

8940 N RESEDA BLVD, NORTHRIDGE CA 91324

PROJECT ADDRESS

8940 N RESEDA BLVD,
LOS ANGELES CA 91324

PROJECT OWNER

8940 RESEDA LLC,

DESIGN BY

G.A. ENGINEERING
6747 ODESSA AVE. SUTIE 204
VAN NUYS, CA. 91406
PHONE: (818)758-0018

STRUCTURAL ENGINEER

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SURVEY

TALA ASSOCIATES
1916 COLBY AVENUE LOS
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(424) 832-3455

GEO TECHNICAL ENGINEER

LANDSCAPING

G.A. ENGINEERING
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INDEX
ARCHITECTURAL

SHEET

TITLE

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A3.0
A3.1
A3.2
A3.3
A4.0

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SITE PLAN
SURVEY
BASEMENT PLAN
FIRST FLOOR PLAN
SECOND FLOOR PLAN
THIRD FLOOR PLAN
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FIFTH FLOOR PLAN
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SECTIONS

PROPOSED:

(51) UNITS, 4 STORIES RESIDENTIAL BUILDING, 1 STORY GROUND FLOOR GARAGE
PARKING OVER BASEMENT PARKING.

LEGAL DESCRIPTION

TRACT TR 14007
MAP REFERENCE M B 283-24/25
BLOCK NONE
LOT 8.9 & 10
ARB (LOT CUT REFERENCE) NONE

APN:

2769-002-025

ZONE:

C2-1VL

AREA AND BUILDING CALCULATIONS

TYPE OF CONSTRUCTION:

FIRST FLOOR TYPE I-A GARAGE FULLY SPRINKLERED (NFPA-13).
SECOND FLOOR TO FIFTH FLOOR - TYPE V-A FULLY SPRINKLERED THROUGHOUT (NFPA-13).

OCCUPANCY GROUP

R-2 / S-2 PARKING

LOT AREA:

6,500.5 SQ.FT +6,500.5 SQ.FT + 6,500.5 = 19,501.5 SQ.FT. (PER ZIMAS).

STORIES:

5 STORIES

BUILDING SETBACKS REQUIRED :

REQUIRED SIDE YARDS: 5 FEET , 2ND- 5TH FLOOR PER RAS3
REQUIRED FRONT YARD : 0'
REQUIRED REAR YARD : 15'(PER RAS3 REQUIREMENTS) FROM CENTER OF ALLEY

ALLOWABLE BUILDING HEIGHT:

45 FEET PER COMMERCIAL CORNER DEVELOPMENT STANDARD

PROPOSED BUILDING HEIGHT:

45 FEET+11 FEET HEIGHT INCREASE DUE TO AFFORDABLE HOUSING INCENTIVE
NOTE: TRANSITIONAL HEIGHT TO BE PROVIDED PER TOC TIER 2

AREA SUMMARY (LABC)

STORY	OCC.	USE	CONSTRUCTION TYPE	A AREA: OUTSIDE WALLS SQ.FT.	B AREA: EXTERIOR WALLS SQ.FT.	C AREA: VENTILATION SHAFT SQ.FT.	D AREA: STAIRWAYS SQ.FT.	A-B-C BUILDING AREA (SQ.FT.)	A-B-C-D ZONING AREA (SQ.FT.)
BASEMENT-1	S-2	PARKING	I-A	16,904					
FIRST	S-2	PARKING	I-A	12,204					
		BUILDING OFFICE REC.& GYM	I-A	3,100	182	~	~	3,910	3,910
	R-2	RESIDENTIAL		1,100	108				
SECOND	R-2	RESIDENTIAL	V-A	14,482	400		500	14,082	13,582
THIRD	R-2	RESIDENTIAL	V-A	14,482	400		500	14,082	13,582
FOURTH	R-2	RESIDENTIAL	V-A	14,482	400		500	14,082	13,582
FIFTH	R-2	RESIDENTIAL	V-A	12,000	400		500	11,600	11,100
TOTAL	S-2							29,108	
ALLOWABLE	R-2							57,756	55,756

ALLOWABLE FLOOR AREA CALCULATION (LAMC)

LOT AREA: 19,501.5 SQ.FT.
ZONE: C2-1VL
BUILDABLE AREA SHALL HAVE THE SAME MEANING AS LOT AREA AT C2 ZONE

BUILDABLE AREA: 19,501.5 SQ.FT.
FAR PER 1.5 :1

ALLOWABLE FLOOR AREA PER LAMC:
19,501.5 SQ.FT. X 3.25 (PER TIER2) =57,041.8

ALLOWABLE FLOOR AREA PER DENSITY BONUS: FAR:3.25:1

19,501.5 SQ.FT. X 3.25= 63,378.2 SQ.FT > 56,546 SQ.FT

AREA PER UNIT

UNIT No	DESCRIPTION	AREA (SQ.FT.)
101	1-BED/1-BATH	900

1ST FLOOR = 1 UNIT

UNIT No	DESCRIPTION	AREA (SQ.FT.)
201	2-BED/2-BATH	1,180
202	2-BED/2-BATH	1,050
203	1-BED/1-BATH	640
204	1-BED/1-BATH	640
205	1-BED/1-BATH	550
206	2-BED/2-BATH	950
207	2-BED/2-BATH	950
208	1-BED/1-BATH	850
209	2-BED/2-BATH	1,090
210	1-BED/1-BATH	820
211	2-BED/2-BATH	920
212	2-BED/2-BATH	1,050
213	2-BED/2-BATH	1,180

SECOND FLOOR = 13 UNITS

UNIT No	DESCRIPTION	AREA (SQ.FT.)
301	2-BED/2-BATH	1,180
302	2-BED/2-BATH	1,050
303	1-BED/1-BATH	640
304	1-BED/1-BATH	640
305	1-BED/1-BATH	550
306	2-BED/2-BATH	950
307	2-BED/2-BATH	950
308	1-BED/1-BATH	850
309	2-BED/2-BATH	1,090
310	1-BED/1-BATH	820
311	2-BED/2-BATH	920
312	2-BED/2-BATH	1,050
313	2-BED/2-BATH	1,180

THIRD FLOOR = 13 UNITS

UNIT No	DESCRIPTION	AREA (SQ.FT.)
401	2-BED/2-BATH	1,180
402	2-BED/2-BATH	1,050
403	1-BED/1-BATH	640
404	1-BED/1-BATH	640
405	1-BED/1-BATH	550
406	2-BED/2-BATH	950
407	2-BED/2-BATH	950
408	1-BED/1-BATH	850
409	2-BED/2-BATH	1,090
410	1-BED/1-BATH	820
411	2-BED/2-BATH	920
412	2-BED/2-BATH	1,050
413	2-BED/2-BATH	1,180

FOURTH FLOOR = 13 UNITS

UNIT No	DESCRIPTION	AREA (SQ.FT.)
501	2-BED/2-BATH	1,180
502	2-BED/2-BATH	1,050
503	1-BED/1-BATH	640
504	1-BED/1-BATH	640
505	2-BED/2-BATH	820
506	2-BED/2-BATH	820
507	1-BED/1-BATH	720
508	1-BED/1-BATH	820
509	2-BED/2-BATH	920
510	2-BED/2-BATH	1,050
511	2-BED/2-BATH	1,180

