

# LIN RESIDENCE

## 500 CLIFTON ST, LOS ANGELES, CA 90031

### GENERAL NOTES

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170156) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system. (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply. (R306.4).
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6.4)
- Water heater must be strapped to wall.(Sec. 507.3, LAPC)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 seconds max.) for a single opening. The deactivation switch shall be at least 5'4" above the floor.(6104 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2477. (3162B)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, where a permit is required for alterations, repairs, or additions. (R314.2)
- Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site

### LA CITY NOTES

- 30-DAYS NOTICE FOR EXCAVATION IS REQUIRED FOR THIS PROJECT.
- COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING (GRAFFITI REMOVAL) SHALL BE SIGNED BY THE OWNER AND BE NOTARIZED BEFORE ISSUE OF BUILDING PERMIT.

### MATERIAL SPECIFICATIONS

- Glass A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (T207.4, 1505)
- Valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. (T05A.3)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. (T05A.4)
- (Roof) (Attic)(Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 -inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices. (T06A.1, T06A.2, T06A.3, T207.3)
- Eaves and soffits shall meet the requirements of SFM 12-TA-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside. (T07A.5.3)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-TA-1. (T04A.3)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure. (T04A.3.1)
- Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating- glass units with a minimum of one tempered pane, or glass block units, or have a fire- resistance rating of not less than 20 minutes, when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-TA-2. (T08A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SFM 12-TA-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 1/2 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2074. (Exception: Noncombustible or exterior fire-retarded treated wood vehicle access doors).(T08A.3)
- Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non combustible or other approved materials per Sec.T09A.3
- The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition- resistant integrity of exterior walls, or the projection shall be enclosed to the grade. (T07A.6)
- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls. (T07A.6, T207.11)
- All utilities, pipes, furnances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction.(T207.2)
- The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per T05A.2.
- No trellis is permitted within 10 feet of the primary structure.
- Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non combustible materials.Minimum of 4 inches spacing is required between the members. (Information Bulletin No. F/EC 2008-023)

### SHEET INDEX

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	SHEET-II	SLOPE ANALYSIS (BY CIVIL)
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	A-3.2	EXTERIOR ELEVATIONS
	A-3.3	EXTERIOR ELEVATIONS

### CONSULTANTS

#### OWNER:

HERMAN LIN  
500 CLIFTON ST,  
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hermanlin@yahoo.com

#### ENGINEER:

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12631 IMPERIAL HWY, SUITE F-230  
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MICHAEL SONG  
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#### CIVIL / SURVEYOR:

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kevin@calland.net

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ARCADIA, CA 91007  
449 / 290-6406

cheryl@sacallandarch.com

#### T-24 CONSULTANT

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SAN GABRIEL, CA 91776  
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323 / 328-1789 FAX

JOSEPH ZHANG  
joezhang@sbcglobal.net

#### SOIL ENGINEER

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GLENDALE, CA 91206  
818 / 549-4454

RAFFI BABAYAN  
RBabayan@byergeo.com

### CODES

- 2017 CITY OF LOS ANGELES BUILDING CODE
- 2017 CITY OF LOS ANGELES ELECTRICAL CODE
- 2017 CITY OF LOS ANGELES PLUMBING CODE
- 2017 CITY OF LOS ANGELES MECHANICAL CODE
- 2017 CITY OF LOS ANGELES RESIDENTIAL CODE
- 2017 CITY OF LOS ANGELES GREEN BUILDING STANDARDS CODE
- 2017 COUNTY OF LOS ANGELES FIRE CODE

### DEVELOPMENT STANDARDS

- SLOPE ANALYSIS: SEE CIVIL PLAN.  
MAXIMUM: 2,685 S.F.  
PROVIDED: 2,345 S.F. (RFA)
- HEIGHT:  
MAXIMUM: 26'-0"  
PROVIDED: 25'-2" (HIGHEST POINT ABV. EXISTING GRADE)
- RIDGELINE MAP: THIS PROJECT IS NOT LOCATED WITH 50 FEET OF IDENTIFIED RIDGELINES.
- LANG 12.21 C.10(a)(2), ON A SUBSTANDARD HILLSIDE LIMITED STREET, THE MIN. FRONT YARD SETBACK IS 5 FEET.
- BUILDING DESIGN: OPTION (I): The total residential floor area of each story other than the base floor in a multi-story building does not exceed 75 percent of base floor area.  
BASE FLOOR (1ST FLOOR) AREA: 1,385 S.F. (75% EQUALS 1,038 S.F.)  
2ND FLOOR AREA: 960 S.F. < 1,038 S.F. OK.

### JOB DESCRIPTION

NEW RFA 2,345 SQ. FT. (2) STORIES SINGLE FAMILY RESIDENCES, WITH BASEMENT GARAGES AND ALL CONNECTIONS TO PUBLIC UTILITIES.SURFACE GRADING TO DRAIN AWAY FROM STRUCTURE TO PUBLICRIGHT-OF-WAY.

### PROJECT DATA

LEGAL DESCRIPTION: MEADOW GLEN TRACT LOT 17 BLK 6  
ADDRESS: 500 CLIFTON ST, LOS ANGELES, CA 90031  
A.P.N.: 5206-024-029  
OCCUPANCY GROUP: R-3/U  
CONSTRUCTION TYPE: TYPE V-B (NON-RATED)  
W/ NFPA 13D AUTOMATIC FIRE SPRINKLERS  
ZONING DESIGNATION: [QR]-I-ID

- TOTAL LOT AREA: 50.07' x 145' = 1,260 SQ. FT.
- RESIDENTIAL FLOOR AREA (RFA):

FIRST FLOOR AREA: 1,385 SQ. FT.  
SECOND FLOOR AREA: 960 SQ. FT.

BASEMENT GARAGE AREA: 392 SQ. FT.  
(GARAGE AREA LESS THAN 400 SQ. FT. AND WILL NOT COUNT FOR RFA)

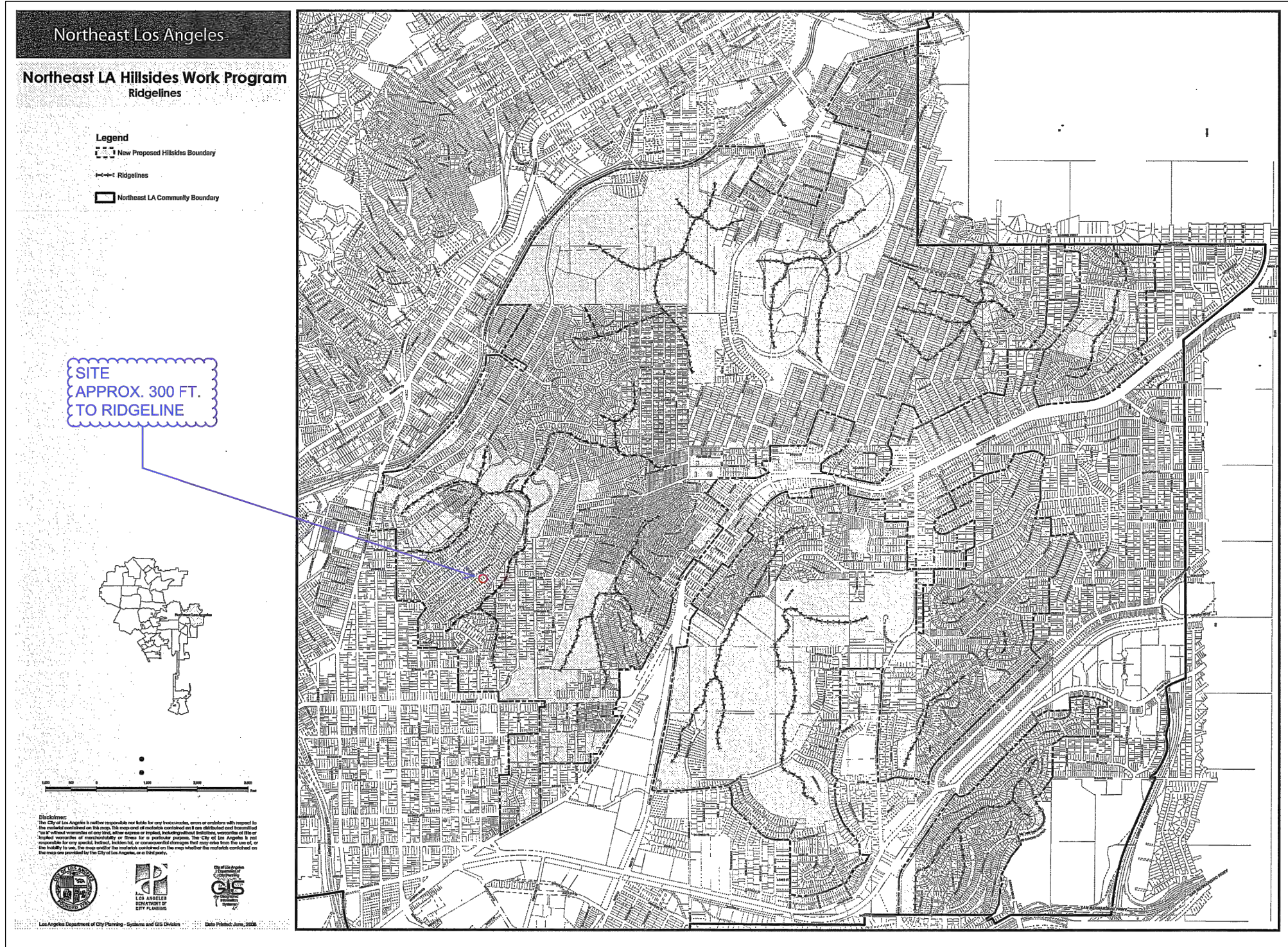
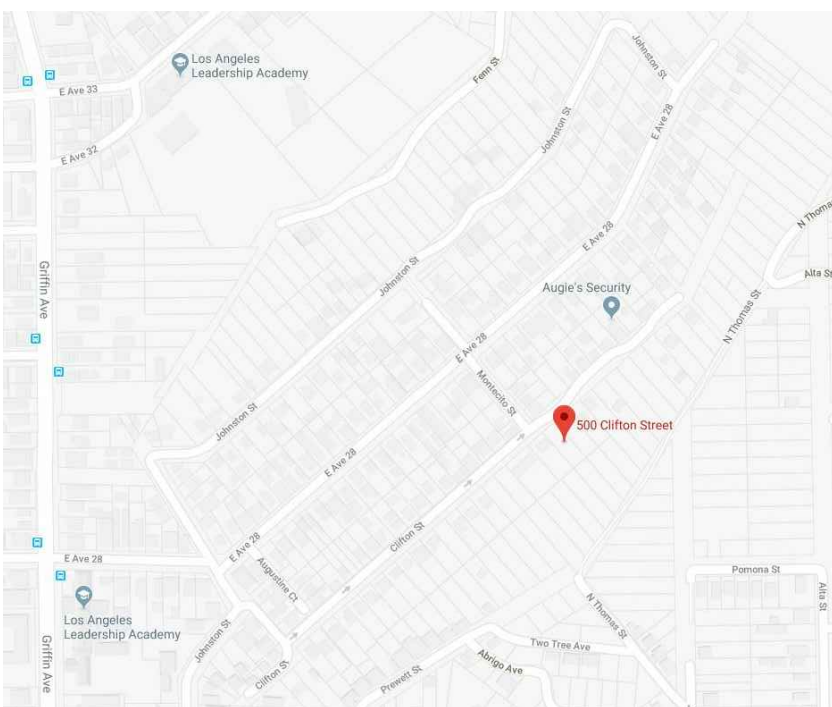
ENTRY PORCH (COVERED): 24 SQ. FT.  
BALCONY (COVERED): 95 SQ. FT.  
(TOTAL COVERED PORCH AND BALCONY AREA IS LESS THAN 250 SQ. FT. AND WILL NOT COUNT FOR RFA)

DECK (UNCOVERED): 358 SQ. FT.

RFA = 1,385 + 960 = 2,345 SQ. FT.

- BUILDING STORY: 2-STORY WITH GARAGE BASEMENT
- OVERALL BUILDING HEIGHT: 44'-0"  
HIGHEST POINT ABOVE FINISH GRADE: 29'-6"  
(ALLOWABLE 26'-0", NEED ZAD APPROVAL)
- LOT COVERAGE: 1,596 / 1,260 = 22%
- SETBACKS:  
FRONT: 5'-0"  
SIDE (NORTH): 7'-0"  
SIDE (SOUTH): 7'-0"  
REAR: 15'-0"  
89'-2"

### VICINITY MAP



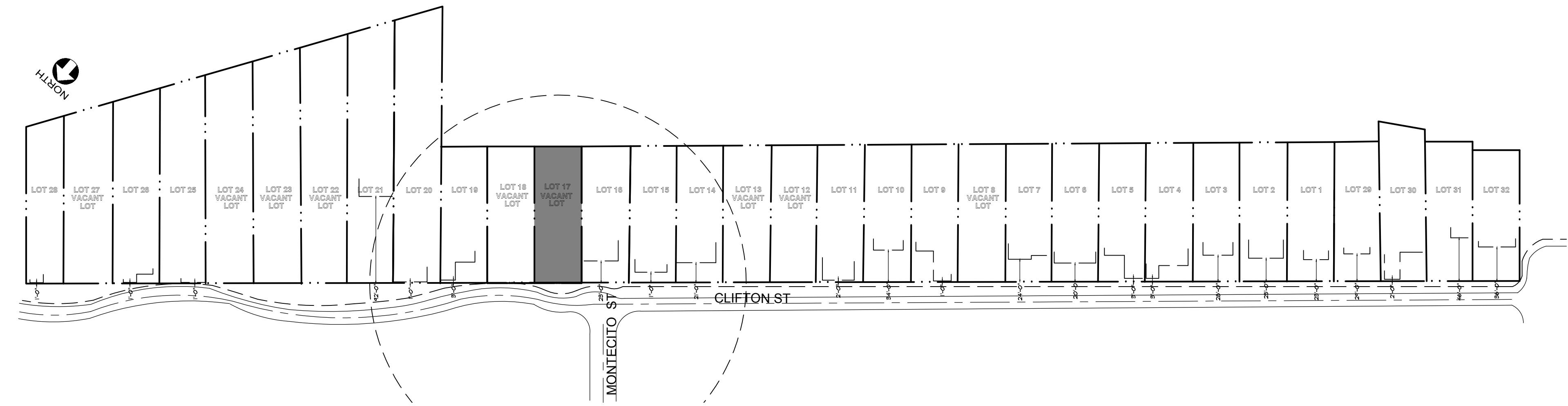
### SETBACK STUDY

Lot Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32
Existing Setback (ft)	23	25	28	3	3	20	24	V	1	34	2	V	V	21	11	23	V	V	3	1	92	V	V	V	1	1	V	1	29	2	46	36
Lot Frontage (ft)	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	40	50	50	50	50

Number of Lot: 32  
Total Frontage: 50x31+40=1,930ft  
Minimum Frontage Required: 1,930ft x 40% = 636ft.

Lowest Range of Front Yard Setback Selected between 1ft and 11ft: Lot 4, 5, 9, 11, 15, 19, 20, 25, 26, 28, 30. Total 11 lots.  
The frontage of these lots 4,5,9,11,15,20,21,26,27,30 is: 11x50ft = 550ft < 636ft. NOT GOOD.  
Similarly, setback between 2ft and 12ft, 3ft and 13ft, 11ft to 21ft, 20ft to 30ft, 21ft to 31ft, 23ft to 33ft, 24ft to 34ft, 25ft to 35ft, 28ft to 38ft, 29ft to 39ft, 34ft to 44ft, 36ft to 46ft, are all NOT GOOD.

So, the prevailing setback calculation does NOT work for this project.



M.S. CONSULTING ENGINEERING  
Residential Commercial Industrial

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Submittal

ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

REVISIONS

No. DATE DESCRIPTION

1

LIN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029

PROJECT DATA, CONSULTANTS  
SHEET INDEX, SETBACK CALC.

JOB No. 2017\_108

DRAWN BY MH

DATE 06-03-2019

SCALE REF. DWGS.

SHEET No.

