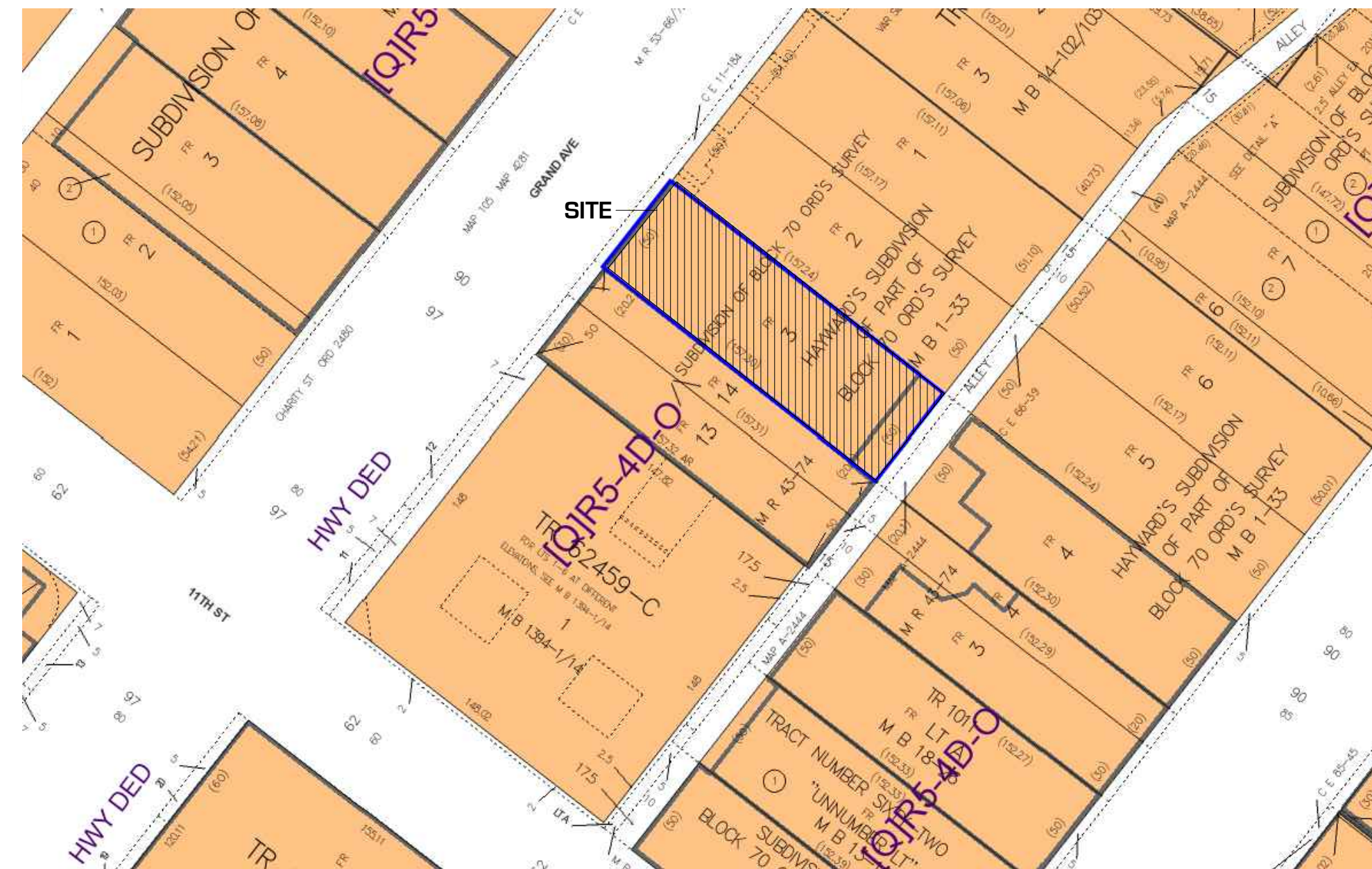
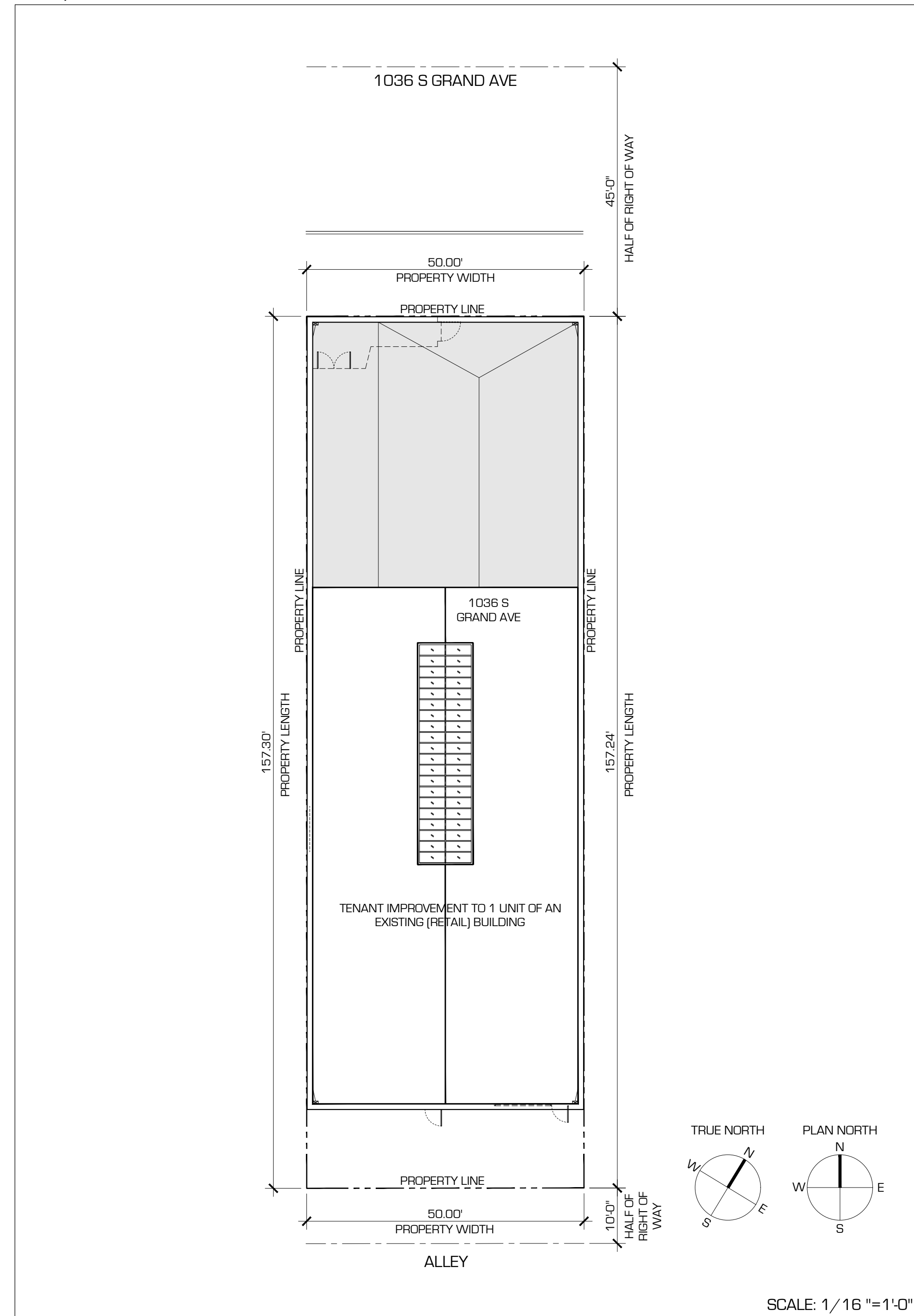