FOURTH FLOOR = 11 UNITS

PARKING CALCULATION

PARKING REQUIRED PER LAMC

	# OF UNITS	AUTO PARKING	TOTAL
1- BDRM	20	1.5	30
2- BDRM	31	2	62
TOTAL	51		92

PARKING REDUCTION PER TOC TIER 2

PER TIER 2, HALF PARKING PER BEDROOM
(20X1) + (31X2) = 82 BEDROOMS
82 X 0.5 = 41 AUTO PARKING REQUIRED

PARKING PROVIDED FOR RESIDENTIAL

	PARKING No.
REG. STANDARD	36
REG. DISABLE PARKING	1
DISABLE PARKING W/ EV CHARGER	1
REGULAR EV.	20
EVCS	1
TOTAL EV SPACES	22
TOTAL STANDARD	59
COMPACT	13
GUEST PARKING	-
TOTAL AUTO PARKING RESIDENTS	72

BICYCLE PARKING
PER ORDINANCE No. 185,480
SHORT-TERM= 51/10 = 5.1 = 6 SPACE
LONG-TERM= 43

OPEN SPACE CALCULATION

REQUIRED

NO. OF BEDROOMS	HABITABLE ROOMS	QUANTITY OF UNITS	OPEN SPACE
1	2	20	20 X 100 = 2,000
2	3	31	31 X 125 = 3,875
TOTAL REQUIRED			5,875 SQ.FT

PROVIDED

AREA DESCRIPTION	OPEN SPACE
BALCONY (33X50)	1,650 SQ.FT.
COURT YARD	1,550 SQ.FT.
DECK @ 5TH FLOOR	1,400 SQ.FT.
RECREATION&GYM (ACTUAL SIZE=1,590 SQ.FT) ALLOWABLE USE=25% REQUIRED OPEN SPACE	1,468 SQ.FT.
TOTAL PROVIDED	6,068 SQ.FT.

DENSITY CALCULATION

LOT AREA = 3X6500.5=19,501.5 SQ.FT (PER ZIMAS)
HALF ALLEY = 150'X10'=1500 SQ.FT
TOTAL AREA = 19,501.5+1500=21,001.5 SQ.FT

ALLOWABLE UNITS *
ZONE =C2-1VL

DENSITY =1 UNIT/400 SQ.FT
21,001.5/400 =52.5=53 UNITS

* PER TOC (TIER 2)

53 UNITS X 1.6 = 84.8 = 85 UNITS

* PROPOSED UNITS= 51 UNITS

UNITS ALLOCATED TO EXTREMELY LOW INCOME (ELI)
9% X 50 = 4.59 = 5 UNIT

TOC DATA

TOC TIER AREA QUALIFIED : TIER 2
TOC TIER USED : TIER 2

INCENTIVE REQUESTED:
** BASE INCENTIVE
FAR: 3.25 PER TIER 2
**

NUMBER OR REQUESTED ADDITIONAL INCENTIVES: 3
NUMBER OF UNITS SET ASIDE FOR AFFORDABLE HOUSING (9% X51=4.59=5 UNIT)
1. YARD/SETBACK: (2) SETBACKS REDUCTION. COMMERCIAL ZONE,
ELIGIBLE HOUSING DEVELOPMENTS MAY UTILIZE ANY OR ALL OF
THE YARD REQUIREMENTS FOR THE RAS3 ZONE PER LAMC 12.10.5

2. INCREASE IN HEIGHT FROM 45 FEET +11 FEET =56 FEET

NOTES

1. OBTAIN SEPARATE PERMIT FOR THE FOLLOWING ITEMS:

RETAINING WALLS, GRADING WORK, BLOCK FENCE, FIRE SPRINKLER SYSTEM, ELECTRICAL, MECHANICAL, PLUMBING, EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE, WORK, SHORING AND DEMOLITION, FIRE ALARM SYSTEM WITH LAFC (CBC 915.4.2/4) , SOLAR VOLTAIC

2. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

3. THIS PROJECT IS 100% PRIVATELY FUNDED.
THIS IS NOT HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR, OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL.

4. NO GUEST PARKING PROVIDED OR REQUIRED.

5. FIRE ALARM TO BE PROVIDED PER CFC 907.2.1 THROUGH 907.2.23
6. EMERGENCY RESPONDER RADIO COVERAGE PER CFC 510.
7. STAND BY POWER REQUIRED FOR ELEVATOR 1009.2.1 CBC.
8. FIRE SPRINKLER NOTE:
THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM ,
COMPLYING WITH (NFRA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA RESIDENTIAL CODE (CRC) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA FIRE CODE (CFC) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA GREEN BUILDING CODE (CGBSC) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA HISTORICAL BUILDING CODE (CHBS) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA ENERGY CODE (CEESC) WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA ELEVATOR SAFETY CODE WITH CITY OF L.A. AMENDMENTS
2016 CALIFORNIA REFERENCE STANDARDS CODE WITH CITY OF L.A. AMENDMENTS
28 CFR PART 36 (ADA)
TITLE 24
TITLE 8 CALIFORNIA STATE CODE FOR ELEVATORS

VICINITY MAP

OWNER

8940 RESEDA LLC,

PROJECT

8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE

COVER SHEET

DATE:

23 April 2020

SCALE:

N.T.S

DRAWN:

D.A

APPROVED:

A.G

JOB :

19--881

SHEET:

T.0

OF

SHEETS

G

A

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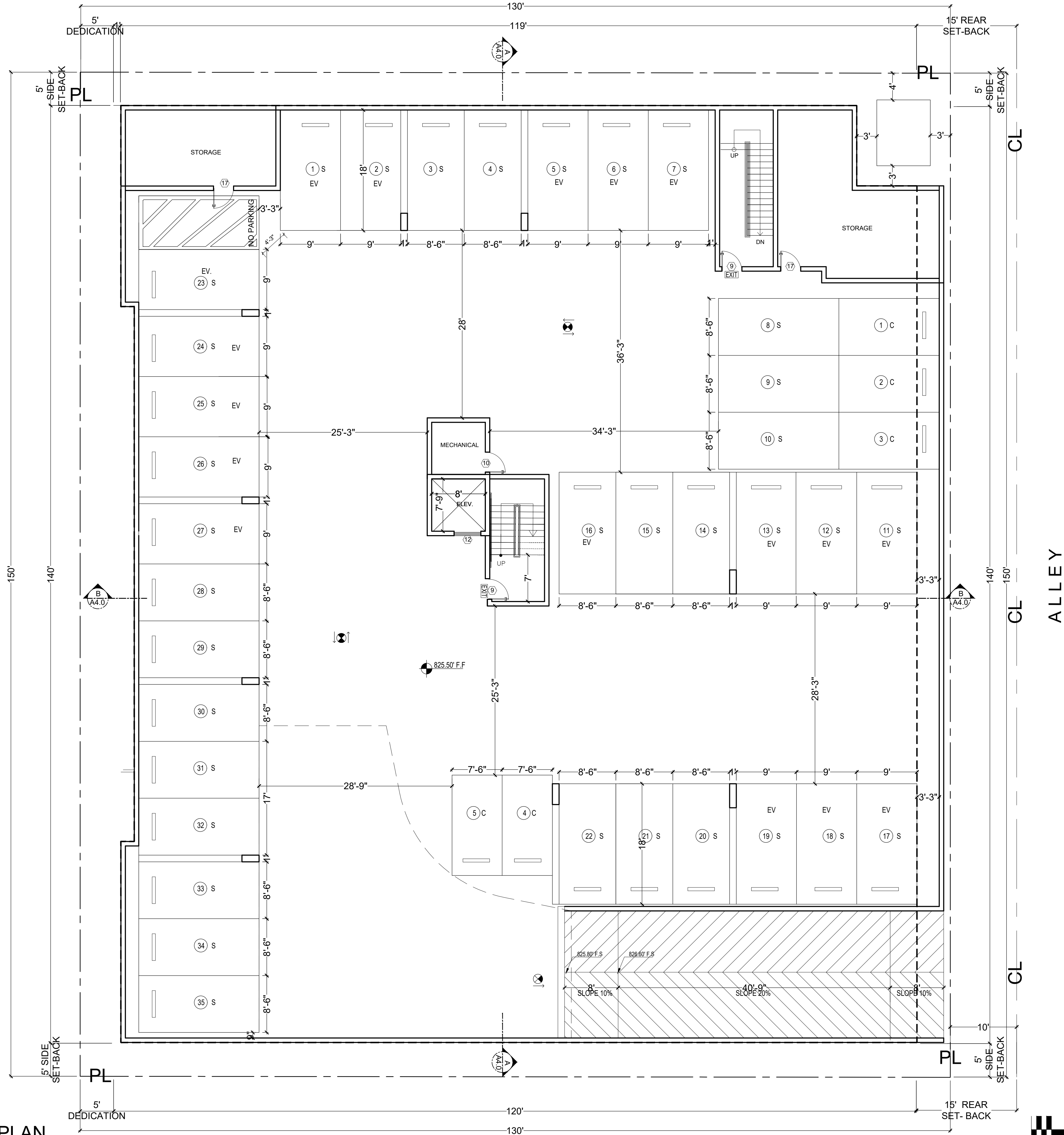
OWNER
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COVER SHEET