AG-1.0



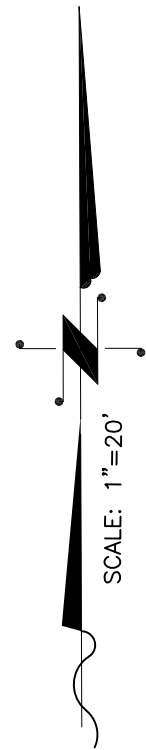
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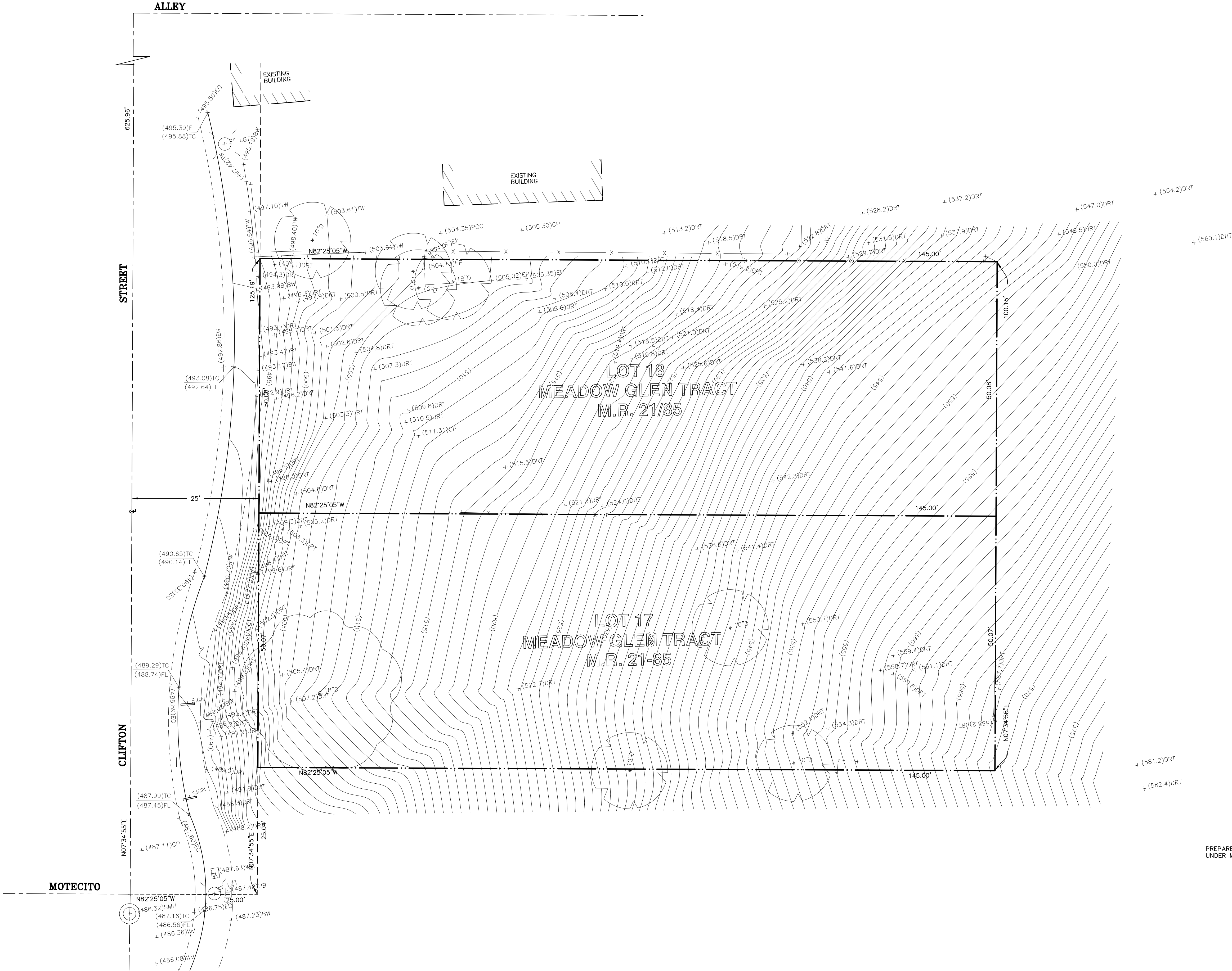
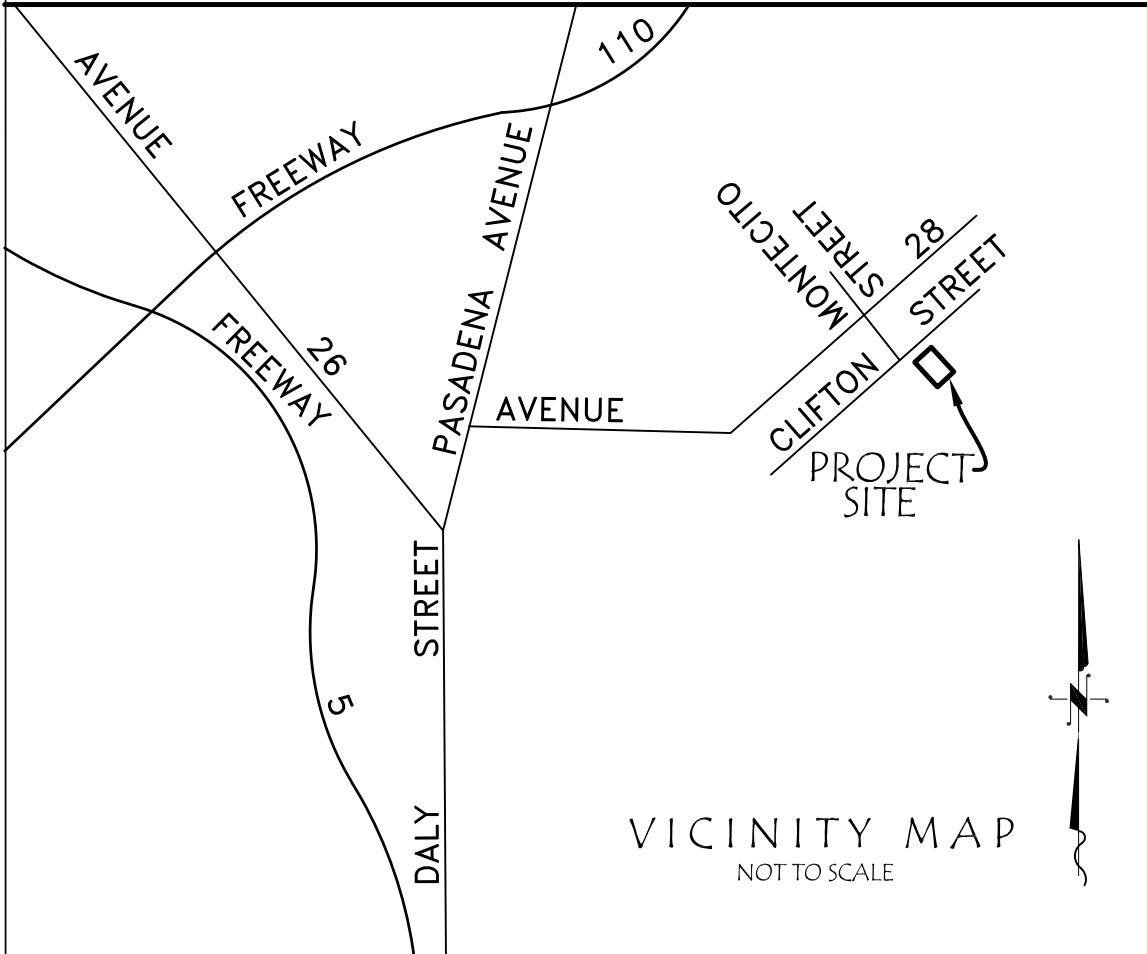
LEGEND

- (335)

EXISTING CONTOUR
- EXISTING BUILDING
- EXISTING WOOD FENCE
- EXISTING WOODRAIL
- EXISTING CHAIN LINK FENCE
- EXISTING GUARD RAIL
- EXISTING WALL
- PROPERTY LINE
- TW  
TOP OF WALL
- TG  
TOP OF GRATE
- TRW  
TOP OF RETAINING WALL
- EP  
EDGE OF PAVEMENT
- AC  
ASPHALTIC CONCRETE
- PP  
POWER POLE
- (335.8)DRT  
EXISTING ELEVATION
- CL  
CENTERLINE
- EG  
EDGE OF GUTTER
- PCC  
PORTLAND CEMENT CONCRETE
- TC  
TOP OF CURB
- TPW  
TOP OF PLANTER WALL
- FS  
FINISHED SURFACE
- FF  
FINISHED FLOOR
- FL  
FLOW LINE
- LWN  
LAWN
- DRT  
DIRT
- CP  
CONTROL POINT
- EW  
EDGE OF WALK
- BW  
BACK OF WALK
- WM  
WATER METER
- PB  
PULL BOX
- GM  
GAS METER
- SCO  
SEWER CLEANOUT



REFERENCES:  
RT: MAP OF THE MEADOW GLEN TRACT, M.R. 21-85



PREPARED BY ME OR  
UNDER MY DIRECTION ON: JULY 18, 2017.

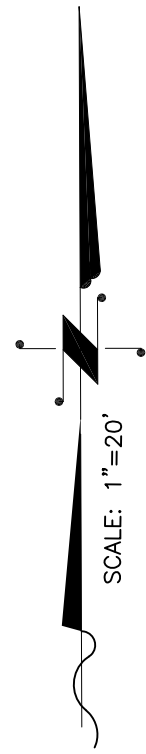
PRELIMINARY

BENCH MARK   <
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LEGEND

(335)	EXISTING CONTOUR
	EXISTING BUILDING
	EXISTING WOOD FENCE
	EXISTING WOODRAIL
	EXISTING CHAIN LINK FENCE
	EXISTING GUARD RAIL
	EXISTING WALL
	PROPERTY LINE
TW	TOP OF WALL
TG	TOP OF GRATE
TRW	TOP OF RETAINING WALL
EP	EDGE OF PAVEMENT
AC	ASPHALTIC CONCRETE
PP	POWER POLE
(335.8)DRT	EXISTING ELEVATION
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EW	EDGE OF WALK
BW	BACK OF WALK
WM	WATER METER
PB	PULL BOX
GM	GAS METER
SCO	SEWER CLEANOUT



SLOPE ANALYSIS LOT 17

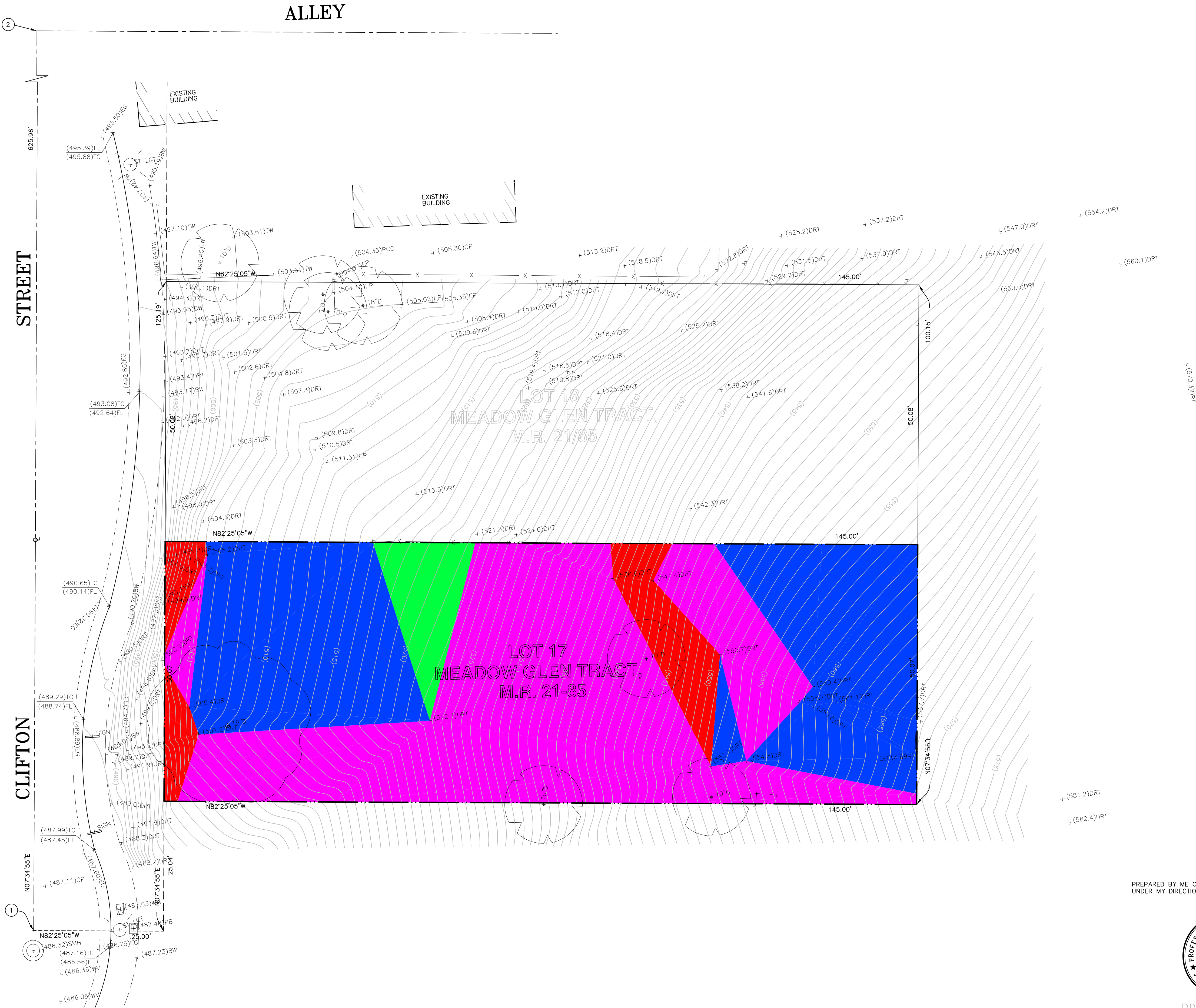
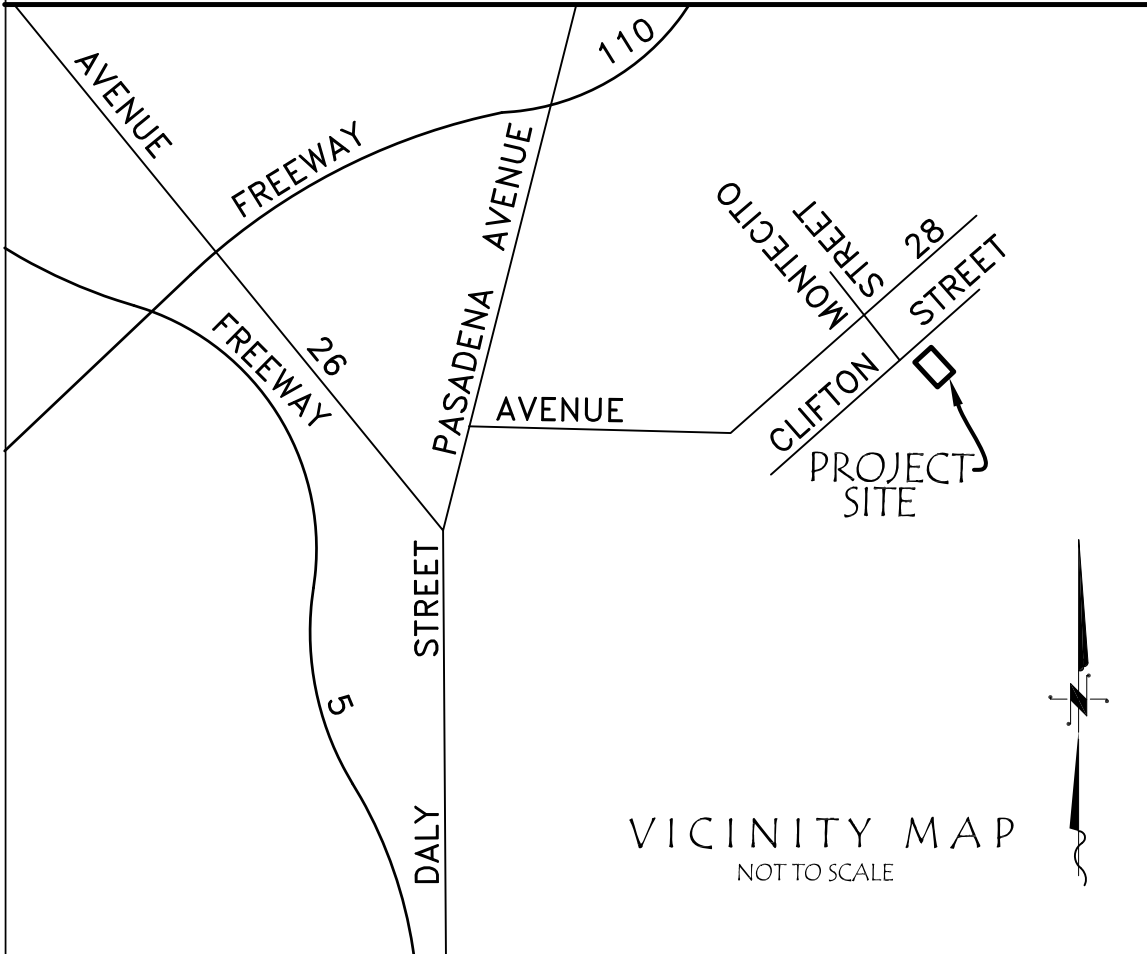
Category	Slope Band (%)	Area within Slope Bands (sq-ft)	x	FARs (R1)	=	Residential Floor Area (sq-sf)
A	0 - 14.99	0.0	x	0.45	=	0.0
B	15 - 29.99	338.8	x	0.45	=	152.4
C	30 - 44.99	2774.2	x	0.40	=	1109.6
D	45 - 59.99	3584.6	x	0.35	=	1254.6
E	60 - 99.99	562.5	x	0.30	=	168.7
N/A	F	100+	x	0.00	=	0.00
Maximum Residential Floor Area (sq-ft)						2685.5

MONUMENT NOTES:

- ①: FD. S.S.M. FITS TIES PER R2.  
②: SEARCHED & FD. NOTHING. ESTAB. BY TIES PER R3.

