



# DEPARTMENT OF CITY PLANNING

## RECOMMENDATION REPORT

### City Planning Commission

**Date:** April 27, 2023  
**Time:** After 8:30 a.m.  
**Place:** Van Nuys City Council Chamber, 2nd Floor  
14410 Sylvan Street,  
Van Nuys, California 91410

**Public Hearing:** Required  
**Appeal Status:** Not further appealable

**Expiration Date:** April 30, 2023  
**Multiple Approval:** No

**Case No.:** ADM-2022-6793-DB-HCA-1A

**CEQA No.:** N/A

**Related Cases:** N/A

**Council No.:** 5 – Yaroslavsky

**Plan Area:** Hollywood

**Plan Overlay:** Melrose Q Condition Overlay

**Certified NC:** Mid City West

**GPLU:** Medium Residential

**Zone:** [Q]R4-1

**Applicant:** Brennen Hakimian, Brennen Hakimian Holdings LLC

**Representative:** Warren Techentin, Warren Techentin Architecture

**Appellant:** Suzanne Zachary SDZ Properties, LLC

**Appellant Representative:**

**PROJECT LOCATION:** 1000-1014 North Alfred Street, 8445-8447 West Romaine Street

**PROPOSED PROJECT:** The project proposes the construction, use, and maintenance of a new five-story, 56-foot-high apartment building containing 67 units. Of the 67 dwelling units, the project is setting aside six (6) units for Very Low Income Households to satisfy the Density Bonus requirements and one (1) unit for Low Income Households due to SB8 replacement requirements. The project proposes to provide 43 automobile parking spaces within a subterranean parking level. The project will also provide a minimum of 46 long-term bicycle parking spaces and five (5) short-term bicycle parking spaces. The proposed building will encompass approximately 52,105 square feet in total buildable area resulting in a Floor Area Ratio (FAR) of 3.72:1. A total of approximately 7,851 square feet of open space will be provided, divided among private and common areas.

**REQUESTED ACTION:** A partial appeal of the Planning Director's Determination, dated January 26, 2023, which:

1. Determined, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915(f)(5) and (j)(1) and California Public Resources Code Section 21080(b)(1); and
2. Approved with Conditions, a ministerial review of a Density Bonus Compliance Review, pursuant to LAMC Section 12.22 A.25, a 35 percent Density Bonus (with 11 percent of the base number of units set aside for Very Low Income Households), for a project totaling 67

dwelling units, including six (6) units for Very Low Income, for sale for a period of 55 years, along with the following two (2) On-Menu Incentives for a qualifying project:

- a. Height: An 11-foot increase in building height to permit a maximum building height of 56 feet in lieu of the 45 feet otherwise permitted; and
- b. FAR: An increase in Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted.

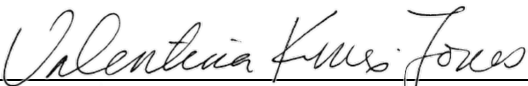
#### RECOMMENDED ACTIONS:

1. **Deny** the appeal;
2. **Determine**, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915(f)(5) and (j)(1) and California Public Resources Code Section 21080(b)(1);
3. **Sustain** the action of the Director of Planning to approve with conditions, a ministerial review of a Density Bonus Compliance Review, pursuant to LAMC Section 12.22 A.25, a 35 percent Density Bonus (with 11 percent of the base number of units set aside for Very Low Income Households), for a project totaling 67 dwelling units, including six (6) units for Very Low Income, for sale for a period of 55 years, along with the two (2) On-Menu Incentives for a qualifying project.
4. **Adopt** the attached Conditions of Approval and Findings of the Director of Planning.

VINCENT P. BERTONI, AICP  
Director of Planning

  
\_\_\_\_\_  
Jane Choi, AICP, Principal City Planner

  
\_\_\_\_\_  
Deborah Kahen, Senior City Planner

  
\_\_\_\_\_  
Valentina Knox-Jones, City Planner  
[Valentina.knox.jones@lacity.org](mailto:Valentina.knox.jones@lacity.org)

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300) or emailed to [cpc@lacity.org](mailto:cpc@lacity.org). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978- 1299.

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- Exhibit C – Administrative Determination, ADM-2022-6793-DB-HCA
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- Exhibit E – Maps
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## PROJECT ANALYSIS

### PROJECT SUMMARY

The proposed project involves the ministerial review for Density Bonus Compliance to allow the demolition of existing improvements and the construction, maintenance, and use of a new, five-story, 56-foot-high multi-family residential development in the Hollywood Community Plan.

Of the proposed 67 dwelling units, the project is setting aside six (6) units for Very Low Income Households to satisfy the Density Bonus requirements and one (1) additional unit for Low Income Households due to SB8 replacement requirements. The project building will encompass approximately 52,041 square-feet of floor area, resulting in a Floor Area Ratio (FAR) of approximately 3.72:1. Of the 67 units proposed, 44 will be Studios, six (6) will be one-bedroom units, six (6) will be two-bedroom units, one (1) three-bedroom unit, one (1) four-bedroom unit, four (4) five-bedroom units, and five (5) six-bedroom units. The project proposes to provide 43 automobile parking spaces within a subterranean parking level. The project will also provide a minimum of 46 long-term bicycle parking spaces and five (5) short-term bicycle parking spaces. A total of approximately 7,851 square feet of open space will be provided, divided among private and common areas.



### PROJECT BACKGROUND

#### Site Description

The project site consists of two lots of approximately 19,486 square feet of lot area. The subject property is rectangular-shaped and has a street frontage of approximately 150 feet along the easterly side of Alfred Street, with an approximate 130-foot depth. The project site consists of three (3) parcels which are currently developed with a duplex, a quadplex, and a seven (7) unit building, which are currently under demolition. According to the plans, access to the site will be provided from the Romaine Street façade.



## Zoning and Land Use Designation

The subject site is located within the Hollywood Community Plan area and zoned [Q]R4-1 with a land use designation of Medium Residential. The subject property is located within the Melrose Zone Change Permanent [Q] Condition Area (ZI-2381). The property is not within the boundaries of any specific plan, community design overlay, or interim control ordinance.

The site is not located within an Airport Hazard zone, a Very High Fire Severity Zone, a Flood Zone, Hazardous Waste Zone, a High Wind Velocity Area, a BOE Special Grading Area, or a Landslide Zone. The site is located within the Urban Agriculture Incentive Zone, a Liquefaction Zone, and is located 0.83 kilometers from the Hollywood Fault, however the site is not located within the Alquist-Priolo Fault Zone.

## Surrounding Uses

The surrounding properties are primarily zoned and improved for multifamily residential uses. Abutting properties to the north, east, and west are zoned [Q]R4-1 and [Q]R3-1 and improved with multi-family residential structures. Properties to the south are zoned [Q]R3-1 and improved with multi-family residential structures. Further west of the site is the La Cienega Boulevard commercial corridor and the boundary of the City of Los Angeles and the City of West Hollywood. Further north of the site is the Santa Monica Boulevard commercial corridor (located within the City of West Hollywood).

## Streets and Circulation

Alfred Street, adjoining the subject property to the west, is designated as a Local Street – Standard, dedicated to a width of 60 feet and improved with roadway, curb, gutter and sidewalks.

Romaine Street, adjoining the subject property to the south, is designated as a Local Street – Standard, dedicated to a variable width of 50-55 feet and improved with roadway, curb, gutter and sidewalks.

## Public Transit

The site is located approximately 225 feet south of the intersection of Alfred Street and Santa Monica Boulevard, and approximately 200 feet southeast of the intersection of Santa Monica Boulevard and La Cienega Boulevard, both of which are heavily trafficked streets with several local and regional bus lines serving the area.

Along Santa Monica Boulevard, north of the site, is a bus stop for Metro Line 4, which provides access from Downtown Los Angeles to Santa Monica, passing through East Hollywood, West Hollywood, Beverly Hills, and West Los Angeles. Along La Cienega Boulevard, west of the site, is a bus stop for Metro Line 105, which provides access from West Hollywood to Vernon, providing access to the Beverly Center, Cedar-Sinai Medical Center, Baldwin Hills Kaiser Permanente Hospital, Washington/Fairfax Transit Hub, Baldwin Hills Crenshaw Plaza, and the Vernon Station.

## Relevant Cases

Subject Property:

Case No. CPC-2006-7181-ZC – On June 6, 2007, the City Council approved Ordinance No. 188,884, to adopt the Melrose Q Conditions for the area generally bound by La Cienega Boulevard to the west, Melrose Avenue to the south, Harper Avenue to the east, and the City of West Hollywood to the north.

Permit No. 21010-10000-00744 – On February 17, 2021, the applicant filed a building permit for the construction of a new, 5-story, 67-unit apartment building over one level of subterranean parking. The affordable unit set aside consists of six (6) Very Low Income and one (1) Low Income Unit. The permit is pending verifications as of February 21, 2023.

Permit No. 21019-10000-02629 – On July 13, 2021, the applicant filed a demolition permit for the demolition of an existing one-story apartment located at 1002 North Alfred Street, which is part of the subject site. The permit is pending verifications as of December 14, 2022. The permit was issued on March 10, 2023.

Permit No. 21019-10000-02630 – On July 13, 2021, the applicant filed a demolition permit for the demolition of an existing three-story apartment located at 1004 North Alfred Street, which is part of the subject site. The permit was issued on March 10, 2023.

Permit Nos. 22019-10000-05558 and 22019-10000-05559 – On December 14, 2022, the applicant filed two demolition permits for the demolition of an existing two-story apartment and garage located at 1012 North Alfred Street, which is part of the subject site. The permits are pending corrections as of December 14, 2022. The permits were issued on March 10, 2023.

Surrounding Properties (within 500 feet of the subject site and located in the City):

None

### **APPROVED ACTIONS**

On January 26, 2023, the designee of the Director of Planning issued a Determination for Case No. ADM-2022-6793-DB-HCA, which approved the project and two on-menu incentives as a ministerial review under the Density Bonus and Affordable Housing Incentives Program. As part of the approval, the project was found to be statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to California Government Code Section 65651(f)(5) and (j)(1) and Public Resources Code Section 21080(b)(1).

### **Density Bonus and Affordable Housing Incentive Program**

Under Government Code Sections 65915(a), 65915(d)(2)(C), and 65915(d)(3), the City of Los Angeles complies with the State Density Bonus law by adopting density bonus regulations and procedures as codified in Section 12.22 A.25 of the LAMC.

In exchange for setting aside a defined number of affordable dwelling units within a development, applicants may request up to three incentives in addition to the density bonus and parking relief. The incentives are deviations from the City's development standards, thus providing greater relief from regulatory constraints. Utilization of the Density Bonus/Affordable Housing Incentives Program supersedes requirements of the LAMC and underlying ordinances relative to density, number of units, parking, and other requirements relative to incentives, if requested.

As an eligible Housing Development Project, the project is seeking to utilize the provisions of State Density Bonus law and the LAMC. In exchange for setting aside at least 11 percent of the base number of units for Very Low Income households, the project is permitted an increase in density of up to 35 percent. Based on the underlying zone, the project is permitted a base density of 49 units; therefore, in exchange for reserving 11 percent of this base density for Very Low Income households, the project is eligible for and is seeking a 35 percent increase in density to

allow 67 units. Furthermore, in exchange for setting aside at least ten percent of the base number of units for Very Low Income households, the project is also eligible for up to two development Incentives. The project is seeking the following two Incentives: 1) an 11-foot increase in building height to permit a maximum building height of 56 feet in lieu of the 45 feet otherwise permitted; and 2) an increase in the Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted. The project is setting aside seven (7) units, consisting of six (6) Very Low Income Households and one (1) Low Income Households, which is greater than the 11 percent of the base number of units for Very Low-Income households; accordingly, the project is eligible for a 35 percent Density Bonus to allow up to 67 units, as well as up to two requested Incentives. The project will provide vehicular parking of 43 spaces in accordance with the provisions of Gov. Code section 65915(p)(2)(A) to provide one-half parking spaces per dwelling unit.

## **APPEAL ANALYSIS**

On January 26, 2023, the designee of the Director of Planning issued a Determination to approve ministerial review of Density Bonus Compliance for the proposed project. On February 9, 2023, within the required 15-day appeal period, an appeal was filed by the following party: Suzanne Zachary, SDZ Properties LLC.

The following statements have been compiled and summarized from the submitted appeals and responded to below. The appeal in its entirety has been attached herein for reference, as Exhibit B.

1. **APPEAL POINT:** The building will be out of character with the neighborhood due to the height and floor area ratio of the structure. The appellant requests that both on-menu incentives (increasing the height from 45 feet to 56 feet and increasing the Floor Area Ratio from 3:1 to 3.72:1) be denied.

**STAFF RESPONSE:** The City's Density Bonus Ordinance includes specified, objective requirements for projects requesting on-menu incentives (LAMC Section 12.22-A,25(e)(2)). The City's "menu of incentives" also articulates in objective terms the most applicable and commonly requested development standard modifications pertaining to multifamily housing, which were pre-evaluated as providing for affordable housing costs. State law also provides that for a project which meets specified objective criteria, the City "shall" grant a density bonus and a specified number of incentives (Gov. Code §65915 (b, d, e, f)). The City is only able to deny a requested incentive if there is evidence to make one of three objectively described findings, such as a finding of a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated.

In the context of this project, the applicant has complied with all objective standards as set forth in the City's Density Bonus Ordinance. The City has not been presented any evidence to make a finding that there is a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated (Gov. Code §65589.50)(1)), and as such, cannot deny the on-menu incentives for height or Floor Area Ratio. Therefore, the designee of the Director of Planning did not err in approving the project as it complies with all relevant requirements under the Density Bonus Ordinance and State law.

2. **APPEAL POINT:** The size of the proposed building, situated across the street from their property, will negatively impact their property value.

**STAFF RESPONSE:** The issue of whether a development will impact nearby property values is not a basis to grant or deny on-menu incentives. As noted in Staff Response No. 1, the City is only able to deny a requested incentive if there is evidence to make one of

three objectively described findings, such as a finding of a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated. As the applicant has complied with all objective standards as set forth in the City's Density Bonus Ordinance, the designee of the Director of Planning did not err in approving the project as it complies with all relevant requirements under the Density Bonus Ordinance and State law.

3. **APPEAL POINT:** The size of the proposed building will reduce the amount of daylight received by apartment units at their property across the street from the subject site, along the western side of Alfred Street.

**STAFF RESPONSE:** The issue of whether a development will block daylight on nearby buildings is not a basis to grant or deny on-menu incentives. As noted in the previous Staff Responses, the City is only able to deny a requested incentive if there is evidence to make one of three objectively described findings, such as a finding of a specific adverse impact based on objective written health and safety standards that cannot be feasibly mitigated. As the applicant has complied with all objective standards as set forth in the City's Density Bonus Ordinance, the designee of the Director of Planning did not err in approving the project as it complies with all relevant requirements under the Density Bonus Ordinance and State law.

4. **APPEAL POINT:** The project does not provide adequate parking.