DATE:	23 April 2020
SCALE:	N.T.S
DRAWN:	D.A
APPROVED:	A.G
JOB :	19--881
SHEET:	T.0
OF	SHEETS

RESEDA BLVD



PARKING SUMMARY :
STANDARD : 35
COMPACT : 5



LEGEND

C1	3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1	3 HR. REQ. PER CBC 721.(2) ITEM CONCRETE WALL SEE SPEC.
C2	3 HR. REQ. PER CBC 721.(2) ITEM 3	MASONRY WALL SEE SPEC.
W1	1 HR. EXTERIOR WALL	
W2	CORRIDOR WALL	
W5	INTERIOR WALL	
W6	PLUMING WALL	
W9	1 HR. SEPRATION WALL	
W15	2HR.SHAFT (INTERIOR)	
W16	2HR.SHAFT (EXTERIOR)	

—	PATH OF EGRESS
—	DISABLE PATH OF TRAVEL
⊗	EXIT SIGN
S	STANDARD PARKING
C	COMPACT PARKING
DA	DISABLE PARKING
PL	PROPERTY LINE

F	2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
SD	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
CM	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
M	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
⚡	GROUND- FAULT CIRCUIT-INTERUPTER
⊗	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
⊗	WATER CURTAIN
⊗	WATER HEATER
SP O	STAND PIPE CLASS A

E.V.	ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB) * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE." * THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED. * A LABEL ' EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)
2.	ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAB DIM OF 80"x54"WITH 42" DOOR 3002.4.3a

NOTE

- 1.ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATE^{STC50}
 - 2.WALLS (FIRE BARRIERS 707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC. 2 HR RATED(713.4).
 - 3.FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
 - 4.ALL BEARING WALLS SHALL BE 1 HOUR RATED
 - 5.THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50.
- *WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18"
NON-COMBUSTIBLE DRAFT STOP SHALL BE PROVIDED.



ENGINEERING INC.

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REVISION	BY

OWNER

8940 RESEDA LLC,

PROJECT

8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE

BASEMENT PLAN

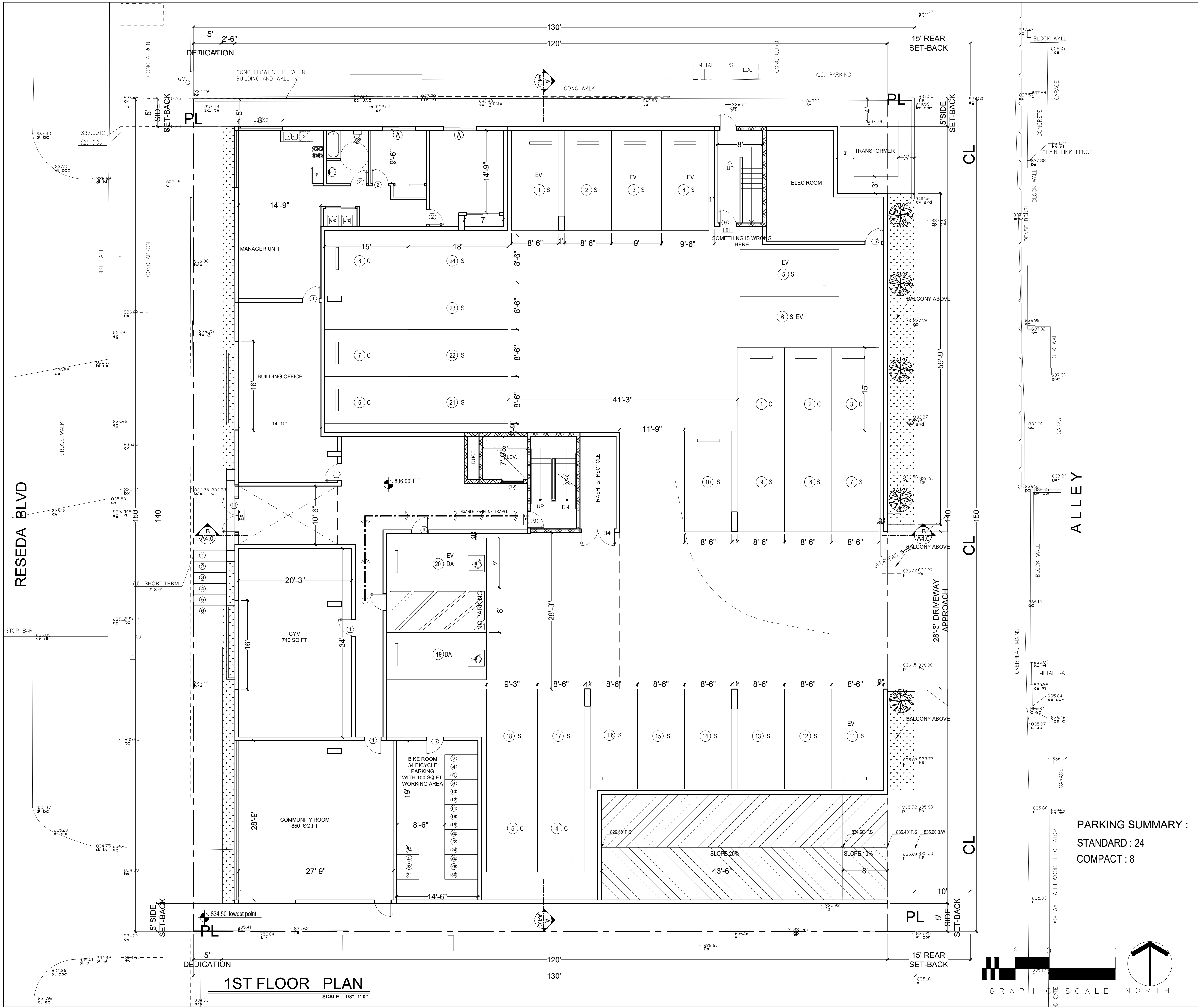
DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	

A2.0
OF SHEETS

BASEMENT PLAN

35 S
5 C

SCALE: 1/8"=1'-0"



1ST FLOOR PLAN

SCALE : 1/8"=1'-0"