VICINITY MAP



SITE/PLOT PLAN



SYMBOLS

DIMENSION STYLE 5'-8" IMPERIAL	FINISH SYMBOL TAG x 000
WINDOW TYPE ◇ 000	DOOR TYPE ◻ 000
ROOM NAME / NUMBER NAME [XXX000] SQUARE FOOTAGE CEILING HEIGHT	REVISION ARC LENGTH 1/8"
POINT MARKER 0'-0" 0'-0"	INTERIOR ELEVATION DRAWING NUMBER SHEET NUM.
HEIGHT ELEVATION LEVEL X 0.0 A.F.F.	SECTION TAG 0 ADD.00
MATCH LINE MATCHLINE	DETAIL TAG 0 ADD.00
BREAK LINE	EXTERIOR ELEVATION 00 ADD.00
KEY NOTE [00]	CALL OUT 00 ADD.00
NOTE TEXT	GRID LINE TAG XY

TRUE NORTH PLAN NORTH

DRAWING TITLE.
SCALE: 0"=1'-0"

DRAWING LEGEND

#	SHEET TITLE	ISSUE AND DATE
A0.00	COVER SHEET	●
A0.10	GENERAL NOTES	
A0.20	ACCESSIBILITY NOTES	
A0.21	ACCESSIBILITY NOTES	
A0.22	ACCESSIBILITY NOTES	
A0.23	ACCESSIBILITY NOTES	
A0.24	ACCESSIBILITY NOTES	
A0.25	ACCESSIBILITY NOTES	
A1.00	SITE PLAN / ROOF PLAN	●
A2.00	AS-BUILT / DEMO PLAN	●
A2.10	FIRST FLOOR PLAN	●
A4.00	ELEVATIONS	●
A4.10	ELEVATIONS	●
A6.00	ENLARGED PLANS & ELEVATIONS	
A6.10	ENLARGED PLANS & ELEVATIONS	
A10.00	INTERIOR DETAILS	
A10.10	INTERIOR DETAILS	
A11.00	DOOR SCHEDULE	

PLUMBING FIXTURE CALCULATION

PLUMBING FIXTURE CALCULATIONS PER
2017 LAPC, CHAPTER 4

1036 S. GRAND

TENANT SPACE OCCUPANCY	A-2
AREA OF A-2 - LOUNGE OCCUPANCY	3,070 SF
OCCUPANT LOAD FACTOR	15
TOTAL OCCUPANT LOAD PER PLUMBING CODE	205 (3,070 SF / 15 = 204.66 = 205)
TOTAL MALE OCCUPANTS	103 (205 / 2 = 102.5 = 103)
TOTAL FEMALE OCCUPANTS	103 (211 / 2 = 102.5 = 103)

REQUIRED PLUMBING FIXTURES:

	WATER CLOSET	URINAL	SINK
MEN	2 (51-150=2)	1 (1-200=1)	1 (1-150=1)
WOMEN	4 (101-200=4)	-	1 (1-150=1)

PROVIDED PLUMBING FIXTURES:

	WATER CLOSET	URINAL	SINK
MEN	2	-	2
WOMEN	4	-	2

PROJECT INFORMATION

SCOPE OF WORK:
TENANT IMPROVEMENT TO AN (E) COMMERCIAL BUILDING. CHANGE OF USE FROM RETAIL TO MIXED USE WITH BAR, OFFICE, AND LOUNGE.

PROJECT ADDRESS:
1036 S GRAND AVE.
LOS ANGELES, CA 90015

ASSESSOR PARCEL NUMBER: 5139 010 007

TRACT: HAYWARD'S SUBDIVISION OF PART OF BLOCK 70 ORD SURVEY

LOTS: FR 3

BLOCK: NONE

GROSS SITE AREA: 7,851.9 SF

GROSS BUILDING AREA: 7,150 SF

AREA OF REMODEL: 7,150 SF

BUILDING HEIGHT: 23'-6" (EXISTING, NO CHANGE)

NUMBER OF STORIES : 1

BUILDING AREA PER ZONING CODE:	FLOOR AREA (NET TOTAL)	BUILDING AREA PER ZONING CODE:	AREA CONFINED WITHIN EXTERIOR WALLS, EXCLUDING:
1036 S. GRAND TOTAL	5,844 SF	1036 S. GRAND TOTAL	EXTERIOR WALLS, STAIRWAYS, SHAFTS AND MECHANICAL ROOMS,
KITCHEN AND BACK OF HOUSE	2,068 SF	KITCHEN AND BACK OF HOUSE	PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS,
CAFE / PERFORMANCE SPACES	3,070 SF	CAFE / PERFORMANCE SPACES	BIKE PARKING,
STORAGE	102 SF	STORAGE	BASEMENT STORAGE AREAS
CIRCULATION / RESTROOMS / MECH.	1,000 SF	CIRCULATION / RESTROOMS / MECH.	

BUILDING AREA PER BUILDING CODE:	FLOOR AREA (NET TOTAL)	BUILDING AREA PER BUILDING CODE (GROSS):	USABLE AREA CONFINED WITHIN EXTERIOR WALLS, PLUS AREAS INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE, EXCLUDING:
1036 S. GRAND TOTAL	6,400 SF	1036 S. GRAND TOTAL	VENT SHAFTS AND COURTS
KITCHEN AND BACK OF HOUSE	2,068 SF	KITCHEN AND BACK OF HOUSE	
CAFE / PERFORMANCE SPACES	3,070 SF	CAFE / PERFORMANCE SPACES	
STORAGE	102 SF	STORAGE	
CIRCULATION / RESTROOMS / MECH.	1,000 SF	CIRCULATION / RESTROOMS / MECH.	
OUTDOOR SPACE (COVERED)	160 SF	OUTDOOR SPACE (COVERED)	

EXTERIOR & INTERIOR WALLS: 750 SF
TOTAL GROSS: 7,150 SF

PARKING:
REQUIRED: 0 (EXISTING NON-CONFORMING, NO CHANGE IN PARKING LOAD)
PROVIDED: 0

ZONING & BUILDING CODE SUMMARY

CODES	2017 LA BUILDING CODE (LABC)
	2017 LA MECHANICAL CODE (LAMC)
	2017 LA PLUMBING CODE (LAPC)
	2017 LA ELECTRICAL CODE (LAEC)
	2017 LA GREEN BUILDING CODE (LAGBC)
	2016 ENERGY STANDARDS

ZONING CODES	LOS ANGELES PLANNING AND ZONING
SPECIFIC PLAN	NONE

JURISDICTION	CITY OF LOS ANGELES COUNTY OF LOS ANGELES STATE OF CALIFORNIA
PARCEL ZONING	(Q)R5-4D
GENERAL PLAN USE	HIGH DENSITY RESIDENTIAL
BUILDING OCCUPANCY	A-2

1036 S GRAND AVE	205 (3,070 SF / 15 NET = 204.66)
OCCUPANT LOAD (A-2) CAFE / PERFORMANCE SPACE	205 (3,070 SF / 15 NET = 204.66)
OCCUPANT LOAD KITCHEN AND BACK OF HOUSE	21 (2,068 SF / 100 GROSS = 20.68)
TOTAL OCCUPANT LOAD	226
NUMBER OF EXITS REQ'D	2
NUMBER OF EXITS PROVIDED	2
SIZE OF EXITS REQUIRED	45" (226 OCC LOAD x .2 = 45.2" = 45")
SIZE OF EXITS PROVIDED	72"