**STAFF RESPONSE:** The project is required to provide vehicular parking in accordance with the provisions of Gov. Code section 65915(p)(2)(A) which amends California Government Code Section 65915 to require 0.5 parking spaces for Mixed-Income Developments (consisting of 11% Very Low Income or 20% Low Income Households), if the site is within 0.5 miles of a Major Transit Stop. According to the Affordable Housing Development Form (Exhibit E) completed for the project, dated February 12, 2023, the site is eligible to provide 0.5 parking spaces per unit due to its proximity to the Metro Route 105 and Metro Route 4. As such, the project is only required to provide 34 parking spaces based on the proposed number of dwelling units. The project is providing 43 parking spaces, thereby exceeding the parking requirements of Section 65915(p)(2)(A). Additionally, the project is conditioned to comply with Section 65915(p)(2)(A) parking provisions. As State Law parking provisions supersede City parking requirements, the City does not have the authority to require additional parking. Therefore, the designee of the Director of Planning did not err in approving the project as it complies with all relevant requirements under the Density Bonus Ordinance and State law.

5. **APPEAL POINT:** The project will negatively affect traffic flow and congestion along Alfred Street and Romaine Street, and the Planning Department's determination letter does not address the increase in traffic. Additionally, that the increased traffic and congestion will negatively impact the tenants at the appellant's property across the street and will affect the appellant's ability to rent their apartment units.

**STAFF RESPONSE:** Ministerial actions are exempt from CEQA (Public Resources Code [PRC] §21080(b)(1)). Under CEQA Guidelines Section 15369, CEQA defines a ministerial decision as one that involves little or no personal judgement by the public agency or official as to the wisdom or manner of carrying out the project. A ministerial decision involves the use of fixed or objective standards rather than subjective decision making. The agency or official merely applies the governing statute, ordinance, regulation or other fixed standard to the facts.

As noted above, the City's Density Bonus Ordinance includes specified, objective requirements for projects requesting on-menu incentives (LAMC Section 12.22-A,25(e)(2)). The City's "menu of incentives" also articulates in objective terms the most applicable and commonly requested development standard modifications pertaining to multifamily housing, which were pre-evaluated as providing for affordable housing costs. State law also provides that for a project which meets specified objective affordability criteria, the City "shall" grant a density bonus and a specified number of incentives (Gov. Code §65915 (b, d, e, f)).

As the project has complied with all objective standards as set forth in the City's Density Bonus Ordinance, the project was thus processed ministerially and statutorily exempt from the California Environmental Quality Act (CEQA). Therefore, the Department of City Planning did not have authority to address environmental impacts related to the project and the designee of the Director of Planning did not err in approving the project as it complies with all relevant requirements under the Density Bonus Ordinance and State law.

### **CONCLUSION AND STAFF RECOMMENDATION**

For the reasons stated herein, and in the findings of the Director's Determination, the proposed project does comply with the applicable provisions of the Density Bonus Affordable Housing Incentive Program as a ministerial project. Based on the complete plans submitted by the applicant and considering the appellant's arguments for appeal, staff finds that the project meets the required objective standards and findings of the Density Bonus Ordinance.

Therefore, it is recommended that the City Planning Commission deny the appeals and sustain the Determination by the Director of Planning.

ADM-2022-6793-DB-HCA-1A  
1000-1014 North Alfred Street, 8445-8447 West Romaine Street

EXHIBITS

**A – APPROVED PROJECT PLANS**

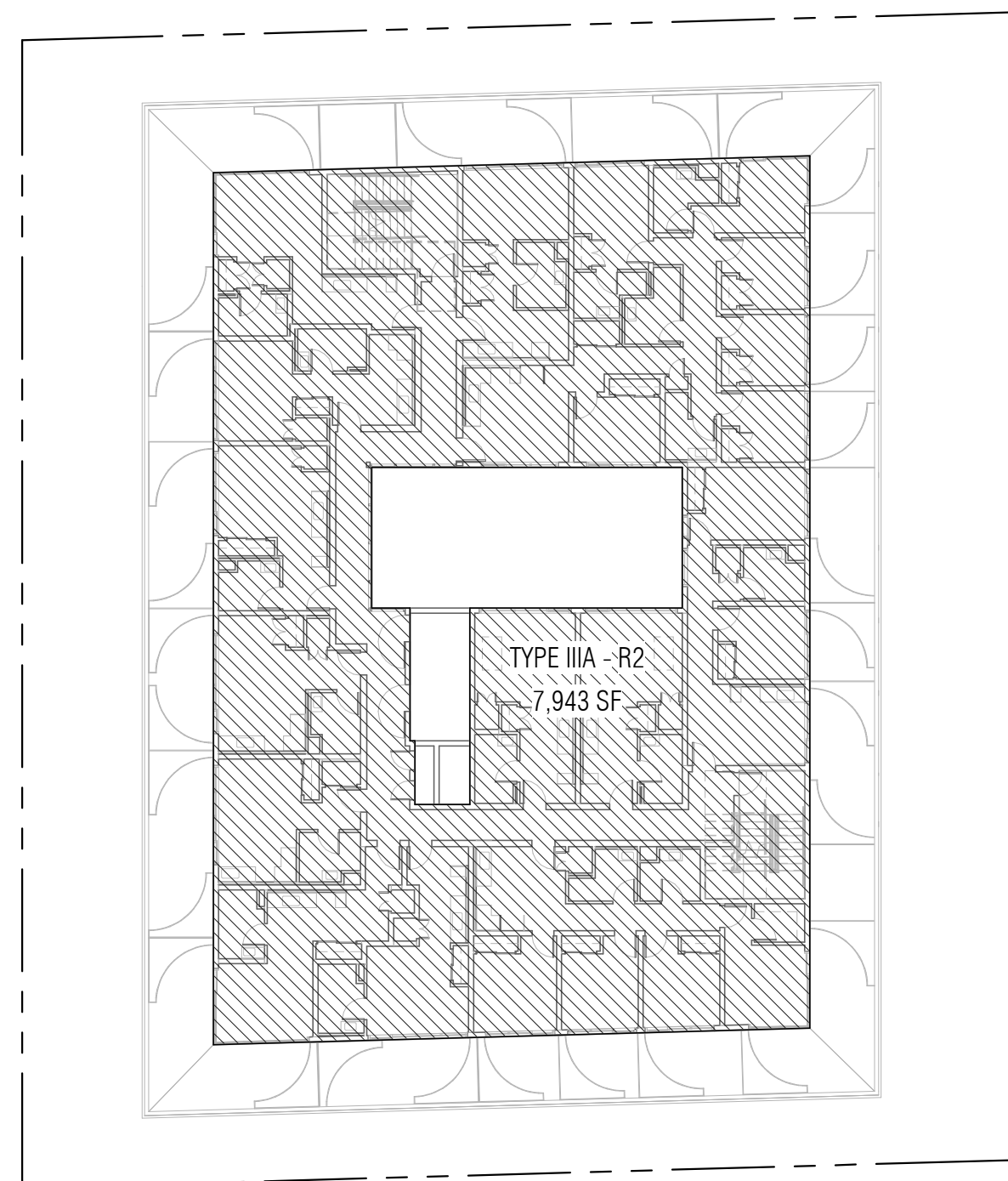




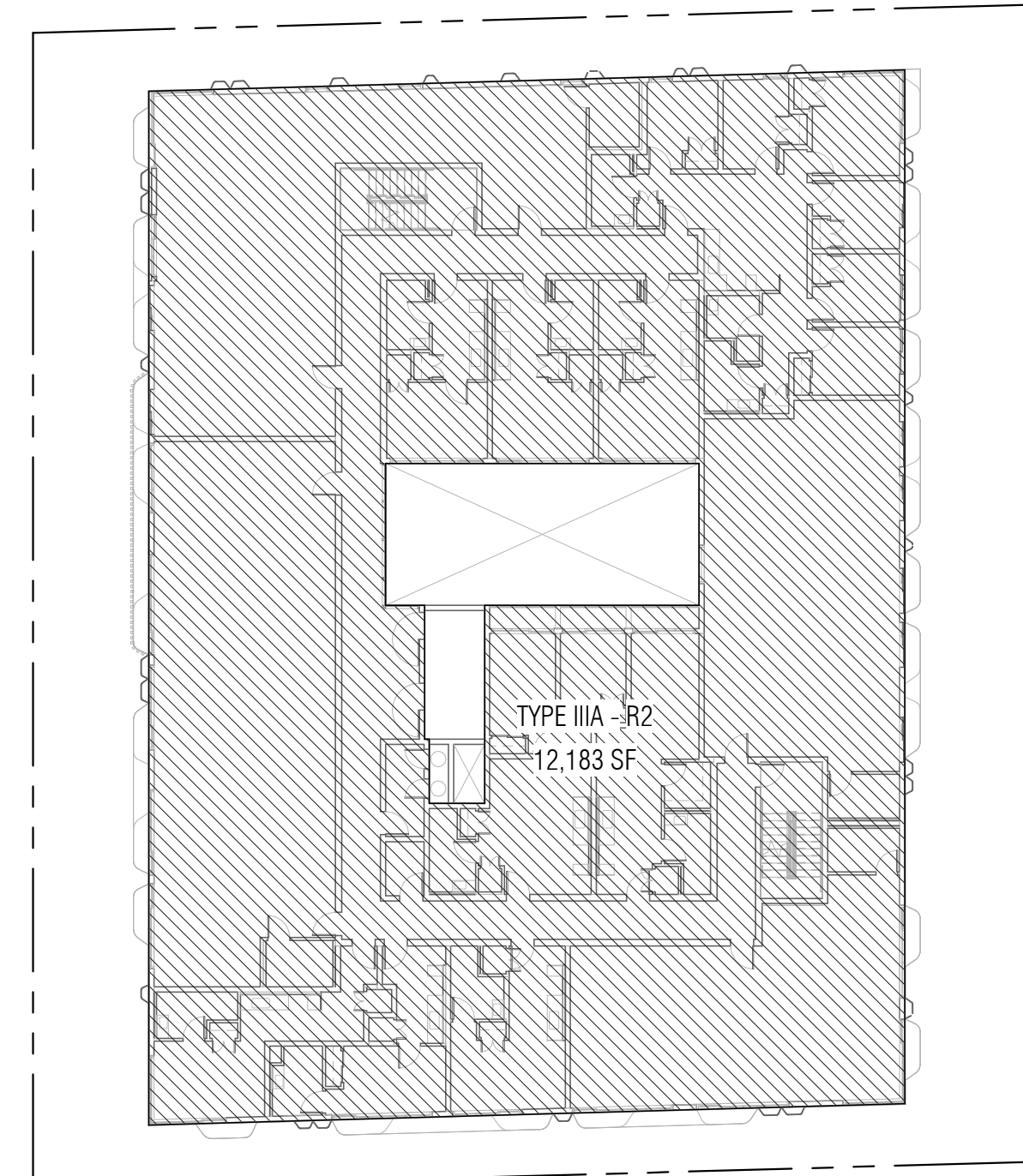








⑨ 5TH FLOOR BUILDING AREA  
3/64" = 1'-0"



⑨ 2ND FLOOR BUILDING AREA  
3/64" = 1'-0"

PROVIDED TYPE IA BUILDING AREA PER CBC (A2/M ACCESSORY TO R2, S2, SPRINKLERED)  
SUBTERRANEAN PARKING P1 (S2) 18,398 SF  
TOTAL IA BUILDING AREA PROPOSED: 18,398 SF

PROVIDED TYPE IIIA BUILDING AREA PER CBC (R2, SPRINKLERED)  
FIRST FLOOR 11,796 SF  
SECOND FLOOR 12,183 SF  
THIRD FLOOR 12,183 SF  
FOURTH FLOOR 12,183 SF  
FIFTH FLOOR 7,943 SF  
TOTAL IIIA BUILDING AREA PROPOSED: 56,288 SF

ALLOWABLE AREA PER BUILDING CODE:  
TYPE IA SUBTERRANEAN PARKING (P1 & P2) UNLIMITED SF ALLOWED  
TYPE IIIA (1ST, 2ND, 3RD, 4TH & 5TH) 24,000 SF ALLOWED

ALLOWABLE BUILDING AREA SINGLE-OCCUPANCY, MULTI-STORY BUILDING (PER 506.2.3)  
A/a = [A/t + (NS x V/t)] x S/a  
ALLOWABLE AREA = [24,000 + (24,000 x .25)] x 2 = 60,000 SF

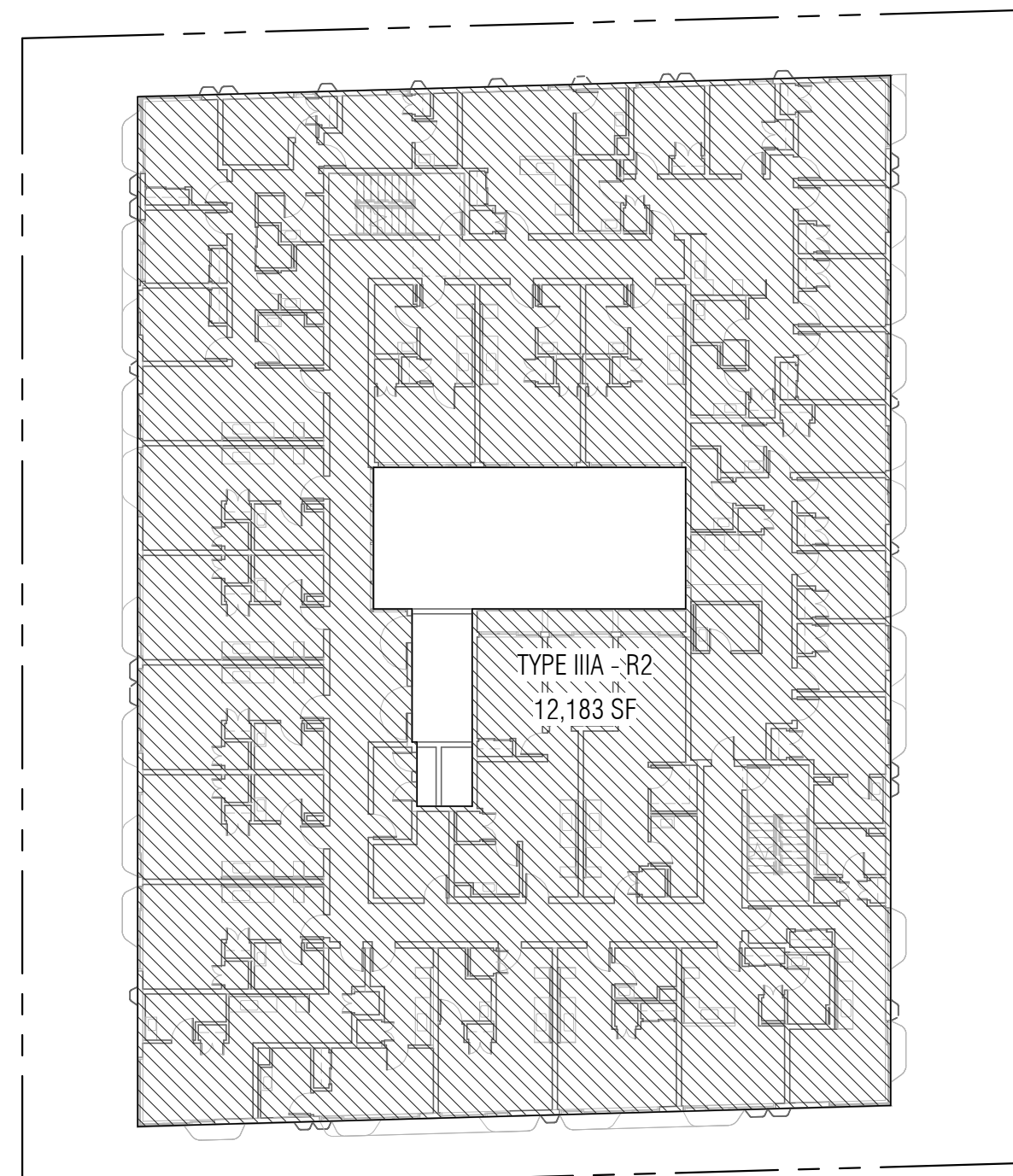
PROPOSED BUILDING AREA TYPE IIIA:  
FIRST - FIFTH FLOOR = 56,288 SF ~ 60,000 SF

FRONTAGE INCREASE CALCS. (PER CBC 506.3.3)  
V/t = [F/P - 25] / W/30  
(W = 70' (SEE SURVEY), BUT IS LIMITED TO 30 PER 506.3.3)  
AREA FACTOR INCREASE  
= [243.25 FT / 468.5 FT - 25] 30 / 30  
= .25