LEGEND

- C1 3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
- C2 3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.
- W1 1 HR. EXTERIOR WALL
- W2 CORRIDOR WALL
- W5 INTERIOR WALL
- W6 PLUMING WALL
- W9 1 HR. SEPRATION WALL
- W15 2HR.SHAFT (INTERIOR)
- W16 2HR.SHAFT (EXTERIOR)
- PATH OF EGRESS
- DISABLE PATH OF TRAVEL
- EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- DA DISABLE PARKING
- PL PROPERTY LINE
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- WATER CURTAIN
- WATER HEATER
- STAND PIPE CLASS A
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
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- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4. 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAB DIM OF 80"x54"WITH 42" DOOR 3002.4.3a

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PARKING SUMMARY :
STANDARD : 24
COMPACT : 8



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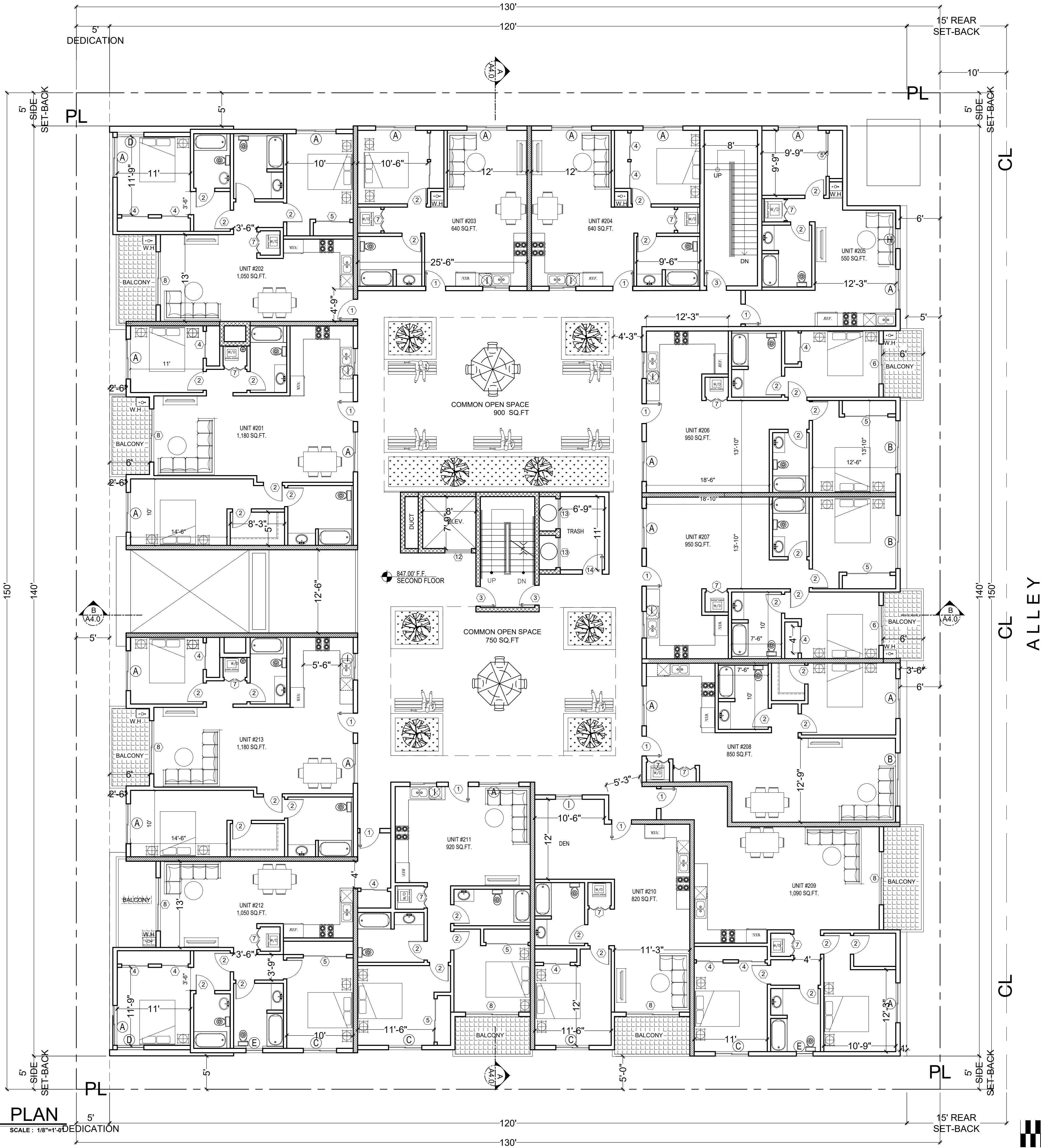
OWNER	8940 RESEDA LLC,
PROJECT	8940 N RESEDA BLVD, LOS ANGELES CA 91324
DRAWING TITLE	FIRST FLOOR PLAN

DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	A2.1
OF	SHEETS

2ND FLOOR PLAN

SCALE: 1/8"=1'-0"

RESEDA BLVD



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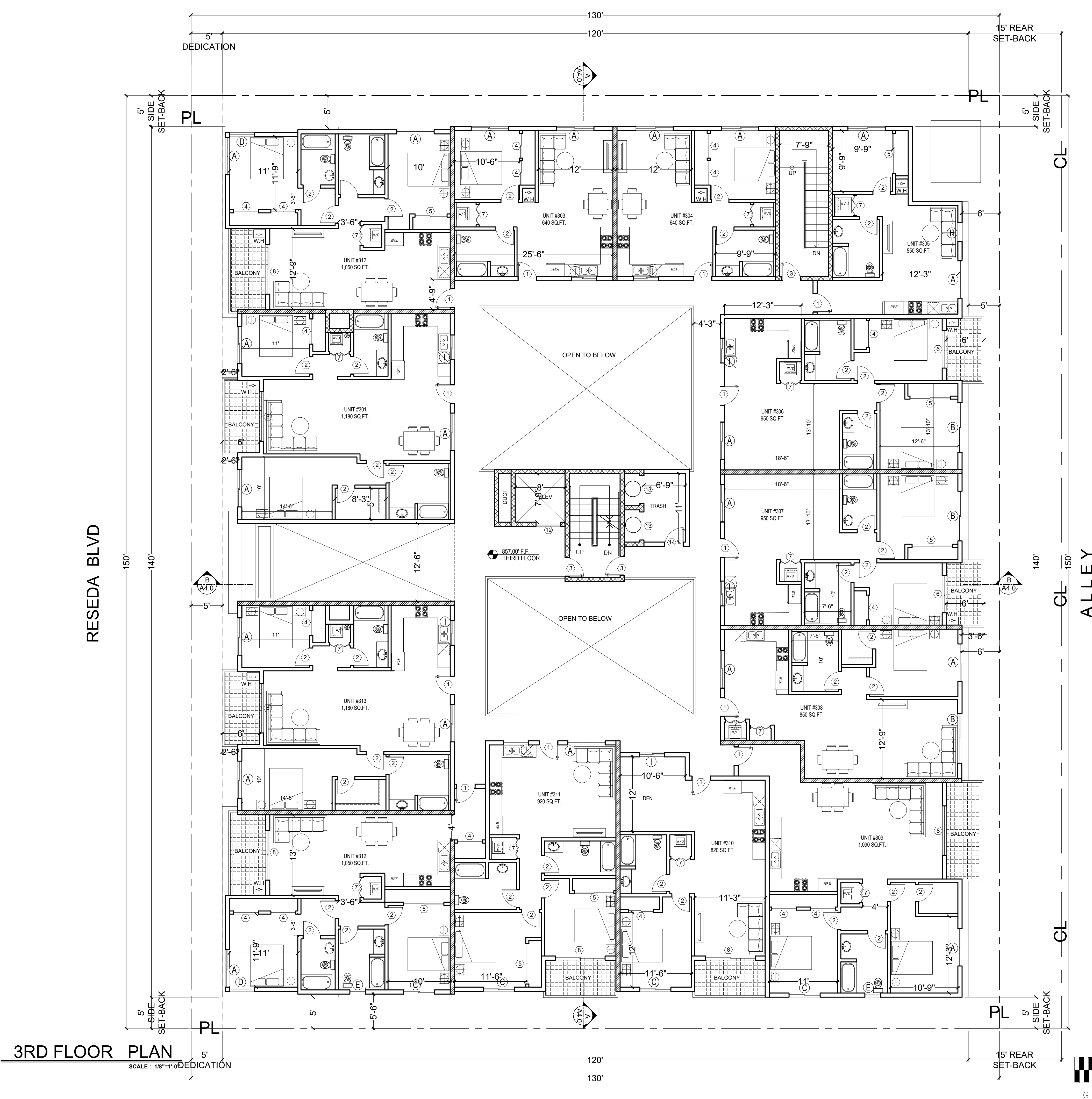
OWNER
8940 RESEDA LLC,