TYPE OF CONSTRUCTION	TYPE III-B
SPRINKLERS	NO
SETBACKS PER 12.22.C	
FRONT YARD - 0'-0"	
SIDE YARD - 0'-0"	
REAR YARD - 0'-0"	

PROJECT ADDRESS	1036 S GRAND AVE LOS ANGELES, CA 90015
OWNER	XXX XXX XXX XXX
TENANT	XXX XXX XXX XXX
STRUCTURAL ENGINEER	XXX XXX XXX XXX

COVER SHEET

PROJECT
1036 GRAND

DRAWING

PROJECT ADDRESS
1036 S GRAND AVE
LOS ANGELES, CA 90015

OWNER
XXX
XXX
XXX
XXX

TENANT
XXX
XXX
XXX
XXX

STRUCTURAL ENGINEER
XXX
XXX
XXX
XXX

CODE NOTES:

- FOR DOOR SCHEDULE SEE A11.00
- ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
- GLAZING IN HAZARDOUS LOCATIONS: GLAZING IN WALLS OF A BUILDING AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS SHALL COMPLY WITH THE REQUIREMENTS OF LABC SECTION 2406 WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 50 INCHES ABOVE THE POOL SIDE OF THE GLAZING. - THE GLAZING IS LESS THAN 5 FEET FROM SWIMMING POOL OR SPA WATER'S EDGE.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD.
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING: GLAZING IN: (2406)
- AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
- NOT USED
- THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. MODIFICATIONS TO EXISTING SYSTEM UNDER SEPARATE PERMIT BY OTHERS.

LEGEND

- NEW WALL PARTITION, FOR PARTITION TYPES SEE A10.00 SERIES DETAIL SHEETS
- EXISTING WALL / ROOF
- EXISTING BRICK WALL
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- PATH OF MAIN EGRESS (ARROW DENOTES DIRECTION)
- UNOBSTRUCTED PATH OF TRAVEL FROM FURTHEST DISTANCE
- EXHAUST FAN ON CEILING @ 50 CFM MIN. REQ'D
- SMOKE DETECTOR ON CEILING
- CARBON MONOXIDE SMOKE ALARM ON CEILING
- DOOR TAG - SEE A11.00
- WINDOW TAG - SEE A11.00

NOTES

- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.
- EXIT LIGHT
- OCCUPANT LOAD IN EXIT ACCESS PATH

ROOM	ROOM NAME
246	ROOM NUMBER
R-1	OCCUPANCY TYPE
200	OCCUPANT LOAD FACTOR
560 SF	SQUARE FOOTAGE
3	OCCUPANT LOAD

STAIR	EXIT COMPONENT
196 / 3"	OCCUPANCY LOAD @ COMPONENT / FACTOR
59" REQ	REQ. COMPONENT WIDTH
72" PROV.	COMPONENT WIDTH PROVIDED

KEY NOTES

- 01 [E] ROOF TO REMAIN
- 02 [E] OPENING TO BE FILLED
- 03 [E] BRICK WALL TO REMAIN
- 04 LINE OF CEILING ABOVE
- 05 42" HIGH GLASS RAILING
- 06 [E] COLUMN TO REMAIN
- 07 [E] STRUCTURE TO REMAIN
- 08 BOBRICK RECESSED TOWEL DISPENSER & WASTE UNIT, PER SPEC.
- 09 [N] SHOWER SEAT PER SPEC.
- 10 [N] FLOOR DRAIN, SEE A10.01/09 FOR DETAIL
- 11 LIGHTING / CAMERA PLATFORM
- 12 BOBRICK SEMI-RECESSED TOILET PAPER DISPENSER, PER SPEC.
- 13 6" TILE BASE PER SPEC.
- 14 42" HIGH GUARDRAIL
- 15 34" HIGH GRAB BAR
- 16 AMBULATORY ACCESSIBLE COMPARTMENT
- 17 LED MARQUEE (3' x 17')
- 18 ARCHITECTURAL SCREEN
- 19 [E] ROOF DRAIN TO REMAIN
- 20 LINE OF FLOOR BELOW

MATERIALS

FLOORS

- F 001 [E] CONCRETE FLOOR, POLISHED
- F 002 TILE FLOOR PER SPEC.
- F 003 WOOD FLOOR PER SPEC.

EXTERIOR WALLS

- E 001 STUCCO, PER SPEC.
- E 002 POWDER COATED ALUMINIUM, PER SPEC.
- E 003 [E] BRICK, PATCH & REPAIR PER SPEC.
- E 004 [E] STUCCO, PATCH & REPAIR PER SPEC.

INTERIOR FINISHES

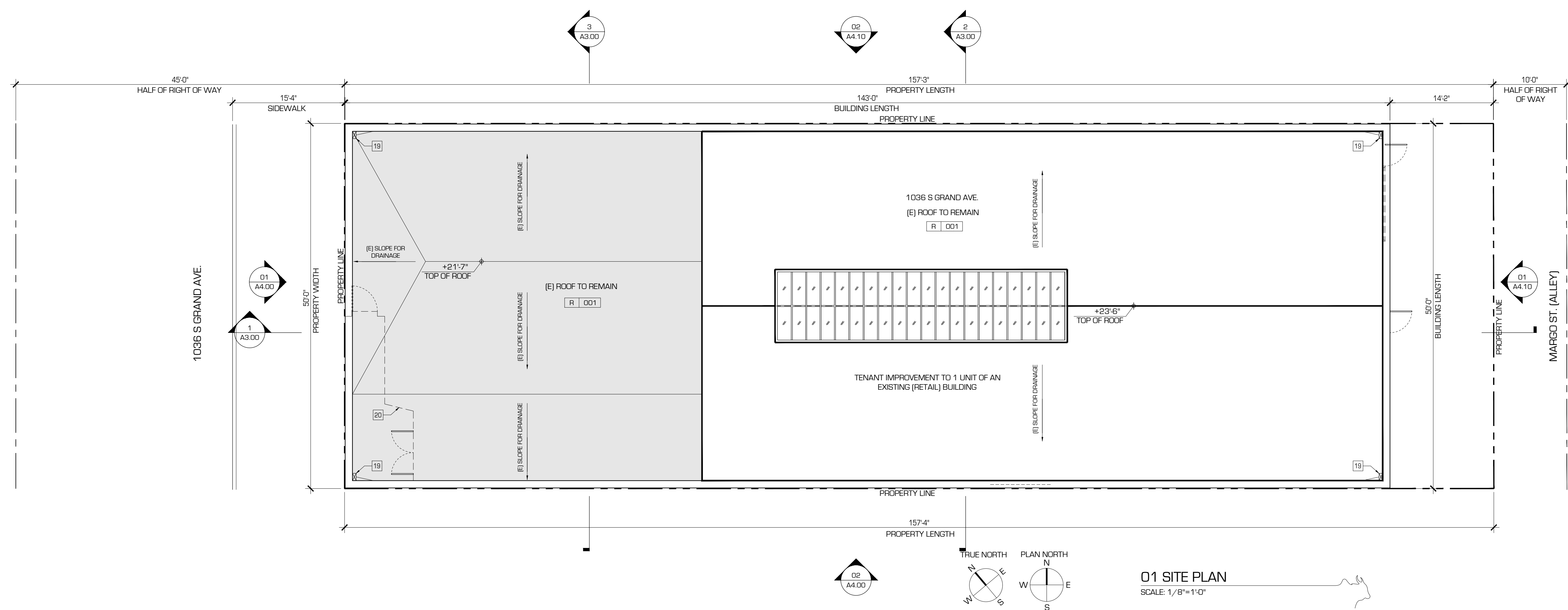
- I 001 PAINTED GYPSUM BOARD PER SPEC.
- I 002 TILE PER SPEC.
- I 003 PAINTED CABINET
- I 004 CAESAR STONE

