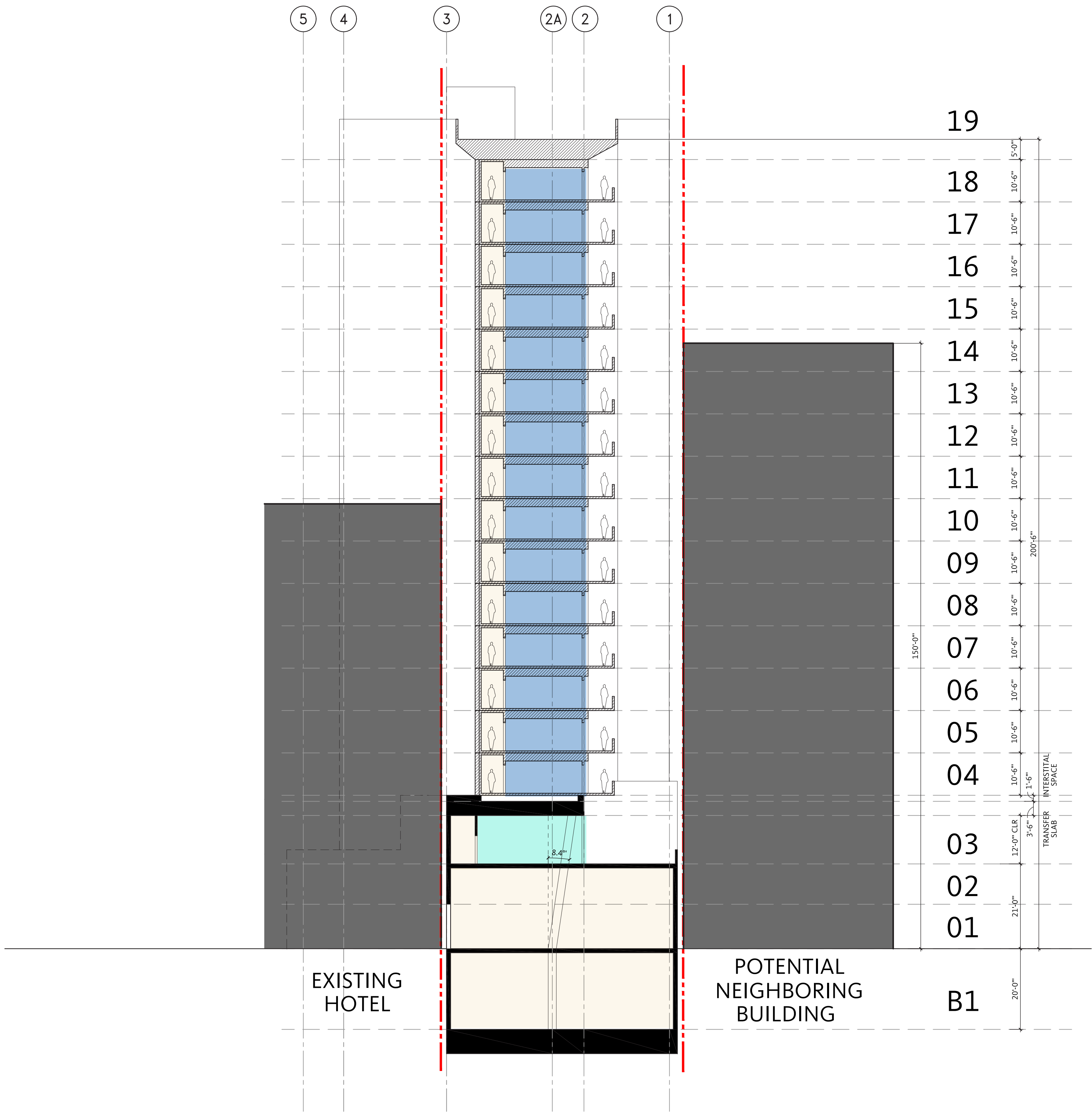
Project Name
845 OLIVE STREET

Project Number
05.3670.000

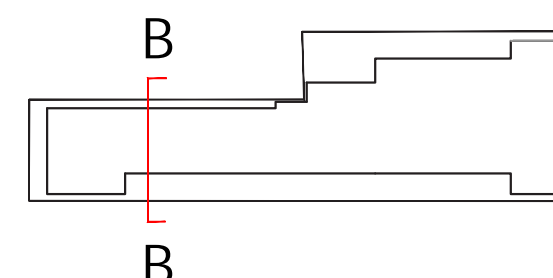
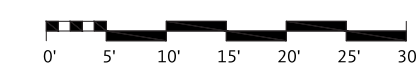
Description
SECTION A-A

Scale
1/16" = 1'-0"

A3.01



B-B



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△	11/05/21	ENTITLEMENT SUBMITTAL

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NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

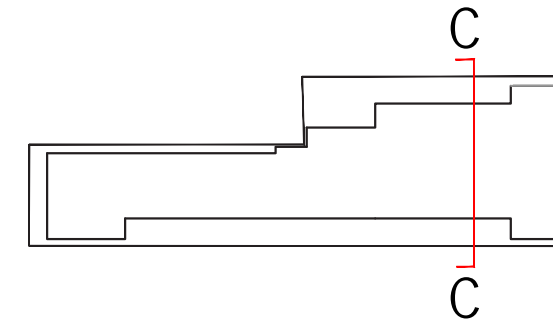
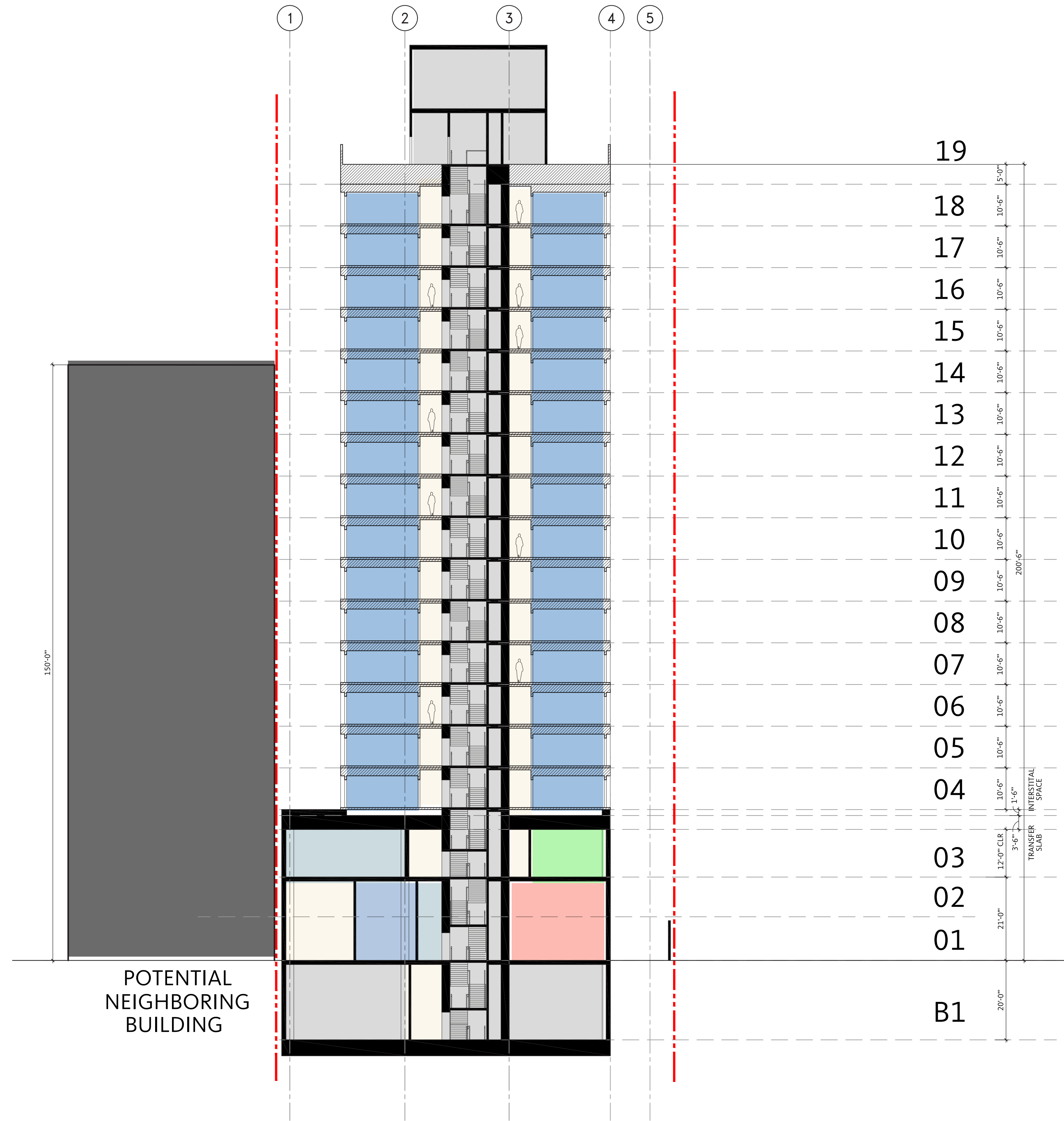
Project Number
05.3670.000

Description
SECTION B-B

Scale
1/16" = 1'-0"

A3.02

C-C



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△	11/05/21	ENTITLEMENT SUBMITTAL

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NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
SECTION C-C

Scale
1/16" = 1'-0"