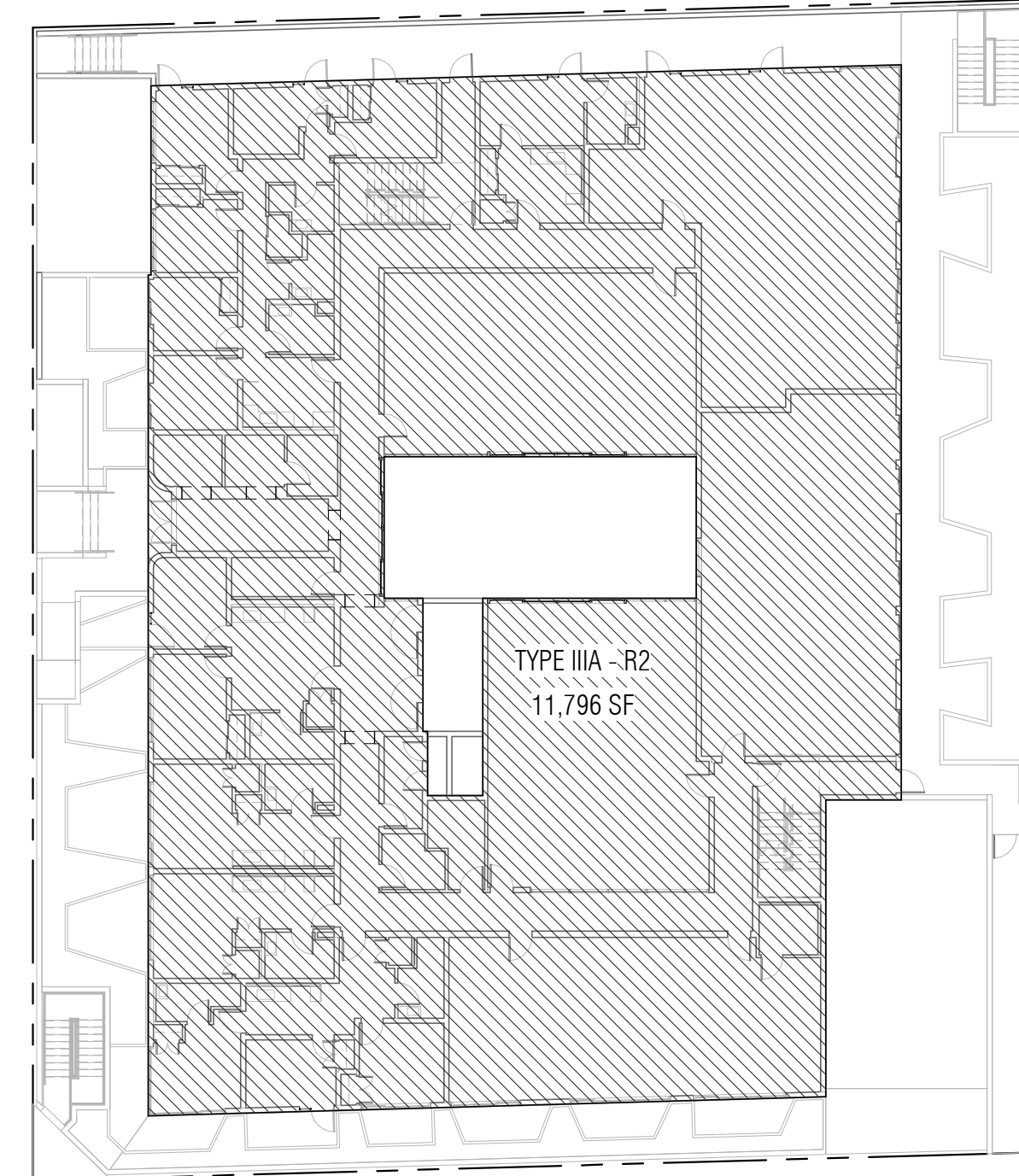
A/a = area (square feet).  
A/t = Tabular allowable area factor (NS, S13R or SM value, as applicable) in accordance with Table 506.2.  
NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building regardless of whether the building is sprinklered.  
V/t = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.  
S/a = 2

I = Area factor increase due to frontage.  
F = Building perimeter that fronts on a public way or open space having minimum distance of 20 feet (6096 mm).  
P = Perimeter of entire building (feet).  
W = Width of public way or open space (feet) in accordance with Section 506.3.2.

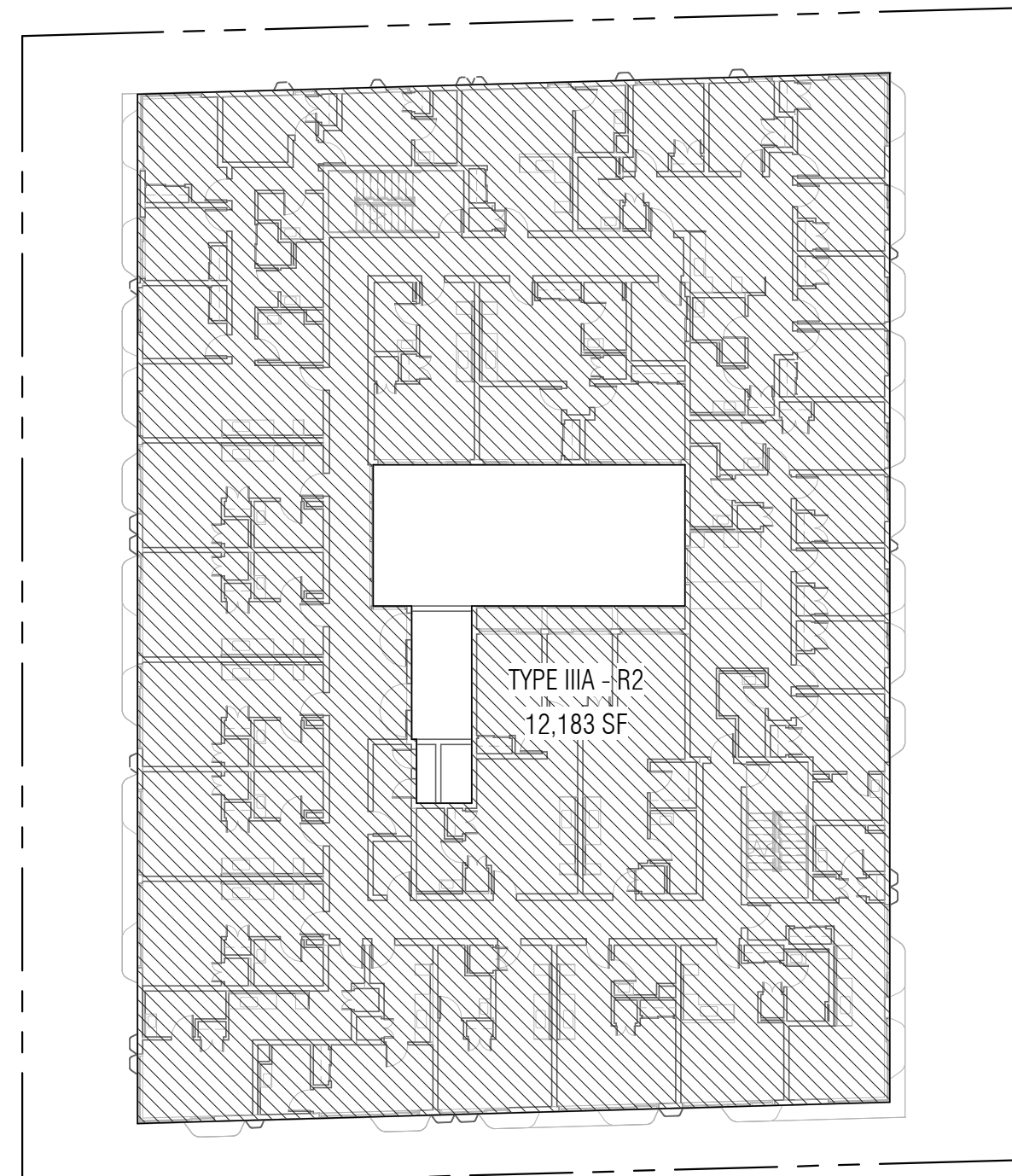
**BUILDING AREA:**  
THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.



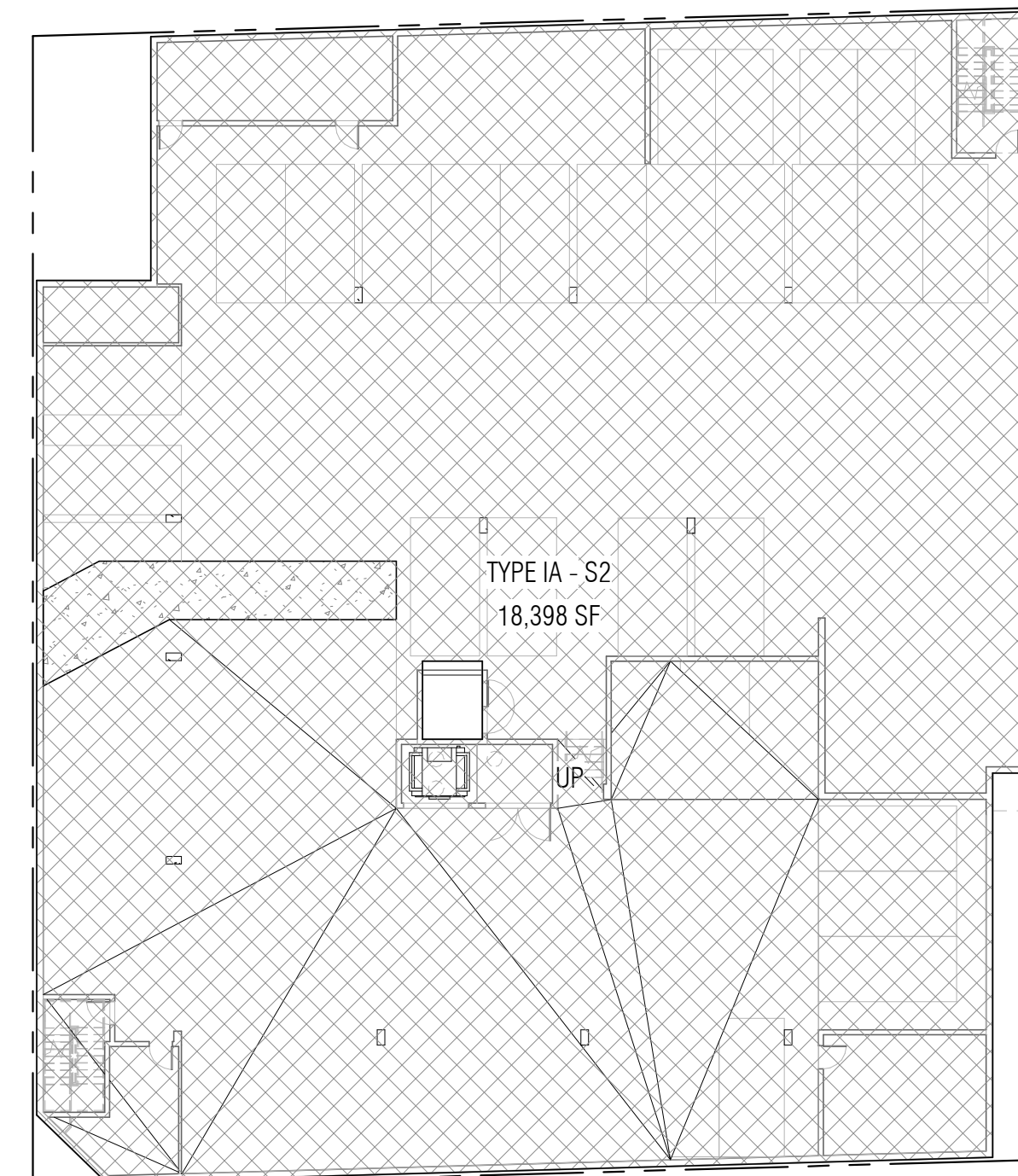
⑪ 4TH FLOOR BUILDING AREA  
3/64" = 1'-0"



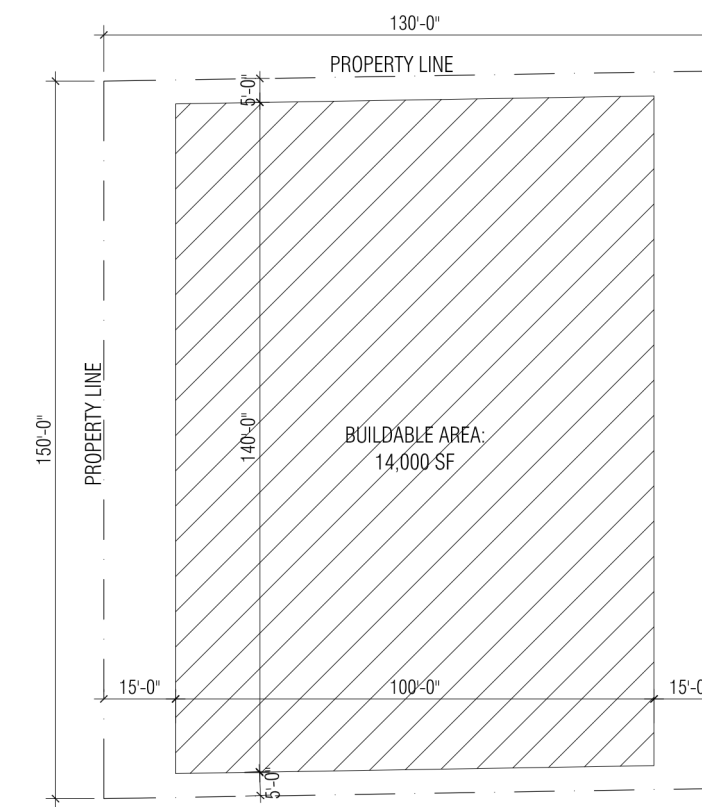
⑧ 1ST FLOOR BUILDING AREA  
3/64" = 1'-0"



⑩ 3RD FLOOR BUILDING AREA  
3/64" = 1'-0"