PROJECT
8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE
2ND FLOOR PLAN

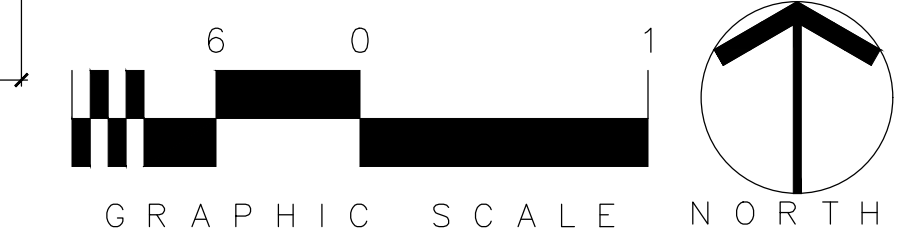
DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	

A2.2
OF SHEETS



3RD FLOOR PLAN

SCALE: 1/8"=1'-0"



LEGEND

C1	3 HR. REQ. PER CBC 721 (2) ITEM 4-1.1	CONCRETE WALL SEE SPEC.
C2	3 HR. REQ. PER CBC 721 (2) ITEM 3	MASONRY WALL SEE SPEC.
W1	1 HR. EXTERIOR WALL	
W2	CORRIDOR WALL	
W5	INTERIOR WALL	
W6	PLUMING WALL	
W9	1 HR. SEPRATION WALL	
W15	2HR.SHAFT (INTERIOR)	
W16	2HR.SHAFT (EXTERIOR)	

PATH OF EGRESS

DISABLE PATH OF TRAVEL

EXIT SIGN

STANDARD PARKING

COMPACT PARKING

DISABLE PARKING

PROPERTY LINE

2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP

HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP

CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP

MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT

GROUND- FAULT CIRCUIT-INTERUPTER

4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER

WATER CURTAIN

WATER HEATER

STAND PIPE CLASS A

ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)

* THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE. "

* THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

* A LABEL ' EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT HTE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)

ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER. HAVE MIN CAB DIM OF 80"x54"WITH 42" DOOR 3002.4.3a

NOTE

1.ALL FIRE PARTITION WALLS (LABC 708) SHALL BE 1 HOUR RATEBTC50

2.WALLS (FIRE BARRIERS 707.3.1) IN SHAFTS AS ELEVATOR, STAIRS, ETC. 2 HR RATED(713.4).

3.FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED

4.ALL BEARING WALLS SHALL BE 1 HOUR RATED

5.THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50.

*WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18"

NON-COMBUSTIBLEDRAFT STOP SHALL BE PROVIDED.

ENGINEERING INC.

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OWNER	PROJECT	DRAWING TITLE
8940 RESEDA LLC,	8940 N RESEDA BLVD, LOS ANGELES CA 91324	3RD FLOOR PLAN

DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	A2.3

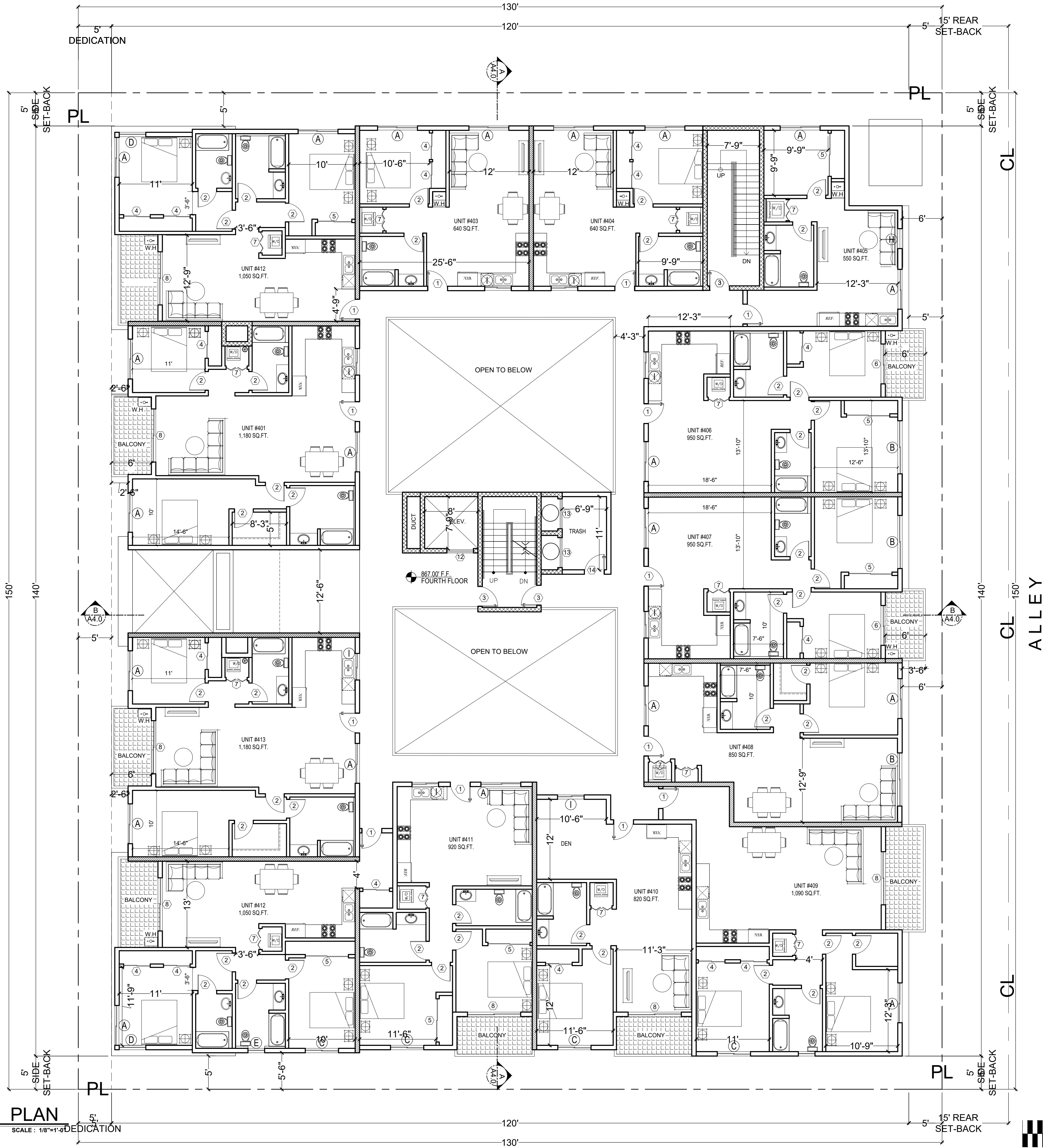
OF SHEETS

4TH FLOOR PLAN

SCALE: 1/8"=1'-0"