A3.03

△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL

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CONSTRUCTION

Project Name

845 OLIVE STREET

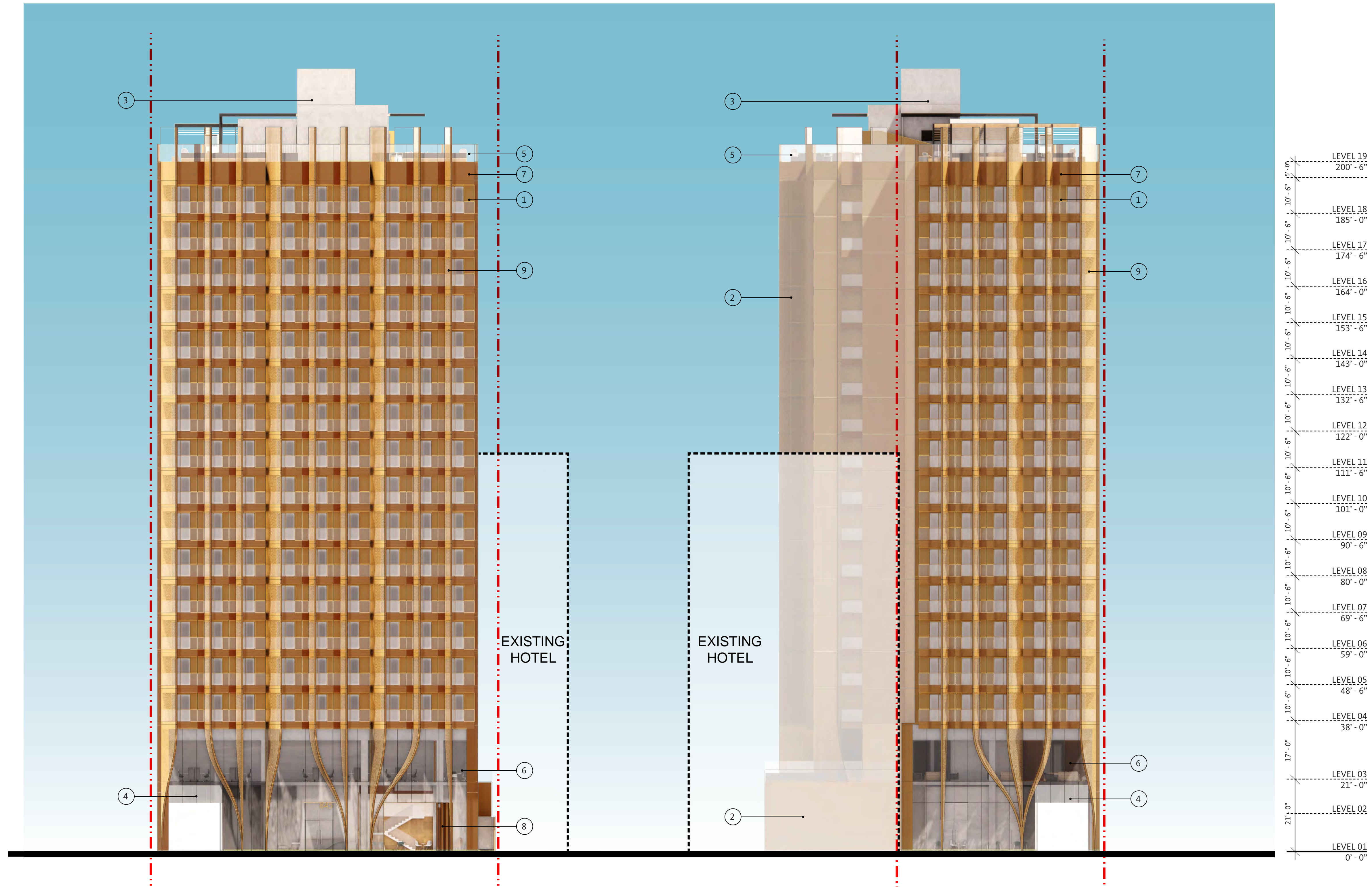
Project Number

05.3670.000

Description

BUILDING ELEVATIONS
EAST AND WEST

Scale



△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL

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CONSTRUCTION

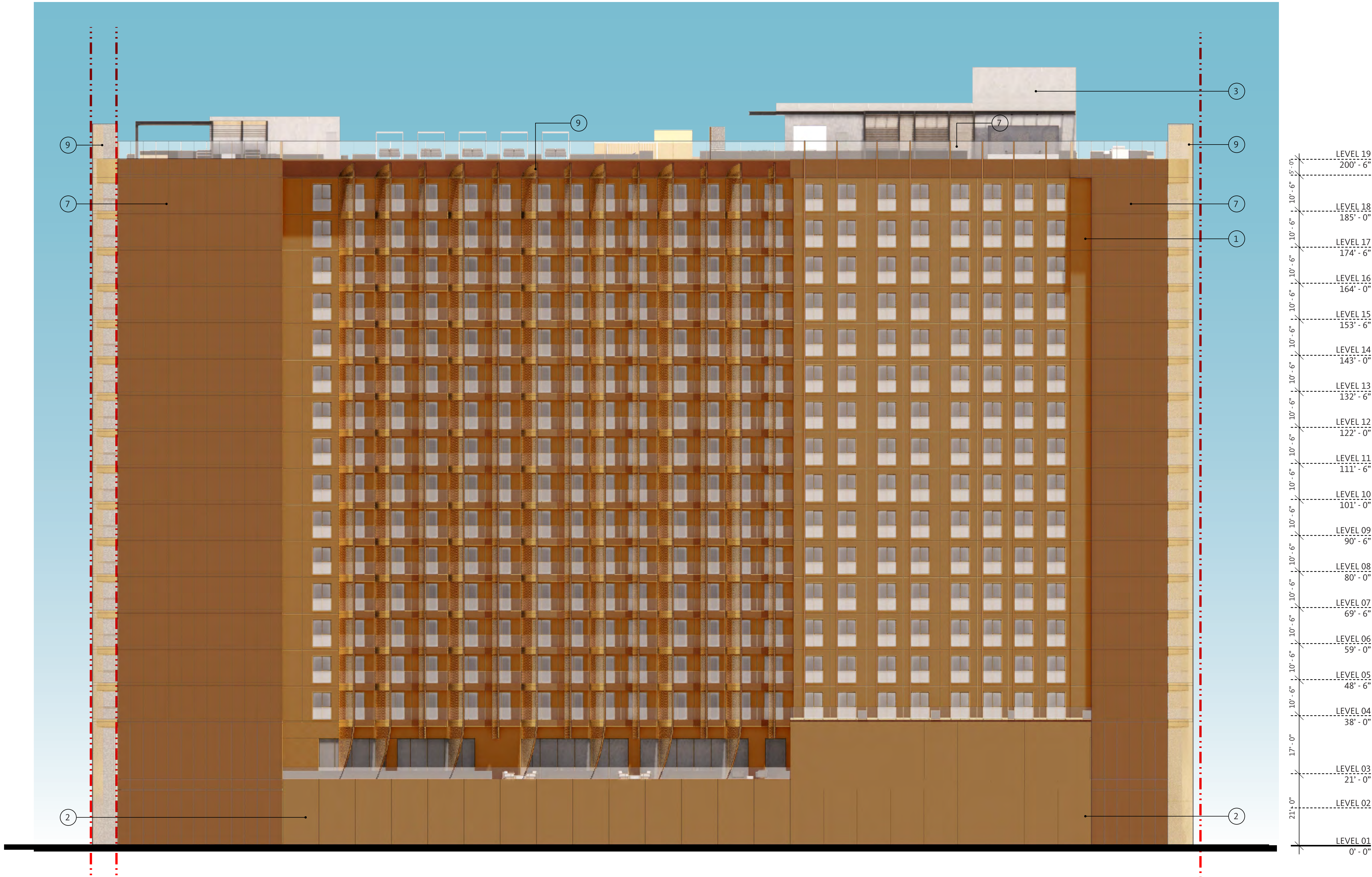
Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
BUILDING ELEVATIONS
SOUTH