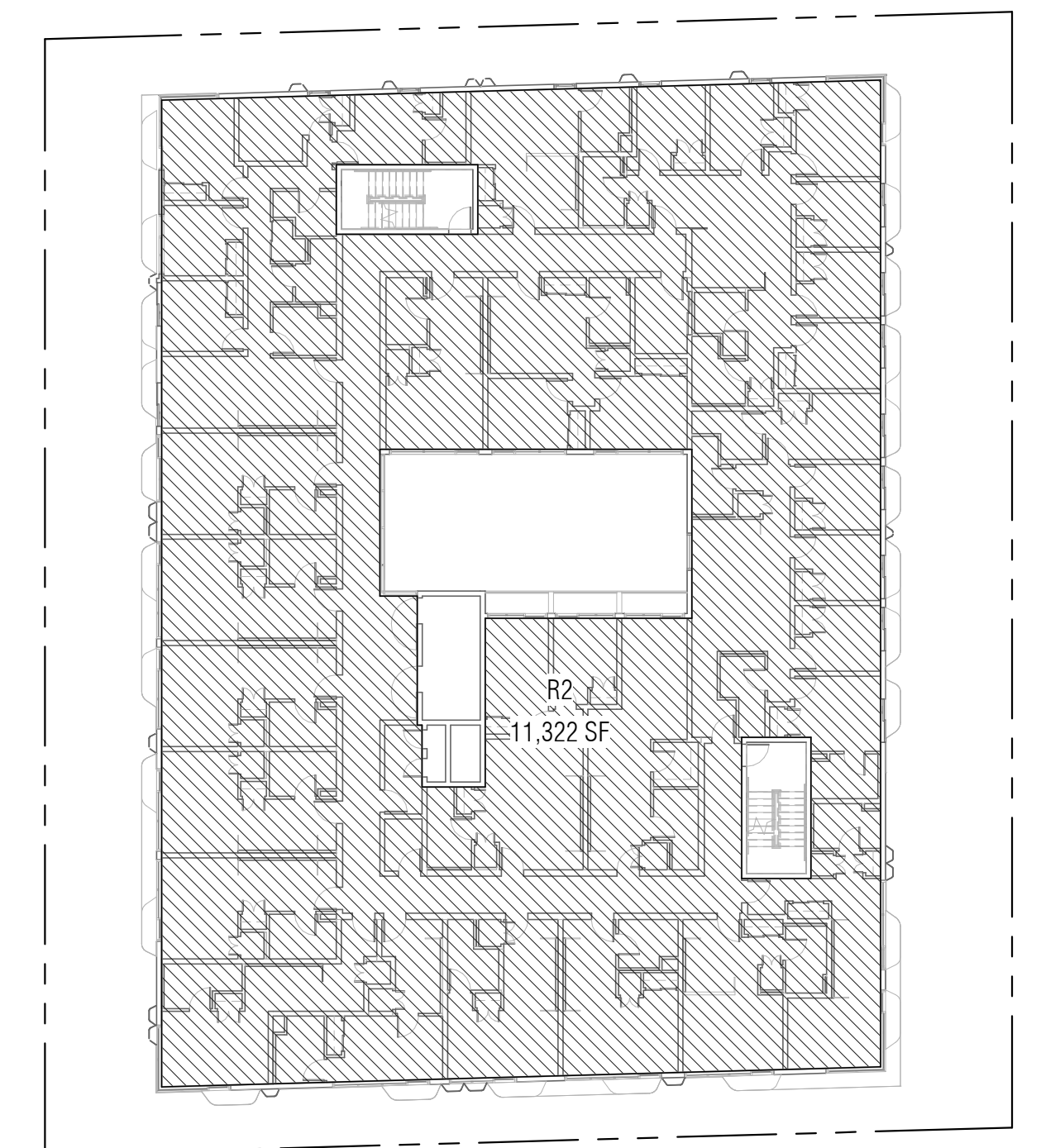
⑦ BASEMENT BUILDING AREA  
3/64" = 1'-0"



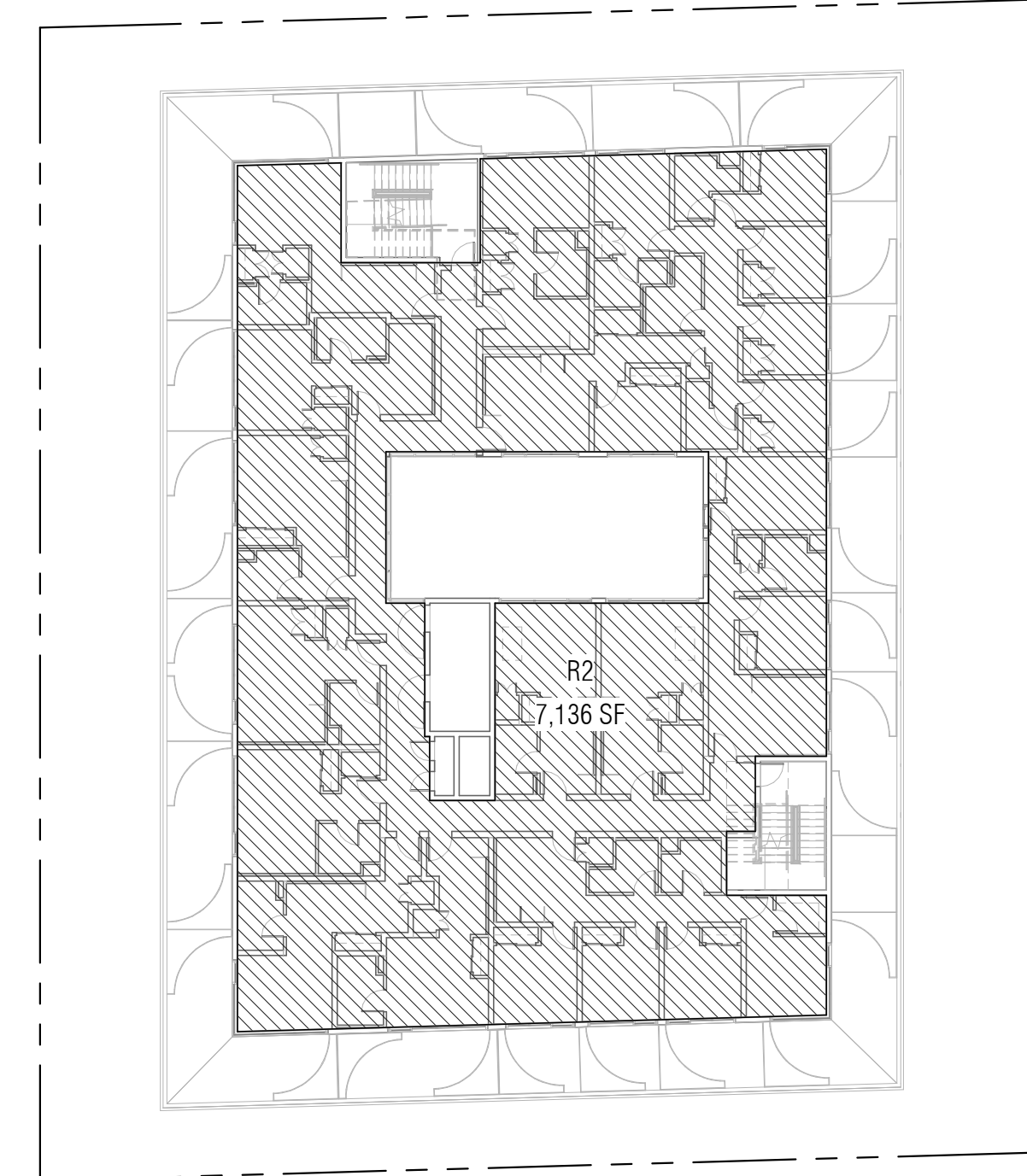
**FLOOR AREA:**  
THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

**FAR CALCULATION (ZONING FLOOR AREA):**  
BY RIGHT FAR: 3.0, 35% INCREASE PER SEC. 12.22 A.25  
ALLOWABLE FAR: 4.05 PER STATE DENSITY BONUS  
(LOT AREA - YARDS) X 4.05 FAR  
(130-15-15) X (150-5-5) = 14,000 SF  
14,000 SF X 4.05 FAR = 56,700 SF ALLOWED, 52,041 SF PROVIDED  
(SEE BELOW FOR BREAKDOWN)

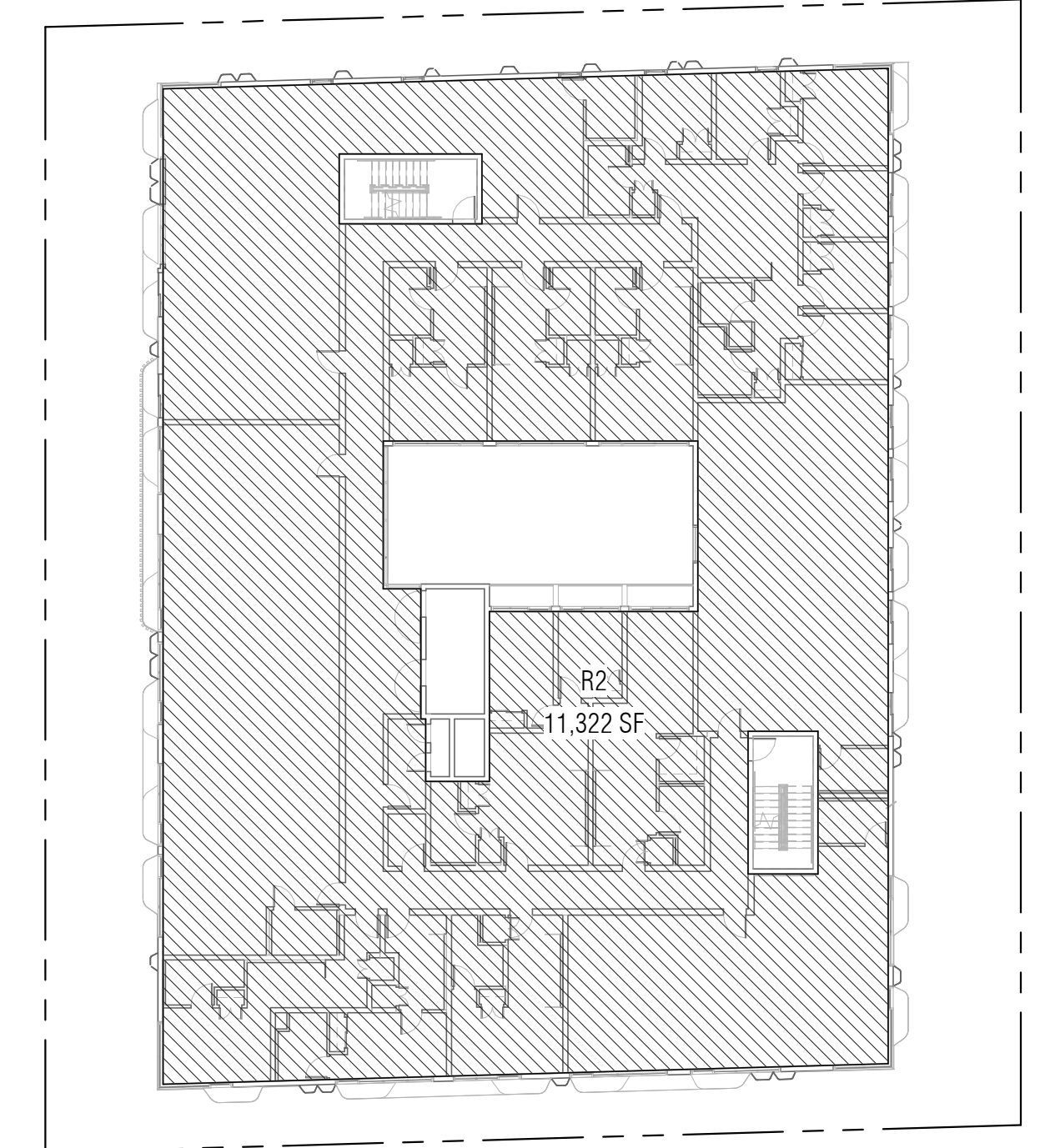
FIRST FLOOR 10,939 SF  
SECOND FLOOR 11,322 SF  
THIRD FLOOR 11,322 SF  
FOURTH FLOOR 11,322 SF  
FIFTH FLOOR 7,136 SF  
TOTAL FLOOR AREA PROPOSED: 52,041 SF



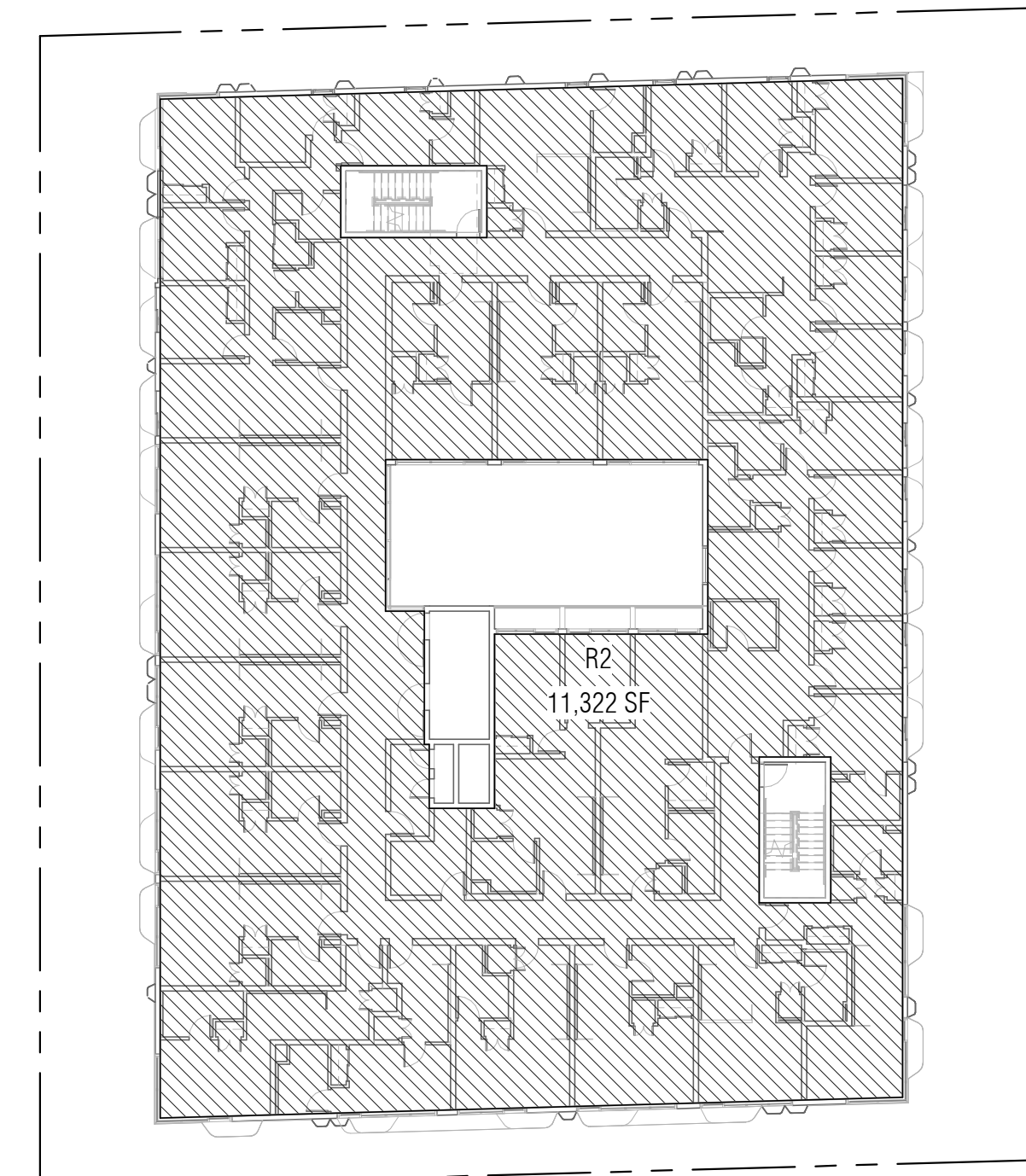
③ 3RD FLOOR ZONING AREA  
3/64" = 1'-0"



