8940 N RESEDA BLVD, NORTHRIDGE CA 91324

PROJECT ADDRESS		INDEX								
8940 N RESEDA BLVD,		ARCHITECTURAI	- PROF	POSE	D:					IITS, 4
LOS ANGELES CA 91324	SHEET							PA	RKIP	NG O
	T.0 A1.0	COVER SHEET SITE PLAN	LEGA	AL DE	SCRIPTION			TR	ACT	TR ′
PROJECT OWNER	A1.00 A2.0 A2.1	SURVEY BASEMENT PLAN FIRST FLOOR PLAN								EFER
8940 RESEDA LLC,	A2.1 A2.2 A2.3	SECOND FLOOR PLAN						LO	Т 8	3,9 & OT C
	A2.4 A2.5	THIRD FLOOR PLAN FOURTH FLOOR PLAN FIFTH FLOOR PLAN								02-02
	A2.6 A3.0	ROOF PLAN ELEVATIONS	APN:							
	A3.1 A3.2	ELEVATIONS COLORED ELEVATIONS		E:				C2	-1VL	
DESIGN BY	A3.3 A4.0	COLORED ELEVATIONS SECTIONS						Α	RE	ΞA
G.A. ENGINEERING 6747 ODESSA AVE. SUTIE 204			TYPE	= 0F (CONSTRUCTIO	N∙				FLOO
VAN NUYS, CA. 91406				_ 0. 0				SE	CON	ID FL
PHONE: (818)758-0018				UPAN	CY GROUP				2 / S-	-2 PA
STRUCTURAL ENGINEER			LOT /	ARFA						SQ.F
G.A. ENGINEERING 6747 ODESSA AVE. SUTIE 204			STOF	RIES:						RIES
VAN NUYS, CA. 91406								RE	QUI	RED
PHONE: (818)758-0018			BUILI	DING	SETBACKS RE	QUIRED	:			RED I
SURVEY										RED
TALA ASSOCIATES					LE BUILDING H					T PEI
1916 COLBY AVENUE LOS ANGELES, CA. 90025			PROF	POSE	D BUILDING HI	EIGHT:				TRAI
(424) 832-3455									0 I E.	1100
GEO TECHNICAL ENGINEER										
LANDSCAPING		LANDSCAPE			STORY	OCC.	USE	CONSTRUCTION		
G.A. ENGINEERING 6747 ODESSA AVE. SUTIE 204					oron			CONSTI	TYPE.	OUT
VAN NUYS, CA. 91406					BASEMENT-1	S-2	PARKING		I-A	
PHONE: (818)758-0018					FIRST	S-2	PARKING BUILDING OFFI		I-A I-A	
							REC.& GYM			
						R-2	RESIDENTIAL			
					SECOND THIRD	R-2 R-2	RESIDENTIAL		/-A /-A	
					FOURTH	R-2	RESIDENTIAL		/-A /-A	
		STRUCTURAL			FIFTH	R-2	RESIDENTIAL	<u> </u>	/-A	
					TOTAL	S-2				
					ALLOWABLE	R-2				
							ALLC)W	AE	3LE
			L	OT A	REA: 19,501	.5 SQ.F	Т.			
			Z	ONE	: C2-1VL					
			В	UIL	DABLE AF	REA SH	HALL HAVE	E TH	ES	;AM
			В	UIL	DABLE AF	REA: 1	9,501.5 SQ	.FT.		
		CIVIL	F	AR	PER 1.5	:1				
			A	LLOV	VABLE FLOO	OR ARE	A PER LAMC	:		
			19	9,501	.5 SQ.FT. X 3	3.25 (PE	ER TIER2) =57	',041.	8	
			A	LLOV	VABLE FLOC	DR ARE	A PER DENS	TY B	ONI	JS: F
		ELECTRICAL	1	9 501	5 SQ FT X	(3 25=	63,378.2 SQ.	FT >	56	546
				,		0.20				
					DECO		AREA] [.	1.1	
				T No	DESCRIF	TION	(SQ.FT.)			No
			10)1	1-BED/1-BATH		900		201 202	
									203	
		MECHANICAL							204	
									205	-
									207	
									208 209	
									210)
									211 212	
									212	
					1ST FLOOR = 1	UNIT				

PROJECT DATA

, 4 STORIES RESIDENTIAL BUILDING, 1 STORY GROUND FLOOR GARAGE OVER BASEMENT PARKING.

14007 RENCE M B 283-24/25 CUT REFERENCE) NONE

AND BUILDING CALCULATIONS

OR TYPE I-A GARAGE FULLY SPRINKLERED (NFPA-13). LOOR TO FIFTH FLOOR - TYPE V-A FULLY SPRINKLERED THROUGHOUT (NFPA-13).

ARKING

.FT +6,500.5 SQ.FT + 6,500.5 = 19,501.5 SQ.FT. (PER ZIMAS).

) SIDE YARDS: 5 FEET , 2ND- 5TH FLOOR PER RAS3

FRONT YARD : 0'

REAR YARD : 15'(PER RAS3 REQUIREMENTS) FROM CENTER OF ALLEY

ER COMMERCIAL CORNER DEVELOPMENT STANDARD

FEET HEIGHT INCREASE DUE TO AFFORDABLE HOUSING INCENTIVE

ANSITIONAL HEIGHT TO BE PROVIDED PER TOC TIER 2

AREA SUMMARY (LABC)

А	B	С	D	A-B-C	A-B-C-D
AREA:	AREA:	AREA:	AREA:	BUILDING AREA	ZONING AREA
JTSIDE WALLS	EXTERIOR WALLS	VENTILATION	STAIRWAYS	(SQ.FT.)	(SQ.FT.)
SQ.FT.	SQ.FT.	SHAFT SQ.FT.	SQ.FT.		
16,904					
12,204					
3,100	182	~	~		
				3,910	3,910
1,100	108				
14,482	400		500	14,082	13,582
14,482	400		500	14,082	13,582
14,482	400		500	14,082	13,582
12,000	400		500	11,600	11,100
				29,108	
					FF 750
				57,756	55,756

E FLOOR AREA CALCULATION (LAMC)

ME MEANING AS LOT AREA AT C2 ZONE

PARKING CALCULATION

RED PER LA		
# OF UNITS	AUTO PARKING	TOTAL
20	1.5	30
31	2	62
51		92
	# OF UNITS 20 31	# OF UNITSAUTO PARKING201.5312

PARKING REDUCTION PER TOC TIER 2 PER TIER 2, HALF PARKING PER BEDROOM (20X1) + (31X2) = 82 BEDROOMS 82 X 0.5 = 41 AUTO PARKING REQUIRED

PARKING PROVIDED FOR RESIDENTIAL

	PARKING No.
REG. STANDARD	36
REG. DISABLE PARKING	1
DISABLE PARKING W/ EV CHARGER	1
REGULAR EV.	20
EVCS	1
TOTAL EV SPACES	22
TOTAL STANDARD	59
COMPACT	13
GUEST PARKING	-
TOTAL AUTO PARKING RESIDENTS	72
BICYCLE PARKING	
PER ORDINANCE No. 185,480	
SHORT-TERM= 51/10 = 5.1 = 6 SPACE	
LONG-TERM= 43	

OPEN SPACE CALCULATION

REQUIRED			
NO. OF	HABITABLE	QUANTITY	
BEDROOMS	ROOMS	OF UNITS	OPEN SPACE
1	2	20	20 X 100 = 2,000
2	3	31	31 X 125 = 3,875
TOTAL REQUIR	RED		5,875 SQ.FT

PROVIDED

AREA DESCRIPTION	OPEN SPACE
BALCONY (33X50)	1,650 SQ.FT.
COURT YARD	1,550 SQ.FT.
DECK @ 5TH FLOOR	1,400 SQ.FT.
RECREATION&GYM (ACTUAL SIZE=1,590 SQ.FT) ALLOWABLE USE=25% REQUIRED OPEN SPACE	1,468 SQ.FT.
TOTAL PROVIDED	6,068 SQ.FT.