Scale

A4.02



SOUTH ELEVATION

△	Date	Description
▲	11/05/21	ENTITLEMENT SUBMITTAL

Seal / Signature

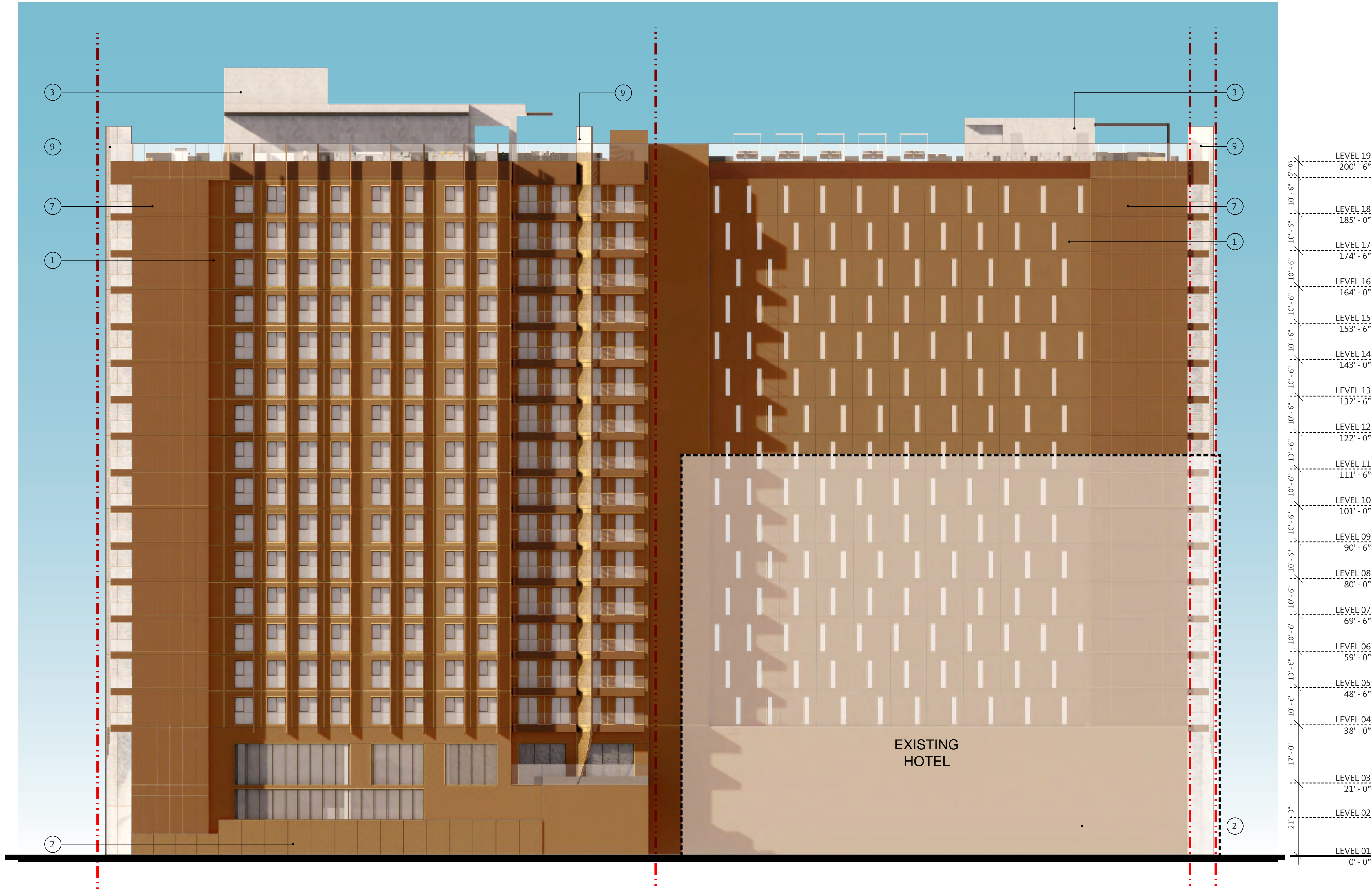
NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
BUILDING ELEVATIONS
NORTH

Scale



NORTH ELEVATION

△	Date	Description
△	11/05/21	ENTITLEMENT SUBMITTAL



9. PERFORATED METAL SCREEN



6. STRUCTURAL GLASS WALL



3. EXPOSED CONCRETE



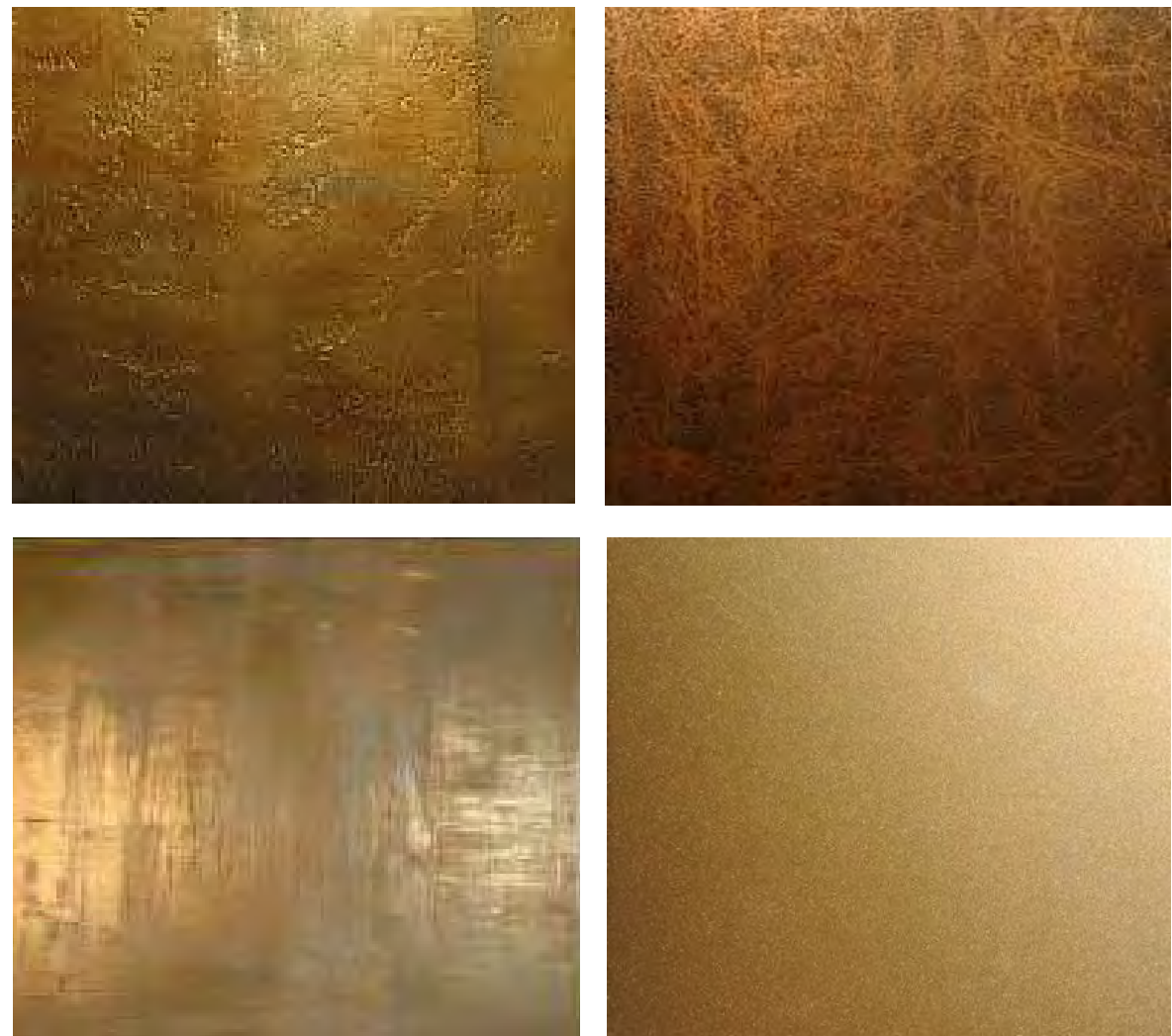
8. FOLDING GLASS DOOR SYSTEM



5. GLASS GUARDRAIL



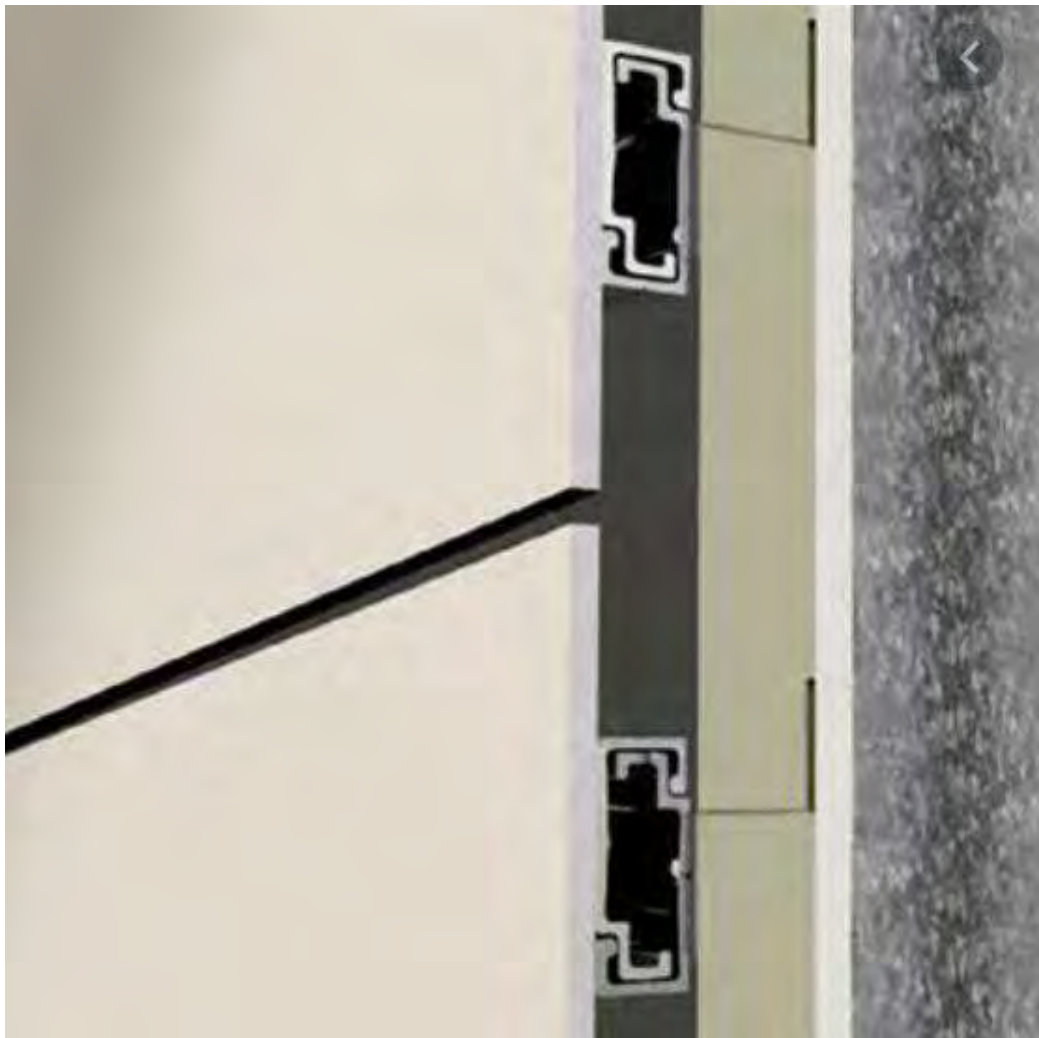
2. GLAZED CONCRETE MASONRY UNIT



7. BRONZE-COLORED METAL PANEL



4. TINT GLAZING



1. ULTRA HIGH PERFORMANCE
CONCRETE PANEL

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description
EXTERIOR MATERIALS