REFERENCES:

- R1: MAP OF THE MEADOW GLEN TRACT, M.R. 21-85  
R2: CITY F.B. 141-225/135  
R3: CITY F.B. 141-225/133



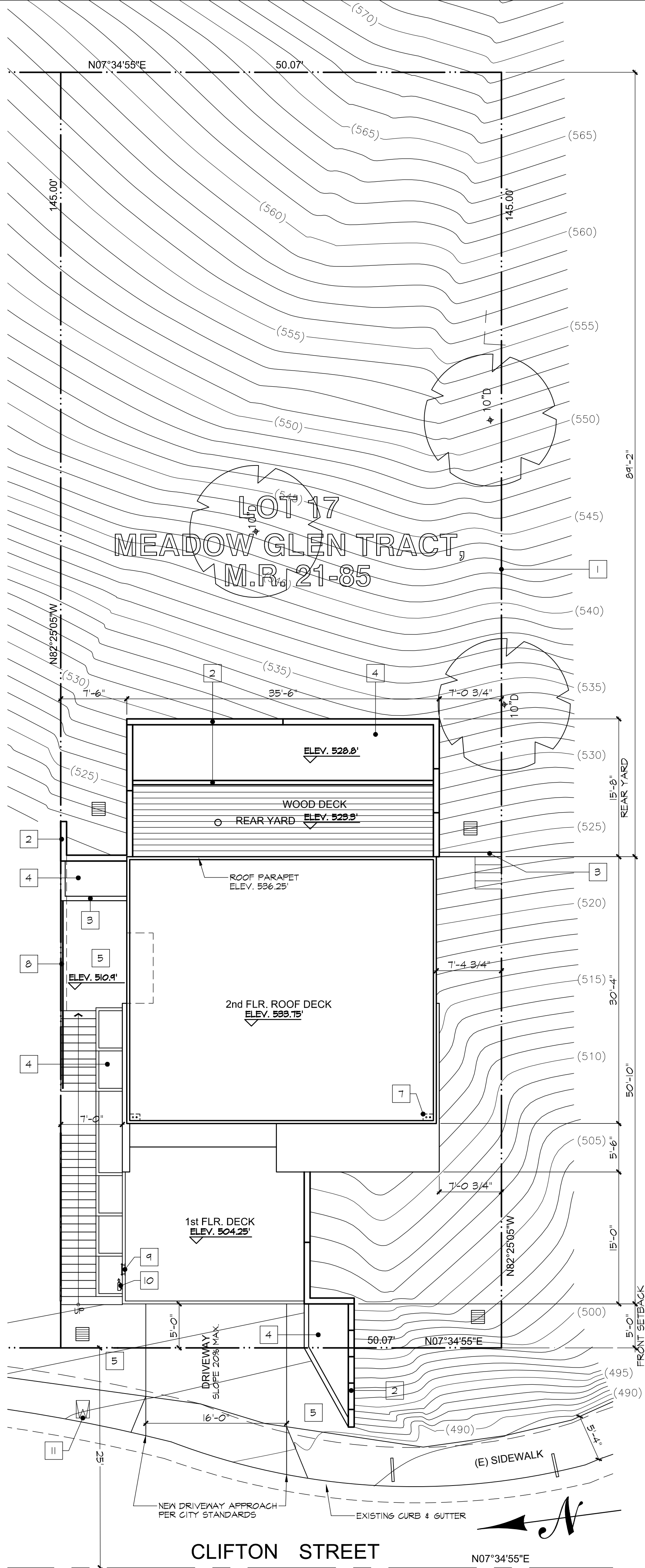
PREPARED BY ME OR  
UNDER MY DIRECTION ON: OCTOBER 08, 2018.



PRELIMINARY

BENCH MARK	CITY SEWER STRUCTURE ID: 49507093	PREPARED FOR:	HERMAN LIN  500 CLIFTON STREET LOS ANGELES, CA 90031	MAP PREPARED BY:	CaliLand Engineering, Inc. Civil Engineers + Land Surveyors + Land Planners 1216 SOUTH GARFIELD AVENUE, SUITE 200, ALHAMBRA, CA 91801 Phone: (626)281-2288 Fax: (626)281-2088 Visit us at: www.CaliLand.net	FIELD BOOK REF.			CITY OF LOS ANGELES			SLOPE ANALYSIS		W.O. NO. 2017-1406		
SEWER MANHOLE LID AT CL INT CLIFTON ST @ MONTECITO ST		ELEVATION: 486.40'												FILE NO.		
														SHEET 1 OF 1		





LEGENDS

- CATCH BASIN PER CIVIL GRADING PLAN
- EXISTING TREE TO REMAIN.
- PROPERTY LINE.
- CMU RETAINING WALLS.
- PLANTER WALL, 3' HIGH MAX.
- LANDSCAPED AREA PER LANDSCAPE PLAN.
- HARDSCAPE AREA PER LANDSCAPE PLAN.
- AREA FLOOR DRAIN PER CIVIL PLAN.
- ROOF DRAIN AND DOWNSPOUTS.
- STEPS AND HANDRAIL REF. TO DETAIL 14/AD-11.
- ELECTRIC PANEL/METER.
- GAS METER.
- WATER METERS.
- W1. GUARDRAIL 42" MIN. A.F.F.

SITE PLAN NOTES

- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. (FIRE CODE 505.1)
- REF. TO CIVIL GRADING PLANS FOR MORE INFORMATION.
- REF. TO LANDSCAPE PLANS FOR MORE INFORMATION.
- THE SUBCONTRACTOR SHALL VERIFY ON SITE GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUBSTRUCTURES. WHERE DISCREPANCIES OCCUR, CONSULT ENGINEER.
- ALL ROOF DRAINAGE SHALL BE PIPED TO APPROVED DRAINAGE OUTLET.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS, SPACING AND LOCATION OF JOINTS SHALL BE PER INDUSTRY STANDARD AND APPROVED BY ENGINEER.
- OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
- AN EXCAVATION/ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND/OR DISCHARGE OF DRAINAGE WITHIN PUBLIC ROAD RIGHT-OF-WAY.

SITE PLAN

1/8" = 1'-0"

M.S. CONSULTING ENGINEERING  
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Tel: (562) 863-9999 FAX: (562) 863-9991

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Submittal

ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

REVISIONS

No.	DATE	DESCRIPTION
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LN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029  
SITE PLAN

JOB No. 2017\_108

DRAWN BY MH

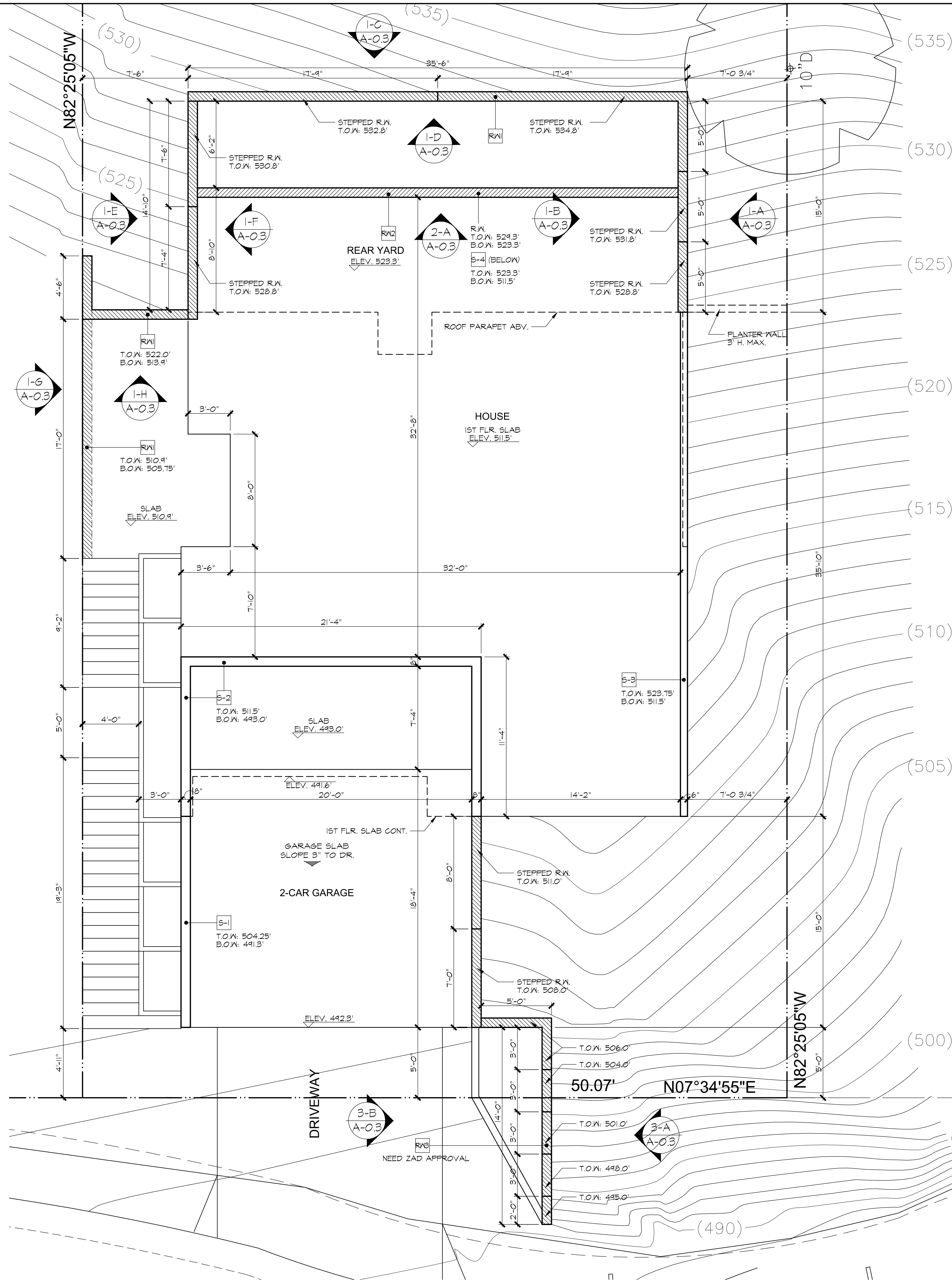
DATE 06-03-2019

SCALE REF. DWGS.

SHEET No.

A-0.1





RETAINING WALLS PLAN

FREE-STANDING RETAINING WALL

STRUCTURAL RETAINING WALL

1/4" = 1'-0"

M.S. CONSULTING ENGINEERING  
Residential Commercial Industrial

12631 IMPERIAL HWY SUITE F-230, SANTA FE SPRINGS, CA 90670  
Tel: (562) 863-9999 FAX: (562) 863-9991

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REGISTERED PROFESSIONAL ENGINEER  
MICHAEL J. JUNG  
S 5266  
EX 6132022  
STRUCTURAL  
STATE OF CALIFORNIA

STAMP & SIGNATURE  
Submittal

ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

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LIN RESIDENCE  
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RETAINING WALLS PLAN

JOB No. 2017\_108

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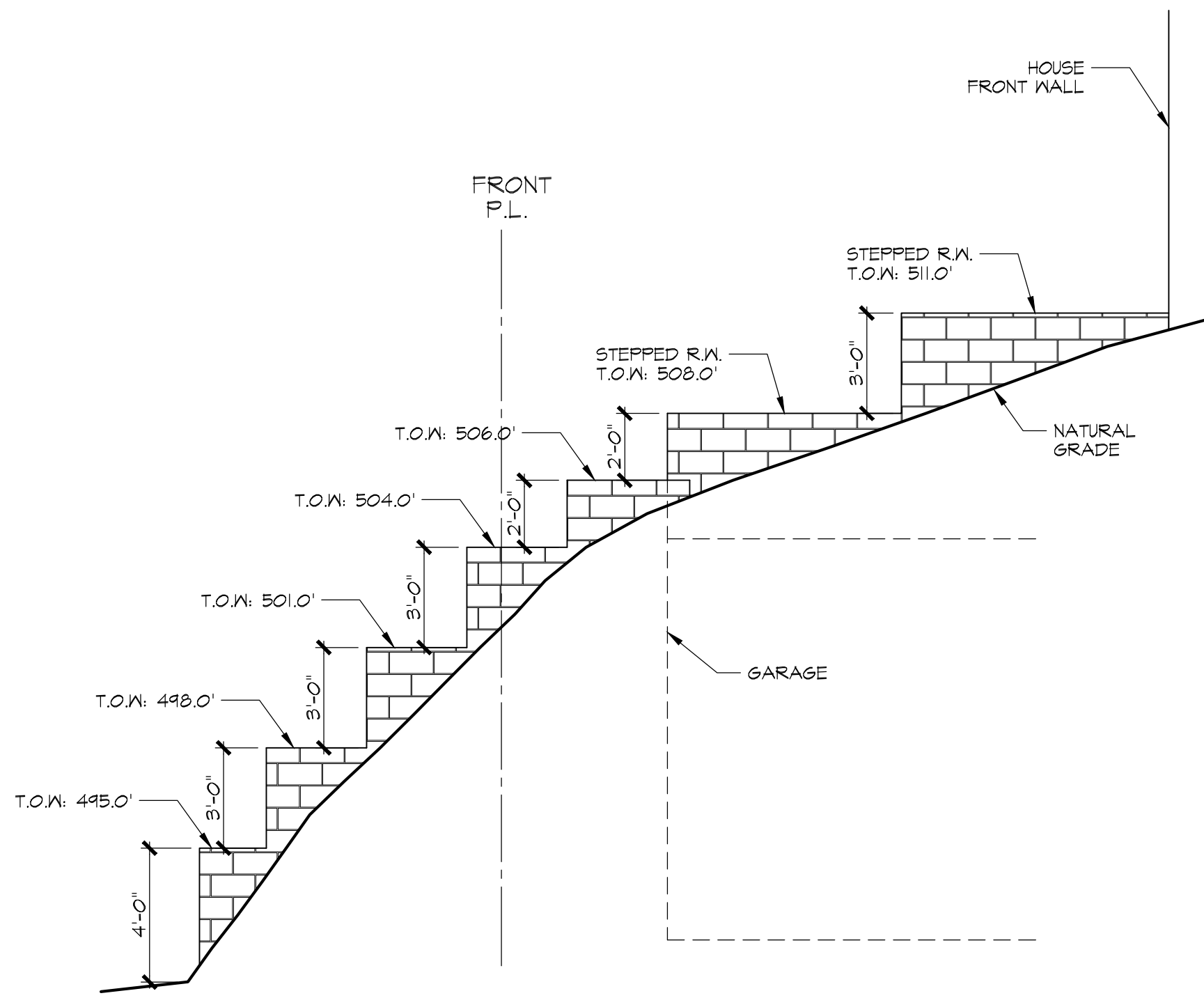
DATE 06-03-2019