FIXTURES

- F01 SINK - PER SPEC
- F02 FAUCET - PER SPEC
- F03 REFRIGERATOR PER SPEC
- F04 TOILET - PER SPEC
- F05 MICROWAVE PER SPEC
- F06 KITCHENETTE SINK - PER SPEC.
- F07 KITCHENETTE FAUCET - PER SPEC.
- F08 MIRROR - PER SPEC
- F09 FLOOR DRAIN - PER SPEC
- F10 NOT USED

GREEN BUILDING NOTES:

- NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. PROVIDE THE MANUFACTURER'S CUT SHEET FOR VERIFICATION (4.506.1, 9.506.1)
- NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1, 9.506.1)
- THE HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. (CALGREEN 4.507.2, 9.507.2)



O1 SITE PLAN
SCALE: 1/8"=1'-0"

SITE PLAN / ROOF PLAN

PROJECT
1036 GRAND

DRAWING

A1.00

LEGEND

- EXISTING TO BE DEMOLISHED
- ===== EXISTING WALLS TO REMAIN

DEMO NOTES

1. ALL EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION.
2. OWNER RESERVES SALVAGE RIGHTS TO ALL DEMOLITION INCLUDING ALL EQUIPMENT, LIGHTING FIXTURES, MILLWORK, DECORATIVE OBJECTS, FURNITURE, CONTROLS, DOORS AND HARDWARE, POOL EQUIPMENT, AND ANY ITEMS OF OBVIOUS VALUE.
3. COORDINATE ALL DEMOLITION ACTIVITY WITH THE OWNER. DELIVER ALL SALVAGED ITEMS TO A LOCATION SPECIFIED BY THE OWNER. TBD.
4. ALL DAMAGE TO THE EXISTING WALLS THAT ARE TO REMAIN SHALL BE PROPERLY AND COMPLETELY PATCHED AND REFINISHED TO MATCH ADJACENT SURFACES. USE SIMILAR MATERIALS TO MAINTAIN INSULATION RATINGS, FINISH TEXTURES AND COLORS, WALL COVERING SPECS, ETC. UNLESS NOTED OTHERWISE. USE SIMILAR STUDS, SCREWS, NAILS, TAPING AND TAPING COMPOUND BASE MATERIALS, CARPETING, FLOORING ETC. FINISH WALL FLUSH TO ADJACENT WALLS.
5. EXISTING ROOF AND ROOF FRAMING TO REMAIN. CONTRACTOR TO PROTECT AS REQUIRED.
6. COORDINATE ALL DEMOLITION FOR FOUNDATIONS AND NEW STRUCTURE W/ STRUCTURAL ENGINEER PRIOR TO START OF DEMOLITION. SEE STRUCTURAL DRAWINGS FOR DETAILS.
7. PREPARE ALL (E) FLOOR FINISH SURFACES. GRIND AS REQUIRED.
8. PROTECT ALL WINDOWS AND WINDOW FRAMES PRIOR TO START OF WORK.
9. ALL DEMOLITION AND SHORING TO BE W/ STRUCTURAL ENGINEER TO ENSURE THE BUILDING STRUCTURAL INTEGRITY DURING DEMOLITION AND CONSTRUCTION.
10. CAP ALL EXISTING PLUMBING NOT USED AS REQUIRED.
11. PROTECT ALL PIPES AND VENTS AS REQUIRED. CONTRACTOR TO CONFIRM ANY UNLINED PIPES AND VENTS PRIOR TO REMOVAL AND REMOVE AS NECESSARY.
12. ALL EXTERIOR LIGHT FIXTURES TO REMAIN. CONTRACTOR TO PROTECT AS NECESSARY.
13. OUTLETS, SWITCHES AND ELECTRICAL BOXES TO BE REMOVED OR RELOCATED AS REQUIRED.
14. ELECTRICAL BOXES AND CONDUITS FOR ALL EXTERIOR LIGHTING TO BE PROTECTED AS REQUIRED PRIOR TO START OF CONSTRUCTION.
15. ALL SURFACE MOUNTED EXTERIOR CONDUIT, CABLES, DOWNSPOUTS AND WIRES TO BE PROTECTED. CONCEALED WITHIN WALLS WHERE APPROPRIATE. PATCH AND REPAIR SURFACE TO WHICH CONDUIT WAS MOUNTED.
16. DEMOLISH WALLS AS REQUIRED TO ACCOMMODATE NEW FRAMING AND STRUCTURE.
17. GC TO COORDINATE TEMPORARY POWER / POWER POLE PRIOR TO START OF DEMOLITION.
18. ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE PER PLUS ANGELES GREEN BUILDING CODE REQUIREMENTS.
19. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL CONSTRUCTION WASTE MATERIALS PER LOS ANGELES CODE REQUIREMENTS.
20. GENERAL CONTRACTOR TO CAP (E) SANITARY SEWER DURING CONSTRUCTION.
21. GENERAL CONTRACTOR TO VERIFY (E) SANITARY SEWER LOCATION AND CONNECT (N) PLUMBING LINES TO (E).
22. WORK IN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY CLASS 'A' LICENSED SUB-CONTRACTOR.

DEMO KEY NOTES

- 01 DEMO PORTION OF (E) BRICK WALL
- 02 (E) BRICK WALL TO REMAIN
- 03 DEMO PORTION OF (E) WALL
- 04 (E) FIXTURES TO BE REMOVED
- 05 (E) DOOR TO BE REMOVED & FILLED
- 06 (E) WALL TO REMAIN
- 07 (E) COLUMN TO REMAIN
- 08 (E) COLUMN TO BE REMOVED
- 09 (E) GARAGE DOOR TO REMAIN
- 10 (E) STRUCTURE TO REMAIN
- 11 (E) TRUSS TO REMAIN, TYP.
- 12 (E) TRUSS TO BE REMOVED

PROJECT ADDRESS	1036 S GRAND AVE LOS ANGELES, CA 90015
OWNER	XXX XXX XXX XXX
TENANT	XXX XXX XXX XXX
STRUCTURAL ENGINEER	XXX XXX XXX XXX