DENSITY CALCULATION

LOT AREA = 3X6500.5=19,501.5 SQ.FT (PER ZIMAS) HALF ALLEY = 150'X10'=1500 SQ.FT TOTAL AREA = 19,501.5+1500=21,001.5 SQ.FT

ALLOWABLE UNITS * ZONE =C2-1VL

DENSITY =1 UNIT/400 SQ.FT 21,001.5/400 =52.5=53 UNITS

* PER TOC (TIER 2)

53 UNITS X 1.6 = 84.8 = 85 UNITS

* PROPOSED UNITS= 51 UNITS

UNITS ALLOCATED TO EXTREMELY LOW INCOME (ELI) 9% X 50 = 4.59 = 5 UNIT

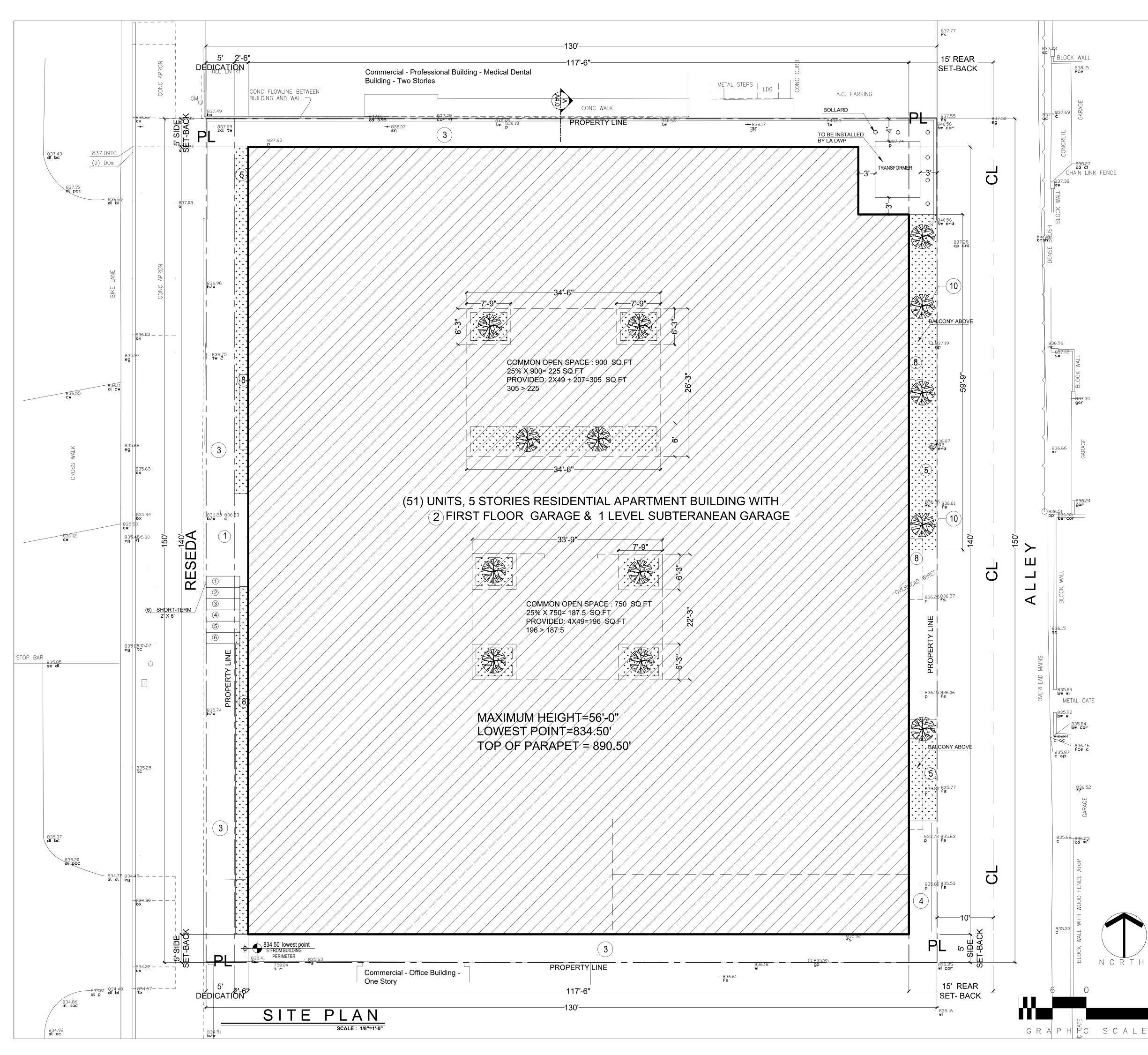
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SQ.FT