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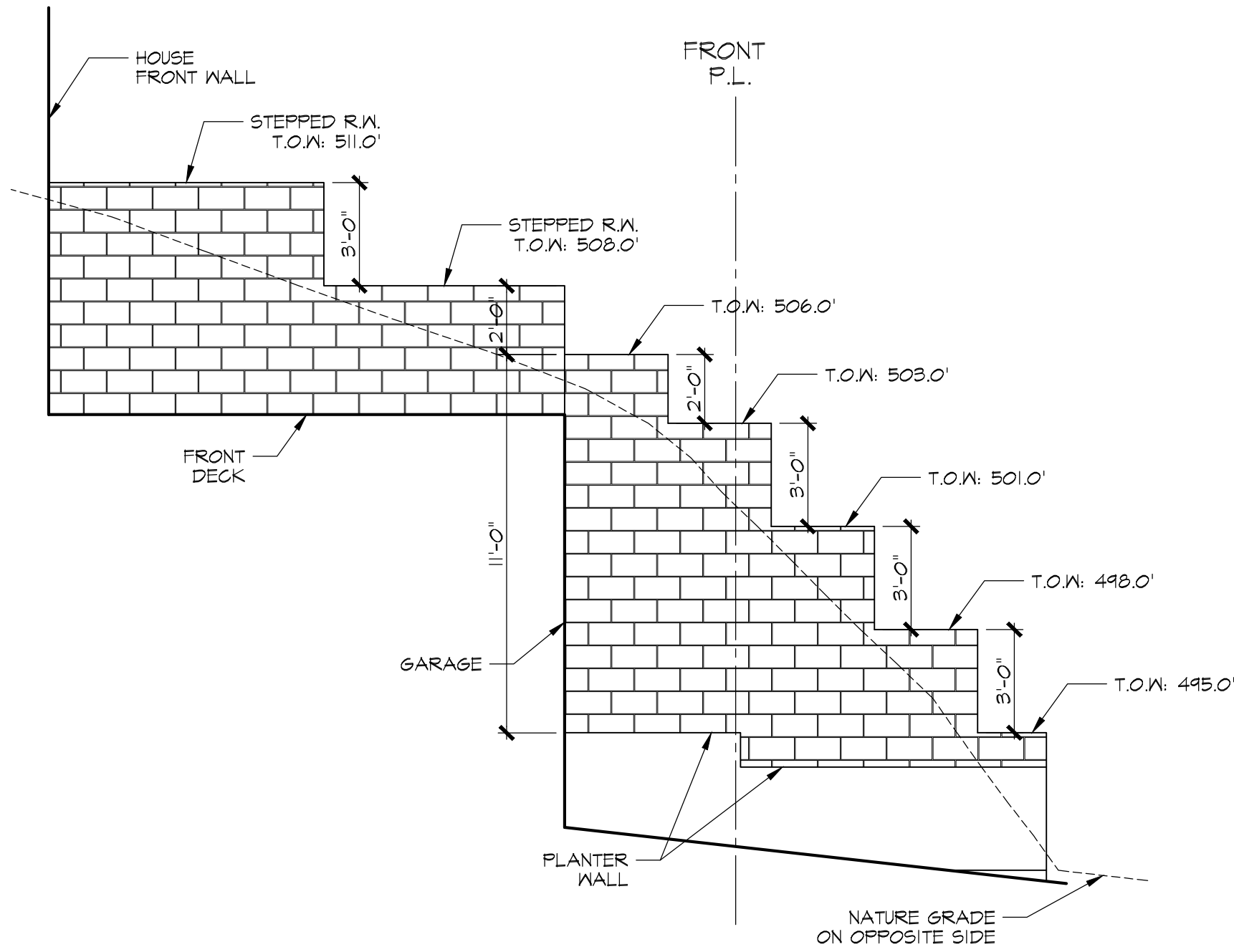
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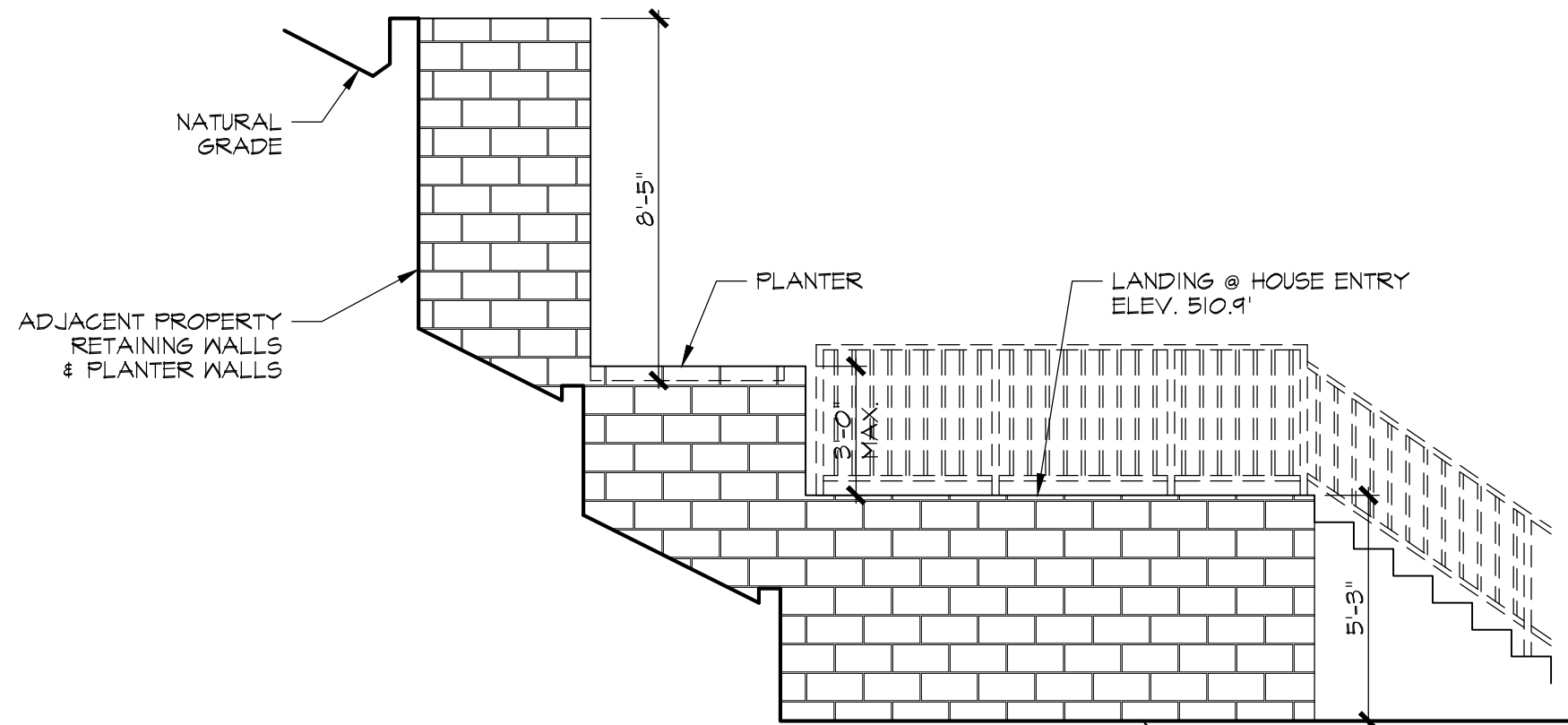




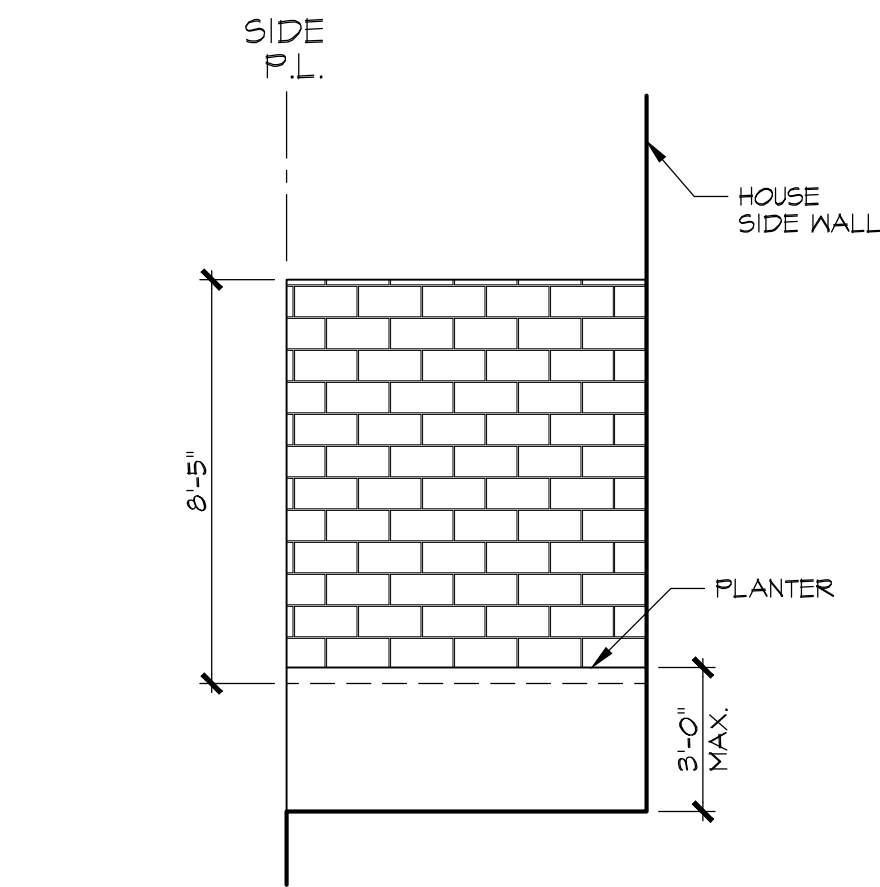
3-A ELEVATION  
- RETAINING WALL - 3  
1/4" = 1'-0"



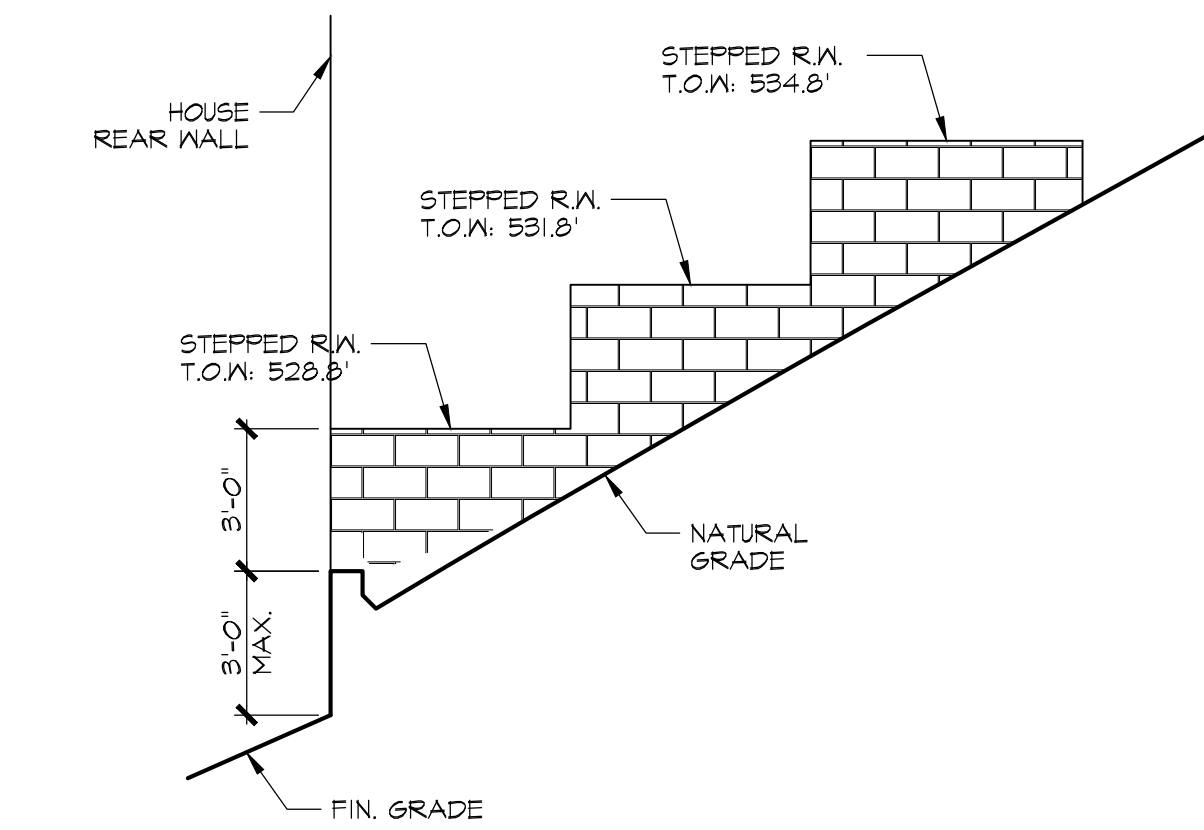
3-B ELEVATION  
- RETAINING WALL - 3  
1/4" = 1'-0"



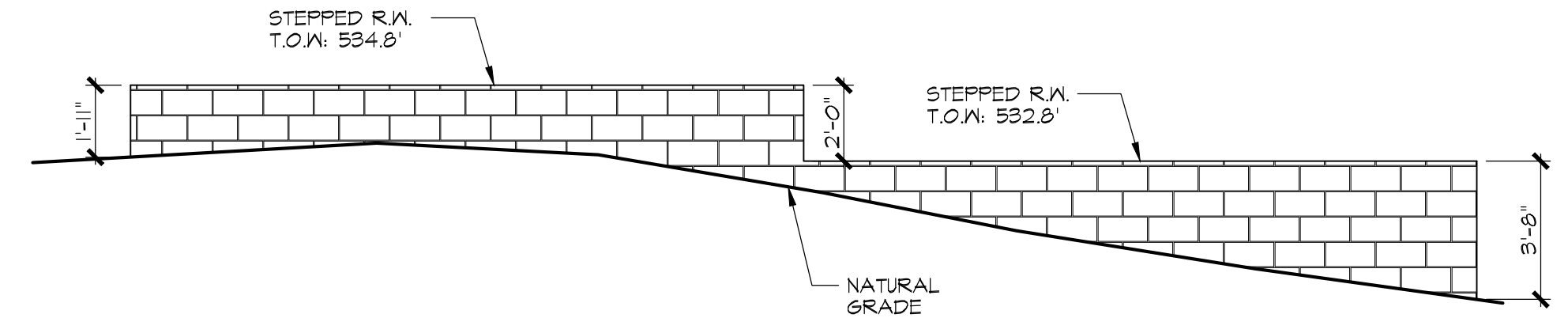
1-G ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



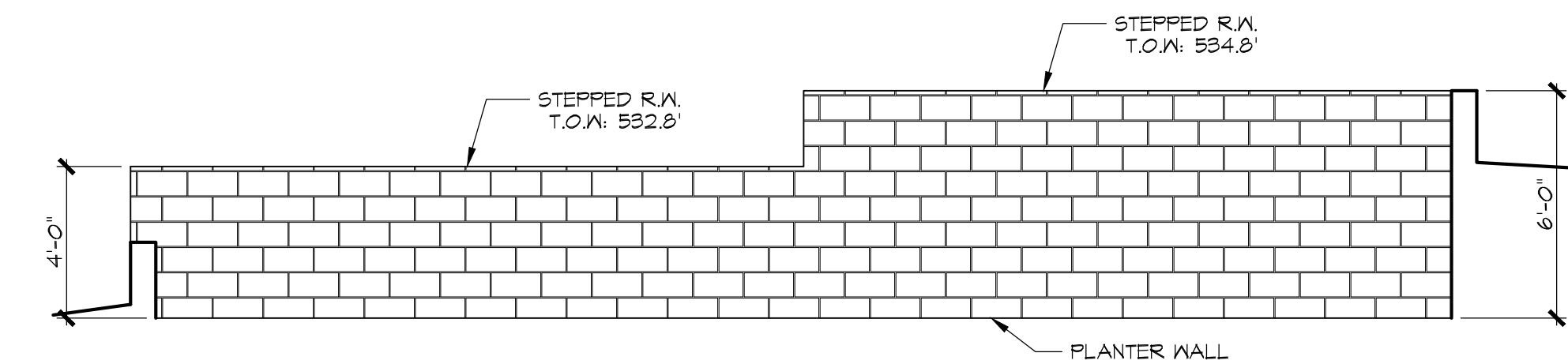
1-H ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