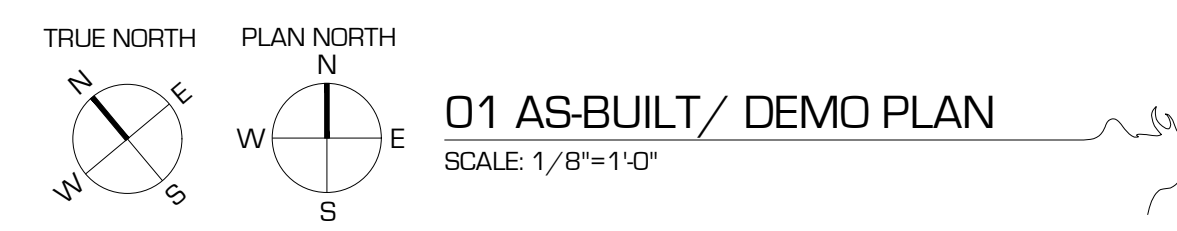
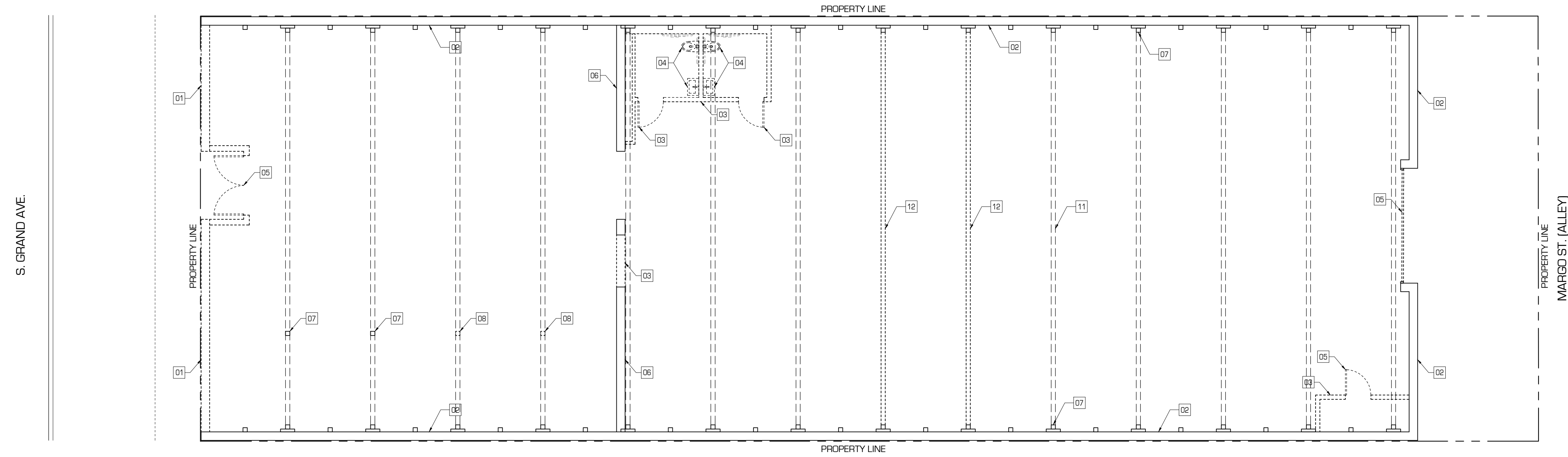
NO.	ISSUE	YR/MO/DAY
01	PLAN CHECK	

AS-BUILT / DEMO FLOOR PLAN

PROJECT
1036 GRAND

DRAWING

A2.00



- LEGEND**
- NEW WALL PARTITION, FOR PARTITION TYPES SEE A10.00 SERIES DETAIL SHEETS
 - EXISTING WALL / ROOF
 - EXISTING BRICK WALL
 - DASHED LINE INDICATES BUILDING ABOVE OR BELOW
 - PATH OF MAIN EGRESS (ARROW DENOTES DIRECTION)
 - UNOBSTRUCTED PATH OF TRAVEL FROM FURTHEST DISTANCE
 - EXHAUST FAN ON CEILING #50 CFM MIN. REQ'D
 - SMOKE DETECTOR ON CEILING
 - CARBON MONOXIDE SMOKE ALARM ON CEILING
 - DOOR TAG - SEE A11.00
 - WINDOW TAG - SEE A11.00

- NOTES**
1. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.
 - EXIT LIGHT
 - OCCUPANT LOAD IN EXIT ACCESS PATH

ROOM	ROOM NAME
246	ROOM NUMBER
R-1	OCCUPANCY TYPE
200	OCCUPANT LOAD FACTOR
560 SF	SQUARE FOOTAGE
3	OCCUPANT LOAD

STAIR	EXIT COMPONENT
196 / 3"	OCCUPANCY LOAD @ COMPONENT / FACTOR
59" REQ	REQ. COMPONENT WIDTH
72" PROV.	COMPONENT WIDTH PROVIDED

- KEY NOTES**
- 01 [E] ROOF TO REMAIN
 - 02 [E] OPENING TO BE FILLED
 - 03 [E] BRICK WALL TO REMAIN
 - 04 LINE OF CEILING ABOVE
 - 05 42" HIGH GLASS RAILING
 - 06 [E] COLUMN TO REMAIN
 - 07 [E] STRUCTURE TO REMAIN
 - 08 BOBRICK RECESSED TOWEL DISPENSER & WASTE UNIT, PER SPEC.
 - 09 [N] SHOWER SEAT PER SPEC.
 - 10 [N] FLOOR DRAIN, SEE A10.01/09 FOR DETAIL
 - 11 LIGHTING / CAMERA PLATFORM
 - 12 BOBRICK SEMI-RECESSED TOILET PAPER DISPENSER, PER SPEC.
 - 13 6" TILE BASE PER SPEC.
 - 14 42" HIGH GUARDRAIL
 - 15 34" HIGH GRAB BAR
 - 16 AMBULATORY ACCESSIBLE COMPARTMENT
 - 17 LED MARQUEE (3' x 17')
 - 18 ARCHITECTURAL SCREEN
 - 19 [E] ROOF DRAIN TO REMAIN
 - 20 LINE OF FLOOR BELOW

- MATERIALS**
- FLOORS**
- F 001 [E] CONCRETE FLOOR, POLISHED
 - F 002 TILE FLOOR PER SPEC.
 - F 003 WOOD FLOOR PER SPEC.

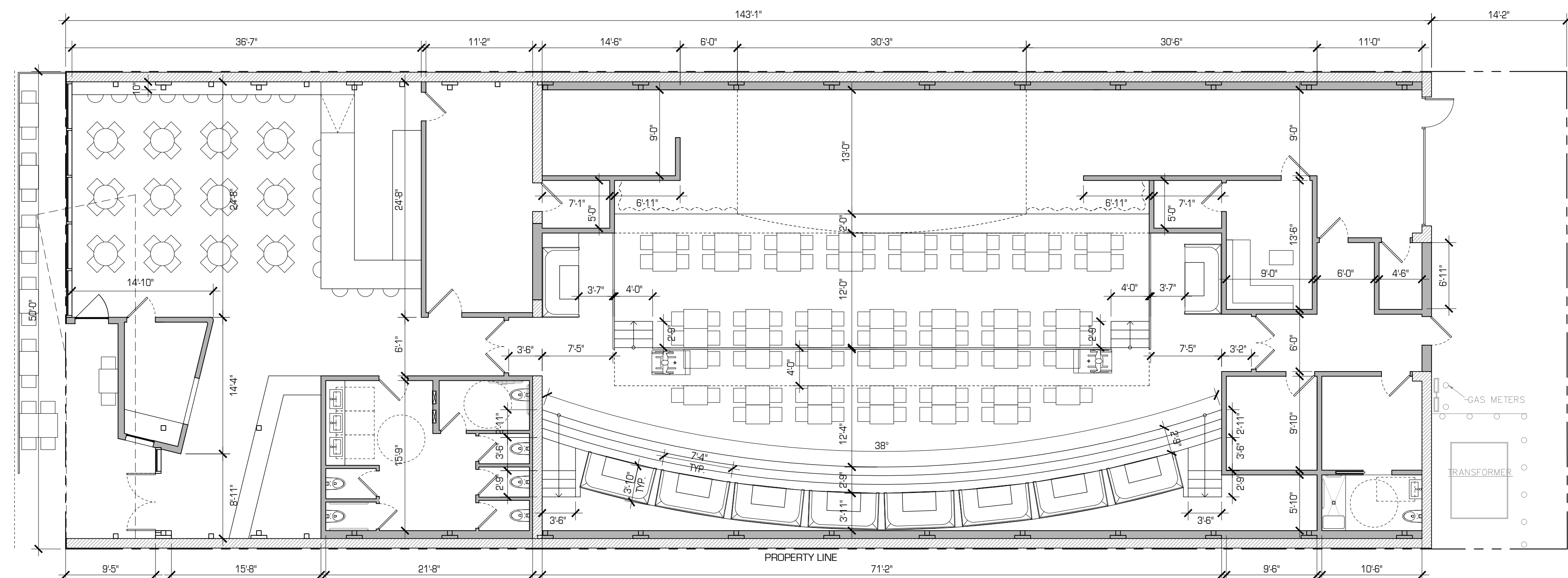
- EXTERIOR WALLS**
- E 001 STUCCO, PER SPEC.
 - E 002 POWDER COATED ALUMINIUM, PER SPEC.
 - E 003 [E] BRICK, PATCH & REPAIR PER SPEC.
 - E 004 [E] STUCCO, PATCH & REPAIR PER SPEC.