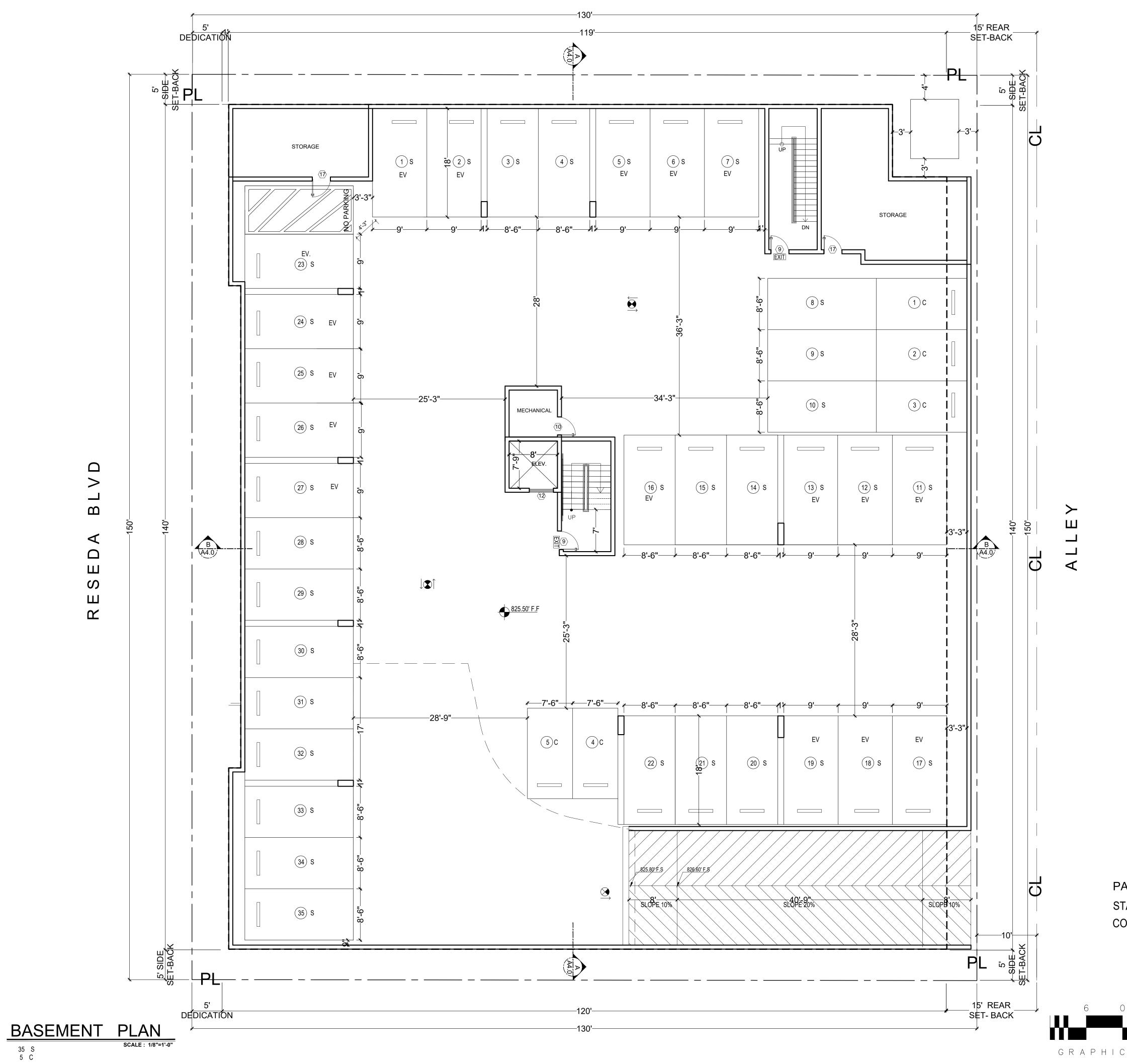
AREA PER UNIT

lo	DESCRIPTION	AREA (SQ.FT.)	UNIT No	DESCRIPTION	AREA (SQ.FT.)	UNIT No	DESCRIPTION	AREA (SQ.FT.)	UNIT No	DESCRIPTION	AREA (SQ.FT.)
	2-BED/2-BATH	1,180	301	2-BED/2-BATH	1,180	401	2-BED/2-BATH	1,180	501	2-BED/2-BATH	1,180
	2-BED/2-BATH	1,050	302	2-BED/2-BATH	1,050	402	2-BED/2-BATH	1,050	502	2-BED/2-BATH	1,050
	1-BED/1-BATH	640	303	1-BED/1-BATH	640	403	1-BED/1-BATH	640	503	1-BED/1-BATH	640
	1-BED/1-BATH	640	304	1-BED/1-BATH	640	404	1-BED/1-BATH	640	504	1-BED/1-BATH	640
	1-BED/1-BATH	550	305	1-BED/1-BATH	550	405	1-BED/1-BATH	550	505	2-BED/2-BATH	820
	2-BED/2-BATH	950	306	2-BED/2-BATH	950	406	2-BED/2-BATH	950	506	2-BED/2-BATH	820
	2-BED/2-BATH	950	307	2-BED/2-BATH	950	407	2-BED/2-BATH	950	507	1-BED/1-BATH	720
	1-BED/1-BATH	850	308	1-BED/1-BATH	850	408	1-BED/1-BATH	850	508	1-BED/1-BATH	820
	2-BED/2-BATH	1,090	309	2-BED/2-BATH	1,090	409	2-BED/2-BATH	1,090	509	2-BED/2-BATH	920
	1-BED/1-BATH	820	310	1-BED/1-BATH	820	410	1-BED/1-BATH	820	510	2-BED/2-BATH	1,050
	2-BED/2-BATH	920	311	2-BED/2-BATH	920	411	2-BED/2-BATH	920	511	2-BED/2-BATH	1,180
	2-BED/2-BATH	1,050	312	2-BED/2-BATH	1,050	412	2-BED/2-BATH	1,050			
	2-BED/2-BATH	1,180	313	2-BED/2-BATH	1,180	413	2-BED/2-BATH	1,180			
ç	SECOND FLOOR = 13 UNITS	5		THIRD FLOOR = 13 UNITS	1		FOURTH FLOOR = 13 UNI	rs		FOURTH FLOOR = 11 UNIT	S





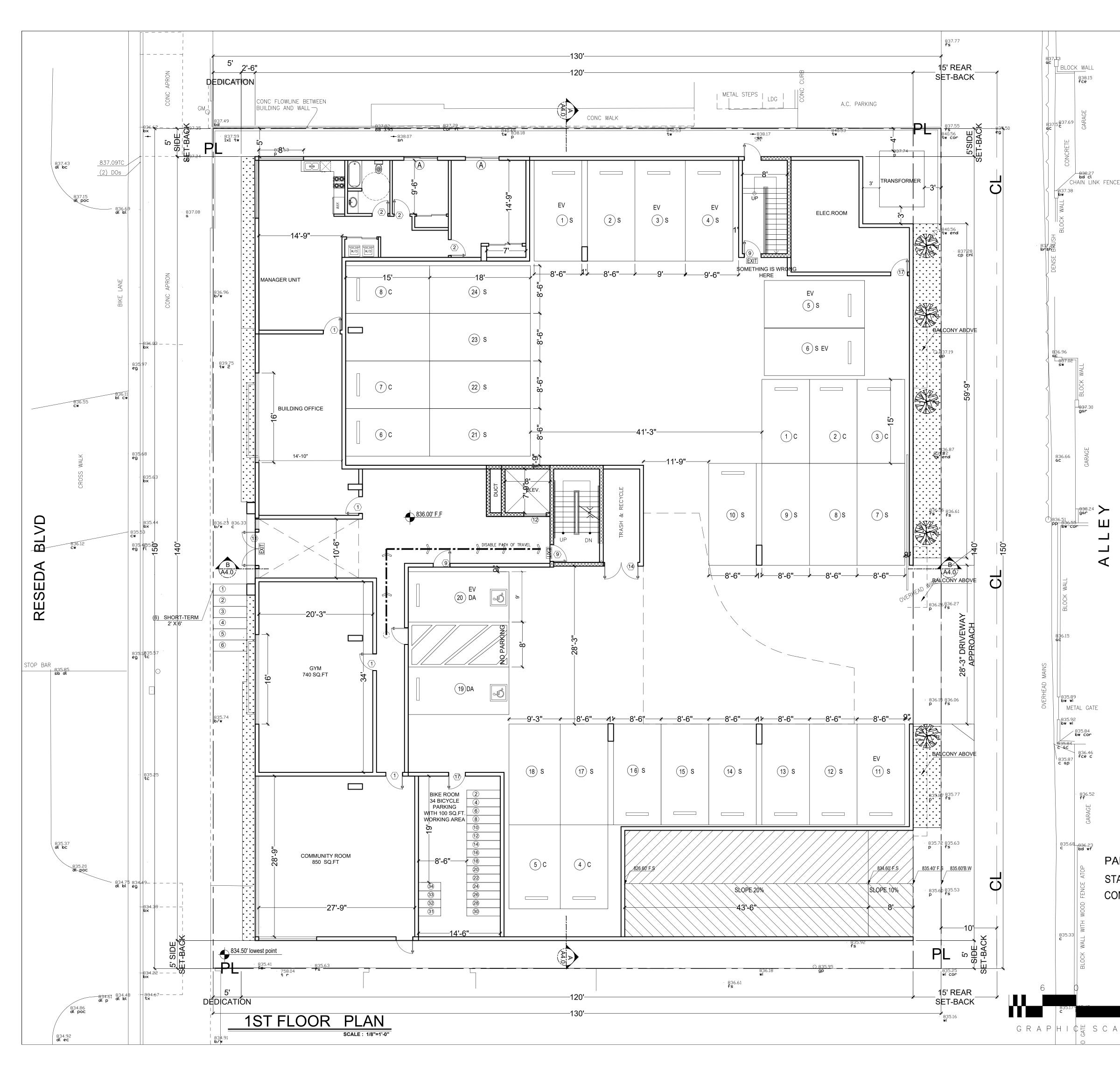
	PROJE	ECT DAT	A		\frown
PROJECT SCOPE:	BUÍLDING, GARAGE F PARKING. TRACT TF MAP REFE BLOCK NO	RENCE M B 28	ND FLOOR BASEMENT 3-24/25 3,9&10		NEERING INC. Decesso Ave Suite 204 n Nuye, CA 91406
ASSESSOR PARCEL NO. (APN)	ARB (LOT 2769-002-0	CUT REFERENC	E) NONE	PHONE: (818) 758–0018 FAX: (818) 357–6558 gaengineeringinc@gmail.com	
LOT AREA		9.FT +6,500.5 SQ.I SQ.FT. (PER ZIMA		OF GA EN COPIED, OTHERS OR WORK OTHE FOR WHICH	RING INC. ALL RIGHTS RESERVED. OF DRAWINGS ARE THE PROPERTY GINEERING AND SHALL NOT BE REPRODUCED. DISCLOSED TO USED IN CONNECTION WITH ANY R THAN THE SPECIFIED PROJECT THEY HAVE BEEN PREPARED. IN
NEW CONSTRUCTION: ALLOWABLE BUILDING HEIGHT:	-	T. R COMMERCIAL COR ENT STANDARD	NER	REVISI	
PROPOSED BUILDING HEIGHT:	45 FEET+11 AFFORDABLE	FEET HEIGHT INCRE			
PROPOSED UNITS PER TO	. ,		0.05.4		
		ITY BONUS: FAR:	3.25:1		
LEG	END				
1 BUILDING ENTRANCE 2 4 STORIES RESID FIRST FLOOR GA 3 WALKWAY 4 NEW DRIVEWAY 5 LANDSCAPING 6 STORMWATER PLAN 7 FOR IRRIGATION CC 8 BALCONY 9 SHORT-TERM BICYC	ENTIAL APA RAGE &1 LE TER NTROLLER (4	.304.1) REFER TO N	EAN GARAGE	OWNER	8940 RESEDA LLC,
10 REQUIRED TREES: 50 / 4 = 12.5 = 13 TRE PROVIDED: *8 - 24" BOX TREES LOCATED AT 1ST FL *6 - 24"- 36" BOX TRE LOCATED AT GROUN PARKING REQUIRED PER # 0F UNITS 1- BDRM 20 2- BDRM 31 TOTAL 51 PARKING REDUCTION PER PER TIER 2, HALF PARKING	DOR COURTY ES ID FLOOR ALL CALC AUTO PARKING 1.5 2 ER TOC TIER 2 PER BEDROOM	.EY SIDE.		PROJECT	8940 N RESEDA BLVD, LOS ANGELES CA 91324
(20X1) + (31X2) = 82 BEDROO 82 X 0.5 = 41 AUTO PAR PARKING PROVIDED FOR REG. STANDARD REG. DISABLE PARKIN DISABLE PARKING W/ I REGULAR EV. EVCS TOTAL EV SPACES TOTAL STANDARD COMPACT GUEST PARKING TOTAL AUTO PARKINO BICYCLE PARKING PER OF SHORT TERM- 51/0/	KING REQUIRED R RESIDENTIAL G G EV CHARGER S RESIDENTS RDINANCE No. 185,480	PARKING No. 36 1 1 20 1 22 59 13 - 72 0		DRAWING TITLE	SITE PLAN
SHORT-TERM= 51/10 LONG-TERM=	CE CA	LCULATI	ON		
REQUIRED NO. OF HABITA BEDROOMS ROOM	MS UNITS	OPEN SPACE			
1223TOTAL REQUIRED	20 31	20 X 100 = 2,000 31 X 125 = 3,875 5,875 SQ.FT		DATE:	23 April 2020 1/8"=1'-0"
PROVIDED AREA DESCRIPTION		OPEN SPACE		DRAWN:	D.A
BALCONY (33X50)		1,650 SQ.FT.		APPROVE	D: AG
1 COURT YARD 1 DECK @ 5TH FLOOR		1,550 SQ.FT. 1,400 SQ.FT.		JOB :	19-881
RECREATION&GYM (ACTUA	, ,	1,468 SQ.FT.		SHEET:	
ALLOWABLE USE=25% REQ TOTAL PROVIDED	JIKED OPEN SPACE	6,068 SQ.FT.		OF	A1.0 SHEETS
					/