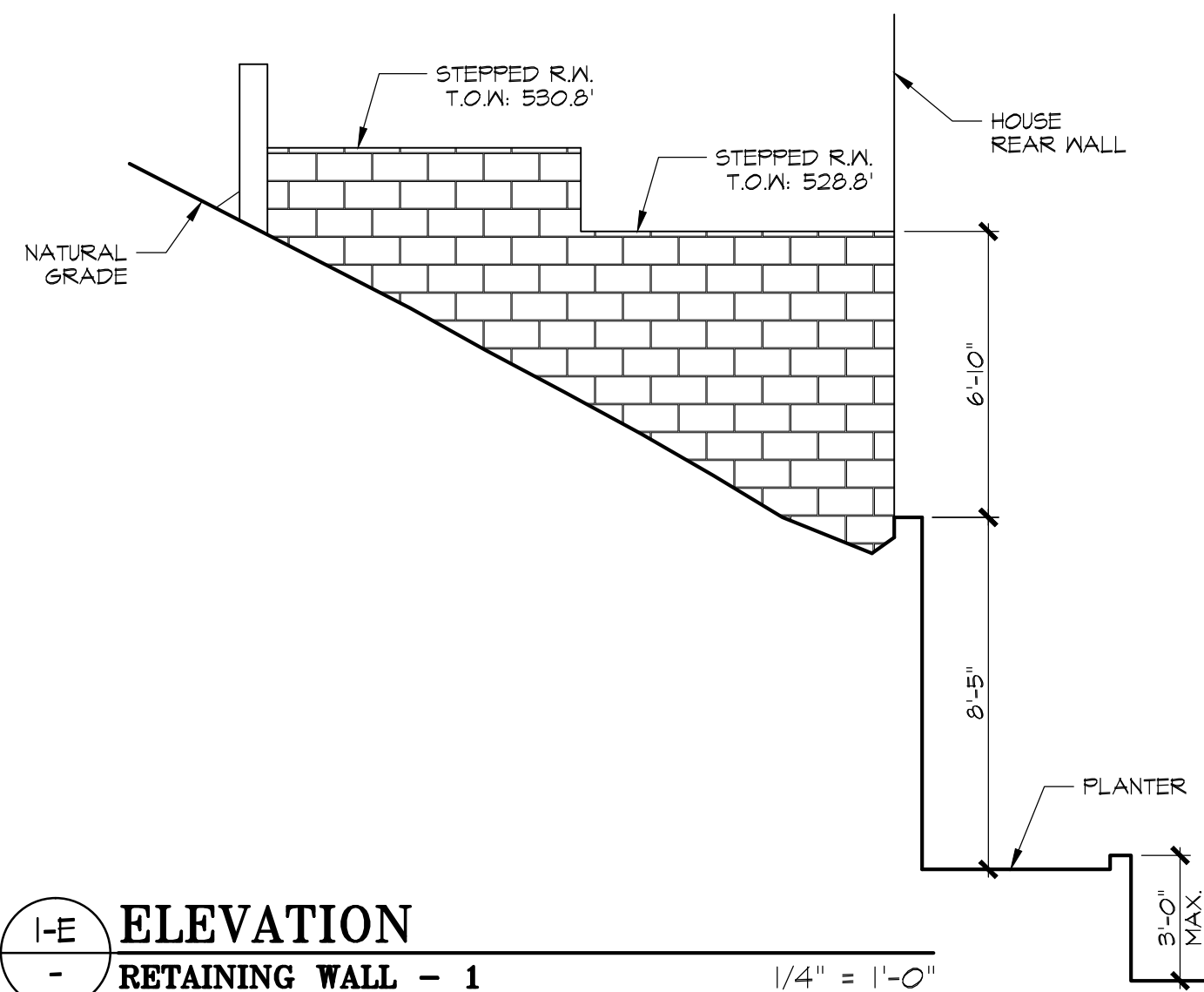
1-A ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



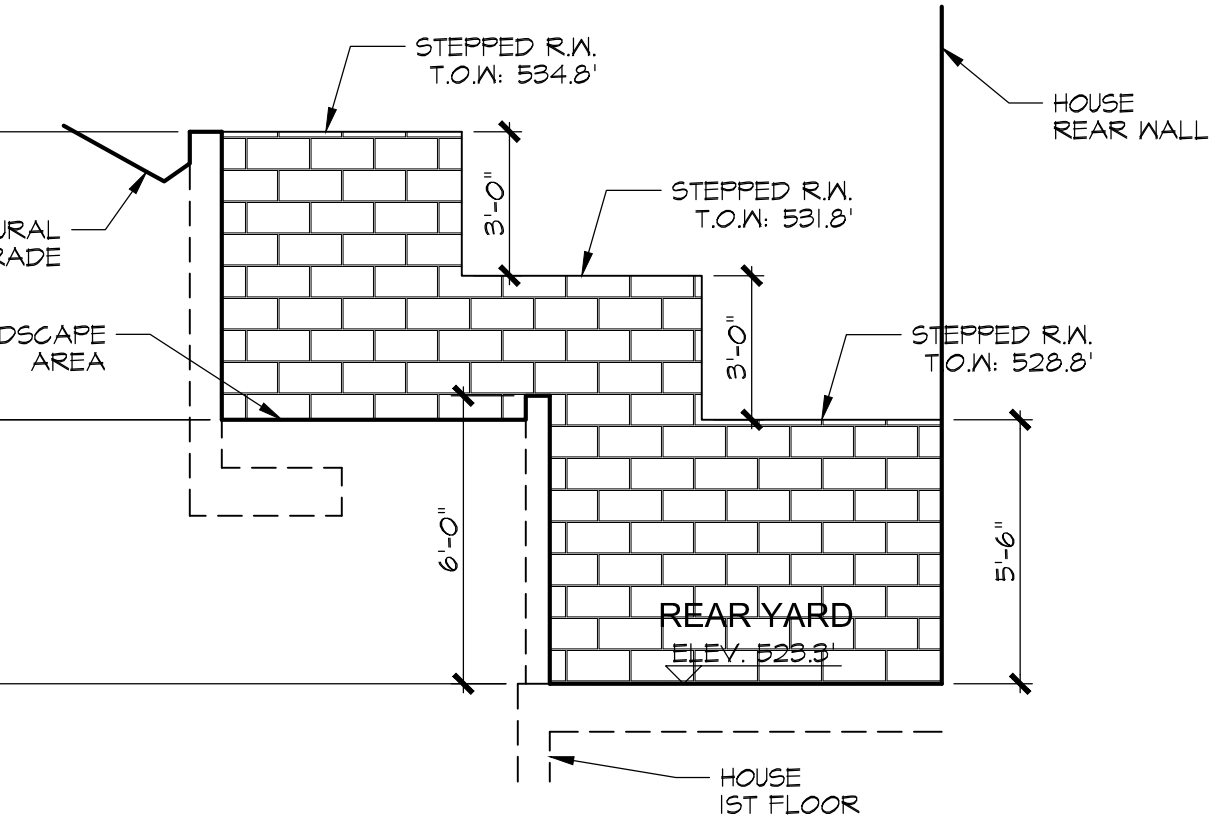
1-C ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



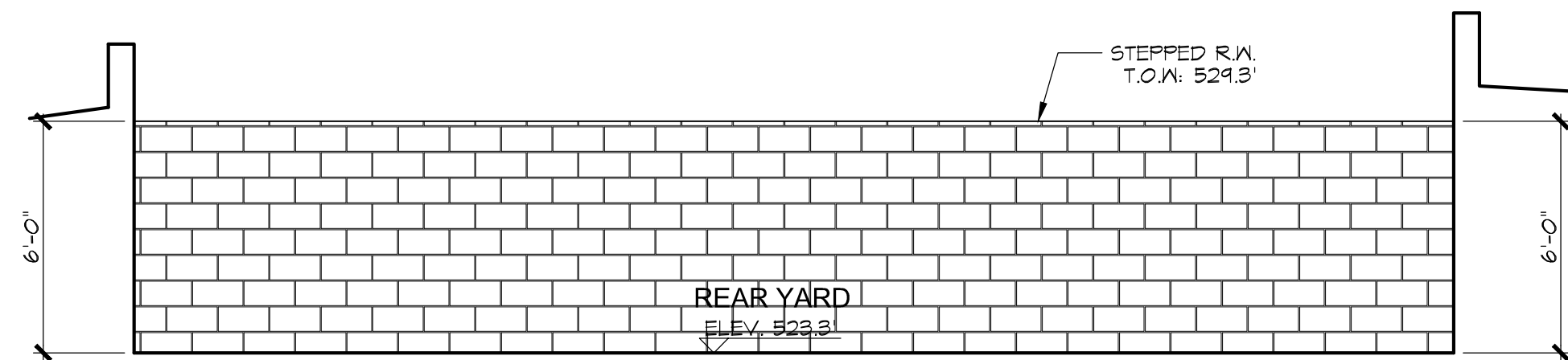
1-D ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



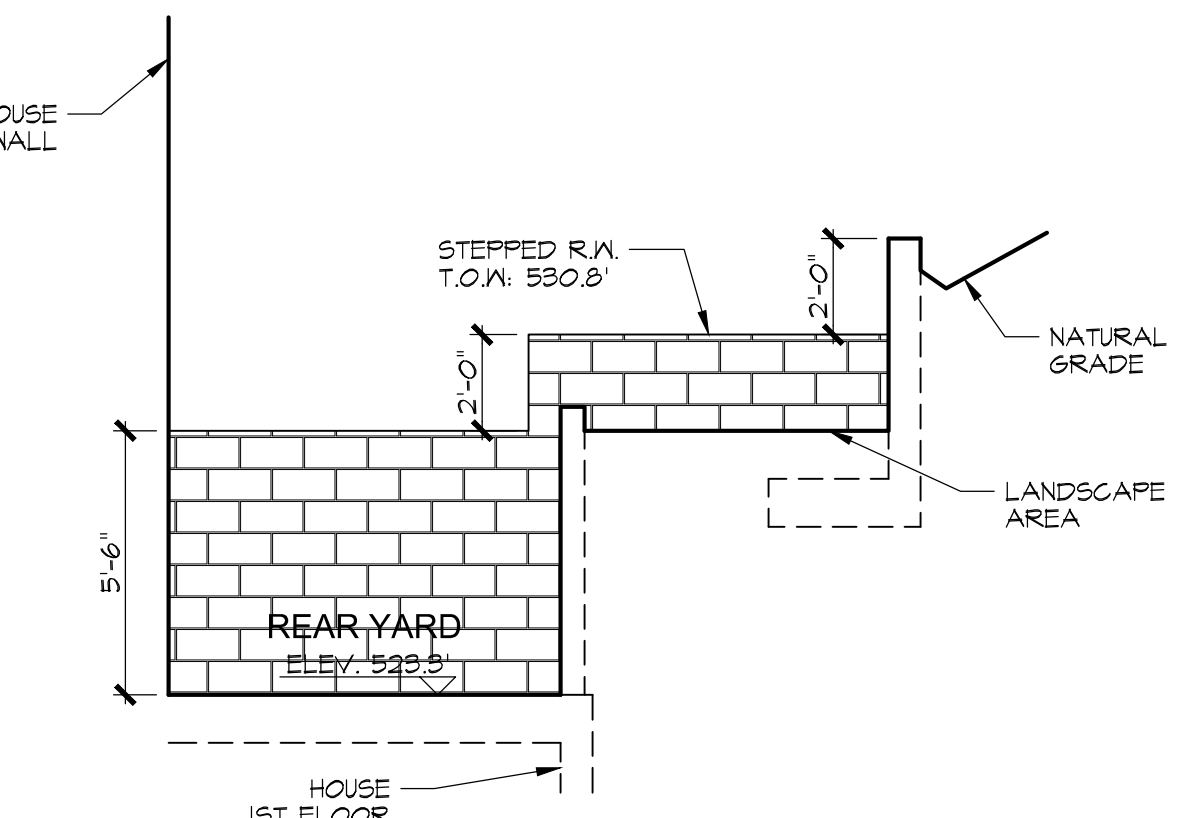
1-E ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



1-B ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



2-A ELEVATION  
- RETAINING WALL - 2  
1/4" = 1'-0"

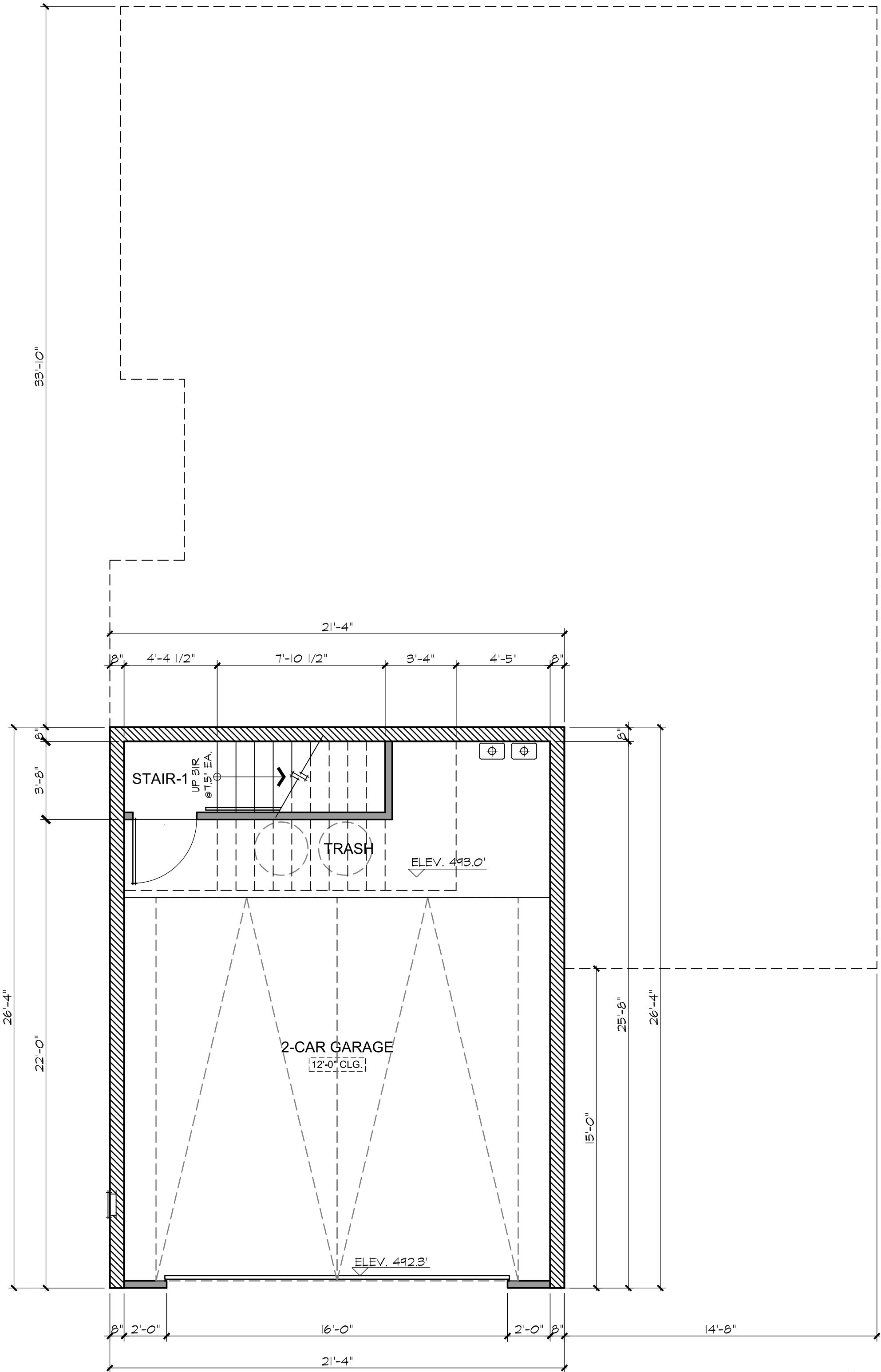


1-F ELEVATION  
- RETAINING WALL - 1  
1/4" = 1'-0"