Scale

A5.00

LEVEL ROOF

FINISHING SCHEDULE

KEY	SYMBOL / PATTERN	MATERIAL / DESCRIPTION	COLOR/ FINISH
P-11		DECORATIVE PAVING A - CONCRETE PAVERS ON PEDESTAL SYSTEM	INTEGRAL COLOR FINISH: LOW TEXTURED TERAZZO
P-12		DECORATIVE PAVING B - CONCRETE PAVERS ON PEDESTAL SYSTEM	PINK INTEGRAL COLOR FINISH: EXPOSED AGGREGATE TERAZZO

WALL & BENCH SCHEDULE

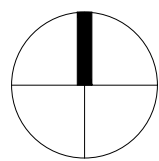
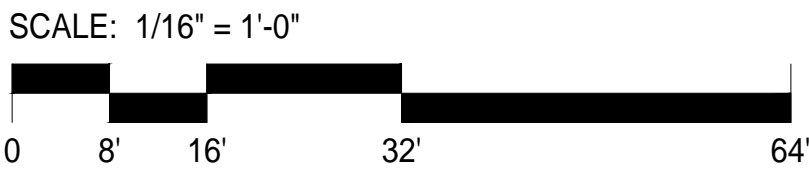
KEY	MATERIAL / DESCRIPTION	COLOR/ FINISH
W-7	CAST IN PLACE CONCRETE - BENCH	PINK INTEGRAL COLOR FINISH: EXPOSED AGGREGATE TERAZZO

SITE AMENITY

KEY	DESCRIPTION	COLOR/ FINISH
S-6	ALUMINUM PLANTER	STAINLESS STEEL POLISH FINISH: ANGEL HAIR

LEVEL 02			
FINISHING SCHEDULE			
KEY	SYMBOL / PATTERN	MATERIAL / DESCRIPTION	COLOR/ FINISH
P-6		DECORATIVE PAVING A - CONCRETE PAVERS ON PEDESTAL SYSTEM	INTEGRAL COLOR FINISH: LOW INTENSITY SEEDED AGGREGATE
P-7		DECORATIVE PAVING B - CONCRETE PAVERS ON PEDESTAL SYSTEM	INTEGRAL COLOR FINISH: MEDIUM INTENSITY SEEDED AGGREGATE
P-8		DECORATIVE PAVING C - CONCRETE PAVERS ON PEDESTAL SYSTEM	INTEGRAL COLOR FINISH: HIGH INTENSITY SEEDED AGGREGATE
P-9		DECORATIVE PAVING D - DECKING ON PEDESTAL SYSTEM	THERMORY ASH WOOD
P-10		DECORATIVE PAVING E - STONE PAVERS ON PEDESTAL SYSTEM	GRANITE HONED FINISH
CURB, WALL, & STAIR SCHEDULE			
KEY	MATERIAL / DESCRIPTION		COLOR/ FINISH
W-3	6" CONCRETE CURB		NATURAL GRAY FINISH: TOPCAST 3
W-4	CAST IN PLACE STAIRS		NATURAL GRAY FINISH: EXPOSED FELDSPAR, TOPCAST 3
W-5	CMU BLOCK WALL W/ DECORATIVE STONE CLADDING		SLATE FINISH: GROOVE TEXTURED
W-6	CMU BLOCK WALL W/ DECORATIVE STONE CLADDING		BASALT FINISH: HONED
SITE AMENITY			
KEY	DESCRIPTION		COLOR/ FINISH
S-4	WATER FEATURE A		CUSTOM CAST IN PLACE CONCRETE BASIN
S-5	WATER FEATURE B		CUSTOM CAST IN PLACE CONCRETE BASIN

STREETSCAPE / LEVEL 01			
FINISHING SCHEDULE			
KEY	SYMBOL / PATTERN	MATERIAL / DESCRIPTION	COLOR/ FINISH
P-1		VEHICULAR CONCRETE - PAVING AT ARRIVAL COURT	NATURAL GRAY FINISH: TOPCAST 3
P-2		PEDESTRIAN CONCRETE - PAVING AT STREETSCAPE	NATURAL GRAY FINISH: TOPCAST 3
P-3		PEDESTRIAN CONCRETE - DECORATIVE PAVING A	INTEGRAL COLOR FINISH: LOW INTENSITY SEEDED AGGREGATE
P-4		PEDESTRIAN CONCRETE - DECORATIVE PAVING B	INTEGRAL COLOR FINISH: MEDIUM INTENSITY SEEDED AGGREGATE
P-5		PEDESTRIAN CONCRETE - DECORATIVE PAVING C	INTEGRAL COLOR FINISH: HIGH INTENSITY SEEDED AGGREGATE
CURB, WALL, & RAMP SCHEDULE			
KEY	MATERIAL / DESCRIPTION		COLOR/ FINISH
W-1	6" CONCRETE CURB		NATURAL GRAY FINISH: TOPCAST 3
W-2	ACCESSIBLE RAMP W/ HANDRAIL		SLATE FINISH: GROOVE TEXTURED
SITE AMENITY			
KEY	DESCRIPTION		COLOR/ FINISH
S-1	GREEN WALL ASSEMBLY		COLOR: TBS
S-2	ART WALL		EXTRUDED MESH WALL WITH GRADIENT CHAIN
S-3	PLANTER WALL		COLOR: WHITE GFRC W/ FORMLINER



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SALT

SALT LANDSCAPE ARCHITECTS
423 GIN LING WAY
LOS ANGELES, CA 90012

T 213.234.0057
F 323.210.7044

SALT-LA.COM

△	Date	Description
	11/05/2021	ENTITLEMENT SUBMITTAL

Seal / Signature

NOT FOR
CONSTRUCTION

Project Name	845 OLIVE STREET
Project Number	05.3670.000
Description	LANDSCAPE HARDSCAPE SCHEDULE