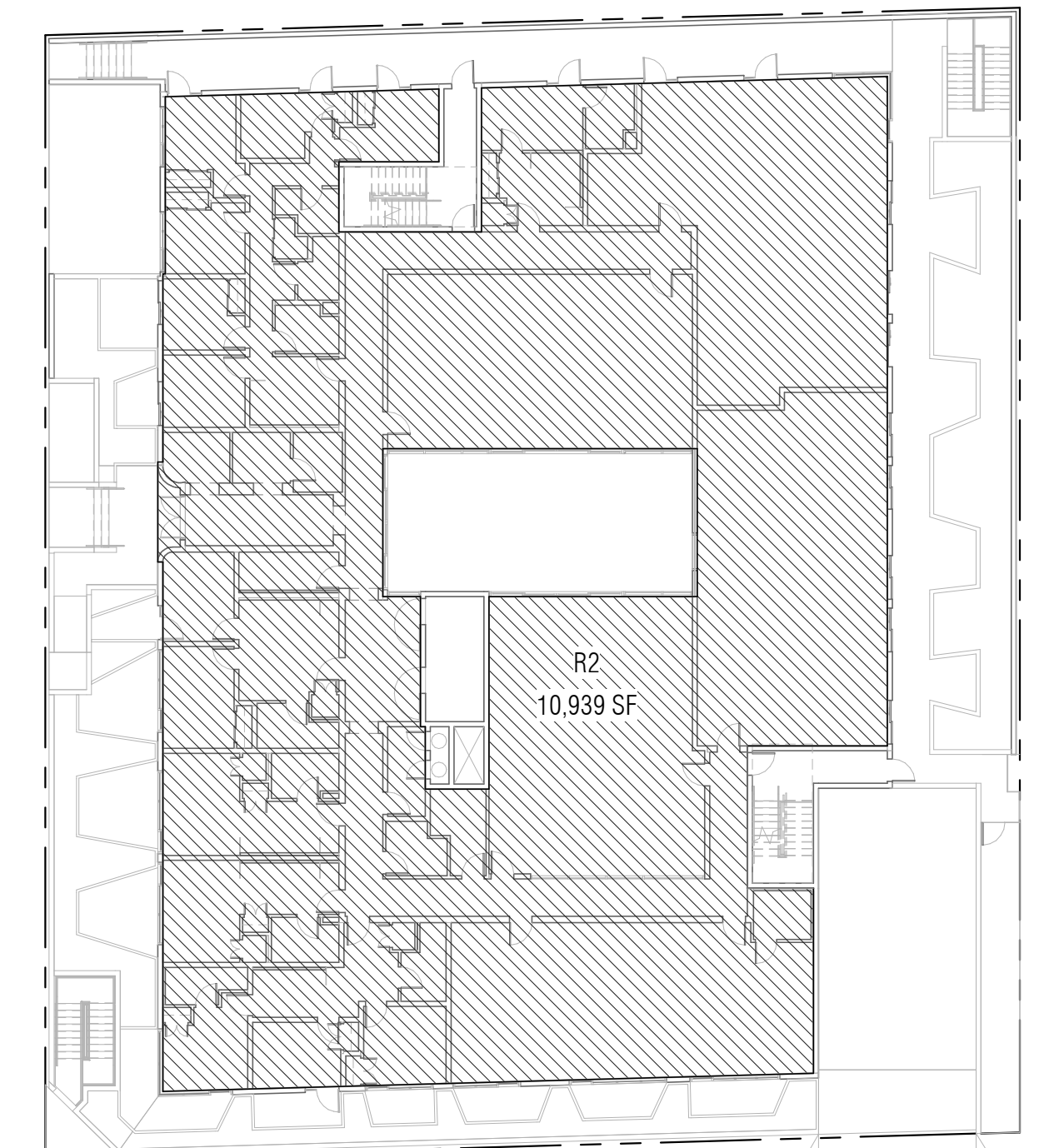
⑤ 5TH FLOOR ZONING AREA  
3/64" = 1'-0"



② 2ND FLOOR ZONING AREA  
3/64" = 1'-0"



④ 4TH FLOOR ZONING AREA  
3/64" = 1'-0"



① 1ST FLOOR ZONING AREA  
3/64" = 1'-0"



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Drawn by: MC  
Checked by:

Date: 09/19/22

No. Description: 1 DCP Application Form

10/31/22

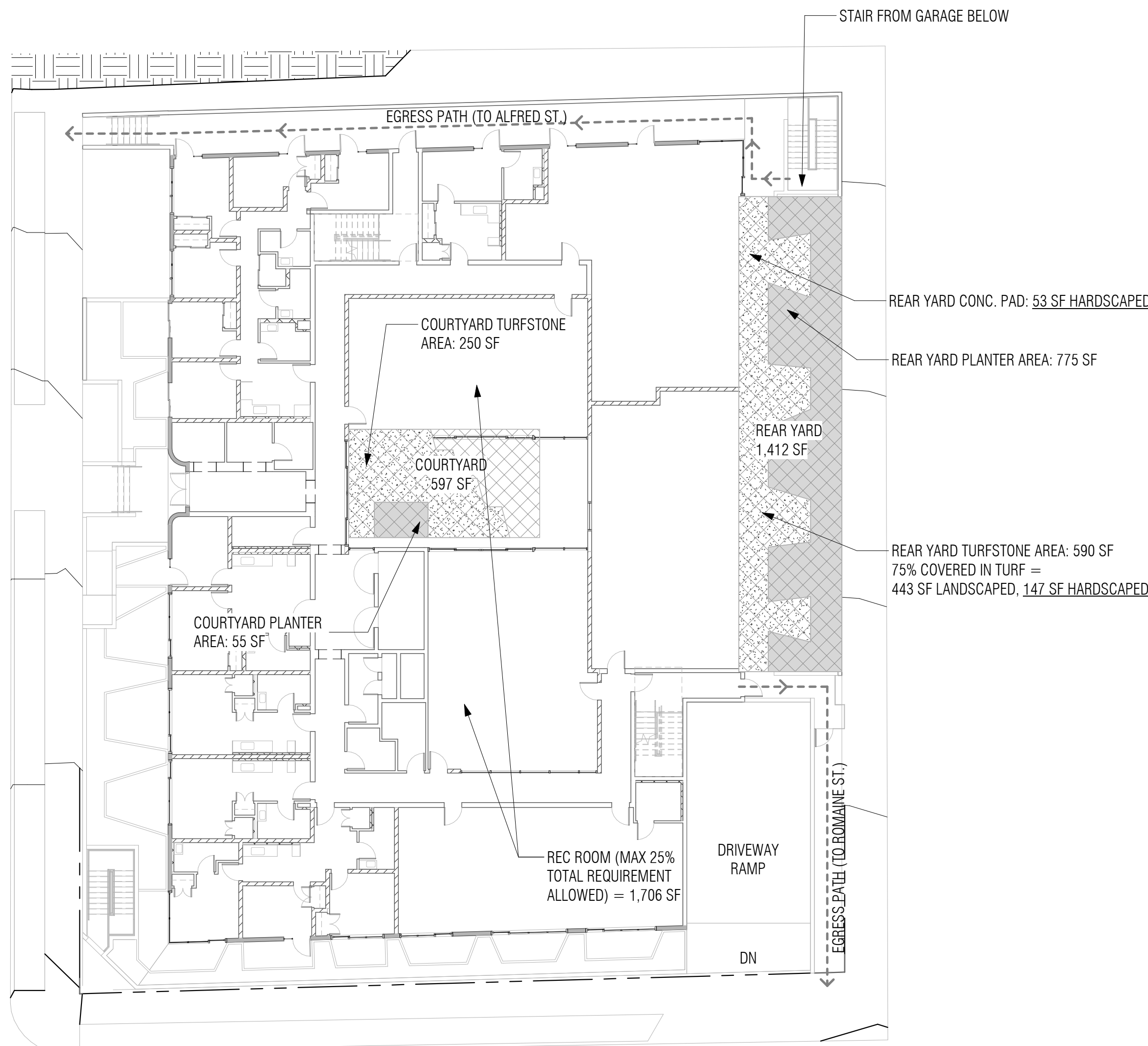
AREA CALCULATIONS

A-2.1

3/64" = 1'-0"

Alfred Apartments  
1002 N. Alfred St.  
Los Angeles, CA 90069





1 1/16" = 1'-0"

**PROPOSED UNITS:**

- (44) STUDIOS
- (6) ONE BEDROOM UNITS
- (6) TWO BEDROOM UNITS
- (1) THREE BEDROOM UNITS
- (1) FOUR BEDROOM UNITS
- (4) FIVE BEDROOM UNITS
- (5) SIX BEDROOM UNITS
- (67) TOTAL UNITS

**RESIDENTIAL UNITS SUMMARY**

UNIT #	TYPE	HABITABLE ROOMS
109, 110, 208, 210, 217, 218, 219, 302, 305, 306, 307, 308, 310, 311, 312, 313, 314, 315, 317, 319, 402, 405, 406, 407, 408, 410, 411, 412, 413, 414, 415, 417, 418, 419, 501, 502, 503, 504, 505, 506, 507, 511, 512, 513	STUDIO	1
102, 209, 216, 309, 409, 416	1-BED	2
111, 220, 318, 320, 420, 509	2-BED	3
108 (NO LIVING ROOM)	3-BED	3
508	4-BED	5
301, 304, 401, 404,	5-BED	6
101, 203, 303, 403, 510	6-BED	7

**OPEN SPACE COUNT:**

- >=3 HABITABLE ROOMS: 10 UNITS X 175 SF = 1,750 SF
- =3 HABITABLE ROOMS: 7 UNITS X 125 SF = 875 SF
- <=3 HABITABLE ROOMS: 50 UNITS X 100 SF = 5,000 SF
- TOTAL 7,625 SF REQUIRED**

**OPEN SPACE PROVIDED:**

- REAR YARD @ GROUND LEVEL = 1,412 SF
- COURTYARD @ GROUND LEVEL = 597 SF
- 1ST FLOOR REC ROOMS (MAX 25% OF REQ'D) = 1,706 SF
- 5TH FLOOR PRIVATE PATIOS = 550 SF
- ROOF DECKS = 2,622 SF
- TOTAL PROVIDED OPEN SPACE: 6,881 SF PROVIDED**

**COMMON OPEN SPACE LANDSCAPE BREAKDOWN (PER Q-CONDITIONS, ITEM #11)**

11. A MINIMUM OF 50 PERCENT OF COMMON USABLE OPEN SPACE AREAS SHALL BE PLANTED IN GROUND COVER, SHRUBS OR TREES. TREES SHALL BE PLANTED IN THE REQUIRED FRONT AND REAR YARD SETBACK AREA AT A RATIO ONE TREE PER EVERY 300 SQUARE FEET OF FRONT AND REAR YARD PROVIDED. TREES MAY NOT BE LESS THAN 24-INCH BOX IN SIZE, AND SHALL BE PLANTED WITHIN OPEN SPACE AREAS. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL REQUIRED LANDSCAPED AREAS. LANDSCAPED AREAS LOCATED ON TOP OF A PARKING GARAGE OR DECK SHALL INCLUDE PERMANENT PLANTERS AT LEAST 30 INCHES IN DEPTH (12 INCHES FOR LAWN/GROUND COVER) AND BE PROPERLY DRAINED.

NAME	AREA	LANDSCAPED AREA
1ST FL COURTYARD	742 SF	570 SF
1ST FL REARYARD	1,357 SF	1,204 SF
ROOF DECK #1	1,502 SF	366 SF
ROOF DECK #2	1,812 SF	734 SF
<b>TOTAL COMMON OPEN SPACE</b>	<b>5,413 SF</b>	<b>2,874 SF</b>

**TOTAL REQUIRED LANDSCAPED AREA PER (Q) CONDITIONS :**  
 50% OF TOTAL COMMON SPACE = 5,413 SF/2 = 2,767 SF MIN. REQUIRED  
**TOTAL PROPOSED LANDSCAPED AREA**  
 2,874 SF PROPOSED > 2,767 REQUIRED

**COMMON OPEN SPACE LANDSCAPE BREAKDOWN (PER Q-CONDITIONS, ITEM #12)**

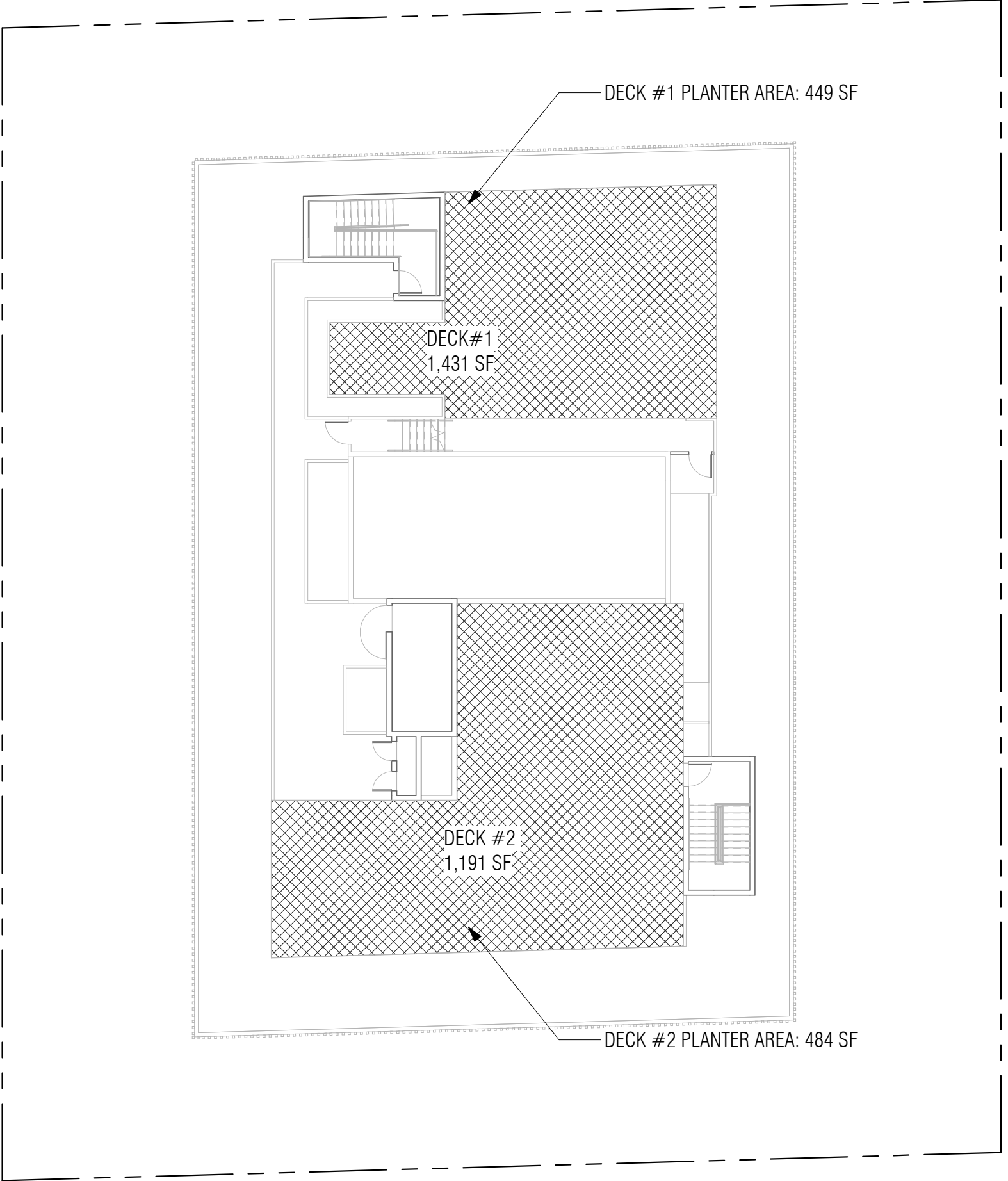
12. REQUIRED REAR YARD SETBACK AREAS SHALL NOT BE USED FOR SURFACE PARKING, AND SHALL BE LANDSCAPED AS A GREENBELT AREA WITH A MAXIMUM OF 20 PERCENT LANDSCAPE. VEGETATIVE LANDSCAPE SCREENING SHALL BE INCORPORATED INTO THE LANDSCAPE PLAN TO MINIMIZE VIEWS ACROSS REAR PROPERTY LINES.