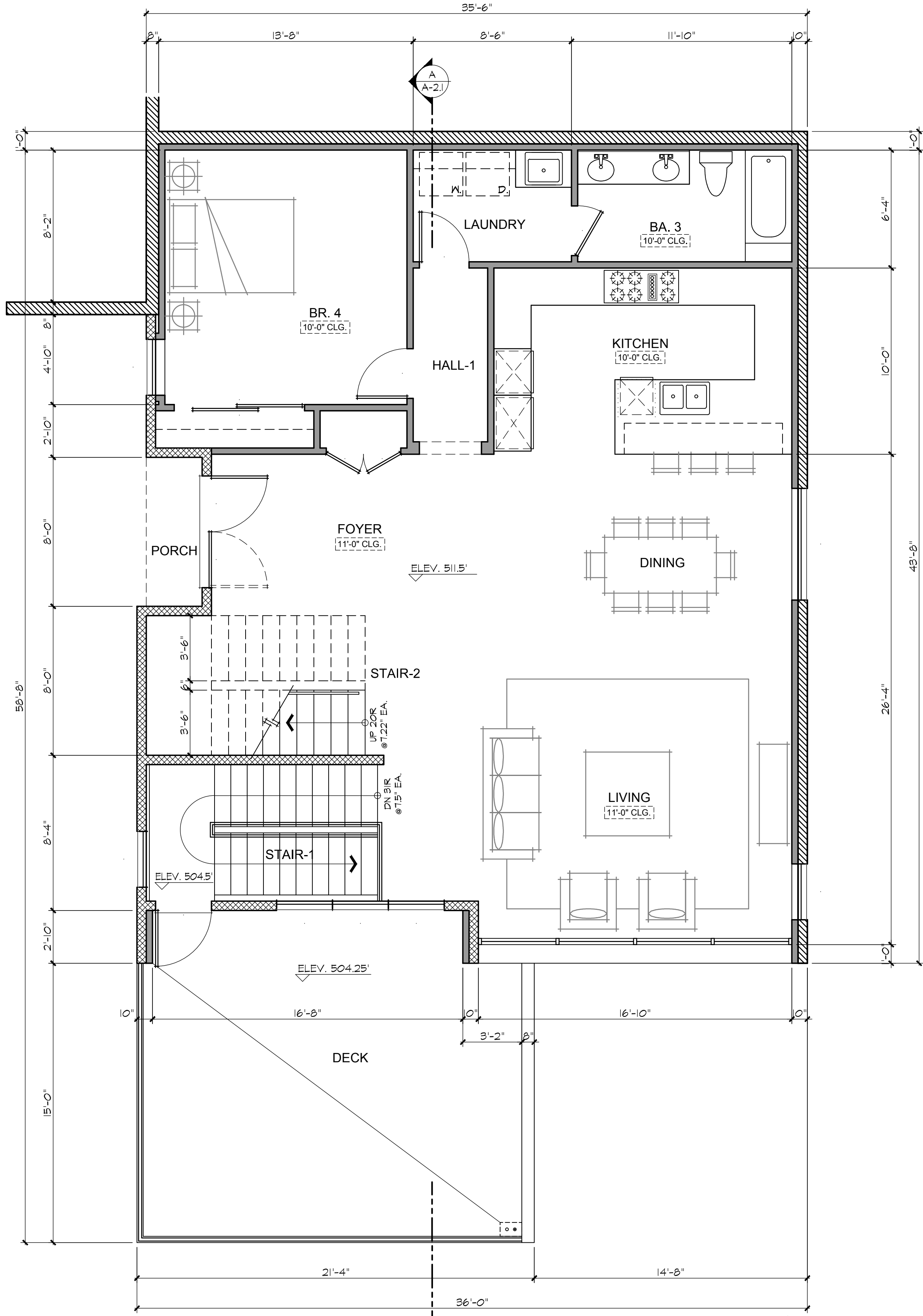
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Submittal		
ZAD APPLICATION 06-05-2019		
BUILDING & SAFETY SUBMITTAL 10-04-2018		
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BASEMENT FLOOR PLAN

1/4" = 1'-0"



FIRST FLOOR PLAN

1/4" = 1'-0"

PLAN LEGEND

- 2x4 WOOD STUD WALL
- 2x6 WOOD STUD WALL
- RETAINING WALL PER STRUCTURAL
- TEMPERED GLASS TYP. ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PERMANENT IF TEMPERED) AS SAETY GLAZING.
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
  - 5.7 SQ. FT. OF CLEAR OPERABLE AREA, 5.0 SQ. FT. AT GRADE FLOOR
  - NET OPENABLE HEIGHT SHALL BE 24" MIN.
  - NET OPENABLE WIDTH SHALL BE 20" MIN.
  - FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR
- 6020 FX ABV INDICATES TRANSOM WINDOW OVER LOWER WINDOW SEPARATED BY 6x HEADER

FX=FIXED, XO=SLIDER, SH=SINGLE HUNG, DH=DBL. HUNG, CS=CASEMENT, CL=L+CASEMENT LEFT-HANDED, CR=CASEMENT RIGHT-HANDED, SC=SOLID CORE, HC=HOLLOW CORE, FR=FRENCH DOOR, TP=TEMPERED GLASS

PLAN NOTES

- PERIMETER OUTLINE OF FLOOR ABOVE.
- PERIMETER OUTLINE OF FLOOR BELOW.
- EDGE OF CEILING HEIGHT TRANSITION.
- CONCRETE SLAB DECK, SLOPE 2% MIN. AWAY FROM BUILDING.
- 2x4 PLUMBING WALL.
- DECK FINISH BY "DEX-O-TEX", PRODUCT "ELASTATEX 500", ESR-115T, SLOPE MIN. 1/4" PER FT. AWAY FROM BUILDING TO DRAIN.
- 30"x30" GYPSUM BOARD ATTIC ACCESS PANEL.
- OPEN GUARDRAIL AT 42" A.F.F. (U.N.O.).
- CONTINUOUS HANDRAIL 36" ABOVE LANDINGS AND THE NOSING OF TREADS.
- USEABLE ENCLOSED SPACE UNDER STAIRS TO BE PROTECTED ON THE ENCLOSED SIDE WITH (1) LAYER 1/2" MIN. GYPSUM BOARD.
- PROVIDE (1) LAYER 5/8" GYPSUM BOARD ON ALL INTERIOR WALLS AND CEILING.
- ONE LAYER 5/8" TYPE "X" GYPSUM BOARD MIN. AT GARAGE WALL & CEILING WHEN THERE ARE HABITABLE ROOMS ADJACENT/ABOVE THE GARAGE.
- WALL MOUNTED RECESSED WALL MIRROR- FRAMED MIRROR
- CLOSET POLE WITH SHELF.
- 36" REFRIGERATOR PROVIDE COLD WATER CONNECTION.
- 24" WIDE DISHWASHER.
- 36" DROP-IN GAS COOKTOP WITH OVERHEAD EXHAUST HOOD.
- 33" CLEAR WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK-UP AND GALV. SHT. MTL. SNIFFY PAN.
- 33" CLEAR DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE AIR W/ BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO)
- AIR CONDITIONING EQUIPMENT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE SLAB EXTENDING NOT LESS THAN 3" ABOVE ADJOINING LEVEL (CMC SECTION 1106.2) LOCATIONS.
- BASE CABINET, 24"D x 36"H, STAIN GRADE (U.N.O.).
- PULLMAN BASE CABINET, 22"D x 36"H, STAIN GRADE (U.N.O.).
- WALL CABINET, 12"D x 42"H, STAIN GRADE (U.N.O.).
- BUILT-IN CABINET PER OWNER.
- OVAL LAVATORY SINK.
- 32" DOUBLE SINK WITH GARBAGE DISPOSAL WITH AIR SWITCH.
- WATER CLOSET, PROVIDE 30 INCHES MIN. CLEAR WIDTH AND 24 INCHES MIN. CLEAR SPACE IN FRONT, 120 GALLON PER FLUSH MAX.
- 30" x 60" ENAMELED CAST IRON TUB/SHOWER COMBINATION. SHOWER HEAD AT 78" A.F.F. PROVIDE SHOWER ROD. INSTALL PER MFG'S SPECIFICATIONS.
- HOT-MOPPED SHOWER PAN W/ MUDSET CER. TILE FLOOR, FULL HT. CER. TILE ON PLASTER MUDSET WALLS W/ 84"H. SHOWER HEAD. PROVIDE SHATTER-PROOF GLASS ENCLOSURE.
- TANKLESS WATER HEATER, SEALED GAS COMBUSTION APPLIANCE, INSTALL PER MFG. REQUIRED CLEARANCES AND INSTALLATION INSTRUCTION, PROVIDE 120VAC @ 60 HZ. POWER SUPPLY, 24" CLEAR TO COMBUSTIBLES AND NON-COMBUSTIBLES MUST BE MAINTAINED IN FRONT OF THE UNIT FOR SERVICING.
- 2" BALCONY DRAIN W/ OVER FLOW BY "THUNDERBIRD PRODUCTS", ICC-ES ESR-1212.

GENERAL NOTES

- ALL EXTERIOR WALLS AT HOUSE ARE 2x6 STUDS AT 16" O.C. AND INTERIOR WALLS ARE 2x4 STUDS AT 16" O.C. REFER TO T024 SHEETS FOR INSULATION.
- ALL EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING U.N.O.
- DOORS AND WINDOWS LOCATED IN A FRAMED NICHE OR OPENING SHALL BE CENTERED IN THE NICHE OR OPENING U.N.O.
- ALL SHOWER WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 12" MIN. ABOVE FINISHED FLOOR AT SHOWERS OR TUBS WITH SHOWER. MATERIALS, OTHER THAN STRUCTURAL ELEMENTS, SHALL BE NONABSORBENT FINISH. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY II. SWING DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIAMETER CIRCLE.
- PROVIDE ANTI-SCALDING SHOWER AND TUB/SHOWER VALVES.
- DUCTS PENETRATING WALL OR CEILING SEPARATION BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF MIN. 26 GA. SHEET MTL. AND WITH NO OPENINGS INTO GARAGE. (R302.5.2)
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- EXTERIOR WINDOWS, CURTAIN AND WINDOW WALLS, SKYLIGHTS, AND EXTERIOR DOORS SHALL UTILIZED MULTI-GLAZED PANELS.
- ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (1 LUX).
- ALL BEDROOMS TO HAVE AT LEAST ONE OPENABLE WINDOW WITH AN OPENABLE AREA AT LEAST 5.7 S.F., WITH A MINIMUM CLEAR DIMENSION OF 20" WIDE BY 24" HIGH AND SILL HEIGHT NOT OVER 44" FROM FINISH FLOOR.

PLUMBING FIXTURE FLOW RATES

- PLUMBING FIXTURES AND FIXTURE FITTINGS SHALL COMPLY WITH THE FOLLOWING FLOW RATES:
- WATER CLOSETS - 120 G.P.F.
  - URINALS - 0.5 G.P.F.
  - SINGLE SHOWERHEAD - 2.0 G.P.M.
  - MULTIPLE SHOWERHEADS - 20. G.P.M. AT 60PSI FOR ALL COMBINED SHOWERHEADS.
  - LAVATORY FAUCETS - 1.5 G.P.M. AT 60PSI
  - LAVATORY FAUCETS IN PUBLIC USE AREAS - 0.5 G.P.M. AT 60PSI.
  - METERING FAUCETS - 0.25 GALLONS PER CYCLE.
  - KITCHEN FAUCETS - 1.8 G.P.M. AT 60PSI.

M.S. CONSULTING ENGINEERING  
Residential Commercial Industrial

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STAMP & SIGNATURE

Submital

2AD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

REVISIONS

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LN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029  
BASEMENT PLAN & 1ST FLOOR PLAN

JOB No. 2017\_108

DRAWN BY MH

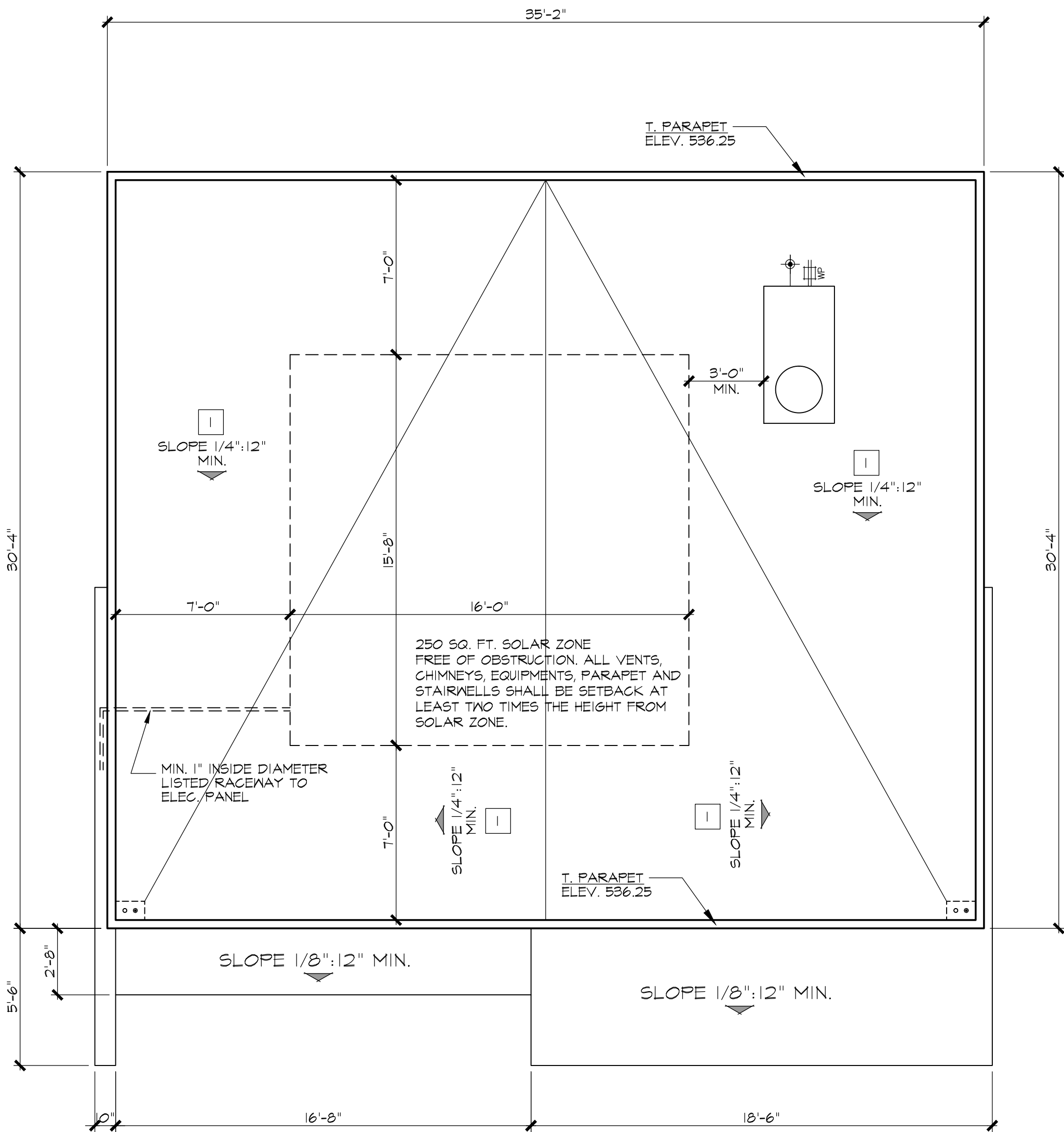
DATE 06-03-2019

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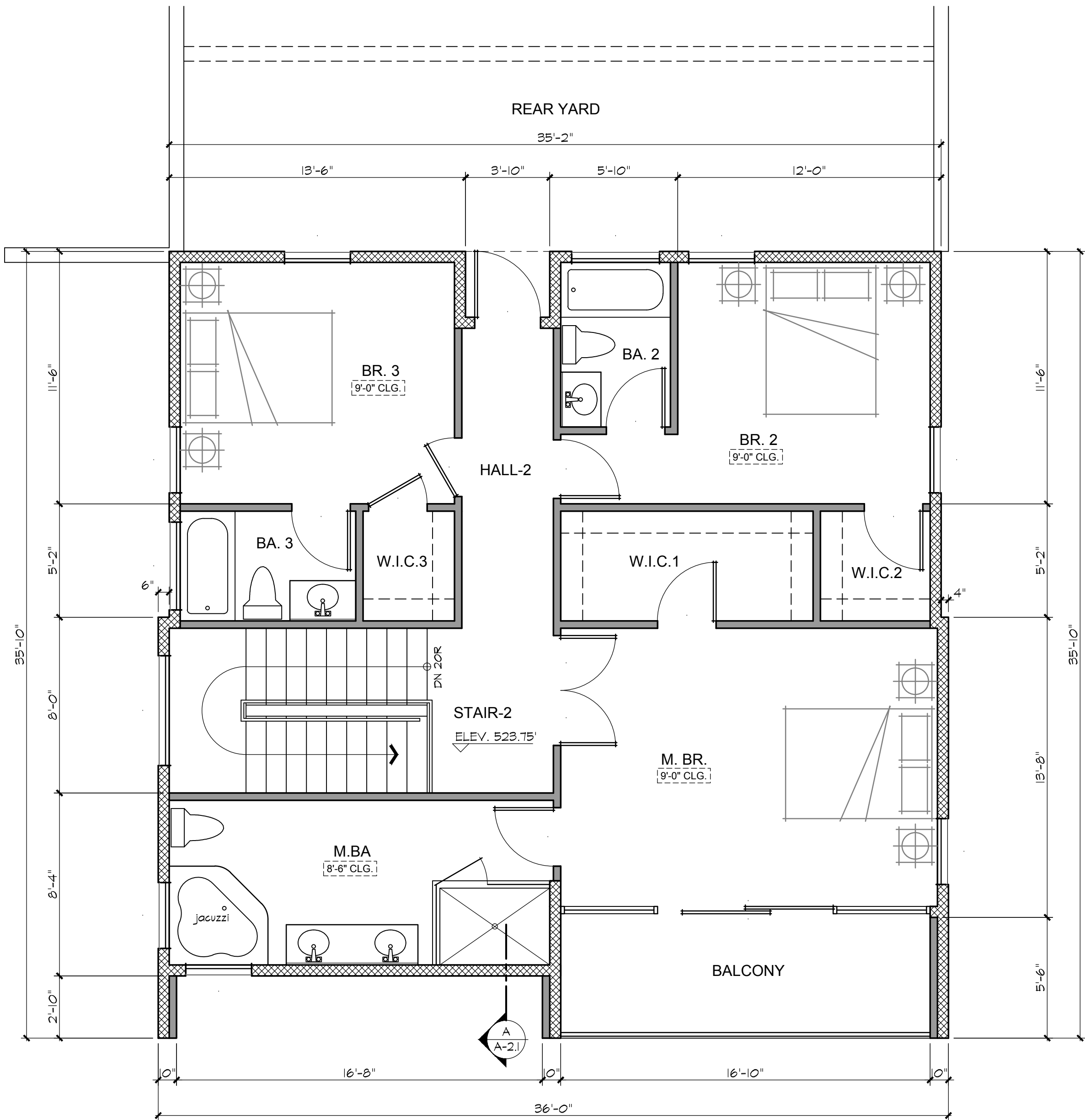
A-1.1