Scale	1/16" = 1'-0"
-------	---------------

L-100

STREETSCAPE MATERIALS PALETTE



1 CONCRETE PAVING WITH PATTERNED SCORE JOINTS



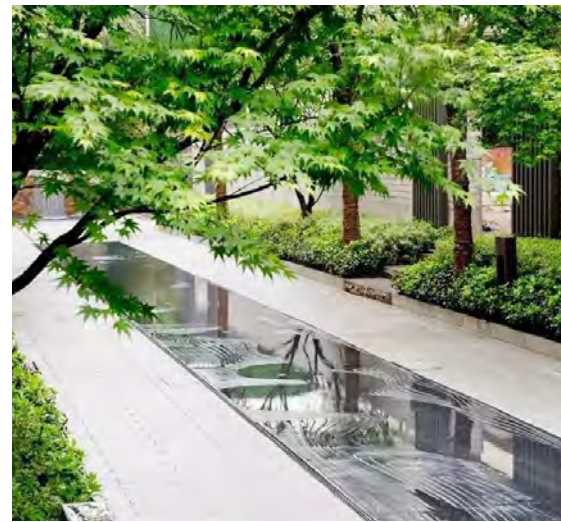
2 INTEGRAL COLORED CONCRETE PAVING



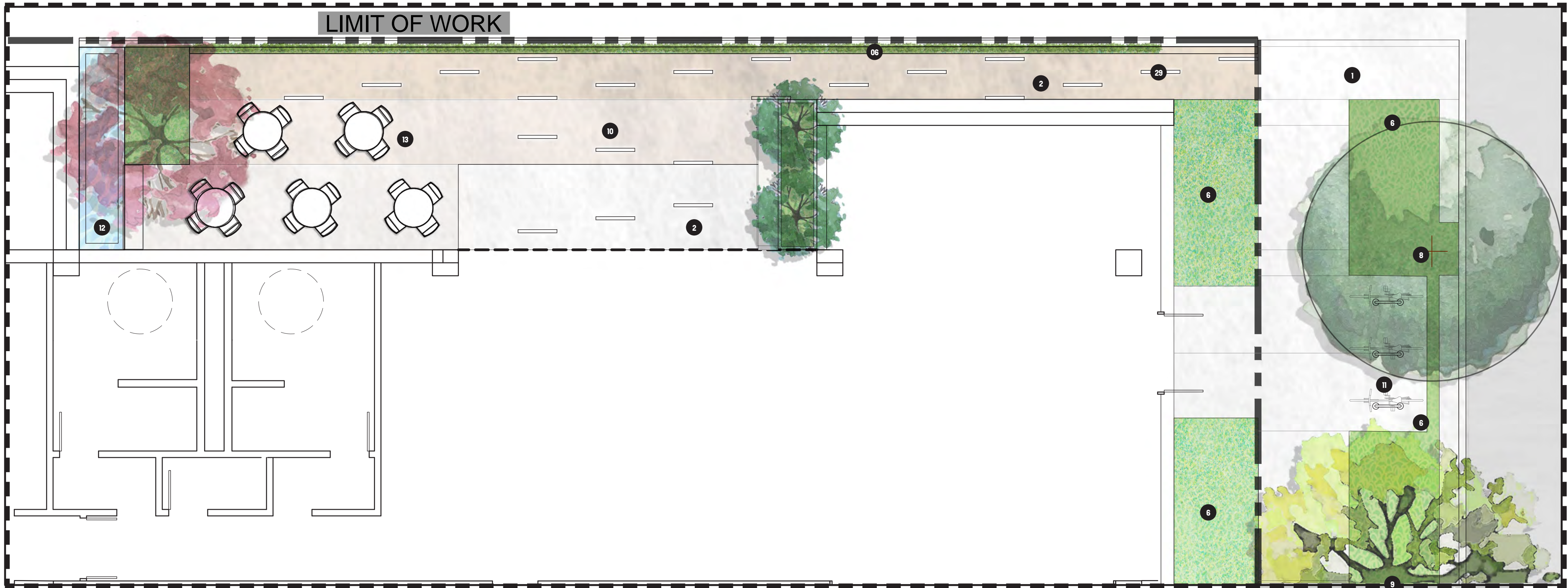
6 PARKWAY PLANTERS AND NEW STREET TREES



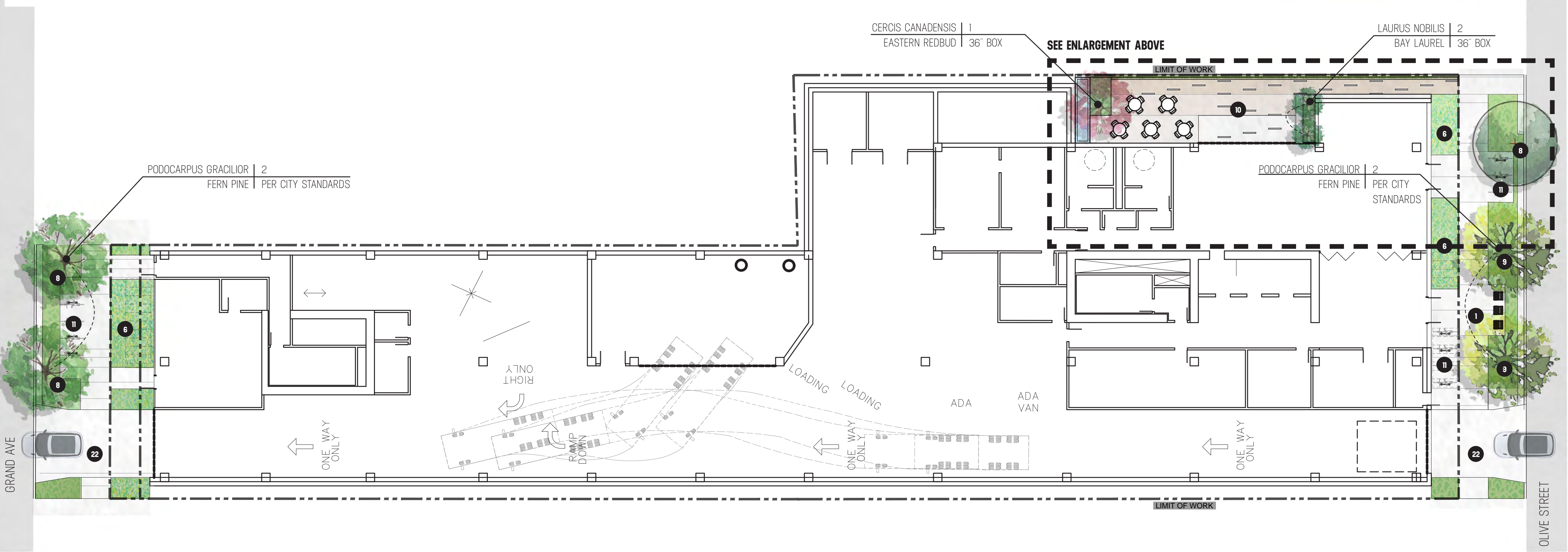
11 BICYCLE RACKS INTEGRATED WITH STREETSCAPE PLANTING



12 WATER FEATURES



ENLARGEMENT PLAN



STREETSCAPE PLANTING PALETTE



NEW STREET TREE SUGGESTED SPECIES
PODOCARPUS GRACILIOR FERN PINE TREE



"LITTLE OLIVE" OLIVE
OLEA EUROPAEA 'MONTRA'



BLONDE AMBITION BLUE GRAMA GRASS
BOUTELOUA GRACILIS 'BLONDE AMBITION'



CLEVELAND SAGE
SALVIA CLEVELANDII

COURTYARD PLANTING PALETTE



CERCIS CANADENSIS
EASTERN REDBUD



LADY PALM
RHAPS EXCELSA



MAIN PLANTER AREA: WINTERBORN PHILODENDRON
PHILODENDRON XANADU



SHIMMER CORAL BELLS
HEUCHERA 'SHIMMER'

- 1 CONCRETE SIDEWALK PER CITY STANDARD
- 2 CONCRETE PAVING WITH INTEGRAL COLOR
- 3 CONCRETE PEDESTAL PLANK PAVER
- 4 WOOD PEDESTAL PAVER
- 5 CONCRETE PEDESTAL PAVER
- 6 PLANTING AREA
- 7 STEEL PLANTER, RAISED
- 8 EXISTING STREET TREE
- 9 NEW STREET TREE
- 10 OUTDOOR DINING
- 11 BICYCLE RACK
- 12 WATER FEATURE
- 13 MOVABLE FURNISHINGS
- 14 TRELLIS
- 15 FIRE LOUNGE
- 16 POOL
- 17 POOL ENCLOSURE
- 18 MULTI-PURPOSE LAWN
- 19 OUTDOOR KITCHEN
- 20 WATER FEATURE
- 21 PROJECTION SCREEN
- 22 VEHICULAR ACCESS
- 23 BUILT-IN WOODEN BENCH
- 24 COLD PLUNGE
- 25 HOT PLUNGE
- 26 RAMP UP
- 27 GAME TERRACE
- 28 JACUZZI/SPA
- 29 IN GROUND LIGHTING BANDS
- 30 RAISED STAGE
- 31 TELEVISION
- 32 FESTOON LIGHTING
- 33 GRILL



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11/05/2021	ENTITLEMENT SUBMITTAL

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NOT FOR
CONSTRUCTION

Project Name

845 OLIVE STREET

Project Number

05.3670.000

Description

LANDSCAPE
LEVEL 01 / STREETSCAPE

Scale

1/16" = 1'-0"