**TOTAL AREA OF REAR YARD:** 1,421 SF  
**TOTAL AREA OF HARDSCAPE =** 153 SF  
**TOTAL REQUIRED MAXIMUM PERCENTAGE OF HARDSCAPE PER (Q) CONDITIONS:** 20%  
**TOTAL PROPOSED HARDSCAPE PERCENTAGE:** 100\*(153 SF / 1,421 SF) = 10.8%  
 10.8% PROPOSED < 20% MAX.

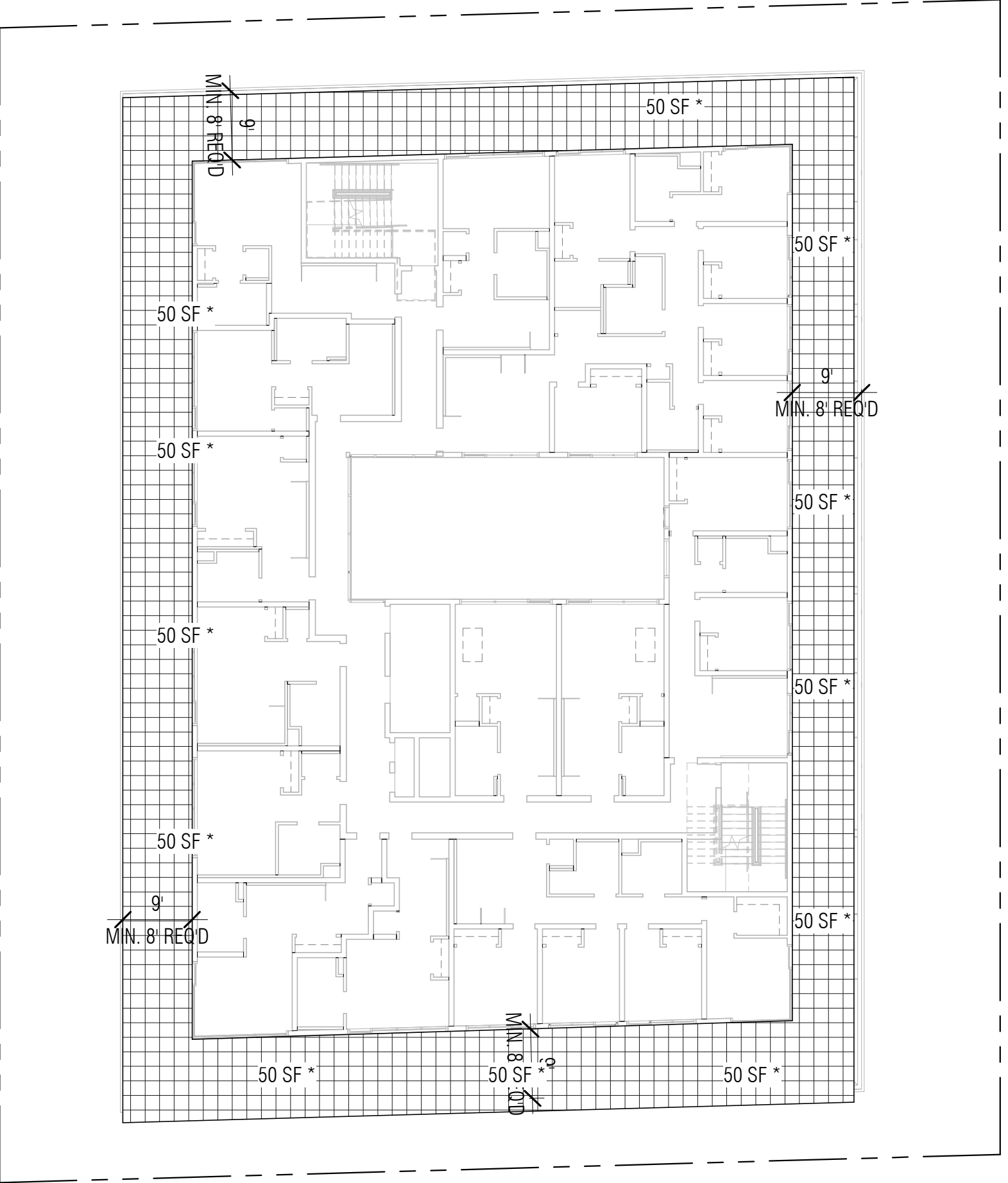
**TREE ANALYSIS (SEE LANDSCAPE PLANS FOR PROPOSED TREES)**

PER Q CONDITIONS: (1) TREE PER 300 SF @ FRONT & REAR YARDS (EXCL. STREET TREES)  
 FRONT YARD AREA: 2,250 SF / 300 = 7.5 (ROUND UP) = 8 REQUIRED, 8 PROVIDED  
 REAR YARD AREA: 2,550 SF / 300 = 8.5 (ROUND UP) = 9 REQUIRED, 9 PROVIDED

PER LAMC: (1) TREE PER EVERY 4 UNITS  
 73 UNITS PROPOSED / 4 = (19) TREES REQUIRED (INCLUDING STREET TREES)  
 (37) TREES PROVIDED, SEE A-3.2



2 1/16" = 1'-0"



3 1/16" = 1'-0"

**OPEN SPACE LEGEND**

- PLANTER
- COMMON OPEN SPACE
- TURFSTONE (75% GRASS COVER)
- PRIVATE OPEN SPACE
- RECREATION ROOM



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No.	Description	Issued To	Date	Checked By
3	Building and Safety Plan Check	LAMC	09/28/22	

**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

OPEN SPACE / TREE ANALYSIS

**A-2.2**  
 As indicated



**BICYCLE PARKING NOTE**

- FOR SHORT-TERM BICYCLE PARKING:
  - RACKS SHALL SUPPORT THE BICYCLE FRAME AT TWO POINTS. RACKS THAT SUPPORT ONLY THE WHEEL OF THE BICYCLE ARE NOT PERMISSIBLE
  - RACKS SHALL ALLOW FOR THE BICYCLE FRAME AND AT LEAST ONE WHEEL TO BE LOCKED TO THE RACKS. THE BICYCLE RACK SHALL ALLOW FOR THE USE OF A CABLE AS WELL AS A U-SHAPED LOCK.
  - RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT SURFACE
  - RACKS INSTALLED PARALLEL TO WALL SHALL BE A MINIMUM 30 INCHES FROM THE WALL
- PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 12.21a (5)(f)
- FOR SINGLE & DOUBLE TIER BIKE RACK NOTES, SEE DTL 12-20 /A-9.8

**GENERAL NOTES**

- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
- LADWP WATER SUB-METER TO BE LOCATED INSIDE THE WASHER/DRYER ROOM OF EACH UNIT.
- ALL TRASH BINS SHALL BE COVERED
- THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
- ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9
- WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

**WALL LEGEND**

- ===== INTERIOR WALL PER DETAIL X/A-9-X
- ===== PLUMBING WALL PER DETAIL XXXA-9-X
- ===== CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- ===== CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- ===== 1-HR RATED CORRIDOR WALL PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
- ===== 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
- ===== 2-HR RATED FIRE BARRIER WALL PER DETAIL X/X/A-XXX AND A-9-X. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
- ===== 1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

**SYMBOL LEGEND**

- ⊙ DECK DRAIN PER DETAIL X/A-9-X
- ⊙ OVERFLOW DRAIN
- EXIT EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
- ⊙ HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- ⊙ HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- ⊙ WINDOW TYPE
- ⊙ DOOR TYPE
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
- ⊙ COMBINATION STANDPIPE
- ⊙ PLANTER DRAIN
- ⊙ DOWNSPOUT
- PH PANIC HARDWARE
- FDC FIRE DEPARTMENT CONNECTION
- FACP FIRE ALARM CONTROL PANEL
- ⊙ EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
- ⊙ 18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
- ⊙ ELECTRICAL PANEL
- ⊙ ROOF TIE BACK ANCHOR SEE DETAIL XX/A-9-X
- ⊙ SMART THERMOSTAT PER A-1 XX
- ACCESSIBILITY ROUTE

UNIT #	TYPE
SIZE	ENLRGD PL



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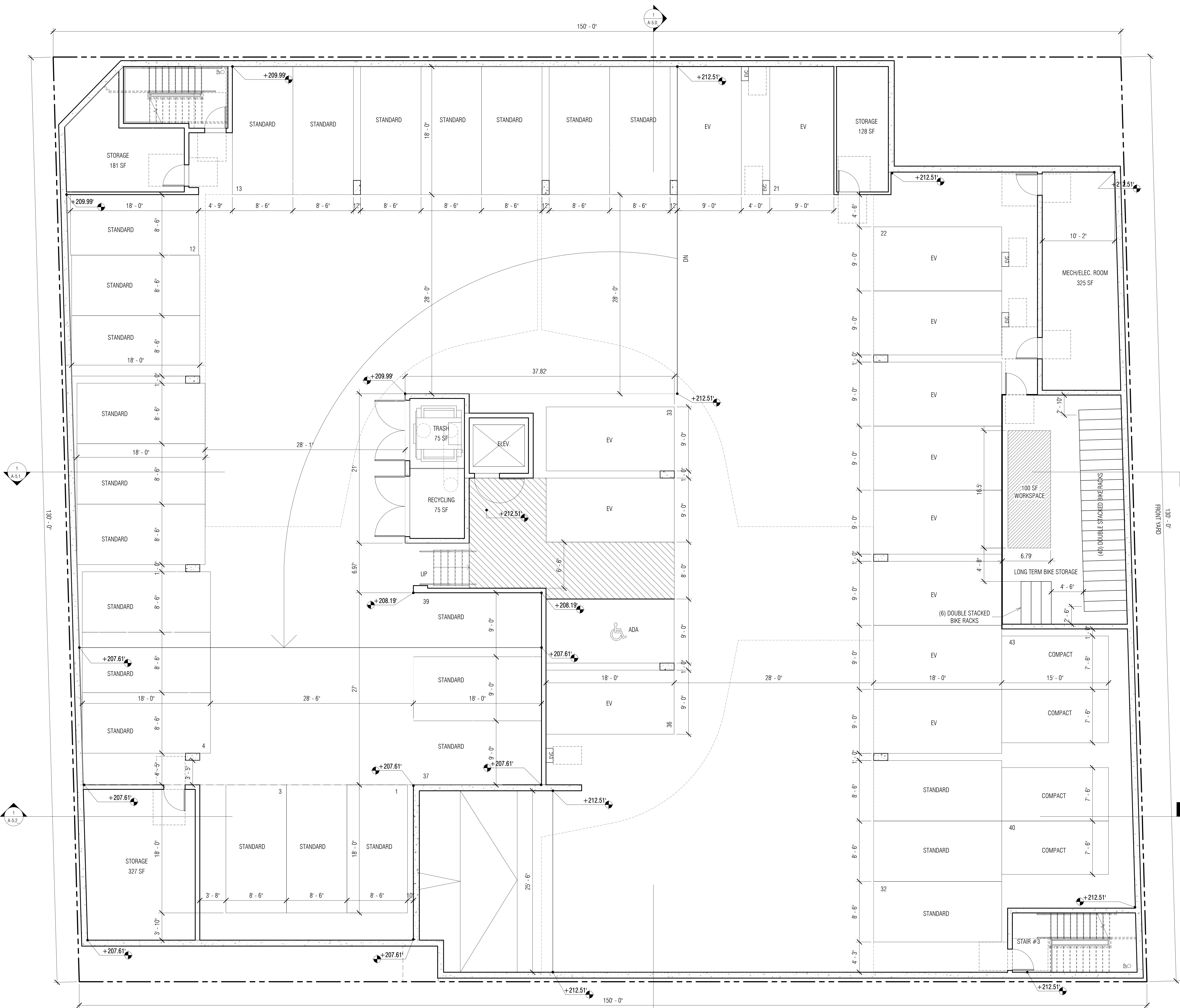
No.	Description	Issued To	Date	Checked By
3	Building and Safety Plan Check	MC	09/23/22	