ROOF PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"

PLAN LEGEND

- 2x4 WOOD STUD WALL
- 2x6 WOOD STUD WALL
- RETAINING WALL PER STRUCTURAL
- TEMPERED GLASS TYP. ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PERMANENT IF TEMPERED) AS SAETY GLAZING.
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  - NET OPENABLE HEIGHT SHALL BE 24" MIN.
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- 6020 FX ABV INDICATES TRANSOM WINDOW OVER LOWER WINDOW SEPARATED BY 6x HEADER
- 6050 XO
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PLAN NOTES

- 1A PERIMETER OUTLINE OF FLOOR ABOVE.
- 1B PERIMETER OUTLINE OF FLOOR BELOW.
- 1C EDGE OF CEILING HEIGHT TRANSITION.
- 3A CONCRETE SLAB DECK, SLOPE 2% MIN. AWAY FROM BUILDING.
- 6A 2x4 PLUMBING WALL.
- 7A DECK FINISH BY 'DEX-O-TEX', PRODUCT 'ELASTATEX 500', ESR-115T, SLOPE MIN. 1/4" PER FT. AWAY FROM BUILDING TO DRAIN.
- 8A 30"x30" GYPSUM BOARD ATTIC ACCESS PANEL.
- 9A OPEN GUARDRAIL AT 42" A.F.F. (U.N.O.).
- 9B CONTINUOUS HANDRAIL 36" ABOVE LANDINGS AND THE NOSING OF TREADS.
- 9C USEABLE ENCLOSED SPACE UNDER STAIRS TO BE PROTECTED ON THE ENCLOSED SIDE WITH (1) LAYER 1/2" MIN. GYPSUM BOARD.
- 9D PROVIDE (1) LAYER 5/8" GYPSUM BOARD ON ALL INTERIOR WALLS AND CEILING.
- 9E ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD MIN. AT GARAGE WALL & CEILING WHEN THERE ARE HABITABLE ROOMS ADJACENT/ABOVE THE GARAGE.
- 10A WALL MOUNTED RECESSED WALL MIRROR- FRAMED MIRROR
- 10B CLOSET POLE WITH SHELF.
- 11A 36" REFRIGERATOR PROVIDE COLD WATER CONNECTION.
- 11B 24" WIDE DISHWASHER.
- 11C 36" DROP-IN GAS COOKTOP WITH OVERHEAD EXHAUST HOOD.
- 11D 33" CLEAR WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK-UP AND GALLY, SH, MTL, SMITTY PAN.
- 11E 33" CLEAR DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE AIR W/ BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS, (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO) AIR CONDITIONING EQUIPMENT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE SLAB EXTENDING NOT LESS THAN 3" ABOVE ADJOINING LEVEL (CMC SECTION 1106.2) LOCATIONS.
- 12A BASE CABINET, 24"D x 36"H, STAIN GRADE (U.N.O.).
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- 12C WALL CABINET, 12"D x 42"H, STAIN GRADE (U.N.O.).
- 12D BUILT-IN CABINET PER OWNER.
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- 22B 32" DOUBLE SINK WITH GARBAGE DISPOSAL WITH AIR SWITCH.
- 22C WATER CLOSET W/IDE 30 INCHES MIN. CLEAR WIDTH AND 24 INCHES MIN. CLEAR SPACE IN FRONT, 120 GALLON PER FLUSH MAX.
- 22D 30" x 60" ENAMELED CAST IRON TUB/SHOWER COMBINATION. SHOWER HEAD AT 78" A.F.F. PROVIDE SHOWER ROD. INSTALL PER MFG'S SPECIFICATIONS.
- 22E HOT-MOPPED SHOWER PAN W/ MUDSET CER. TILE FLOOR, FULL HT. CER. TILE ON PLASTER MUDSET WALLS W/ 84"H. SHOWER HEAD. PROVIDE SHATTER-PROOF GLASS ENCLOSURE.
- 22F TANKLESS WATER HEATER. SEALED GAS COMBUSTION APPLIANCE. INSTALL PER MFG'S REQUIRED CLEARANCES AND INSTALLATION INSTRUCTION. PROVIDE 120VAC @ 60 HZ. POWER SUPPLY. 24" CLEAR TO COMBUSTIBLES AND NON-COMBUSTIBLES MUST BE MAINTAINED IN FRONT OF THE UNIT FOR SERVICING.
- 22G 2" BALCONY DRAIN W/ OVER FLOW BY 'THUNDERBIRD PRODUCTS', ICC-ES ESR-1212.

GENERAL NOTES

- 1. ALL EXTERIOR WALLS AT HOUSE ARE 2x6 STUDS AT 16" O.C. AND INTERIOR WALLS ARE 2x4 STUDS AT 16" O.C.. REFER TO T024 SHEETS FOR INSULATION.
- 2. ALL EXTERIOR DIMENSIONS ARE TO ROUGH FRAMING U.N.O..
- 3. DOORS AND WINDOWS LOCATED IN A FRAMED NICHE OR OPENING SHALL BE CENTERED IN THE NICHE OR OPENING U.N.O..
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- 5. PROVIDE ANTI-SCALDING SHOWER AND TUB/SHOWER VALVES.
- 6. DUCTS PENETRATING WALL OR CEILING SEPARATION BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF MIN. 26 GA. SHEET MTL. AND WITH NO OPENINGS INTO GARAGE. (R302.5.2)
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- 8. EXTERIOR WINDOWS, CURTAIN AND WINDOW WALLS, SKYLIGHTS, AND EXTERIOR DOORS SHALL UTILIZED MULTI-GLAZED PANELS.
- 9. ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE (1 LUX).
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PLUMBING FIXTURE FLOW RATES

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  - URINALS - 0.5 G.P.F.
  - SINGLE SHOWERHEAD - 2.0 G.P.M.
  - MULTIPLE SHOWERHEADS - 20. G.P.M. AT 60PSI FOR ALL COMBINED SHOWERHEADS.
  - LAVATORY FAUCETS - 1.5 G.P.M. AT 60PSI.
  - LAVATORY FAUCETS IN PUBLIC USE AREAS - 0.5 G.P.M. AT 60PSI.
  - METERING FAUCETS - 0.25 GALLONS PER CYCLE.
  - KITCHEN FAUCETS - 1.8 G.P.M. AT 60PSI.

UNVENTED ENCLOSED RAFTER ASSEMBLIES

R206.5 UNVENTED ATTIC ASSEMBLIES (SPACE BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTER) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILING THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS/RAFTERS AND THE STRUCTURAL ROOF SHEATHING AT THE TOP OF THE ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL THE FOLLOWING CONDITIONS ARE MET:

SECTION #	DESCRIPTION	MEET REQ'T	REMARKS
R206.5.1	THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITH IN THE BUILDING THERMAL ENVELOP.	YES	
R206.5.2	NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY.	YES	DETAIL 1/AD-1.1
R206.5.3	WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHEATHING.	N/A	NO WOOD SHINGLES OR SHAKES
R206.5.4	IN CALIFORNIA CLIMATE ZONE 14 AND 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION.	N/A	CLIMATE ZONE 9
R206.5.5.2	AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHEATHING, RIGID BOARD OR SHEET INSULATION WITH R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.	YES	DETAIL 1/AD-1.1

ROOF KEY NOTES

- 1. CLASS A ROOFING, 'FLINTLASTIC SA SELF-ADHERING SBS MODIFIED BITUMEN ROOF' BY 'CERTAINTED' (OR APPROVED EQUAL), ICC-ES ESR-1388, OVER PLYWOOD SHEATHING WITH RADIANT BARRIER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

COOLSTAR 'CERTAINTED' 'FLINTLASTIC SA GAP 3-PLY SYSTEM', COLOR 'OFF-WHITE', CRRG PROD. ID# 0668-0018  
SOLAR REFLECTANCE: 0.27 (INITIAL), 0.24 (3-YEAR)  
THERMAL EMITTANCE: 0.89 (INITIAL), 0.89 (3-YEAR)  
SRI: 28 (INITIAL), 24 (3-YEAR)
- 2. DECK DRAIN WITH OVERFLOW BY 'THUNDERBIRD PRODUCTS', MODEL # BDCB2NH.
- 3. 5 TON, 14 SEER SELF-CONTAINED PACKAGED A/C UNIT, BY 'ALPINE HOME AIR PRODUCTS', REF. T-24 CALG.
- 4. 4" W. CONCEALED ROOF GUTTER.
- 5. ▲ INDICATES ROOF PITCH (TYPICAL U.N.O.)

ROOF GENERAL NOTES:

- 1. GUTTER AND DOWNSPOUT LAYOUTS TO BE FIELD VERIFIED.
- 2. PROVIDE RADIANT BARRIER W/ AN EMITTANCE OF 0.05 OR LESS TO ROOF SHEATHING. THE PRODUCT MUST BE TESTED ACCORDING TO ASTM C-1371-98 OR ASTM E408-11(2002) AND MUST BE CERTIFIED BY THE DEPARTMENT OF CONSUMER AFFAIRS. RADIANT BARRIERS MUST ALSO MEET INSTALLATION CRITERIA AS SPECIFIED IN RESIDENTIAL APPENDICES RA4.2.2
- 3. ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSOLIDATED AND LOCATED IN AREAS THAT MINIMIZE THE VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE AND SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

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ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

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JOB No. 2017\_108

DRAWN BY MH

DATE 06-03-2019

SCALE REF. DWGS.

SHEET No.





## SECTION NOTES

## GENERAL NOTES

M.S. CONSULTING ENGINEERING  
Residencial Commercial Industrial

12631 IMPERIAL HWY SUITE F-230, SANTA FE SPRINGS, CA 90670  
Tel: (562) 863-9999 FAX: (562) 863-9991

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## Submittal

ZAD APPLICATION 06-05-2019

BUILDING & SAFETY  
SUBMITTAL 10-04-201

## REVISIONS

No.	DATE	DESCRIPTION
1		

LIN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029

## BUILDING SECTION

JOB No. 2017\_108

DRAWN BY MH

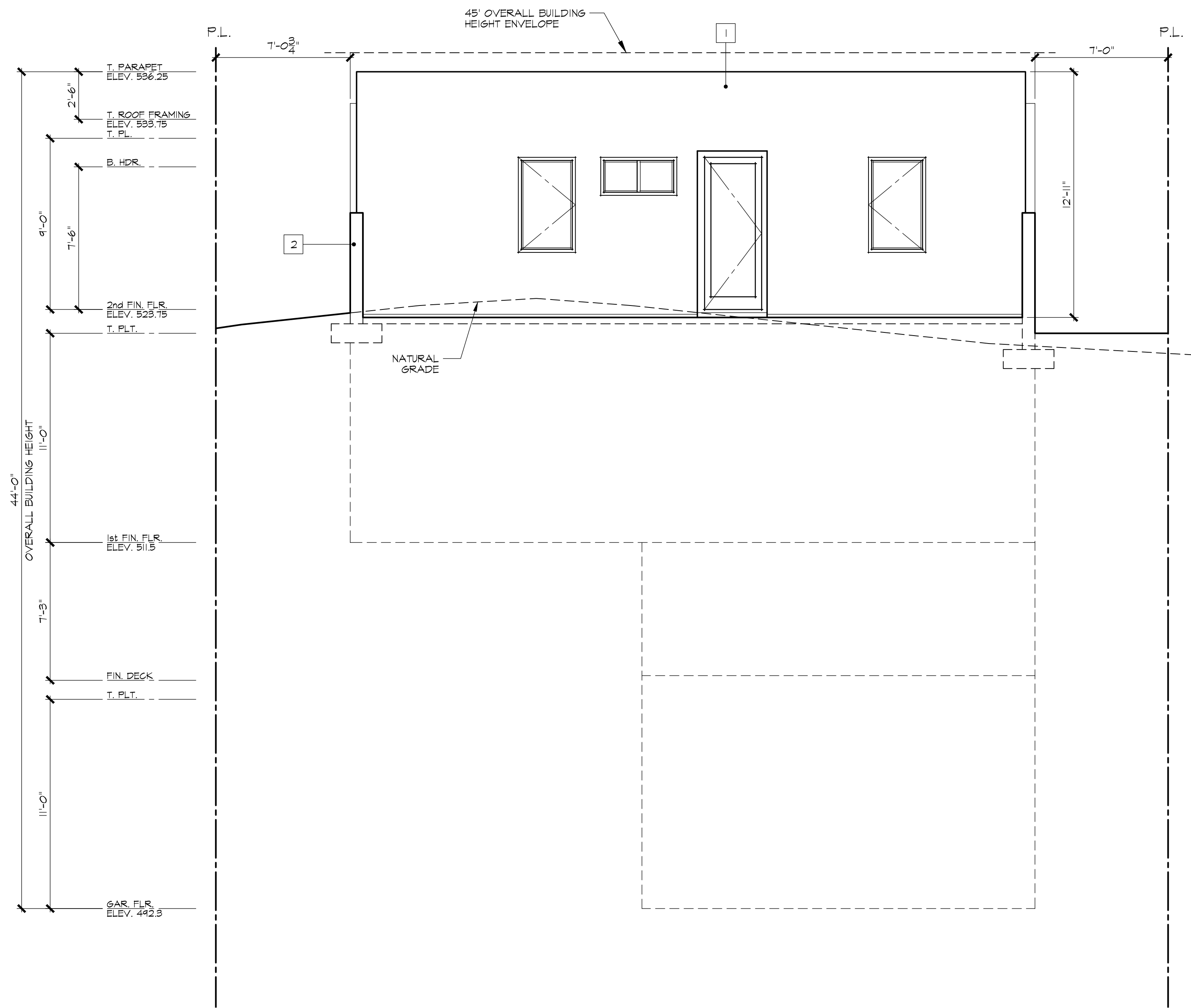
DATE 06-03-2019

SCALE	REF. DWGS.
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SHEET No.