RESEDA BLVD

ALLEY



LEGEND

- C1 3 HR. REQ. PER CBC 721 (2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
- C2 3 HR. REQ. PER CBC 721 (2) ITEM 3 MASONRY WALL SEE SPEC.
- W1 1 HR. EXTERIOR WALL
- W2 CORRIDOR WALL
- W5 INTERIOR WALL
- W6 PLUMING WALL
- W9 1 HR. SEPRATION WALL
- W15 2HR.SHAFT (INTERIOR)
- W16 2HR.SHAFT (EXTERIOR)
- PATH OF EGRESS
- DISABLE PATH OF TRAVEL
- EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- DA DISABLE PARKING
- PL PROPERTY LINE
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- WATER CURTAIN
- WATER HEATER
- STAND PIPE CLASS A
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
- * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE. "
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- 4.ALL BEARING WALLS SHALL BE 1 HOUR RATED
- 5.THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50.
- *WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18"
- NON-COMBUSTIBLEDRAFT STOP SHALL BE PROVIDED.



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8940 RESEDA LLC,

PROJECT

8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE

4TH FLOOR PLAN

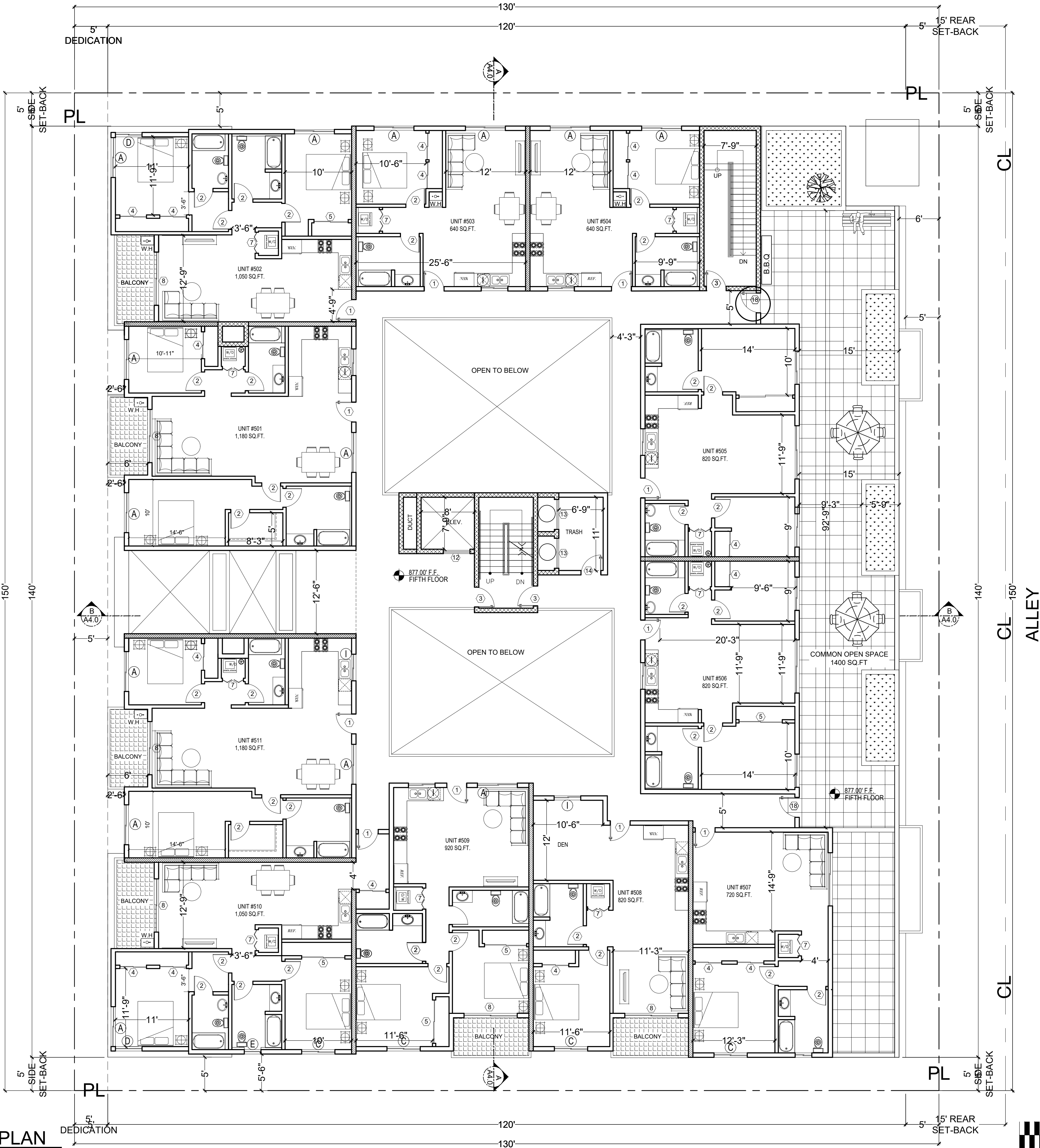
DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	

A2.4
OF SHEETS

5TH FLOOR PLAN

SCALE : 1/8"=1'-0"

RESEDA BLVD



LEGEND

- C1 3 HR. REQ. PER CBC 721.(2) ITEM 4-1.1 CONCRETE WALL SEE SPEC.
- C2 3 HR. REQ. PER CBC 721.(2) ITEM 3 MASONRY WALL SEE SPEC.
- W1 1 HR. EXTERIOR WALL
- W2 CORRIDOR WALL
- W5 INTERIOR WALL
- W6 PLUMING WALL
- W9 1 HR. SEPRATION WALL
- W15 2HR.SHAFT (INTERIOR)
- W16 2HR.SHAFT (EXTERIOR)
- PATH OF EGRESS
- DISABLE PATH OF TRAVEL
- EXIT SIGN
- S STANDARD PARKING
- C COMPACT PARKING
- DA DISABLE PARKING
- PL PROPERTY LINE
- 2A10BC FIRE EXTINGUISHER W/ SEMI- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND- FAULT CIRCUIT-INTERUPTER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- WATER CURTAIN
- WATER HEATER
- STAND PIPE CLASS A
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1(GB)
- * THE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT AT LEAST LEVE2 EVSE. "
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- 3.FIRE PARTITION CORRIDORS SHALL BE 1 HOUR RATED
- 4.ALL BEARING WALLS SHALL BE 1 HOUR RATED
- 5.THE FLOOR/CEILING ASSEMBLIES SHALL BE 1 HOUR RATED STC50.
- *WATER CURTAIN INSTALLATION SHALL BE AS PER BUILDING & SAFETY MECH. PLAN 18"
- NON-COMBUSTIBLEDRAFT STOP SHALL BE PROVIDED.