L-110

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LEVEL 02 MATERIAL PALETTE



5 CONCRETE PEDESTAL PAVER



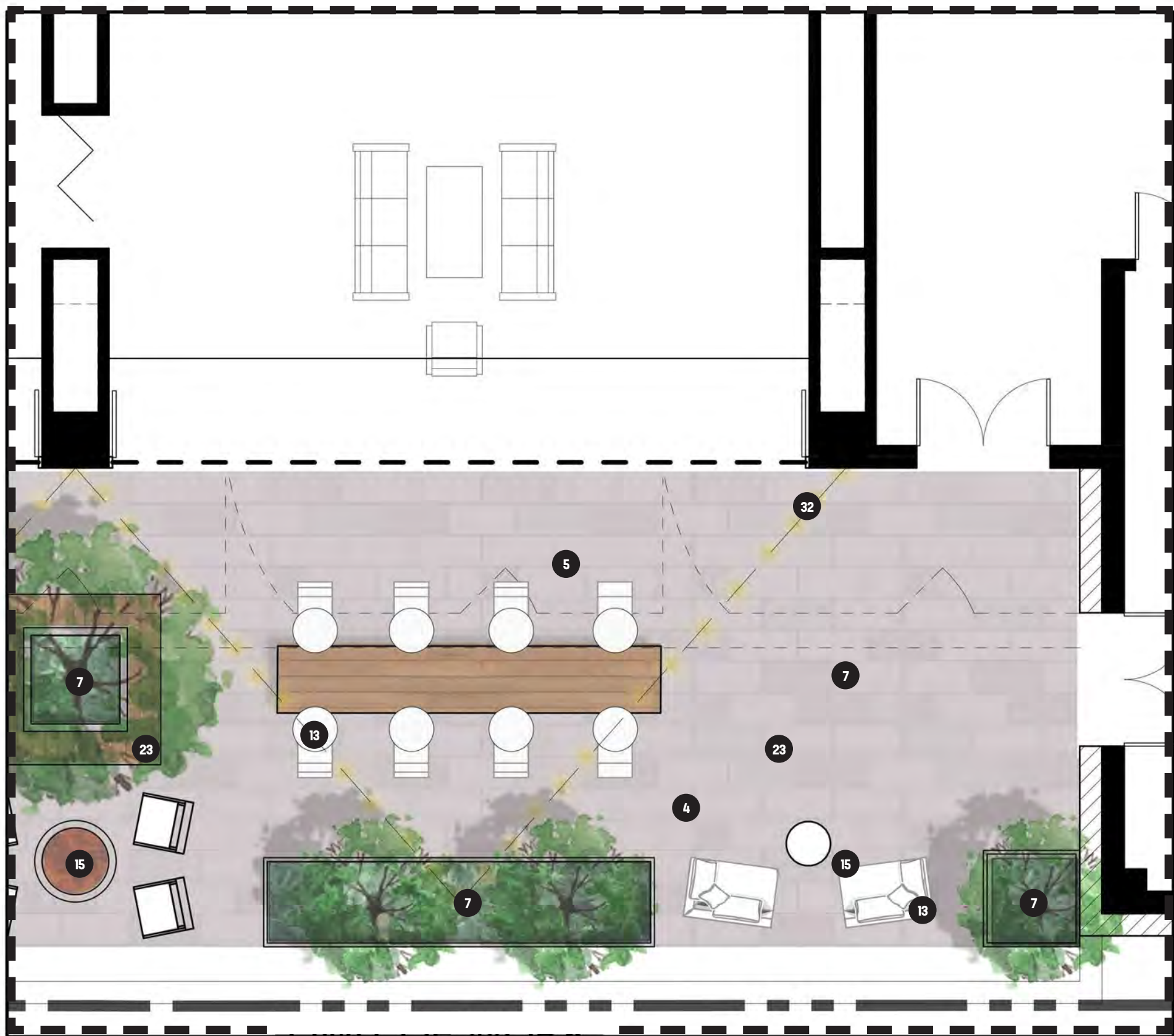
4 WOOD PEDESTAL PAVER



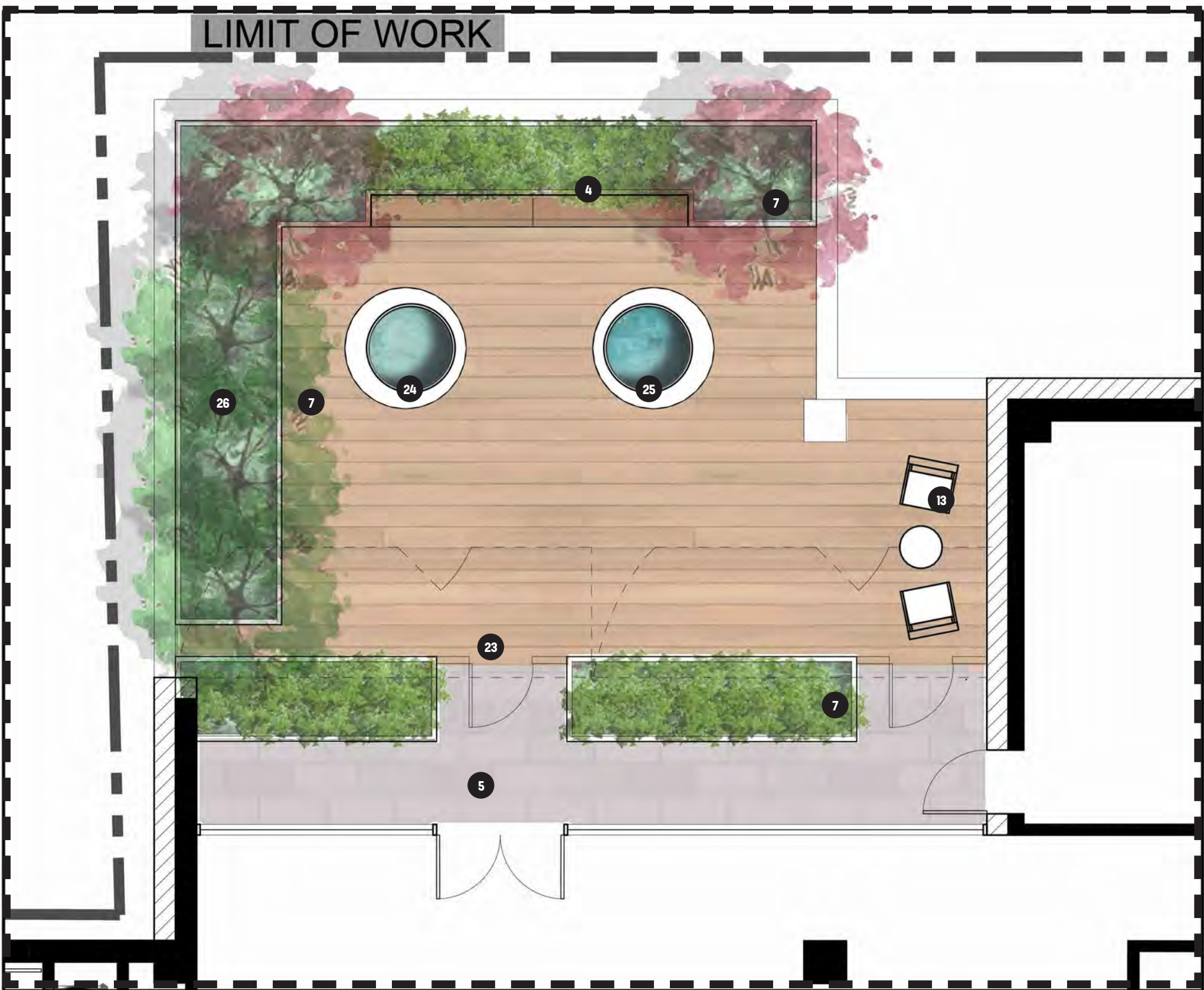
7 STEEL PLANTER, RAISED



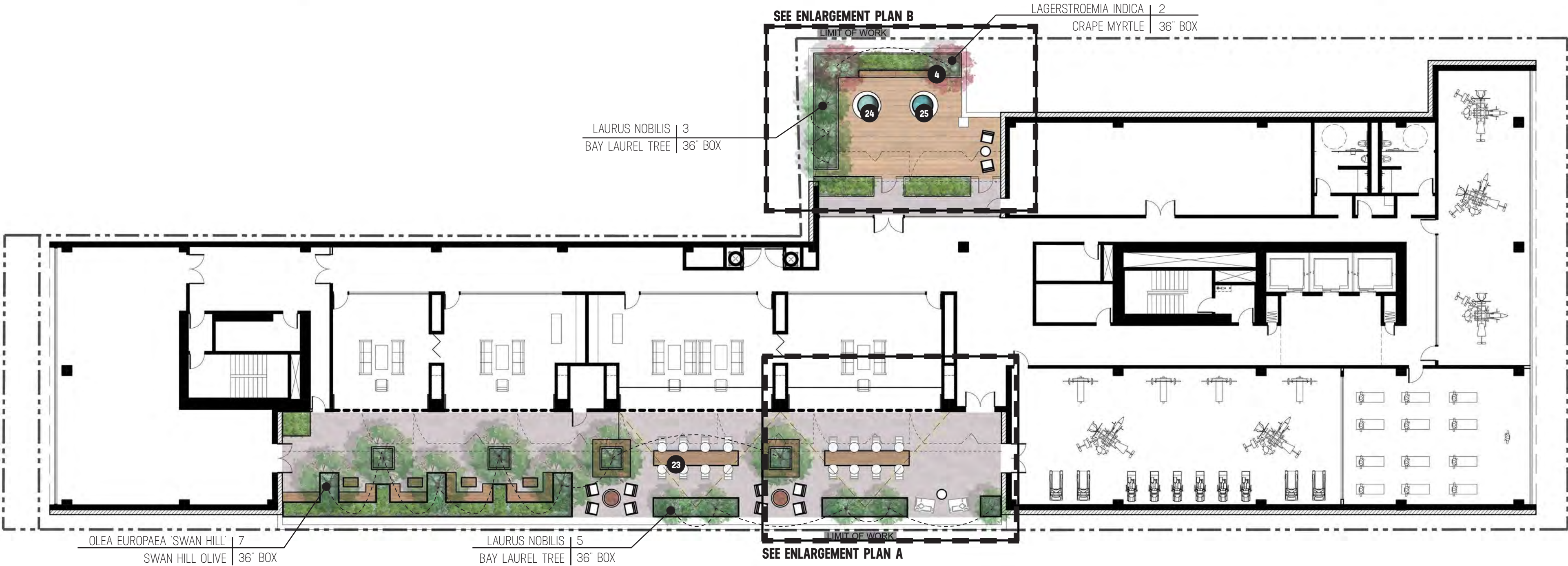
24 HOT AND COLD PLUNGE FEATURES



ENLARGEMENT PLAN A



ENLARGEMENT PLAN B



LEVEL 02 PLANTING PALETTE



LAGERSTROEMIA INDICA
GRAPE MYRTLE



OLEA EUROPAEA 'SWAN HILL'
SWAN HILL OLIVE



LAURUS NOBILIS
BAY LAUREL TREE



RHAPIS EXCELSA
LADY PALM



LOMANDRA LONGIFOLIA 'BREEZE'
DWARF MAT RUSH

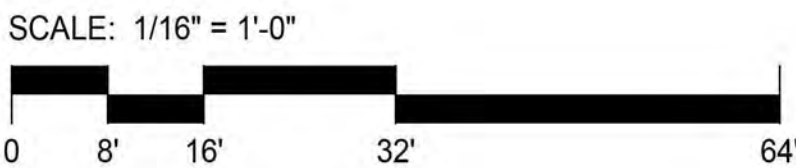


PHILODENDRON XANADU
WINTERBORN PHILODENDRON



HEUCHERA
PURPLE CORAL BELLS

- 1 CONCRETE SIDEWALK PER CITY STANDARD
- 2 CONCRETE PAVING WITH INTEGRAL COLOR