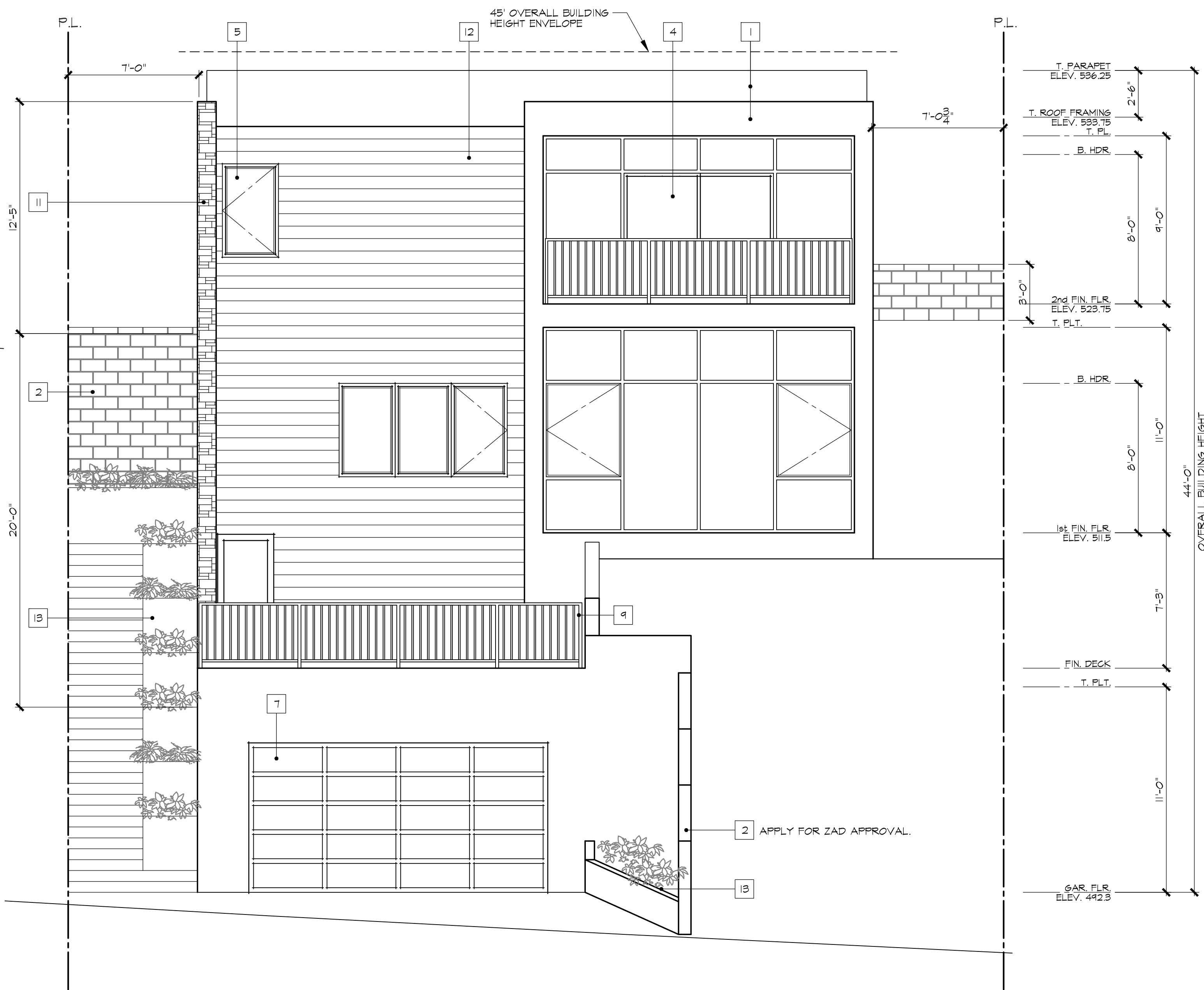
## A-2.1





EAST (REAR) ELEVATION

1/4" = 1'-0"



WEST (FRONT) ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

- 1 SMOOTH FINISH STUCCO BY "LaHabra STUCCO". 50 CRYSTAL WHITE (79) BASE 100.
- 2 CMU RETAINING WALL.
- 3 1/2" EXPANSION JOINT.
- 4 ALUMINUM DOOR PER PLAN.
- 5 ALUMINUM WINDOW PER PLAN.
- 6 WOOD ENTRY DOOR PER PLAN.
- 7 GARAGE DOOR PER PLAN.
- 8 CANOPY WITH SMOOTH STUCCO FINISH.
- 9 OPEN W.I. GUARDRAIL AT 42" A.F.F. (U.N.O.).
- 10 CONT. W.I. HANDRAIL AT 36" ABOVE LANDING AND NOSING OF TREADS. REF. DETAIL 14/AD-11.
- 11 ADHERED THIN ARCHITECTURAL MASONRY VENEER OVER EXTERIOR PLASTER. 'CAMBRIA CLIFFSTONE' BY 'ELDORADO STONE' OR APPROVED EQUAL. ICC-ES ESR-1215. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 12 STEEL SIDING BY 'EDCO'. SINGLE 8-INCH SANDTONE, COLOR 'MAHOGARY HD'.
- 13 LANDSCAPE PLANTER. REF. TO LANDSCAPE PLANS.

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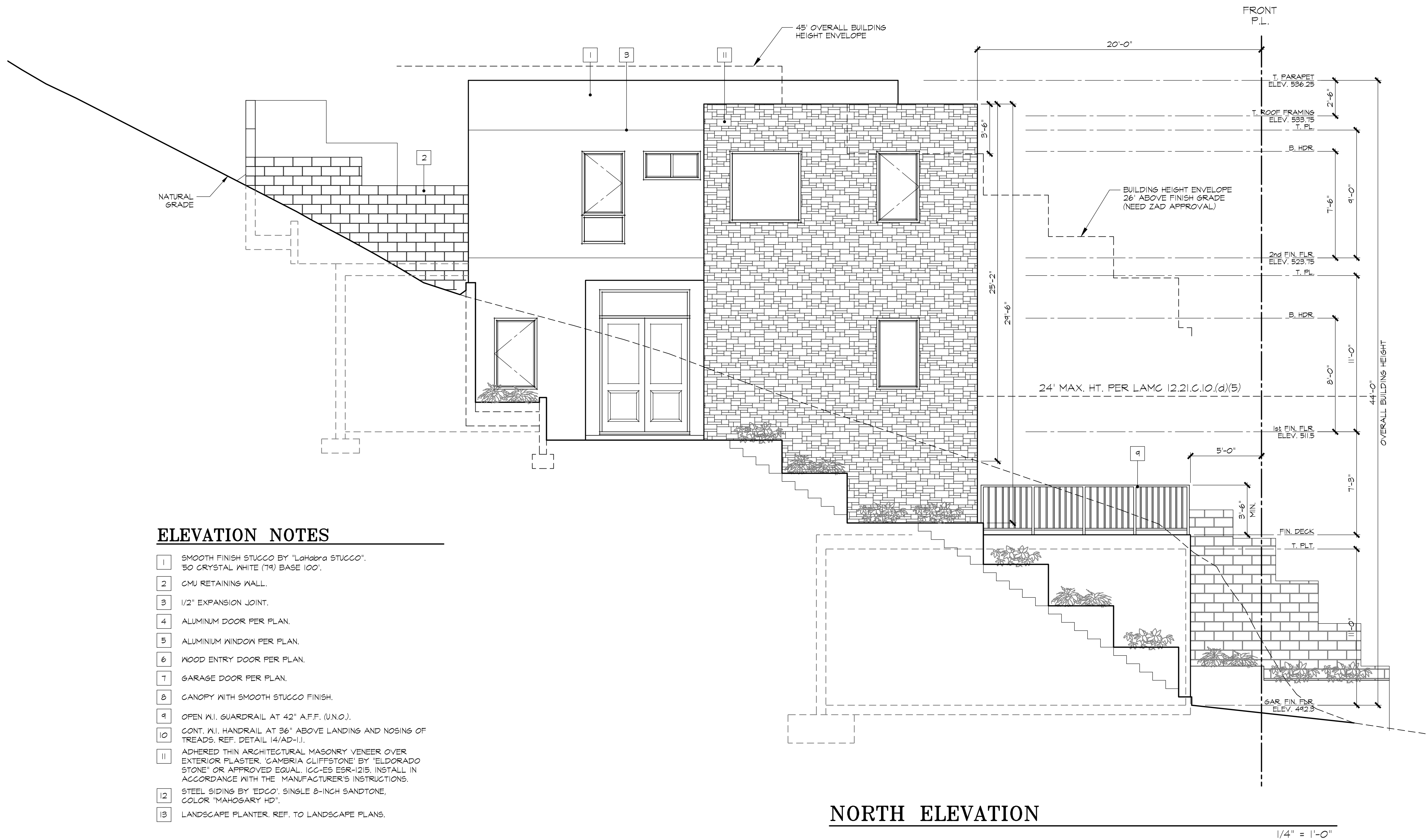
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BUILDING & SAFETY SUBMITTAL 10-04-2018		
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JOB No.	2017_108
DRAWN BY	MH
DATE	06-03-2019
SCALE	REF. DWGS.
SHEET No.	





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ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

REVISIONS

No.	DATE	DESCRIPTION
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LN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029  
EXTERIOR ELEVATIONS

JOB No. 2017\_108

DRAWN BY MH

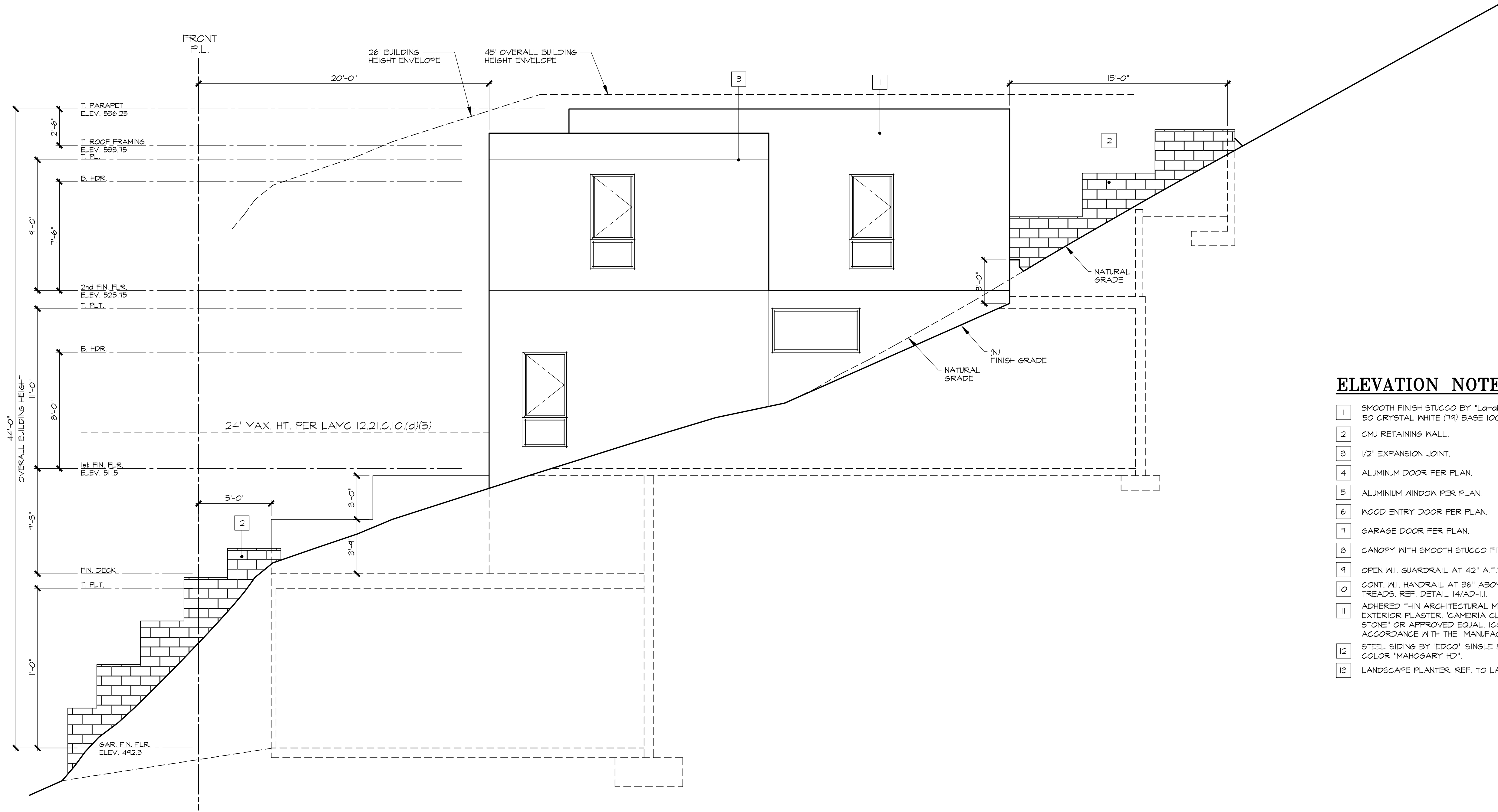
DATE 06-03-2019

SCALE REF. DWGS.

SHEET No.

A-3.2





SOUTH ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

- SMOOTH FINISH STUCCO BY "LaHabra STUCCO".  
50 CRYSTAL WHITE (T9) BASE 100.
- CMU RETAINING WALL.
- 1/2" EXPANSION JOINT.
- ALUMINUM DOOR PER PLAN.
- ALUMINUM WINDOW PER PLAN.
- WOOD ENTRY DOOR PER PLAN.
- GARAGE DOOR PER PLAN.
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BUILDING & SAFETY SUBMITAL 10-04-2018

REVISIONS		
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LIN RESIDENCE  
500 CLIFTON ST, LOS ANGELES, CA 90031  
APN # 5206-024-029  
EXTERIOR ELEVATIONS

JOB No. 2017\_108

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DATE 06-03-2019

SCALE REF. DWGS.

SHEET No.

A-3.3





10. Lot 40



11. Lot 41



12. Lot 42



6. Lot 21



7. Lot 35



8. Lot 36



9. Lot 38



2. Lot 15



3. Lot 16



4. Lot 19



5. Lot 20

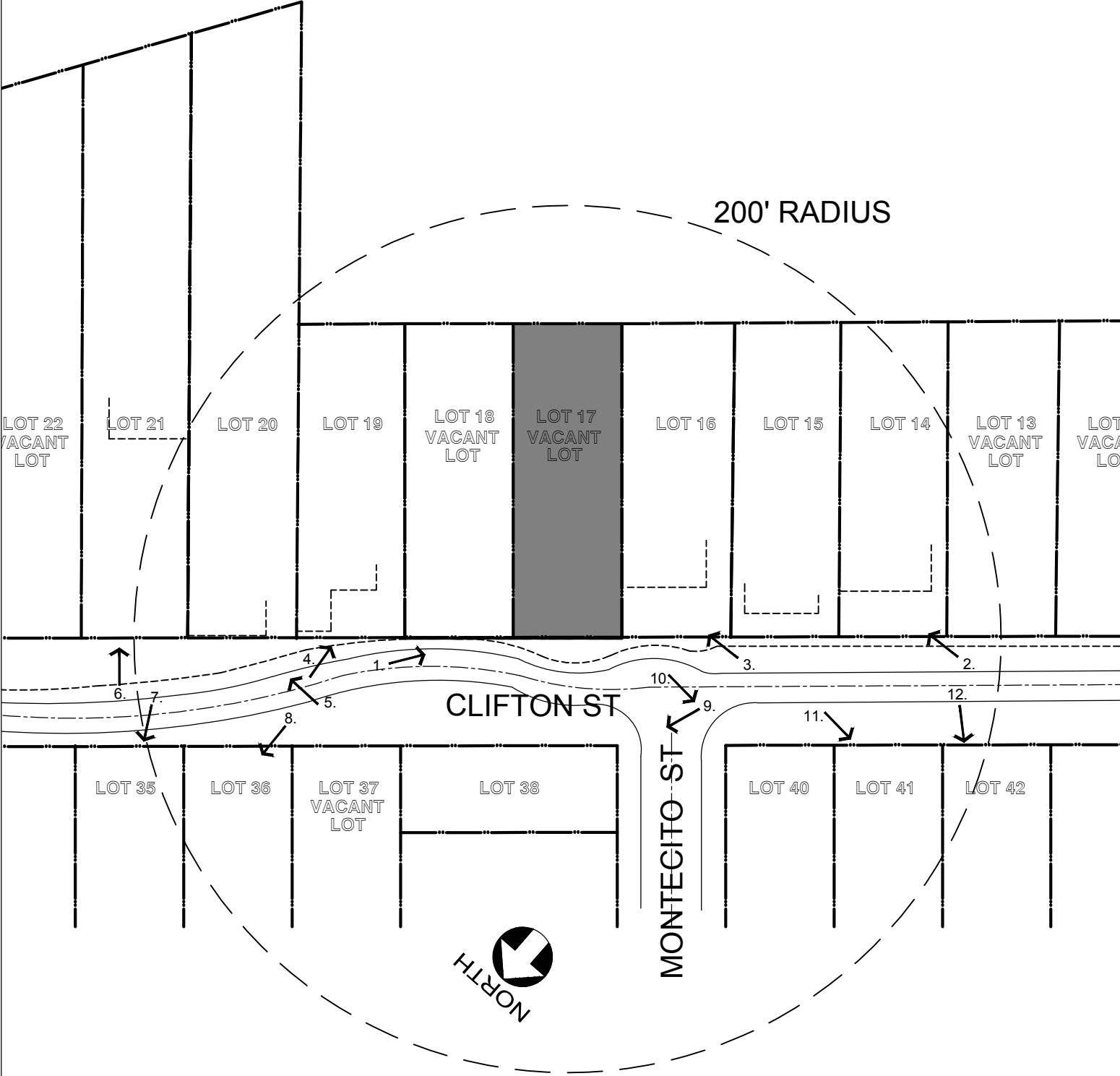


PHOTO INDEX MAP



1. Lot 17 (Proposed Site)

M.S. CONSULTING ENGINEERING  
Residential Commercial Industrial

12631 IMPERIAL HWY SUITE F-230, SANTA FE SPRINGS, CA 90670  
Tel: (562) 863-9999 FAX: (562) 863-9991

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REGISTERED PROFESSIONAL ENGINEER  
MICHAEL J. LONG  
S 5266  
Do Not Seal  
STRUCTURAL  
STATE OF CALIFORNIA

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Submittal

ZAD APPLICATION 06-05-2019

BUILDING & SAFETY SUBMITTAL 10-04-2018

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SITE PHOTOS

JOB No. 2017\_108

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DATE 06-03-2019

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