- INTERIOR FINISHES**
- I 001 PAINTED GYPSUM BOARD PER SPEC.
 - I 002 TILE PER SPEC.
 - I 003 PAINTED CABINET
 - I 004 CAESAR STONE

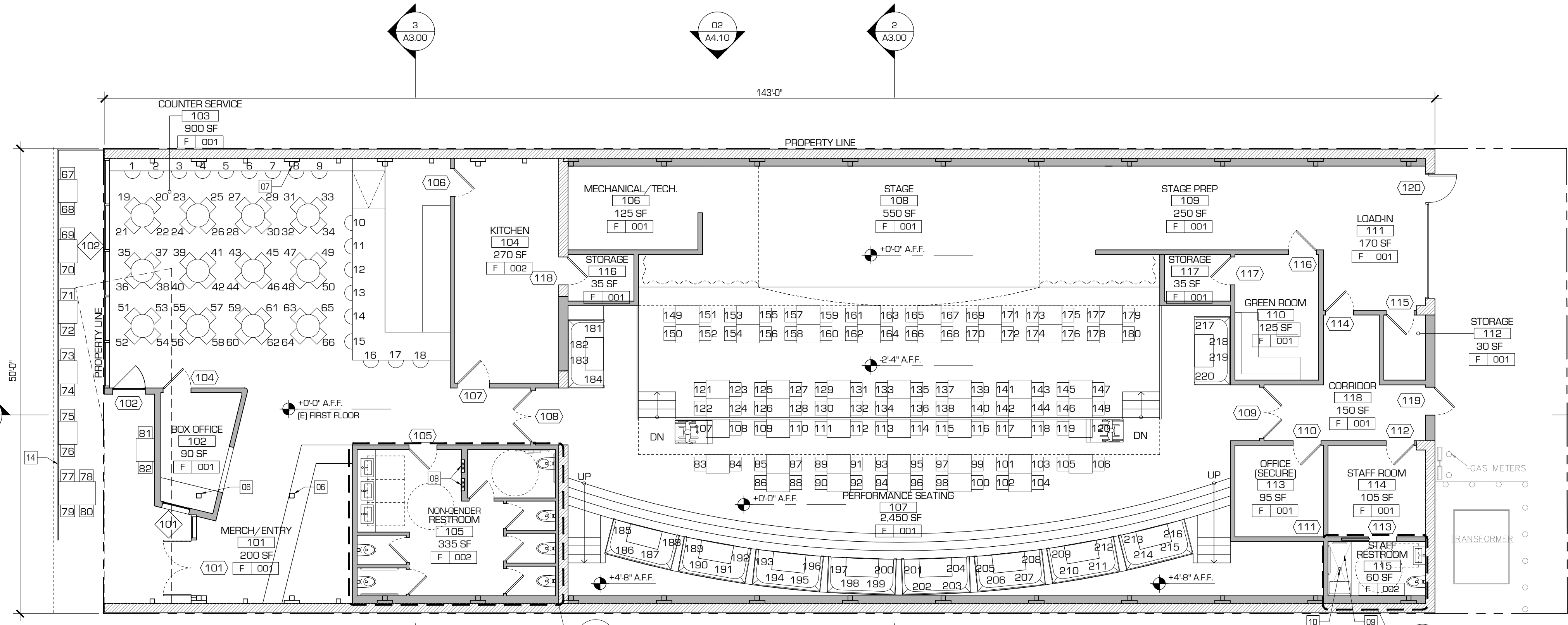
- FIXTURES**
- F01. SINK - PER SPEC
 - F02. FAUCET - PER SPEC
 - F03. REFRIGERATOR PER SPEC
 - F04. TOILET - PER SPEC
 - F05. MICROWAVE PER SPEC
 - F06. KITCHENETTE SINK - PER SPEC.
 - F07. KITCHENETTE FAUCET - PER SPEC.
 - F08. MIRROR - PER SPEC.
 - F09. FLOOR DRAIN - PER SPEC
 - F10. NOT USED

- CODE NOTES:**
1. FOR DOOR SCHEDULE SEE A11.00
 2. ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL, FOR POURING OF CONCRETE OR GUNITE.
 3. GLAZING IN HAZARDOUS LOCATIONS: GLAZING IN WALLS OF A BUILDING AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS SHALL COMPLY WITH THE REQUIREMENTS OF IBC SECTION 2406 WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 50 INCHES ABOVE THE POOL SIDE OF THE GLAZING. - THE GLAZING IS LESS THAN 5 FEET FROM SWIMMING POOL OR SPA WATER'S EDGE.
 4. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD.
 5. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSE OF SAFETY GLAZING: GLAZING IN: (2408)
 6. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
 7. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 8. ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
 9. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 10. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 11. OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
 12. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
 13. NOT USED
 14. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. MODIFICATIONS TO EXISTING SYSTEM UNDER SEPARATE PERMIT BY OTHERS.

- GREEN BUILDING NOTES:**
1. NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. PROVIDE THE MANUFACTURER'S CUT SHEET FOR VERIFICATION (4.506.1, 9.506.1)
 2. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1, 9.506.1)
 3. THE HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI / ACCA MANUAL S-2004, ANSI / ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI / ACCA 36-S MANUAL S-2004. (CALGREEN 4.507.2, 9.507.2)

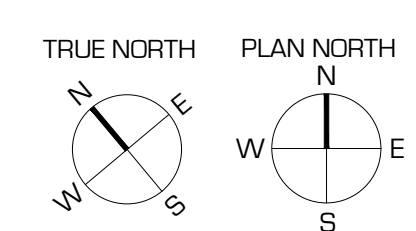


O2 DIMENSIONED PLAN
SCALE: 1/8"=1'-0"



SEATING CALCULATIONS

TOTAL SEATS	220
CAFE / WAITING AREA	66
PERFORMANCE AREA	138
OUTDOOR SEATING	16



O1 FLOOR PLAN
SCALE: 1/8"=1'-0"

NO.	ISSUE	YR/MO/DAY
01	PLAN CHECK	

FLOOR PLAN / DIMENSION PLAN

1036 GRAND

DRAWING

CODE NOTES:

- FOR DOOR SCHEDULE SEE A11.00
- ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
- GLAZING IN HAZARDOUS LOCATIONS: GLAZING IN WALLS OF A BUILDING AND FENCES USED AS THE BARRIER FOR SWIMMING POOLS AND SPAS SHALL COMPLY WITH THE REQUIREMENTS OF IBCS SECTION 2408 WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE POOL SIDE OF THE GLAZING - THE GLAZING IS LESS THAN 5 FEET FROM SWIMMING POOL OR SPA WATER'S EDGE.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD.
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING (GLAZING IN 2408):
- AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. [R314]
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
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- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
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- NOT USED.
- THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. MODIFICATIONS TO EXISTING SYSTEM UNDER SEPARATE PERMIT BY OTHERS.