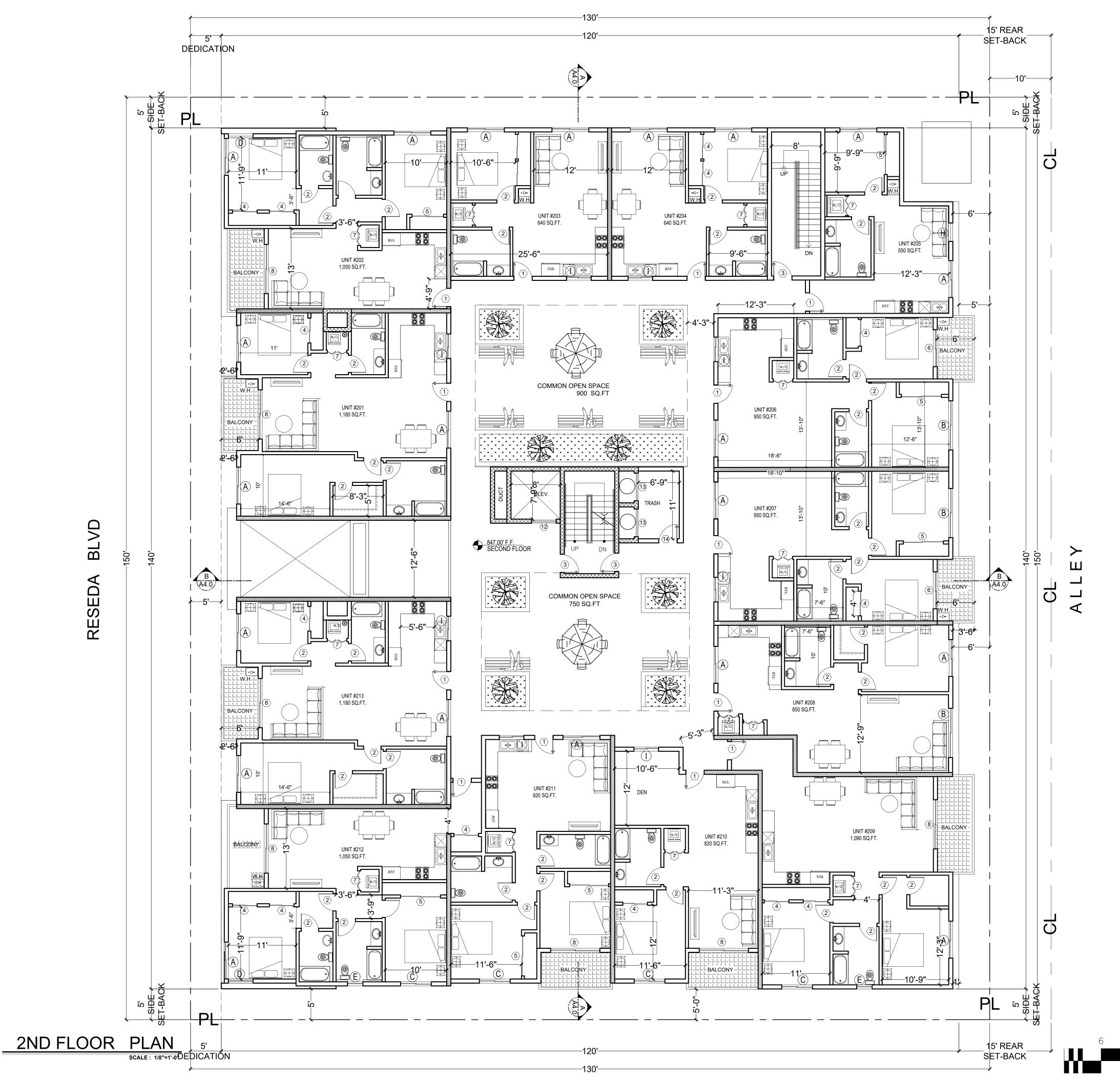
	LEGEND		
C1	3 HR. REQ. PER CBC 721.(2) ITEM CONCRETE WALL SEE SPEC.		
C2			
W1 🕅	1 HR. EXTERIOR WALL		
W2 🗖			
W5 🕅		РНО	Odessa Ave : in Nuys, CA : NE: (818) 75
W6 🕅	PLUMING WALL	FA gaeng	X: (818) 357 gineeringinc 9 g
W9 🜌	1 HR. SEPRATION WALL	THESE SET	ERING INC. ALL RIG
W15	2HR.SHAFT (INTERIOR)	FOR WHICH WHOLE OF	NGINEERING AND S REPRODUCED, D R USED IN CONNEC IER THAN THE SPE I THEY HAVE BEEN R IN PART, WITHO
W16	2HR.SHAFT (EXTERIOR)	WRITTEN A GA ENGINE	JTHORIZATION OF ERING INC.
	PATH OF EGRESS	REVIS	ION E
\checkmark	EXIT SIGN		
S	STANDARD PARKING		
С	COMPACT PARKING		
DA	DISABLE PARKING		
PL	- PROPERTY LINE		
			, LLC,
F	2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET.	<u> </u>	
SD	INSTALL MAX. 48" AFF. TO THE TOP	OWNER	RESEDA
	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP	0	
CM	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
	GROUND- FAULT CIRCUIT-INTERUPTER		
\bigotimes	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER		SEDA BLVD,
\bigotimes	WATER CURTAIN		DA BI
(•O=	WATER HEATER	ECT	
SP 🔾	STAND PIPE CLASS A	PROJE	8940 N RES
E.V	ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB) * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE."		
	* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED. * A LABEL ' EV CAPABLE' SHALL BE POSTED IN A	g title	BASEMENT PLAN
	CONSPICIOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)	DRAWING	ASEMEN
2.	ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAB DIM OF 80"X54"WITH 42" DOOR 3002.4.3a		£
	NOTE		
	RE PARTITION WALLS (LABC 708) SHALL BE 1 R RATE STC50		
	S (FIRE BARRIERS 707.3.1) IN SHAFTS AS ATOR, STAIRS, ETC. 2 HR RATED(713.4).		
	PARTITION CORRIDORS SHALL BE 1 HOUR RATED	DATE:	23 April
5.THE F	LOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR	SCALE: DRAWN:	1/8"= D.A
	R CURTAIN INSTALLATION SHALL BE AS PER	APPROVE	ED: AG
BUILDI	ING & SAFETY MECH. PLAN 18"	SHEET:	19-86
	COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.	1	42.