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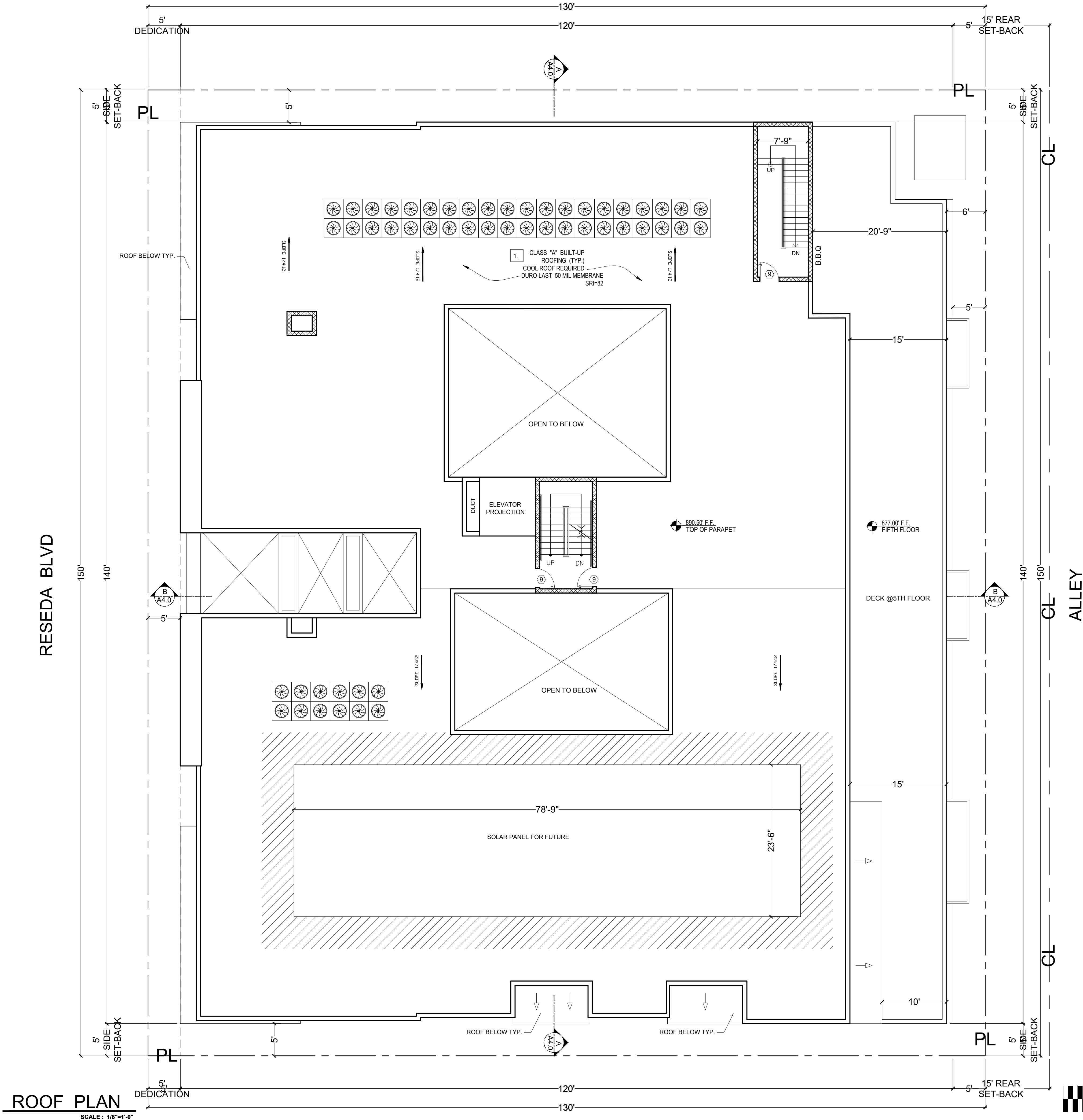
OWNER
8940 RESEDA LLC,

PROJECT
8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE
5TH FLOOR PLAN

DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	

A2.5
OF SHEETS



ROOF PLAN
SCALE : 1/8"=1'-0"



LEGEND

- AC UNIT
- S.P. STANDPIPE
- SOLAR ZONE:
ROOF AREA= 11,900 SQ.FT.
11,900 X 15% =1,785 SQ.FT.
TO PROVIDE 1 SOLAR ZONES
WITH 1,850 SQ.FT.
TO BE MAINTAINED BY SEPRATE PERMIT
NUMBER OF SOLAR ZONE
- DISABLE PATH OF TRAVEL
- REPRESENT AREA NEXT TO SOLAR PANEL SHALL
BE FREE OF OBSTRUCTION AND TO BE SETBACK
AT LEAST
TWO TIMES THE HEIGHT OF ANY OBSTRUCTION,
INCLUDING BUT NOT LIMITED TO VENTS,
CHIMNEYS, AND EQUIPMENT.
- PROPERTY LINE
- MAIN SERVICE ELECTRICAL PANEL SHALL HAVE A
MIN. BUSBAR RATING OF 200 AMPS THE MAIN
ELECTRICAL SERVICE PANEL SHALL HAVE A
RESERVED SPACE TO ALLOW FOR OF A DOUBLE
POLE CIRCUIT BREAKER FOR A FUTURE SOLAR
ELECTRIC INSTALLATION THE RESERVED SPACE
SHALL BE POSITIONED AT THE OPPOSITE (LOAD)
END FROM THE INPUT FEEDER LOCATION OR MAIN
CIRCUIT LOCATION AND SHALL BE PERMANENTLY
MARKED AS "FOR FUTURE SOLAR ELECTRIC"
- COATING BALCONY COVERING RR:25261
CS# 07180



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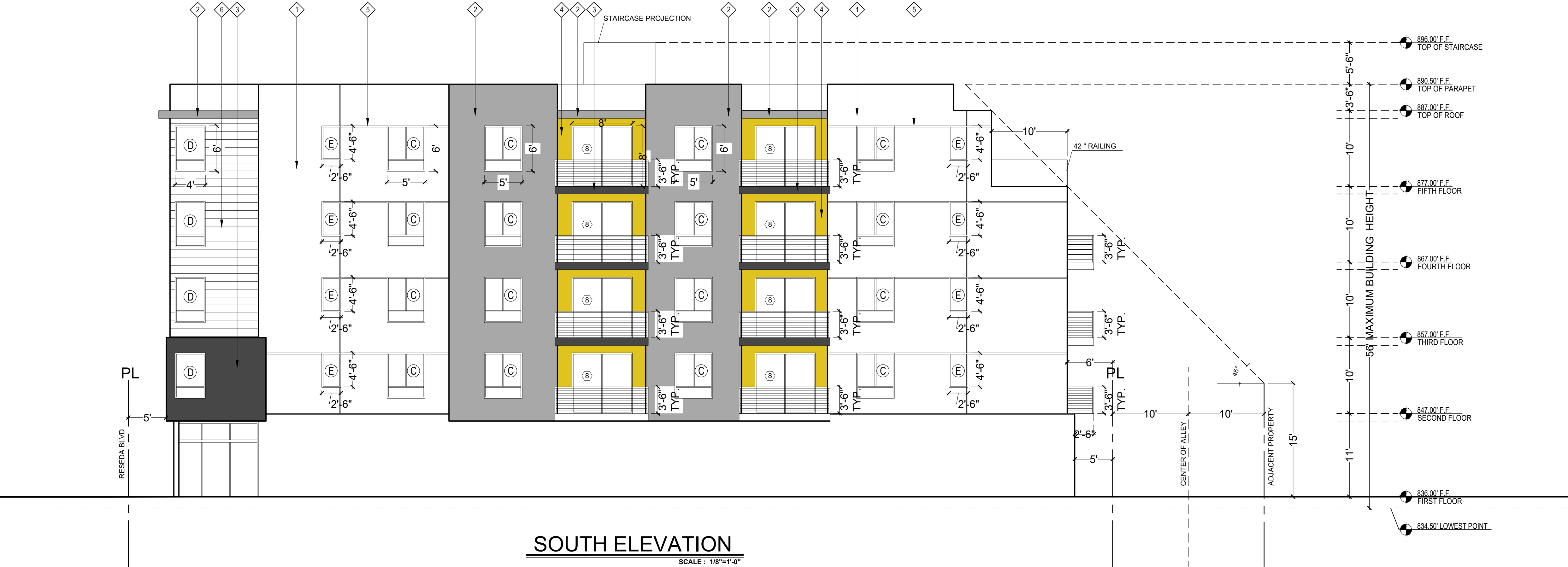
REVISION	BY

OWNER	8940 RESEDA LLC,
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PROJECT	8940 N RESEDA BLVD, LOS ANGELES CA 91324
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DRAWING TITLE	ROOF PLAN
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DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
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OF	SHEETS



LEGEND

1. PROVIDE GRAFFITTI -MELT ANTI-GRAFFITTI COATING BY GENESIS AT THE FIRST 9FT. MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS. LARR # RR25042-T
2. ALL PLASTER FINISH SHALL BE 7/8" THK. SMOOTH TROWELL UNLESS NOTED OTHERWISE.
3. 30" PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS.(CBC 705.11)
4. NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, CONTRASTING WITH THE BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. (CFC 505.1)

ELEVATION SYMBOLS

--- PROPERTY LINE (P.L.)