LEGEND

- NEW WALL PARTITION FOR PARTITION TYPES SEE A10.00 SERIES DETAIL SHEETS
- EXISTING WALL / ROOF
- EXISTING BRICK WALL
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- PATH OF MAIN EGRESS (ARROW DENOTES DIRECTION)
- UNOBSTRUCTED PATH OF TRAVEL FROM FURTHEST DISTANCE
- EXHAUST FAN ON CEILING @ 50 CFM MIN. REQ'D
- SMOKE DETECTOR ON CEILING
- CARBON MONOXIDE SMOKE ALARM ON CEILING
- DOOR TAG - SEE A11.00
- WINDOW TAG - SEE A11.00

NOTES

- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FRAMING.
- EXIT LIGHT
- OCCUPANT LOAD IN EXIT ACCESS PATH

ROOM	ROOM NAME
246	ROOM NUMBER
R-1	OCCUPANCY TYPE
200	OCCUPANT LOAD FACTOR
560 SF	SQUARE FOOTAGE
3	OCCUPANT LOAD

STAIR	EXIT COMPONENT
196 / 3"	OCCUPANCY LOAD @ COMPONENT / FACTOR
59' REQ.	REQ. COMPONENT WIDTH
72' PROV.	COMPONENT WIDTH PROVIDED

KEY NOTES

- 01 (E) ROOF TO REMAIN
- 02 (E) OPENING TO BE FILLED
- 03 (E) BRICK WALL TO REMAIN
- 04 LINE OF CEILING ABOVE
- 05 42" HIGH GLASS RAILING
- 06 (E) COLUMN TO REMAIN
- 07 (E) STRUCTURE TO REMAIN
- 08 BOBRICK RECESSED TOWEL DISPENSER & WASTE UNIT, PER SPEC.
- 09 (N) SHOWER SEAT PER SPEC.
- 10 (N) FLOOR DRAIN, SEE A10.01 / 09 FOR DETAIL
- 11 LIGHTING / CAMERA PLATFORM
- 12 BOBRICK SEMI-RECESSED TOILET PAPER DISPENSER, PER SPEC.
- 13 6" TILE BASE PER SPEC.
- 14 42" HIGH GUARDRAIL
- 15 34" HIGH GRAB BAR
- 16 AMBULATORY ACCESSIBLE COMPARTMENT
- 17 LED MARQUEE (3' x 17')
- 18 ARCHITECTURAL SCREEN
- 19 (E) ROOF DRAIN TO REMAIN
- 20 LINE OF FLOOR BELOW

MATERIALS

- FLOORS**
- F 001 (E) CONCRETE FLOOR: POLISHED
 - F 002 TILE FLOOR PER SPEC.
 - F 003 WOOD FLOOR PER SPEC.

EXTERIOR WALLS

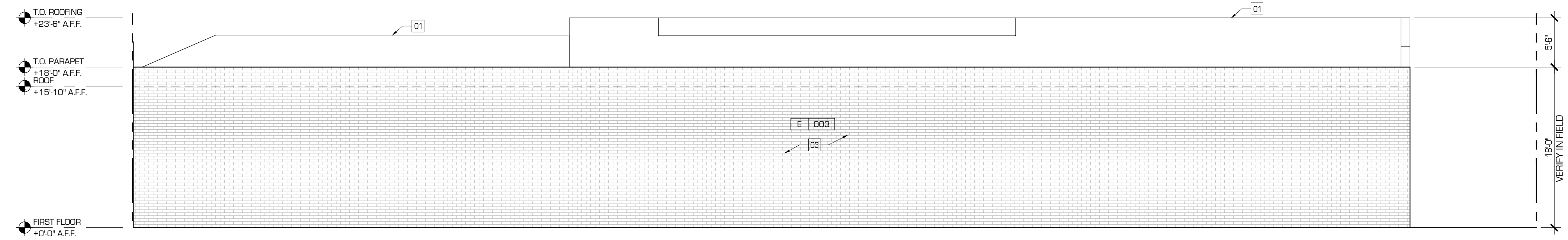
- E 001 STUCCO, PER SPEC.
- E 002 POWDER COATED ALUMINIUM, PER SPEC.
- E 003 (E) BRICK, PATCH & REPAIR PER SPEC.
- E 004 (E) STUCCO, PATCH & REPAIR PER SPEC.

INTERIOR FINISHES

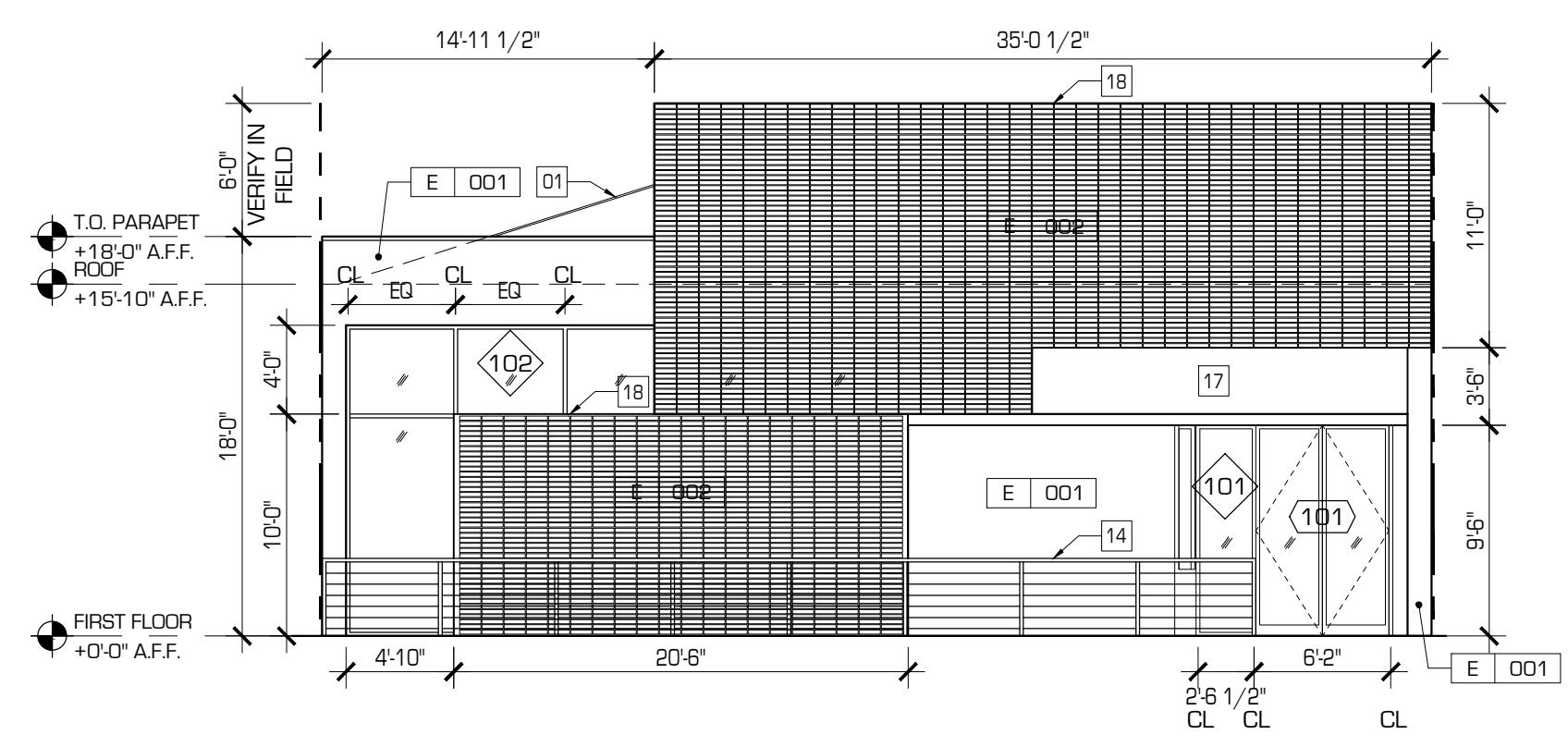
- I 001 PAINTED GYPSUM BOARD PER SPEC.
- I 002 TILE PER SPEC.
- I 003 PAINTED CABINET
- I 004 CAESAR STONE