PARKING SUMMARY : STANDARD : 35 COMPACT : 5

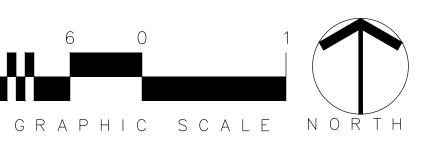


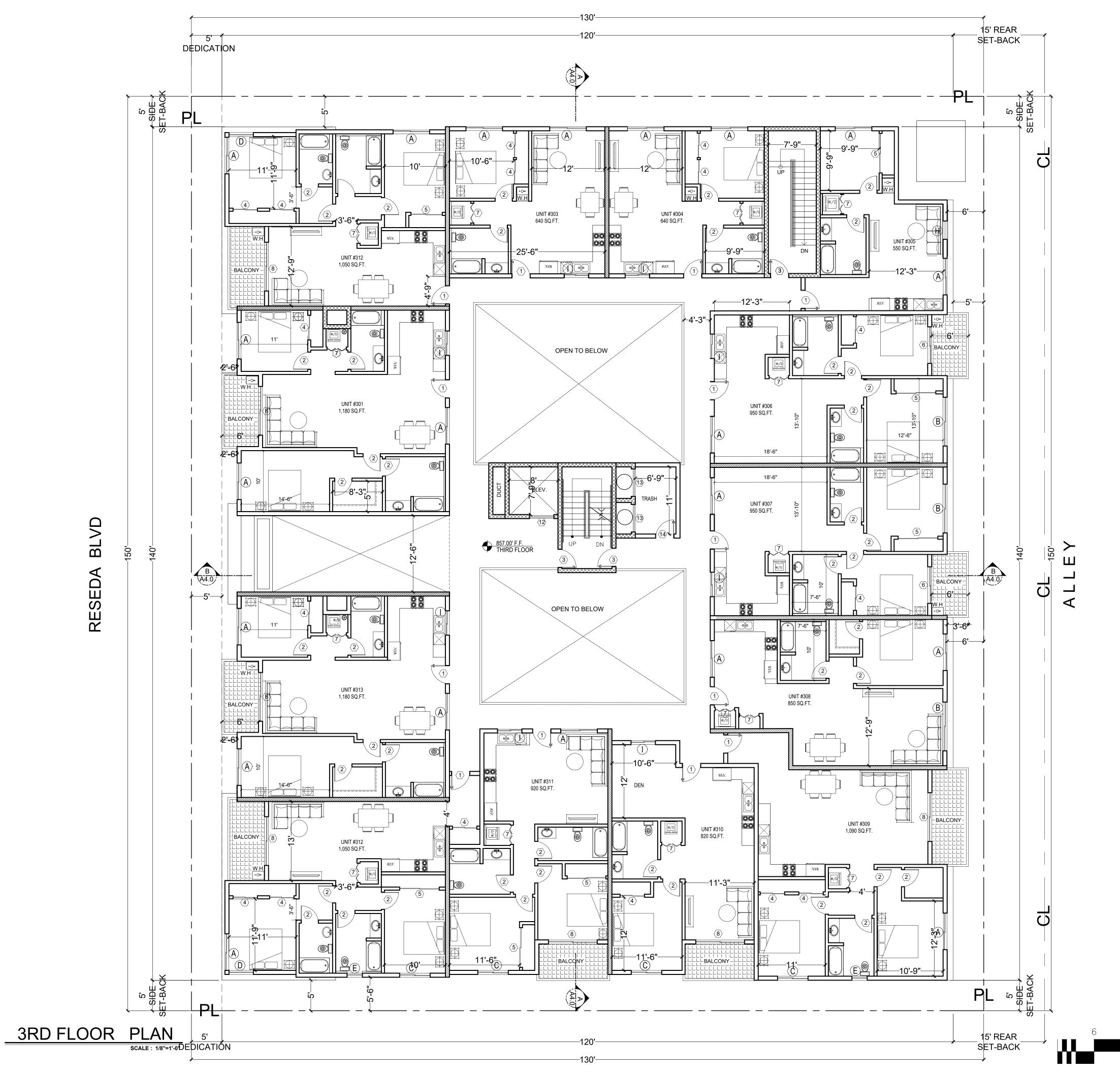


	LEGEND		\frown
	C1 3 HR. REQ. PER CBC 721.(2) ITEM		
	4-1.1 CONCRETE WALL SEE SPEC. C2 3 HR. REQ. PER CBC 721.(2) ITEM 3	-	
	MASONRY WALL SEE SPEC.		
	W2 CORRIDOR WALL	6747	NEERING IN(Odessa Ave Suite 204
		PHO FA	an Nuys, CA 91406 NE: (818) 758–0018 X: (818) 357–6558
		gaen	gineeringinc@gmail.com
-		OF GA E COPIED.	ERING INC. ALL RIGHTS RESERVEI OF DRAWINGS ARE THE PROPERT NGINEERING AND SHALL NOT B REPRODUCED, DISCLOSED THE AN
	W15 2HR.SHAFT (INTERIOR) W16 2HR.SHAFT (EXTERIOR)	WORK OTH FOR WHICH WHOLE OF	R USED IN CONNECTION WITH AN IER THAN THE SPECIFIED PROJEC 4 THEY HAVE BEEN PREPARED, I R IN PART, WITHOUT THE PRIO UTHORIZATION OF ERING INC.
	PATH OF EGRESS		ION BY
	->->-> DISABLE PATH OF TRAVEL		
	EXIT SIGN		
	S STANDARD PARKING		
	C COMPACT PARKING		
	DA DISABLE PARKING		
	PL PROPERTY LINE		
			С.
	2A10BC FIRE EXTINGUISHER		LLC,
	W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP	VER	EDA
	SD HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP	OWNEI) RESEDA
	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
	GROUND- FAULT CIRCUIT-INTERUPTER		
	4" MIN. METAL DRYER VENT, DIRECTLY TO	(=	ESEDA BLVD, ES CA 91324
	OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRY	ER	BLV A 91
		CT	EDA C.
	Image: Water Heater SP O STAND PIPE CLASS A	PROJEC	SESI ELE
		Å	8940 N RES LOS ANGELE
	E.V E.V E.V E.V E.V E.V E.V E.V ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB) * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE." * THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL		PLAN
	RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.		
	* A LABEL ' EV CAPABLE' SHALL BE POSTED IN A CONSPICIOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)	DRAWING	T FLOOR
	2. ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NO LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAE DIM OF 80"X54"WITH 42" DOOR 3002.4.3a	от Т	FIRST
	NOTE	-	
RKING SUMMARY :	1.ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATEDTC50		
ANDARD : 24 MPACT : 8	2.WALLS (FIRE BARRIERS 707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC. 2 HR RATED(713.4).		
	3.FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED		
	4.ALL BEARING WALLS SHALL BE 1 HOUR RATED	DATE:	23 April 2020
	5.THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR	SCALE: DRAWN:	1/8"=1'-0" D.A
		APPROVE	ED: AG
	WATER CURTAIN INSTALLATION SHALL BE AS PER		
	*WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18"	JOB : SHEET:	19-881