**Alfred Apartments**  
1002 N. Alfred St.  
Los Angeles, CA 90069

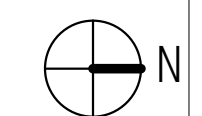
10/31/22

PARKING PLANS

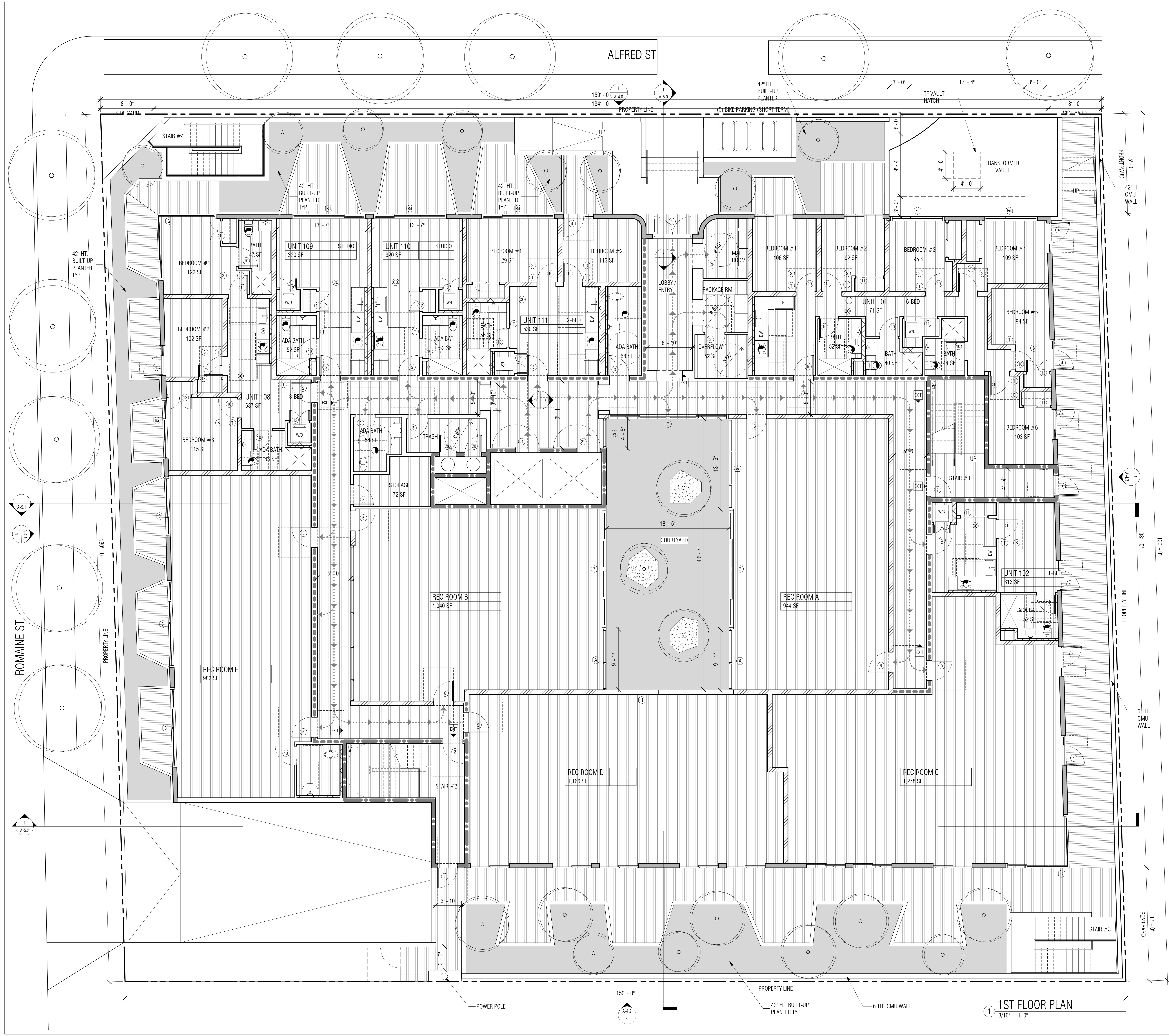
**A-3.0**  
3/16" = 1'-0"



**1 BASEMENT PARKING**  
3/16" = 1'-0"







**BICYCLE PARKING NOTE**

- FOR SHORT-TERM BICYCLE PARKING:
  - RACKS SHALL SUPPORT THE BICYCLE FRAME AT TWO POINTS. RACKS THAT SUPPORT ONLY THE WHEEL OF THE BICYCLE ARE NOT PERMISSIBLE
  - RACKS SHALL ALLOW FOR THE BICYCLE FRAME AT LEAST ONE WHEEL TO BE LOCKED TO THE RACK
  - THE BICYCLE RACK SHALL ALLOW FOR THE USE OF CABLE AS WELL AS A U-SHAPED LOCK
  - RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT SURFACE
  - RACKS INSTALLED PARALLEL TO WALL SHALL BE A MINIMUM 30 INCHES FROM THE WALL
- PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 12.21a.5(k)
- FOR SINGLE & DOUBLE TIER BIKE RACK NOTES, SEE DTL 12-20 /A-9.8

**EXTERIOR WALL / FIRE TREATED LUMBER**

- ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-RATED
- FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO 25150. SEE A-1.4X
- ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE TREATED PLYWOOD
- SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS
- FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

**GENERAL NOTES**

- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
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- ALL TRASH BINS SHALL BE COVERED
- THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
- ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9
- WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

**WALL LEGEND**

- ===== INTERIOR WALL PER DETAIL X/A-9.X
- ===== PLUMBING WALL PER DETAIL XX/A-9.X
- ===== CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- ===== CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- ===== 1-HR RATED CORRIDOR WALL PER DETAIL X/A-9.X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
- ===== 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/A-9.0 FIRE RETARDANT TREATED FRAMING. SEE NOTES
- ===== 2-HR RATED FIRE BARRIER WALL PER DETAIL X/A-9.XX AND A-9.X. FIRE RETARDANT TREATED FRAMING/SEE NOTES
- ===== 1-HR RATED PARTY WALL, PER DETAIL X/A-9.XX MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

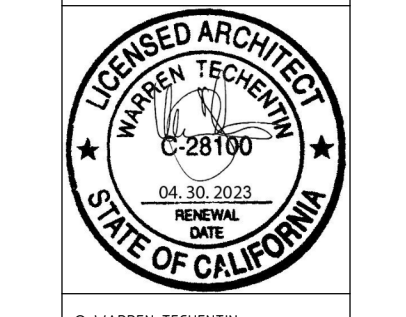
**SYMBOL LEGEND**

- ⊙ DECK DRAIN PER DETAIL X/A-9.X
- ⊙ OVERFLOW DRAIN
- EXIT EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
- ⊙ HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- ⊙⊙ HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- ⊗ WINDOW TYPE
- ⊗ DOOR TYPE
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
- ⊕ COMBINATION STANDPIPE
- ⊕ PLANTER DRAIN
- ⊕ DOWNSPOUT
- ⊕ PANIC HARDWARE
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ FIRE ALARM CONTROL PANEL
- ⊕ EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
- ⊕ 18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
- ⊕ ELECTRICAL PANEL
- ⊕ ROOF TIE BACK ANCHOR SEE DETAIL XX/A-9.X
- ⊕ SMART THERMOSTAT PER A-1.XX
- ACCESSIBILITY ROUTE

UNIT #	TYPE
SIZE	ENLRGD PL

**wtarch**  
Warren Teichert Architecture, Inc.  
2001 Hyperion Ave. Suite 900  
Los Angeles, CA 90027  
www.wtarch.com  
P: 323.684.6000  
F: 323.684.6544

**EXHIBIT "A"**  
Page No. 6 of 26  
Case No. ADM-2022-6793-DB-HCA



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Drawn By	Checked By
MC	

Date	Description
10/23/22	3 Billing and Safety Plan Check

**Alfred Apartments**  
1002 N. Alfred St.  
Los Angeles, CA 90069

10/31/22  
GROUND FLOOR PLAN

**A-3.1**  
3/16" = 1'-0"



**EXTERIOR WALL / FIRE TREATED LUMBER**

1. ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-RATED
2. FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150, SEE A-1.4X
3. ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE TREATED PLYWOOD
4. SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS
5. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

**GENERAL NOTES**

1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
3. WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
4. LADWP WATER SUB-METER TO BE LOCATED INSIDE THE WASHER/DRYER ROOM OF EACH UNIT.
5. ALL TRASH BINS SHALL BE COVERED
6. THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
7. ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
8. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9.
9. WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

**WALL LEGEND**

- INTERIOR WALL PER DETAIL X/A-9-X
- PLUMBING WALL PER DETAIL XX/A-9-X
- CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
- 1-HR RATED CORRIDOR WALL PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
- 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
- 2-HR RATED FIRE BARRIER WALL PER DETAIL X/A-XX AND A-9-X. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
- 1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

**SYMBOL LEGEND**

- DD DECK DRAIN PER DETAIL X/A-9-X
- OD OVERFLOW DRAIN
- EXIT EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
- S HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- CO HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- W WINDOW TYPE
- D DOOR TYPE
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
- CG COMBINATION STANDPIPE
- PL PLANTER DRAIN
- DS DOWNSPOUT
- PH PANIC HARDWARE
- FD FIRE DEPARTMENT CONNECTION
- FACP FIRE ALARM CONTROL PANEL
- EF EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
- 18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
- EP ELECTRICAL PANEL
- TA ROOF TIE BACK ANCHOR SEE DETAIL XX/A-9-X
- T SMART THERMOSTAT PER A-1 XX
- ACCESSIBILITY ROUTE

UNIT #	TYPE
SIZE	ENLRGD PL



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3	Building and Safety Plan Check	MC	09/23/22		

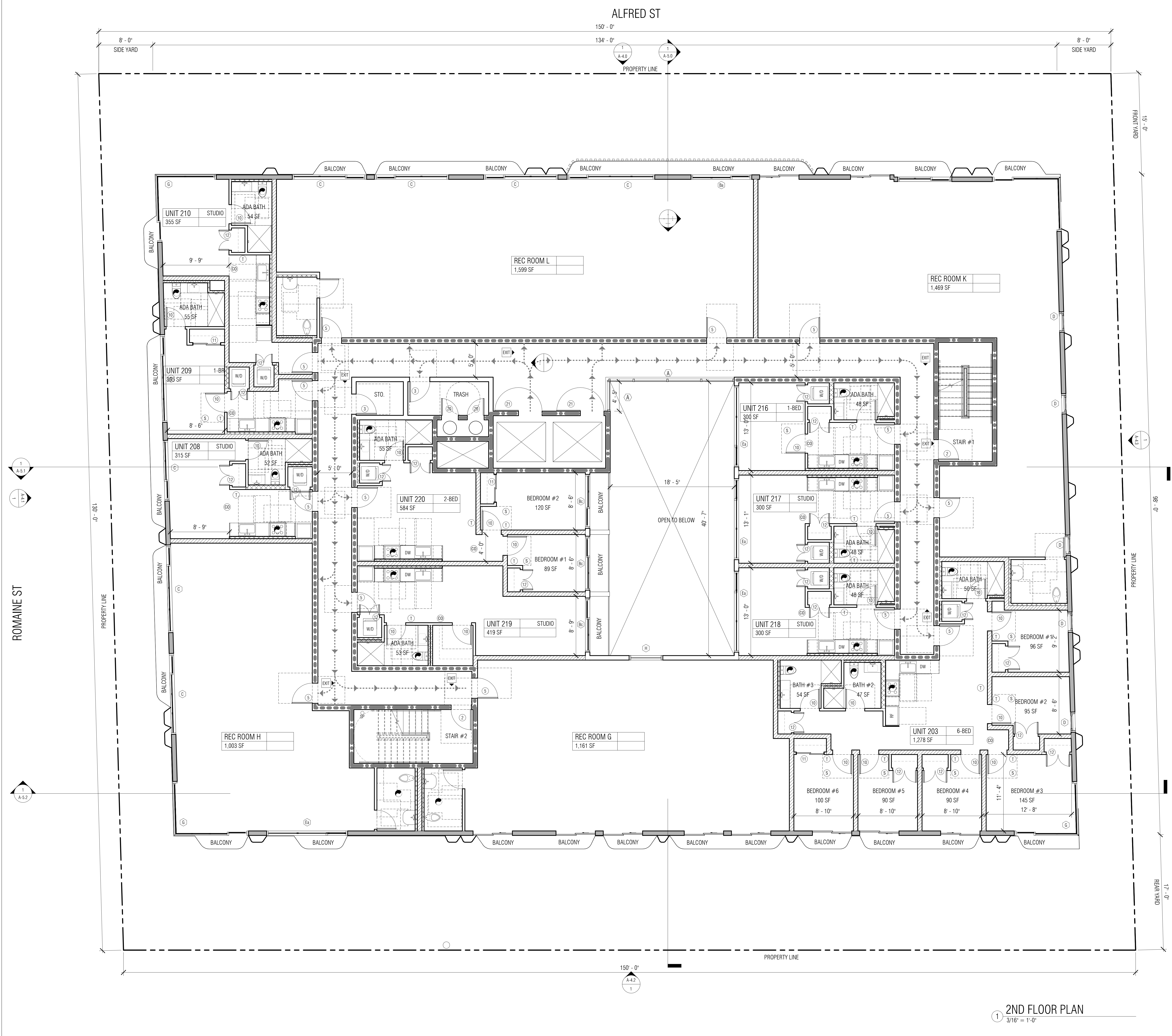
**Alfred Apartments**  
1002 N. Alfred St.  
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10/31/22

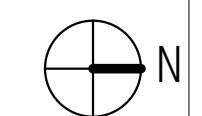
SECOND FLOOR PLAN

**A-3.2**

3/16" = 1'-0"



**2ND FLOOR PLAN**  
3/16" = 1'-0"





- EXTERIOR WALL / FIRE TREATED LUMBER**
- ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-RATED
  - FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150. SEE A-1.4X
  - ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE TREATED PLYWOOD
  - SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBIN WITH PLUMBING WALLS
  - FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

- GENERAL NOTES**
- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
  - PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE. AT EXTERIOR WALLS AND DOORS, WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
  - LADWP WATER SUB-METER TO BE LOCATED INSIDE THE WASHER/DRYER ROOM OF EACH UNIT.
  - ALL TRASH BINS SHALL BE COVERED
  - THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
  - ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
  - INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9
  - WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

- WALL LEGEND**
- INTERIOR WALL PER DETAIL X/A-9-X
  - PLUMBING WALL PER DETAIL X/A-9-X
  - CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
  - CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9.0
  - 1-HR RATED CORRIDOR WALL PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
  - 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
  - 2-HR RATED FIRE BARRIER WALL PER DETAIL X/A-9.0X AND A-9.0. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
  - 1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

- SYMBOL LEGEND**
- DD DECK DRAIN PER DETAIL X/A-9-X
  - OD OVERFLOW DRAIN
  - EXIT EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
  - S HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
  - CO HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
  - W WINDOW TYPE
  - D DOOR TYPE
  - DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
  - CG COMBINATION STANDPIPE
  - PL PLANTER DRAIN
  - DS DOWNSPOUT
  - PH PANIC HARDWARE
  - FD FIRE DEPARTMENT CONNECTION
  - FACP FIRE ALARM CONTROL PANEL
  - EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
  - 18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
  - EP ELECTRICAL PANEL
  - RT ROOF TIE BACK ANCHOR SEE DETAIL X/A-9-X
  - T SMART THERMOSTAT PER A-1.XX
  - ACCESSIBILITY ROUTE