- 1 PLASTER FINISH STUCCO (EGGSHELL COLOR)
- 2 PLASTER FINISH STUCCO (LIGHT GRAY COLOR)
- 3 PLASTER FINISH STUCCO (DARK GRAY COLOR)
- 4 PLASTER FINISH STUCCO (CATERPILLAR YELLOW)
- 5 STUCCO REVEALS
- 6 WOOD SIDING
- 7 LOUVER METAL
- 8 STUCCO AWNING
- 9 METAL RAILING
- 10 SPLIT FACE PLANTER TYPICAL

REVISION	BY

OWNER	PROJECT
8940 RESEDA LLC,	8940 N RESEDA BLVD, LOS ANGELES CA 91324

DRAWING TITLE	ELEVATIONS

DATE: 23 April 2020

SCALE: 1/8"=1'-0"

DRAWN: D.A

APPROVED: AG

JOB : 19-881

SHEET:

A3.0

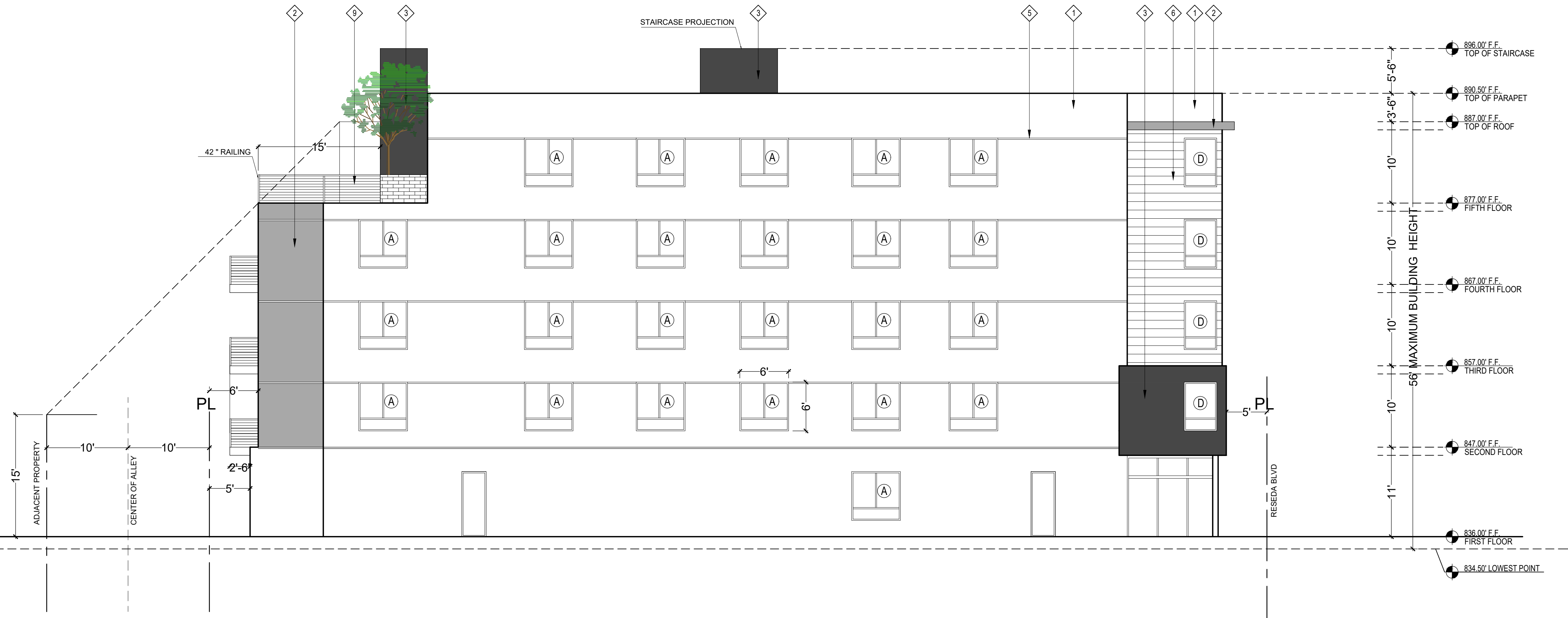
OF SHEETS

GRAPHIC SCALE



EAST ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"

LEGEND

1. PROVIDE GRAFFITI -MELT ANTI-GRAFFITI COATING BY GENESIS AT THE FIRST 9FT, MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS. LARR # RR25042-T
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 - 2 PLASTER FINISH STUCCO (LIGHT GRAY COLOR)
 - 3 PLASTER FINISH STUCCO (DARK GRAY COLOR)
 - 4 PLASTER FINISH STUCCO (EARTH TONE COLORS)
 - 5 STUCCO REVEALS
 - 6 WOOD SIDING
 - 7 LOUVER METAL
 - 8 STUCCO AWNING
 - 9 METAL RAILING
 - 10 SPLIT FACE PLANTER TYPICAL



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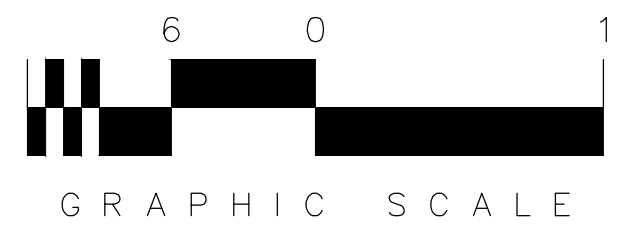
8940 N RESEDA BLVD,
LOS ANGELES CA 91324

DRAWING TITLE

ELEVATIONS

DATE: 23 April 2020
SCALE: 1/8"=1'-0"
DRAWN: D.A.
APPROVED: AG
JOB : 19-881
SHEET:

A3.1
SHEETS





PROJECT : 8940 N. RESEDA BLVD.
LOS ANGELES CA. 91324



PROJECT : 8940 N. RESEDA BLVD.
LOS ANGELES CA. 91324



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PROJECT
8940 N RESEDA BLVD, LOS ANGELES CA 91324

DRAWING TITLE
3D MODELING

DATE:	23 April 2020
SCALE:	1/8"=1'-0"
DRAWN:	D.A
APPROVED:	AG
JOB :	19-881
SHEET:	

A3.2
SHEETS



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PROJECT
8940 N RESEDA BLVD,
LOS ANGELES CA 91324

SECTION A-A
SECTION B-B

DATE: 23 April 2020
SCALE: 1/8"=1'-0"
DRAWN: D.A.
APPROVED: AG
JOB : 19-881
SHEET:

A4.0
SHEETS