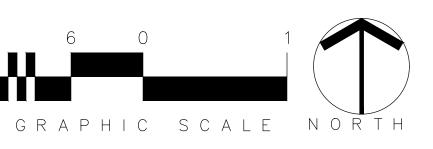


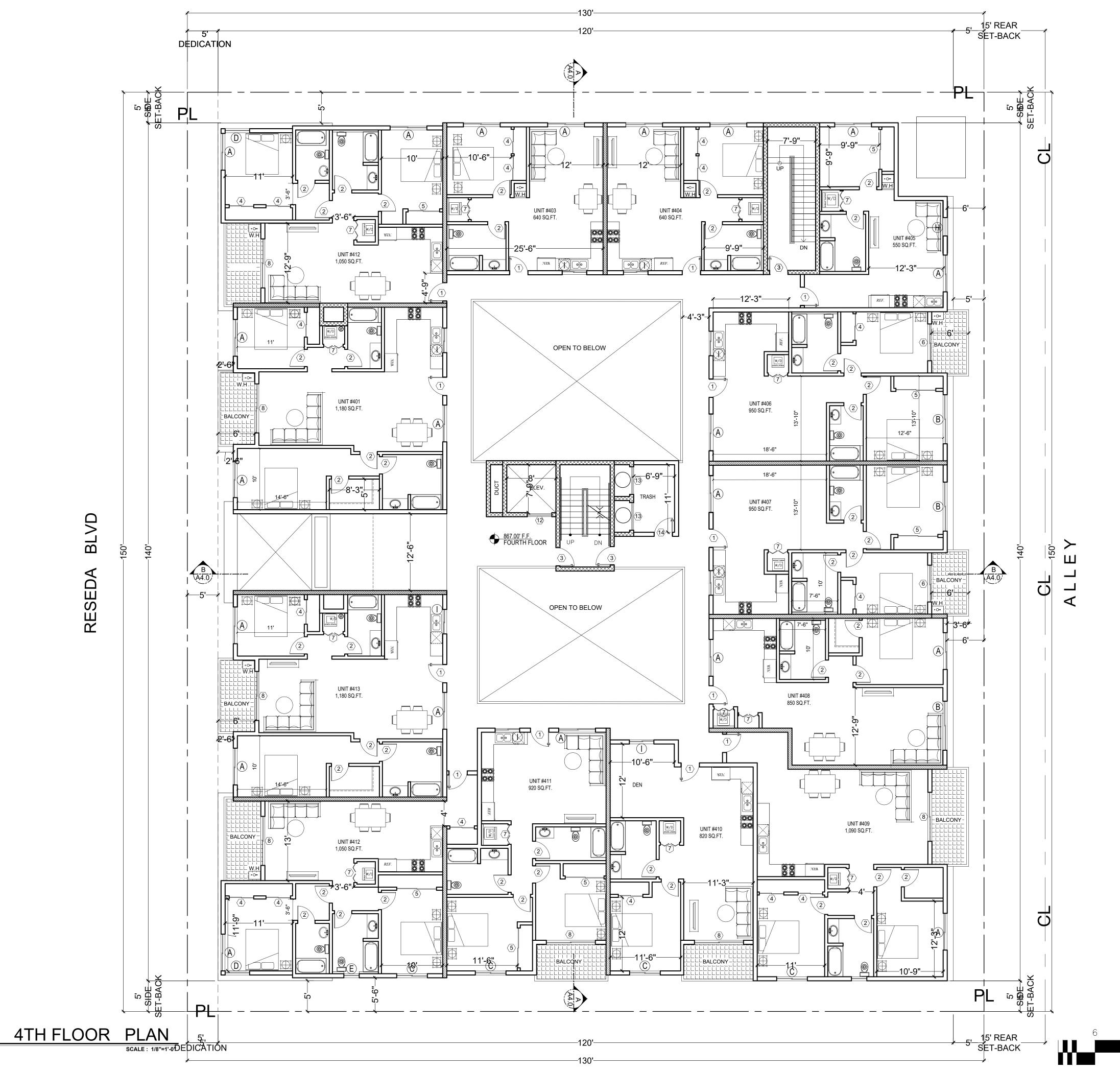
<u>C1</u>			
C1 4-1.1	3 HR. REQ. PER CBC 721.(2) ITEM CONCRETE WALL SEE SPEC.		
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.		
W1 🗖	1 HR. EXTERIOR WALL	ENGI	NEERING IN
W2 🗖			Odessa Ave Suite 2 an Nuys, CA 91406
W5 🕅		РН	DNE: (818) 758–001 X: (818) 357–6558
W6 🕅	PLUMING WALL		gineeringinc@gmail.co
W9	1 HR. SEPRATION WALL	THESE SE	EERING INC. ALL RIGHTS RESE T OF DRAWINGS ARE THE PROF ENGINEERING AND SHALL NOT REPRODUCED, DISCLOSED
W15	2HR.SHAFT (INTERIOR)	OTHERS (WORK OT FOR WHIC WHOLE (WRITTEN)	DR USED IN CONNECTION WITH HER THAN THE SPECIFIED PRC 2H THEY HAVE BEEN PREPAREI RR IN PART, WITHOUT THE F AUTHORIZATION OF
W16	· · · · · · · · · · · · · · · · · · ·		EERING INC.
	 PATH OF EGRESS DISABLE PATH OF TRAVEL 	REVIS	SION BY
	EXIT SIGN		
S	STANDARD PARKING		
С	COMPACT PARKING		
DA	DISABLE PARKING		
 	- PROPERTY LINE		
			6
			LLC
F	2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET.	<u>ک</u>	DA
SD	INSTALL MAX. 48" AFF. TO THE TOP	OWNER	RESEDA
Â	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP	0	
<u>CM</u>	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
-	GROUND- FAULT CIRCUIT-INTERUPTER		
\bigotimes	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER		ESEDA BLVD, ES CA 91324
\bigotimes	WATER CURTAIN		A B CA (
T	WATER HEATER	ECT	
SP O	STAND PIPE CLASS A	PROJE	RES
		Ē	8940 N RES LOS ANGELE
E.V	ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB) * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE."		
	* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.	TITLE	R PLAN
	* A LABEL ' EV CAPABLE' SHALL BE POSTED IN A CONSPICIOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)	DRAWING	D FLOOR
2.	ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAB DIM OF 80"X54"WITH 42" DOOR 3002.4.3a		2ND
	NOTE		
	RE PARTITION WALLS (LABC 708) SHALL BE 1 R RATE B TC50		
	S (FIRE BARRIERS 707.3.1) IN SHAFTS AS ATOR, STAIRS, ETC. 2 HR RATED(713.4).		
-	PARTITION CORRIDORS SHALL BE 1 HOUR RATED	DATE:	23 April 2020 1/8"=1'-0"
5.THE F	LOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR D STC50.	DRAWN:	D.A
RATE		1	
*WATEF	R CURTAIN INSTALLATION SHALL BE AS PER	JOB :	19-881



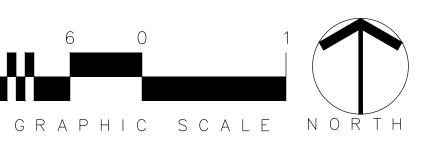


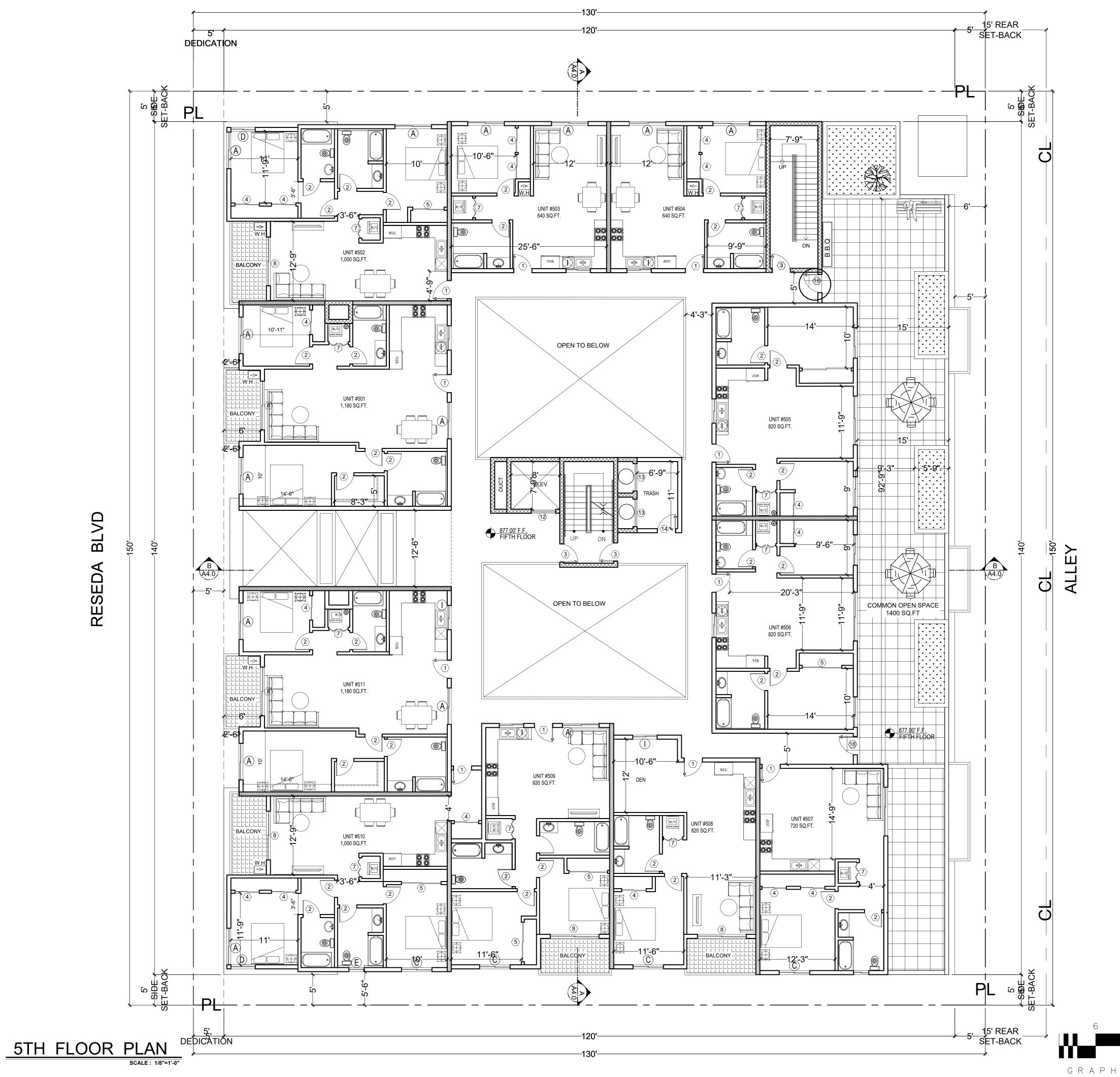
<u>C1</u>			
C1 4-1.1	3 HR. REQ. PER CBC 721.(2) ITEM CONCRETE WALL SEE SPEC.		
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.		
W1 🗖	1 HR. EXTERIOR WALL	FNG	NEERING IN
W2 🗖		6747	Odessa Ave Suite 20
W5 🕅		РНС	an Nuys, CA 91406 DNE: (818) 758-0018
W6 🕅	PLUMING WALL		X: (818) 357–6558 gineeringinc@gmail.cor
W9 🜌	1 HR. SEPRATION WALL	THESE SE	EERING INC. ALL RIGHTS RESERV T OF DRAWINGS ARE THE PROPE
W15	2HR.SHAFT (INTERIOR)	OTHERS O WORK OTH FOR WHIC	ENGINEERING AND SHALL NOT REPRODUCED, DISCLOSED OR USED IN CONNECTION WITH HER THAN THE SPECIFIED PROJ IH THEY HAVE BEEN PREPARED
W16	2HR.SHAFT (EXTERIOR)	WRITTEN A	IR IN PART, WITHOUT THE PF AUTHORIZATION OF EERING INC.
_	PATH OF EGRESS	REVIS	SION BY
	DISABLE PATH OF TRAVEL		
\bigotimes	EXIT SIGN		
S	STANDARD PARKING		
С	COMPACT PARKING		
DA	DISABLE PARKING		
DA			
PL	- PROPERTY LINE		
			, LLC,
	2A10BC FIRE EXTINGUISHER		
(F)	W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP	IER	EDA
SD	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP	OWNER	RESEDA
¢ ¢	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
_	GROUND- FAULT CIRCUIT-INTERUPTER		
\bigcirc	4" MIN. METAL DRYER VENT, DIRECTLY TO), 24
\leftarrow	OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER		SEDA BLVD, ES CA 91324
\bigotimes	WATER CURTAIN	_	EDA CA
••••	WATER HEATER	JECT	
SP ()	STAND PIPE CLASS A	PROJ	8940 N RE
E.V	ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB) * THE PANEL OR SUBPANEL SHALL HAVE		LC 00
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	6 (FIRE BARRIERS 707.3.1) IN SHAFTS AS ATOR, STAIRS, ETC. 2 HR RATED(713.4).		
3.FIRE P	ARTITION CORRIDORS SHALL BE 1 HOUR RATED	DATE:	23 April 2020
	EARING WALLS SHALL BE 1 HOUR RATED	SCALE:	1/8"=1'-0"
-	LOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR D STC50.	DRAWN:	D.A
	CURTAIN INSTALLATION SHALL BE AS PER	APPROV	
		JOB :	19-881
	NG & SAFETY MECH. PLAN 18"	SHEET:	