FIXTURES

- F01_ SINK - PER SPEC.
- F02_ FAUCET - PER SPEC.
- F03_ REFRIGERATOR PER SPEC.
- F04_ TOILET - PER SPEC.
- F05_ MICROWAVE PER SPEC.
- F06_ KITCHENETTE SINK - PER SPEC.
- F07_ KITCHENETTE FAUCET - PER SPEC.
- F08_ MIRROR - PER SPEC.
- F09_ FLOOR DRAIN - PER SPEC.
- F10_ NOT USED



02 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



01 WEST ELEVATION
SCALE: 1/8"=1'-0"

ELEVATIONS

PROJECT
1036 GRAND

DRAWING

PROJECT ADDRESS
1036 S GRAND AVE
LOS ANGELES, CA 90015

OWNER
XXX
XXX
XXX

TENANT
XXX
XXX
XXX
XXX

STRUCTURAL ENGINEER
XXX
XXX
XXX
XXX

- CODE NOTES:**
- FOR DOOR SCHEDULE SEE A1.1.00
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- LEGEND**
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 - EXISTING BRICK WALL
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 - DOOR TAG - SEE A1.1.00
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- NOTES**
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 - EXIT LIGHT
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246	ROOM NUMBER
R-1	OCCUPANCY TYPE
200	OCCUPANT LOAD FACTOR
560 SF	SQUARE FOOTAGE
3	OCCUPANT LOAD

STAIR	EXIT COMPONENT
196 / 3'	OCCUPANCY LOAD @ COMPONENT / FACTOR
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72' PROV.	COMPONENT WIDTH PROVIDED

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- KEY NOTES**
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 - 02 (E) OPENING TO BE FILLED
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 - 18 ARCHITECTURAL SCREEN
 - 19 (E) ROOF DRAIN TO REMAIN
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- MATERIALS**
- FLOORS**
- F 001 (E) CONCRETE FLOOR; POLISHED
 - F 002 TILE FLOOR PER SPEC.
 - F 003 WOOD FLOOR PER SPEC.

- EXTERIOR WALLS**
- E 001 STUCCO, PER SPEC.
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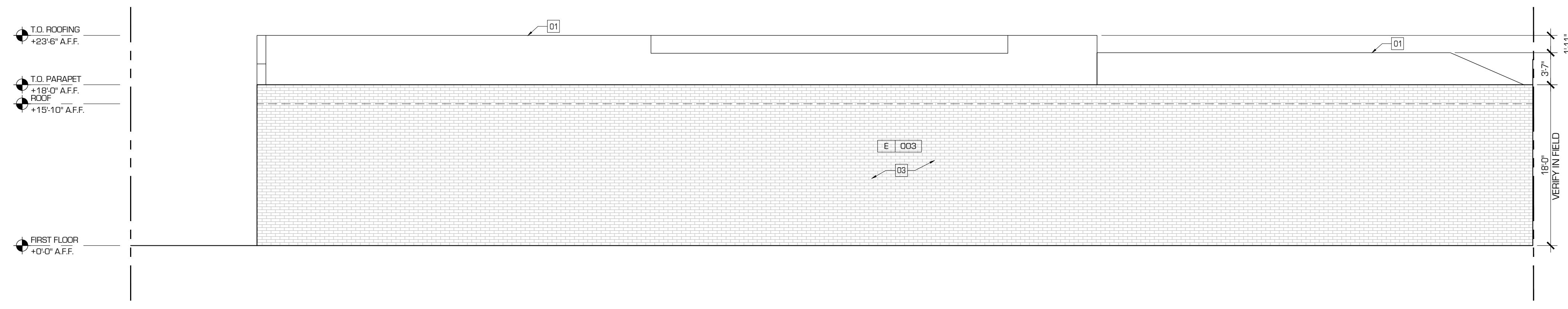
- FIXTURES**
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 - F08 MIRROR - PER SPEC
 - F09 FLOOR DRAIN - PER SPEC
 - F10 NOT USED

NO.	ISSUE	YR.MO.DAY
01	PLAN CHECK	

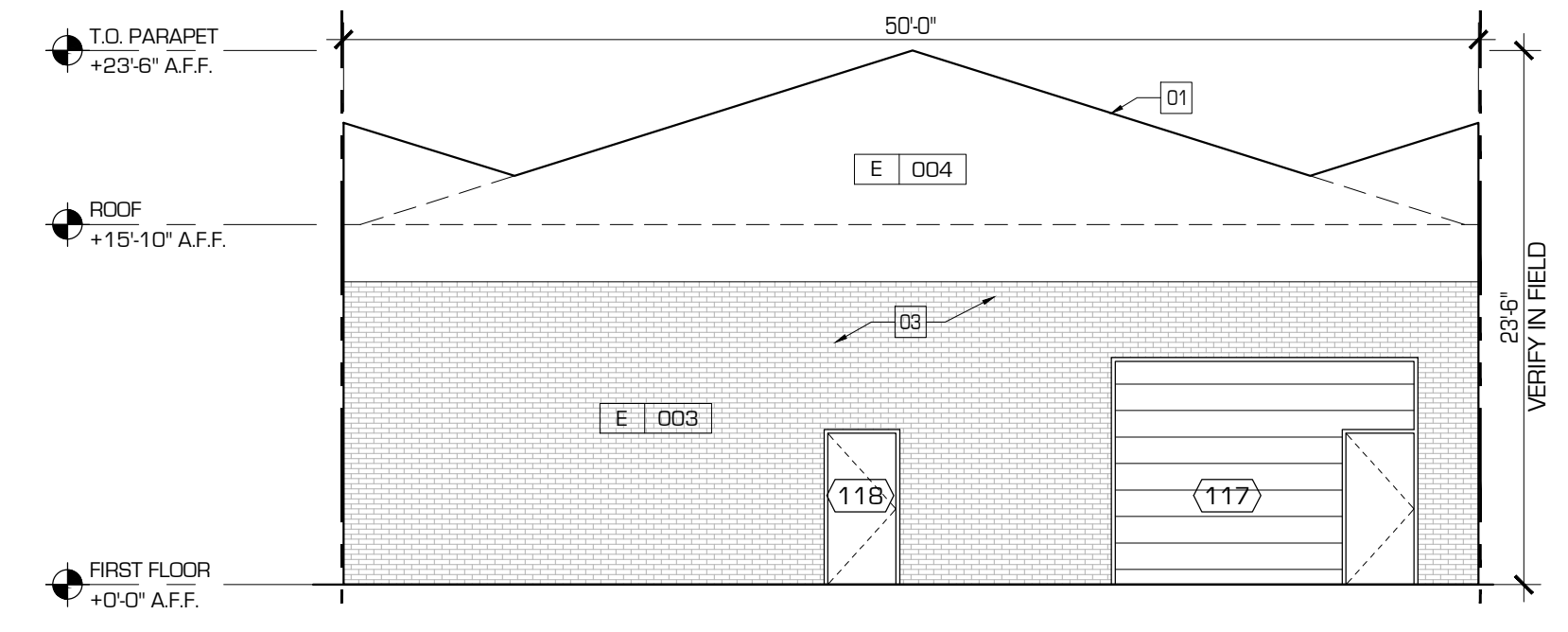
ELEVATIONS

PROJECT
1036 GRAND

DRAWING



02 NORTH ELEVATION
SCALE: 1/8"=1'-0"



01 EAST ELEVATION
SCALE: 1/8"=1'-0"