- 3 CONCRETE PEDESTAL PLANK PAVER
- 4 WOOD PEDESTAL PAVER
- 5 CONCRETE PEDESTAL PAVER
- 6 PLANTING AREA
- 7 STEEL PLANTER, RAISED
- 8 EXISTING STREET TREE
- 9 NEW STREET TREE
- 10 OUTDOOR DINING
- 11 BICYCLE RACK
- 12 WATER FEATURE
- 13 MOVABLE FURNISHINGS
- 14 TRELLIS
- 15 FIRE LOUNGE
- 16 POOL
- 17 POOL ENCLOSURE
- 18 MULTI-PURPOSE LAWN
- 19 OUTDOOR KITCHEN
- 20 WATER FEATURE
- 21 PROJECTION SCREEN
- 22 VEHICULAR ACCESS
- 23 BUILT-IN WOODEN BENCH
- 24 COLD PLUNGE
- 25 HOT PLUNGE
- 26 RAMP UP
- 27 GAME TERRACE
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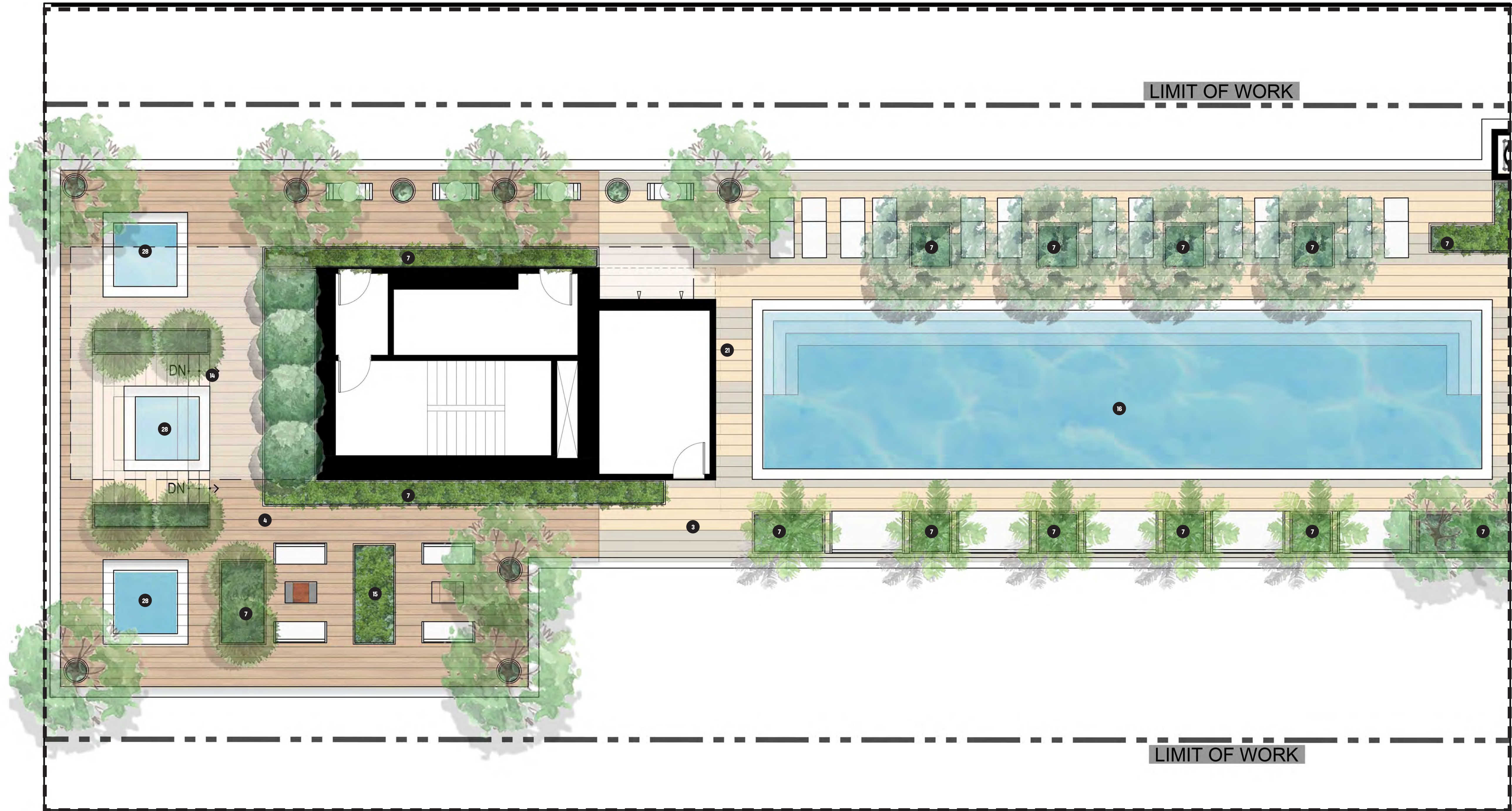
Project Name
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Project Number
05.3670.000

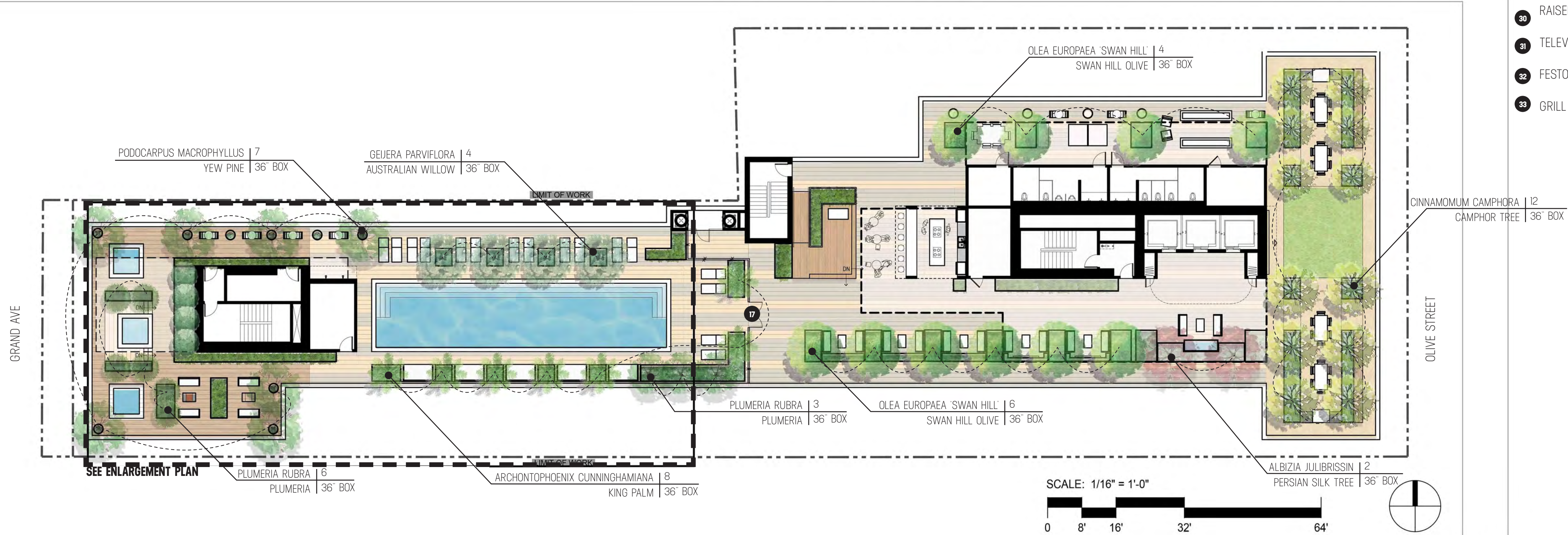
Description
LANDSCAPE
LEVEL 03

Scale
1/16" = 1'-0"