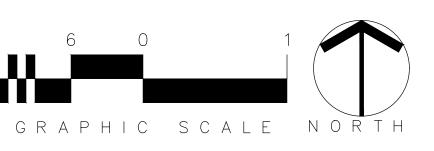


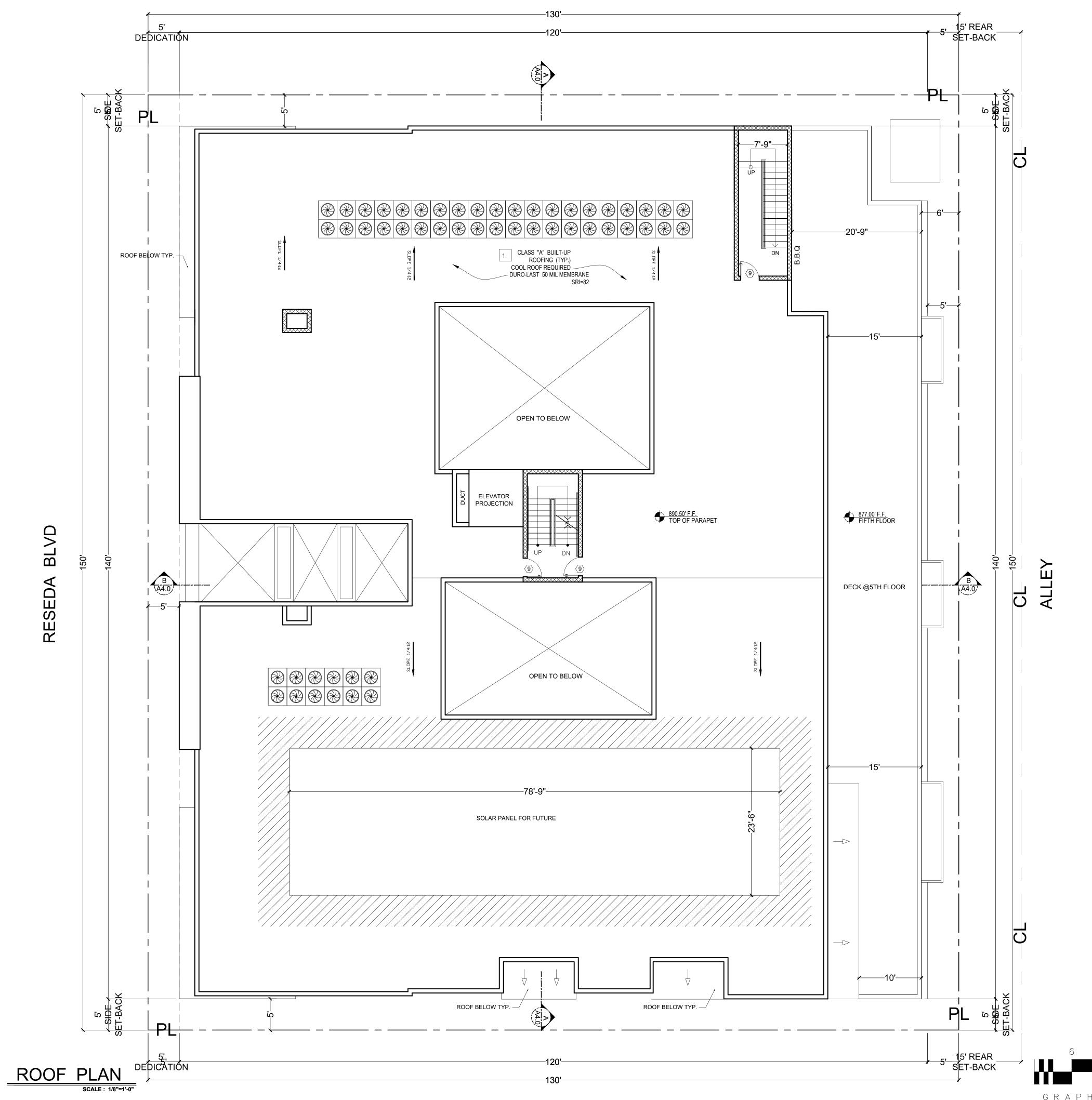
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W1 🗖	1 HR. EXTERIOR WALL	FNG	NEERING IN
W2 🗖		6747	Odessa Ave Suite 20
W5 🕅		РНС	an Nuys, CA 91406 DNE: (818) 758-0018
W6 🕅	PLUMING WALL		X: (818) 357–6558 Igineeringinc 9 gmail.com
W9 🜌	1 HR. SEPRATION WALL	THESE SE	EERING INC. ALL RIGHTS RESERV T OF DRAWINGS ARE THE PROPER
W15	2HR.SHAFT (INTERIOR)	WORK OT	ENGINEERING AND SHALL NOT REPRODUCED, DISCLOSED SR USED IN CONNECTION WITH A HER THAN THE SPECIFIED PROJE CH THEY HAVE BEEN PREPARED, R IN PART, WITHOUT THE PR
W16	2HR.SHAFT (EXTERIOR)	WRITTEN #	EERING INC.
_	PATH OF EGRESS	REVIS	SION BY
	DISABLE PATH OF TRAVEL		
\bigotimes	EXIT SIGN		
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С	COMPACT PARKING		
DA	DISABLE PARKING		
DA			
PL	- PROPERTY LINE		
			, LLC,
	2A10BC FIRE EXTINGUISHER		
F	W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP	IER	EDA
SD		OWNER	RESEDA
-	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		
CM	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
-	GROUND- FAULT CIRCUIT-INTERUPTER		
\bigotimes	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER		ESEDA BLVD, LES CA 91324
\bigotimes	WATER CURTAIN		DA BI CA 9
(••••	WATER HEATER	ECT	ES ES
SP O	STAND PIPE CLASS A	PROJE	RE
		Ъ	8940 N RES LOS ANGELE
	ELECTRICAL VEHICLE SUPPLY WIRING FOR		RC 8
E.V	FUTURE, REFER TO SHEET N-1(GB)		
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-	LOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR	DRAWN:	D.A
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4.ALL BE 5.THE F RATEI	D STC50. R CURTAIN INSTALLATION SHALL BE AS PER	APPROV	
4.ALL BE 5.THE F RATEI *WATEF		APPROV JOB : SHEET:	ED: AG 19-881





C1			
4-1.1	3 HR. REQ. PER CBC 721.(2) ITEM CONCRETE WALL SEE SPEC.		
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W2 🗖		6747	Odessa Ave Suite 20
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W6 🕅	PLUMING WALL		X: (818) 357—6558 gineeringinc⊕gmail.cor
W9	1 HR. SEPRATION WALL	GA ENGINI THESE SE	EERING INC. ALL RIGHTS RESER T OF DRAWINGS ARE THE PROPE
W15	2HR.SHAFT (INTERIOR)	OF GA E COPIED, OTHERS C WORK OTI	INGINEERING AND SHALL NOT REPRODUCED, DISCLOSED DR USED IN CONNECTION WITH HER THAN THE SPECIFIED PRO. IN THEY HAVE BEEN PREPARED
W16	2HR.SHAFT (EXTERIOR)	WHOLE O WRITTEN A	IR IN PART, WITHOUT THE PI AUTHORIZATION OF EERING INC.
	PATH OF EGRESS	REVIS	SION BY
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C	COMPACT PARKING		
DA	DISABLE PARKING		
PL	- PROPERTY LINE		
			(5)
			LLC,
F	2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET.	<u>2</u>	AC
	INSTALL MAX. 48" AFF. TO THE TOP	OWNER	RESEDA
SD	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP	Ō	
CM	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP		8940
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT		
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*WATEF	CURTAIN INSTALLATION SHALL BE AS PER	JOB :	19-881
_	NG & SAFETY MECH. PLAN 18"	SHEET:	
	COMBUSTIBLEDRAFT STOP SHALL BE PROVIDED.		A2.5





LEGEND		
AC UNIT		
S.P. STANDPIPE	ENG	INEERING IN(
(1.) SOLAR ZONE: ROOF AREA= 11,900 SQ.FT.	PH	7 Odessa Ave Suite 204 /an Nuys, CA 91406 ONE: (818) 758–0018
11,900 X 15% =1,785 SQ.FT. TO PROVIDE 1 SOLAR ZONES WITH 1,850 SQ.FT.	GA ENGIN THESE SI	AX: (818) 357-6558 ngineeringinc@gmail.com
TO BE MAINTAIENED BY SEPRATE PERMIT	COPIED, OTHERS WORK OT FOR WHI WHOLE WRITTEN	ENGINEERING AND SHALL NOT E REPRODUCED, DISCLOSED OR USED IN CONNECTION WITH AN THER THAN THE SPECIFIED PROJEC CH THEY HAVE BEEN REPARED, OR IN PART, WITHOUT THE PRIC AUTHORIZATION OF
\rightarrow \rightarrow DISABLE PATH OF TRAVEL		SION BY
REPRESENT AREA NEXT TO SOLAR PANEL SHALL BE FREE OF OBSTRUCTION AND TO BE SETBACK AT LEAST		
TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.		
MAIN SERVICE ELECTRICAL PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"	OWNER	RESEDA LLC,
1. COATING BALCONY COVERING RR:25261 CSI# 07180		8940
		_VD, 11324
		DA BI CA (
	PROJECT	RESE
	PR(8940 N RESEDA BLVD, LOS ANGELES CA 91324
		894 LOS
	DRAWING TITLE	AN
	NING	ROOF PLAN
	DRA	RC
	DATE: SCALE:	23 April 2020 1/8"=1'-0"
	DRAWN:	D.A
	APPRON JOB :	/ED: AG 19-881
	SHEET:	A2.6
	OF	AZ.O SHEETS



	LEGEND			
<u>0' F.F.</u> OF STAIRCASE <u>0' F.F.</u>	 PROVIDE GRAFFITTI -MELT ANTI-GRAFITTI COATING BY GENESIS AT THE FIRST 9FT, MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS. LARR # RR25042-T ALL PLASTER FINISH SHALL BE 7/8" THK. SMOOTH TROWELL UNLESS NOTED OTHERWISE. 30" PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS.{CBC 705.11} 	ENGI	NEERING INC.	
OF PARAPET		6747	Odessa Ave Suite 204	
<u>0' F.F.</u> OF ROOF <u>0' F.F.</u> 1 FLOOR	BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, CONTRASTING WITH THE BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE		6747 Odessa Ave Suite 204 Van Nuys, CA 91406 PHONE: (818) 758–0018 FAX: (818) 357–6558 gaengineeringinc@gmail.com	
	STRUCTURE. (CFC 505.1) ELEVATION SYMBOLS	REVIS	ION BY	
<u>0' F.F.</u> RTH FLOOR				
<u>0' F.F.</u> D FLOOR	 PROPERTY LINE (P.L) PLASTER FINISH STUCCO (EGGSHEELL COLOR) PLASTER FINISH STUCCO (LIGHT GRAY COLOR) PLASTER FINISH STUCCO (DARK GRAY COLOR) PLASTER FINISH STUCCO (CATERPILLAR YELLOW) 			
<u>0' F.F.</u> DND FLOOR	 STUCCO REVEALS WOOD SIDING LOUVER METAL STUCCO AWNING 		, LLC,	
0' F.F.	 METAL RAILING SPLIT FACE PLANTER TYPICAL 	OWNER	RESEDA	
TFLOOR			8940	
<u>0' LOWEST POINT</u>			88	
<u>F.</u> STAIRCASE		PROJECT	8940 N RESEDA BLVD, LOS ANGELES CA 91324	
.F. PARAPET				
. <u>F.</u> ROOF				
<u>.F.</u> LOOR		DRAWING TITLE	ELEVATIONS	
<u>F.</u> I FLOOR		DRA	E	
<u>F.</u> LOOR				
<u>.F.</u> DFLOOR		DATE: SCALE:	23 April 2020 1/8"=1'-0"	
.F. LOOR		DRAWN:	D.A	
		APPROVI JOB : SHEET:		
	GRAPHIC SCALE	OF	NU SHEETS	



	LEGEND		
<u>896.00' F.F.</u> TOP OF STAIRCASE	 PROVIDE GRAFFITTI -MELT ANTI-GRAFITTI COATING BY GENESIS AT THE FIRST 9FT, MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS. LARR # RR25042-T ALL PLASTER FINISH SHALL BE 7/8" THK. SMOOTH TROWELL UNLESS NOTED OTHERWISE. 30" PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS.{CBC 		
<u>890.50' F.F.</u> TOP OF PARAPET <u>887.00' F.F.</u> TOP OF ROOF	 705.11} 4. NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, CONTRASTING WITH THE BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AND THE BUILDING 	CHARTERING INC. 6747 Odessa Ave Suite 204 Van Nuys, CA 91408 PHONE: (818) 758–0018 FAX: (818) 357–6558 gaengineeringinc@gmail.com GA ENGINEERING AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED OTHERS OF USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT	
<u>877.00' F.F.</u> FIFTH FLOOR	CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. (CFC 505.1)		INE TOWE BEEN PREPARED, IN IN PART, WITHOUT THE PRIOR HORIZATION OF
<u>867.00' F.F.</u> FOURTH FLOOR	ELEVATION SYMBOLS ———————————————————————————————————		
<u>857.00' F.F.</u> THIRD FLOOR	 PLASTER FINISH STUCCO (DARK GRAY COLOR) PLASTER FINISH STUCCO (EARTH TONE COLORS) STUCCO REVEALS WOOD SIDING LOUVER METAL 		LLC,
<u>847.00' F.F.</u> SECOND FLOOR	 STUCCO AWNING METAL RAILING SPLIT FACE PLANTER TYPICAL 	OWNER	RESEDA LL
836.00' F.F. FIRST FLOOR			8940
<u>896.00' F.F.</u> TOP OF STAIRCASE		СТ	SEDA BLVD, ES CA 91324
<u>890.50' F.F.</u> TOP OF PARAPET <u>887.00' F.F.</u> TOP OF ROOF		PROJECT	8940 N RESEDA B LOS ANGELES CA
<u>877.00' F.F.</u> FIFTH FLOOR			
<u>867.00' F.F.</u> FOURTH FLOOR		VING TITLE	ELEVATIONS
<u>857.00' F.F.</u> THIRD FLOOR		DRAWING	ELE
847.00' F.F SECOND FLOOR			
836.00' F.F FIRST FLOOR			
834.50' LOWEST POINT		DATE: SCALE: DRAWN: APPROVE	23 April 2020 1/8"=1'-0" D.A D: AG
	601 GRAPHIC SCALE	JOB : SHEET:	19-881 \3.1 SHEETS





LOS ANGELES CA. 91324



6747 V PHK F/ gaer THESE SE OF GA COPIED, OTHERS V WORK OT FOR WHILE C WRITTEN	Codessa Yan Nuys, DNE: (81 NX: (818) ngineering REPRODUC REUSED IN HER THAN T HER THAN THE HER THAN THO REPARTURE AUTHORIZATIO	Ave Suite 204 Ave Suite 204 CA 91408 B) 758-0018 D) 357-6558 Discogmail.com ALL RIGHTS RESERVED. IGS ARE THE PROPERTY BY BY BY	
OWNER	8940 RESEDA LLC,		
PROJECT		8940 N KESEDA BLVD, LOS ANGELES CA 91324	
DRAWING TITLE		3D MODELING	
DATE: SCALE: DRAWN: APPROV IOB : SHEET:	1 [/ED: 4	April 2020 1/8"=1'-0" D.A AG 19-881 3.2 SHEETS	