L-111



ENLARGEMENT PLAN



- 1 CONCRETE SIDEWALK PER CITY STANDARD
- 2 CONCRETE PAVING WITH INTEGRAL COLOR
- 3 CONCRETE PEDESTAL PLANK PAVER
- 4 WOOD PEDESTAL PAVER
- 5 CONCRETE PEDESTAL PAVER
- 6 PLANTING AREA
- 7 STEEL PLANTER, RAISED
- 8 EXISTING STREET TREE
- 9 NEW STREET TREE
- 10 OUTDOOR DINING
- 11 BICYCLE RACK
- 12 WATER FEATURE
- 13 MOVABLE FURNISHINGS
- 14 TRELLIS
- 15 FIRE LOUNGE
- 16 POOL
- 17 POOL ENCLOSURE
- 18 MULTI-PURPOSE LAWN
- 19 OUTDOOR KITCHEN
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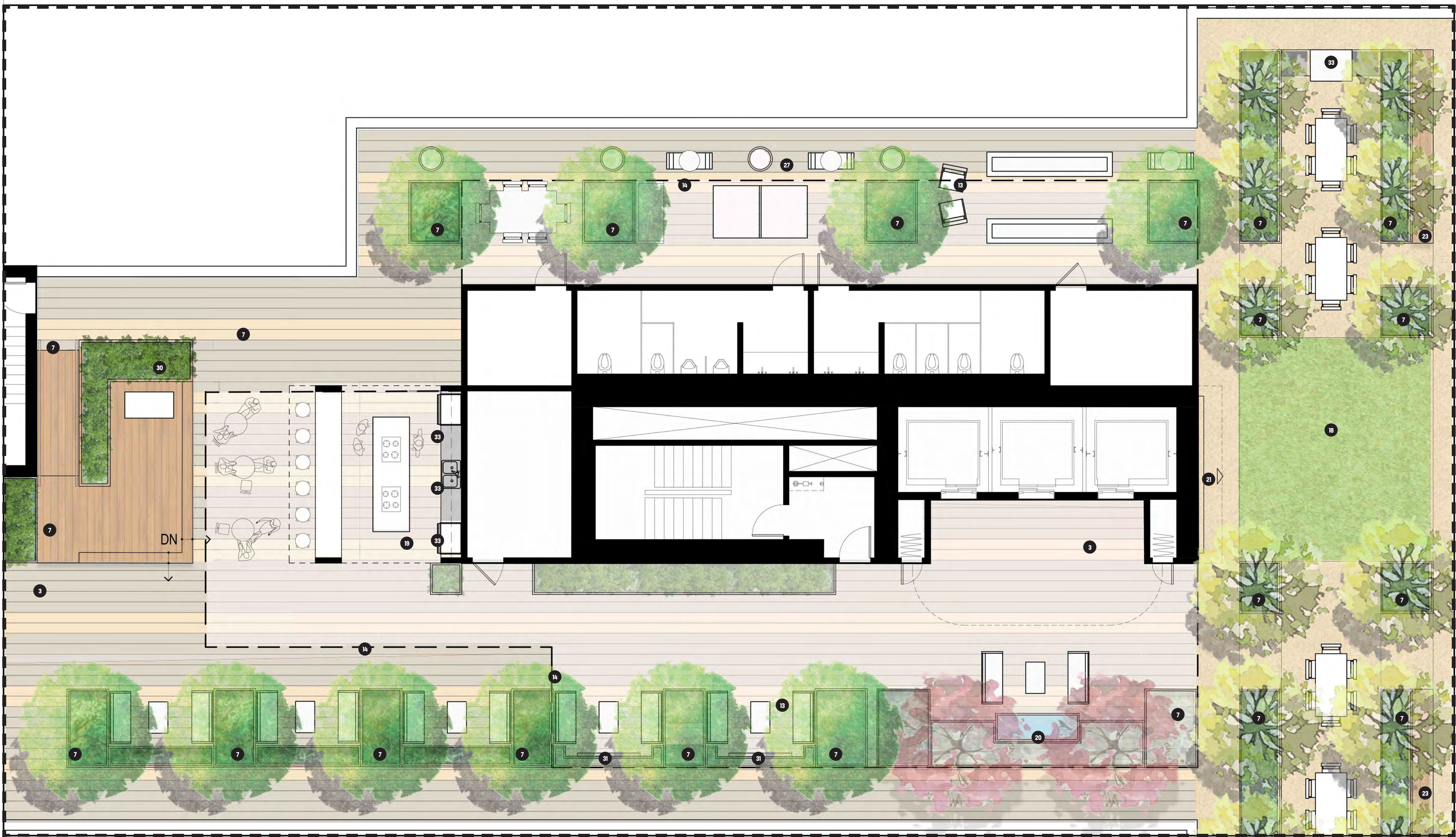
Project Name
845 OLIVE STREET

Project Number
05.3670.000

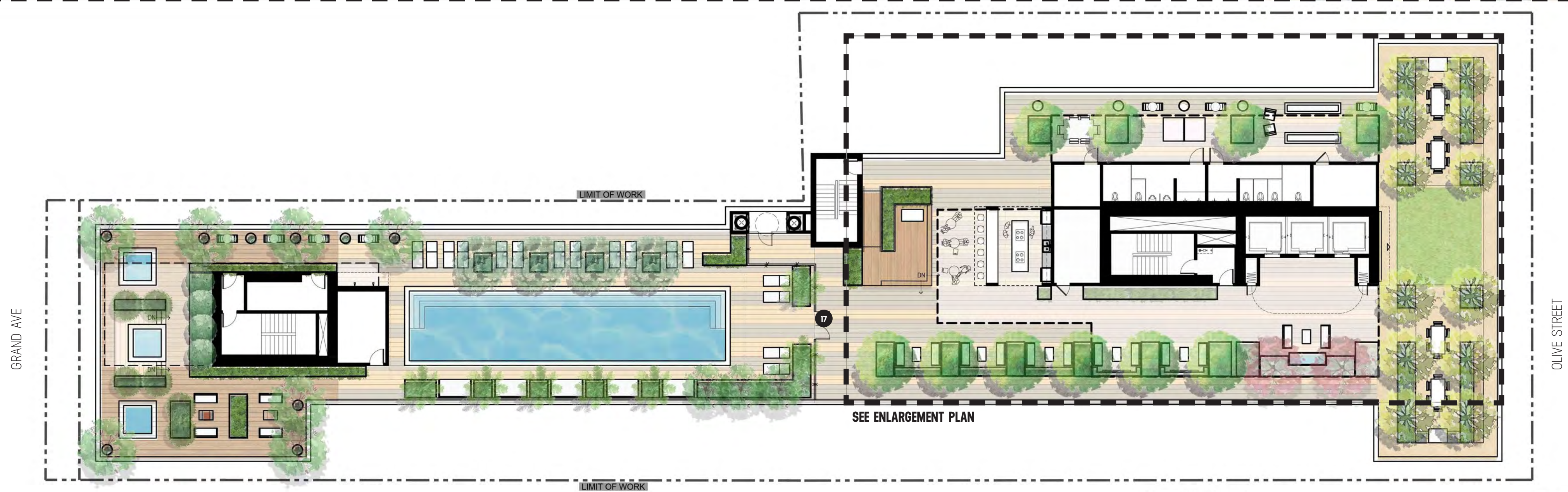
Description
LANDSCAPE
LEVEL ROOF

Scale
1/16" = 1'-0"

L-112.1



ENLARGEMENT PLAN



SEE ENLARGEMENT PLAN

SCALE: 1/16" = 1'-0"



- 1 CONCRETE SIDEWALK PER CITY STANDARD
- 2 CONCRETE PAVING WITH INTEGRAL COLOR
- 3 CONCRETE PEDESTAL PLANK PAVER
- 4 WOOD PEDESTAL PAVER
- 5 CONCRETE PEDESTAL PAVER
- 6 PLANTING AREA
- 7 STEEL PLANTER, RAISED
- 8 EXISTING STREET TREE
- 9 NEW STREET TREE
- 10 OUTDOOR DINING
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RELEVANT GROUP

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Project Name

845 OLIVE STREET

Project Number

05.3670.000

Description

LANDSCAPE
LEVEL ROOF

Scale

1/16" = 1'-0"

L-112.2

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Project Name
845 OLIVE STREET

Project Number
05.3670.000

Description

MATERIALS PALETTE

Scale

NA

L-112.3

ROOF DECK - WESTSIDE MATERIALS PALETTE



26 JACUZZI/SPA



15 FIRE LOUNGE



6 WOOD PEDESTAL PAVER



9 CONCRETE PEDESTAL PLANK PAVER



12 MOVABLE FURNISHINGS



16 POOL WITH TILE FINISH



7 STEEL PLANTER, RAISED



8 PLANTING AREAS - LUSH, TROPICAL

ROOF DECK - EASTSIDE MATERIALS PALETTE



GATHERING AREAS



27 GAME TERRACE



7 STEEL PLANTER, RAISED



9 CONCRETE PEDESTAL PLANK PAVER



OUTDOOR KITCHEN/GRILL AREAS



14 SHADE TRELLIS
AT OUTDOOR KITCHEN AREA AND PROMENADE



18 FLEXIBLE USE LAWN AREA



19 PLANTING AREAS - LUSH, MEDITERRANEAN

ROOF DECK - WESTSIDE PLANTING PALETTE



GEIJERA PARVIFLORA
AUSTRALIAN WILLOW



LAURUS NOBILIS
BAY LAUREL TREE



PHILODENDRON 'XANADU'
WINTERBOURN PHILODENDRON



MELIANTHUS MAJOR
HONEYBUSH



CHAMAEROPS HUMILIS
EUROPEAN FAN PALM



STRELITZIA REGINAE
GIANT BIRD OF PARADISE



LEUCADENDRON 'GOLDSTRIKE'
'GOLDSTRIKE' CONE BUSH



DIANELLA REVOLUTA 'LITTLE REV'
'LITTLE REV' FLAX LILY

ROOF DECK - EASTSIDE PLANTING PALETTE



ALBIZIA JULIBRISSIN
SILK TREE



OLEA EUROPEAE 'MONDO'
LITTLE OLLIE BUSH



CEANOTHUS 'YANKEE POINT'
'YANKEE POINT' CALIFORNIA LILAC



AGAVE ATTENUATA
FOX TAIL AGAVE



CINNAMOMUM CAMPHORA
CAMPHOR TREE



ARTEMESIA 'POWIS CASTLE'
'POWIS CASTLE' WORMWOOD



CAREX TUMULICOLA
FOOTHILL SEDGE



LEUCADENDRON 'SAFARI SUNSET'
'SAFARI SUNSET' CONEBUSH