UNIT #	TYPE
3/16"	ENLRGD PL

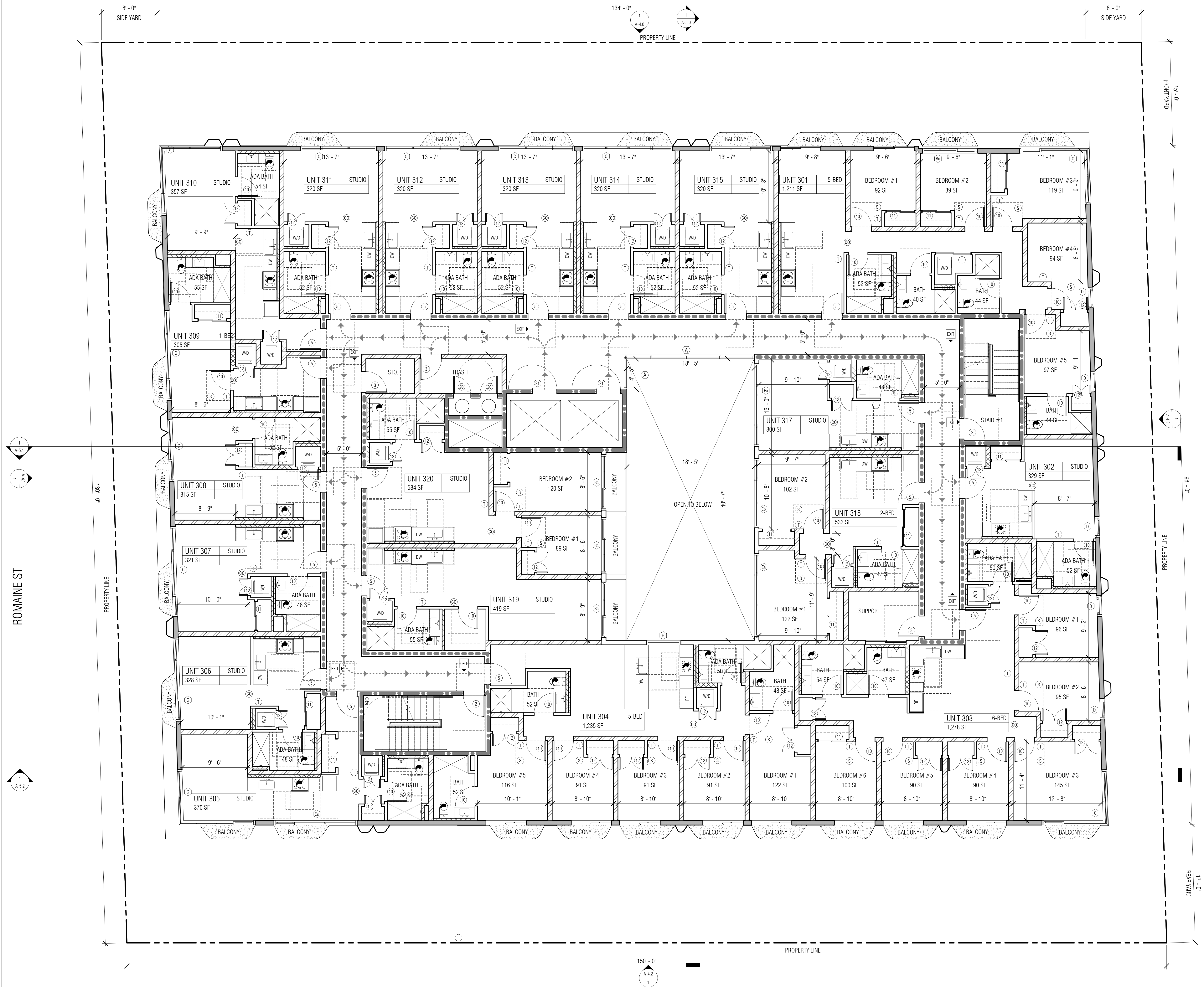


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No.	Description	Issued To	Date	By	Checked
3	Revisions	MC	09/23/22		

**Alfred Apartments**  
1002 N. Alfred St.  
Los Angeles, CA 90069

10/31/22  
THIRD FLOOR  
A-3.3  
3/16" = 1'-0"



**3RD FLOOR PLAN**  
1 3/16" = 1'-0"



ALFRED ST

150'-0"

134'-0"

1

A-4.0

1

A-5.0

PROPERTY LINE

8'-0"

SIDE YARD

15'-0"

0'-0"

PROPERTY LINE

1

B7A

1

PROPERTY LINE

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EXTERIOR WALL / FIRE TREATED LUMBER

- 1. ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-RATED
2. FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150, SEE A-1.4X
3. ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE TREATED PLYWOOD
4. SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBIN WITH PLUMBING WALLS
5. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

GENERAL NOTES

- 1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
3. LADWP WATER SUB-METER TO BE LOCATED INSIDE THE WASHER/DRYER ROOM OF EACH UNIT
4. ALL TRASH BINS SHALL BE COVERED
5. THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT
6. ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
7. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9
8. WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

WALL LEGEND

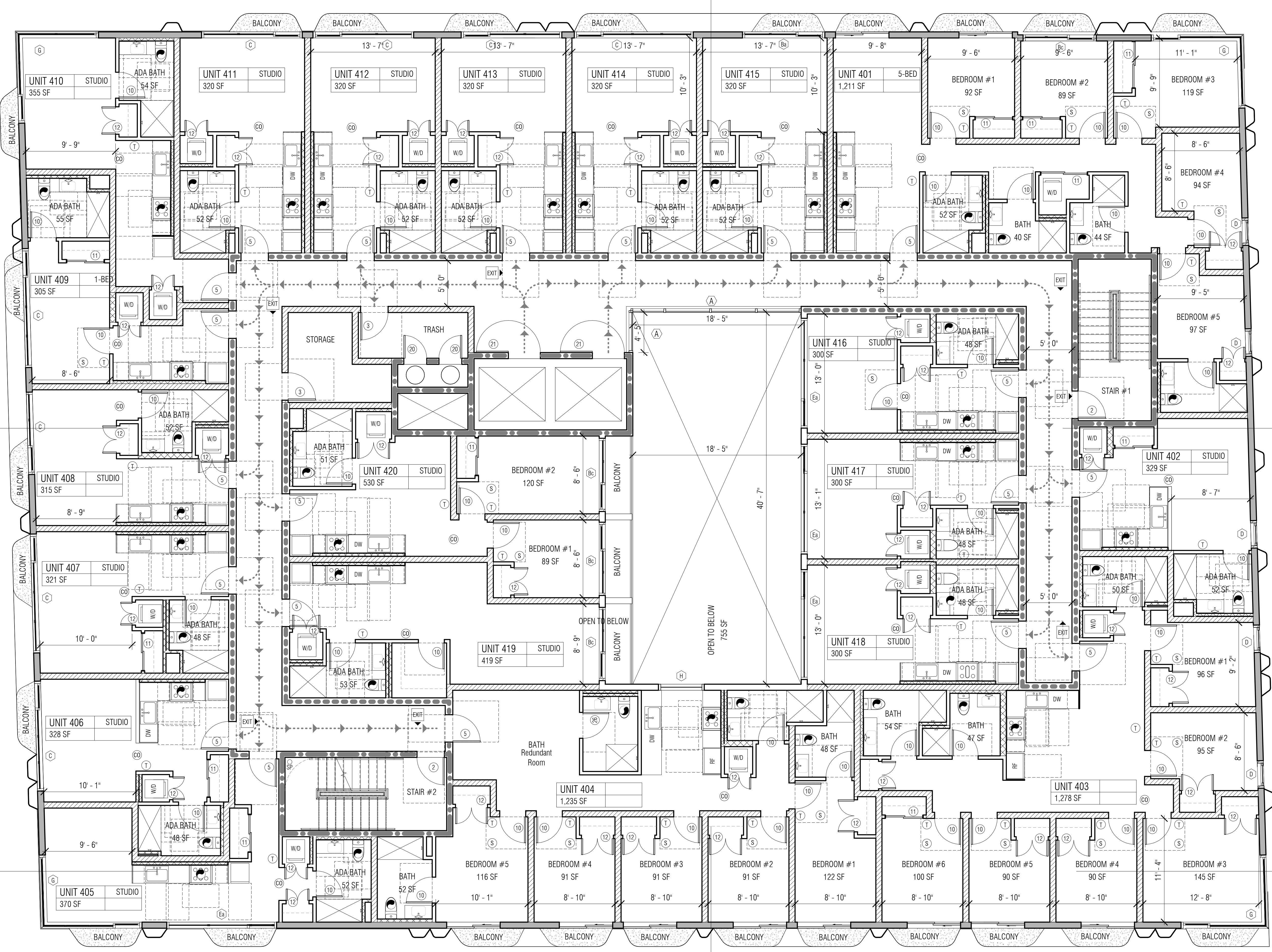
- INTERIOR WALL PER DETAIL X/A-9-X
PLUMBING WALL PER DETAIL X/A-9-X
CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9-0
CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9-0
1-HR RATED CORRIDOR WALL PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
2-HR RATED FIRE BARRIER WALL PER DETAIL X/X/A-XXX AND A-9-X. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

SYMBOL LEGEND

- DECK DRAIN PER DETAIL X/A-9-X
OVERFLOW DRAIN
EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
WINDOW TYPE
DOOR TYPE
DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
COMBINATION STANDPIPE
PLANTER DRAIN
DOWNSPOUT
PANIC HARDWARE
FIRE DEPARTMENT CONNECTION
FIRE ALARM CONTROL PANEL
EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
ELECTRICAL PANEL
ROOF TIE BACK ANCHOR SEE DETAIL X/A-9-X
SMART THERMOSTAT PER A-1.XX
ACCESSIBILITY ROUTE

Table with 2 columns: UNIT #, TYPE, SIZE, ENLRGD PL

Project information including 'wtarch' logo, 'EXHIBIT A' stamp, 'ARCHITECT' seal, and 'Alfred Apartments' details.



4TH FLOOR PLAN
3/16" = 1'-0"

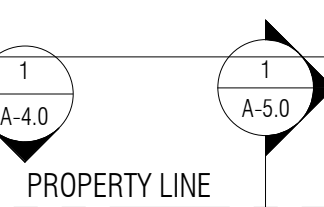




ALFRED ST

150'-0"

134'-0"



8'-0" SIDE YARD

8'-0" SIDE YARD

FRONT YARD 15'-0"

8'-0"

PROPERTY LINE

REAR YARD 17'-0"

150'-0"

A-4.2

1

PROPERTY LINE

ROMAINE ST

PROPERTY LINE

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

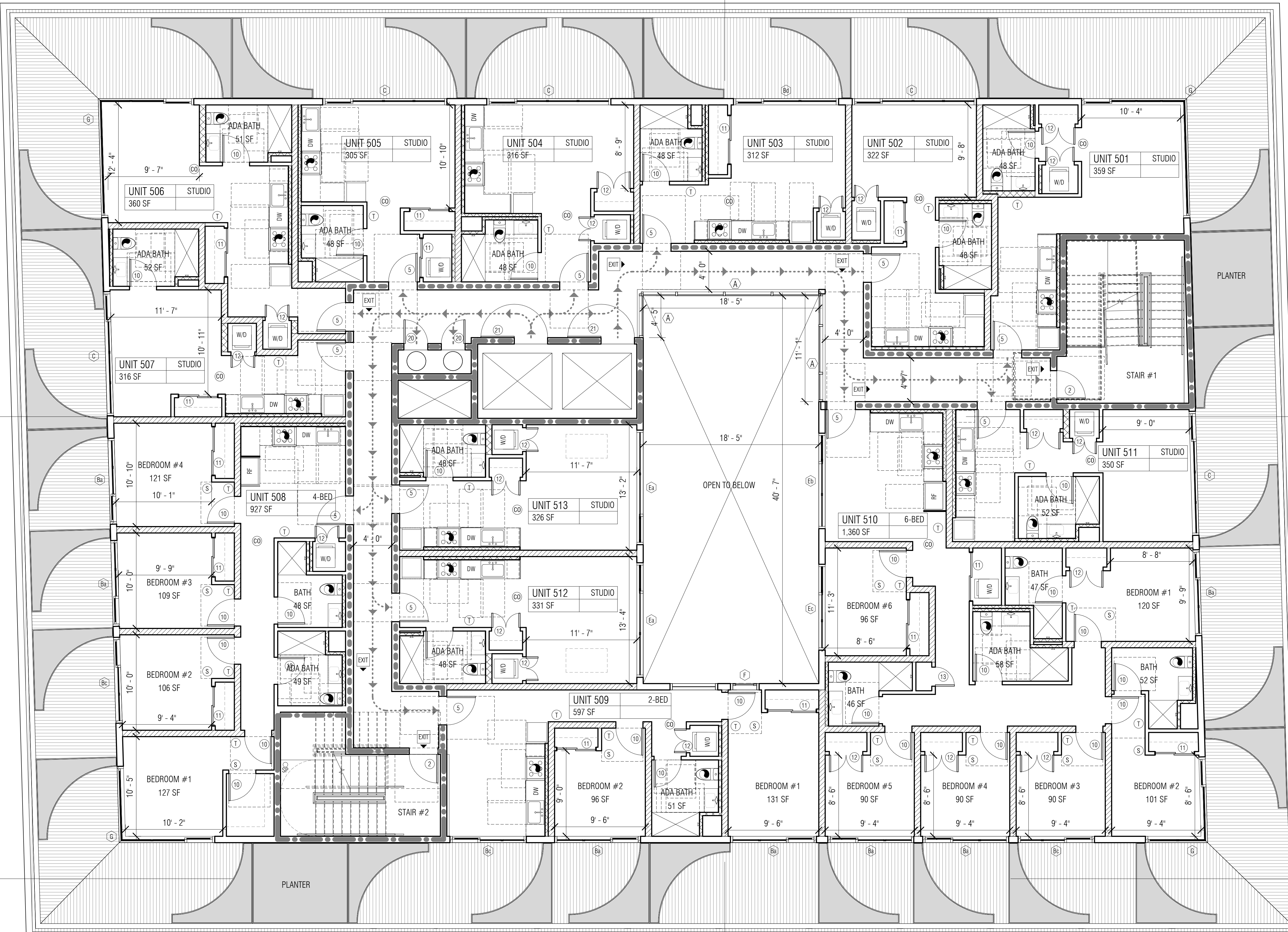
10'-0"

10'-0"

10'-0"

10'-0"

10'-0"



EXTERIOR WALL / FIRE TREATED LUMBER

1. ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-RATED
2. FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150. SEE A-1.4X
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GENERAL NOTES

1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
3. WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE
4. LADWP WATER SUB-METER TO BE LOCATED INSIDE THE WASHER/DRYER ROOM OF EACH UNIT.
5. ALL TRASH BINS SHALL BE COVERED
6. THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SET BACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
7. ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS
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9. WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED, THEY SHALL COMPLY WITH CBC 1134A.

WALL LEGEND

- INTERIOR WALL PER DETAIL X/A-9-X
- PLUMBING WALL PER DETAIL XX/A-9-X
- CMU WALL, PER STRUCTURAL 3HR, DETAIL X/A-9-0
- CONCRETE WALL, PER STRUCTURAL 3HR, DETAIL X/A-9-0
- 1-HR RATED CORRIDOR WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER FIRE RETARDANT TREATED FRAMING. SEE NOTES
- 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
- 2-HR RATED FIRE BARRIER WALL PER DETAIL X/X/A-XXX AND A-9-X. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
- 1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

SYMBOL LEGEND

- DECK DRAIN PER DETAIL X/A-9-X
- OVERFLOW DRAIN
- EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
- HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- WINDOW TYPE
- DOOR TYPE
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
- COMBINATION STANDPIPE
- PLANTER DRAIN
- DOWNSPOUT
- PANIC HARDWARE
- FIRE DEPARTMENT CONNECTION
- FIRE ALARM CONTROL PANEL
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- ELECTRICAL PANEL
- ROOF TIE BACK ANCHOR SEE DETAIL XX/A-9-X
- SMART THERMOSTAT PER A-1 XX
- ACCESSIBILITY ROUTE

UNIT #	TYPE
SIZE	ENLRGD PL

5TH FLOOR PLAN

3/16" = 1'-0"



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Revised	By	Date	Issued To	Checked By	Checked
1	MC	09/23/22			

Alfred Apartments  
1002 N. Alfred St.  
Los Angeles, CA 90069

10/31/22

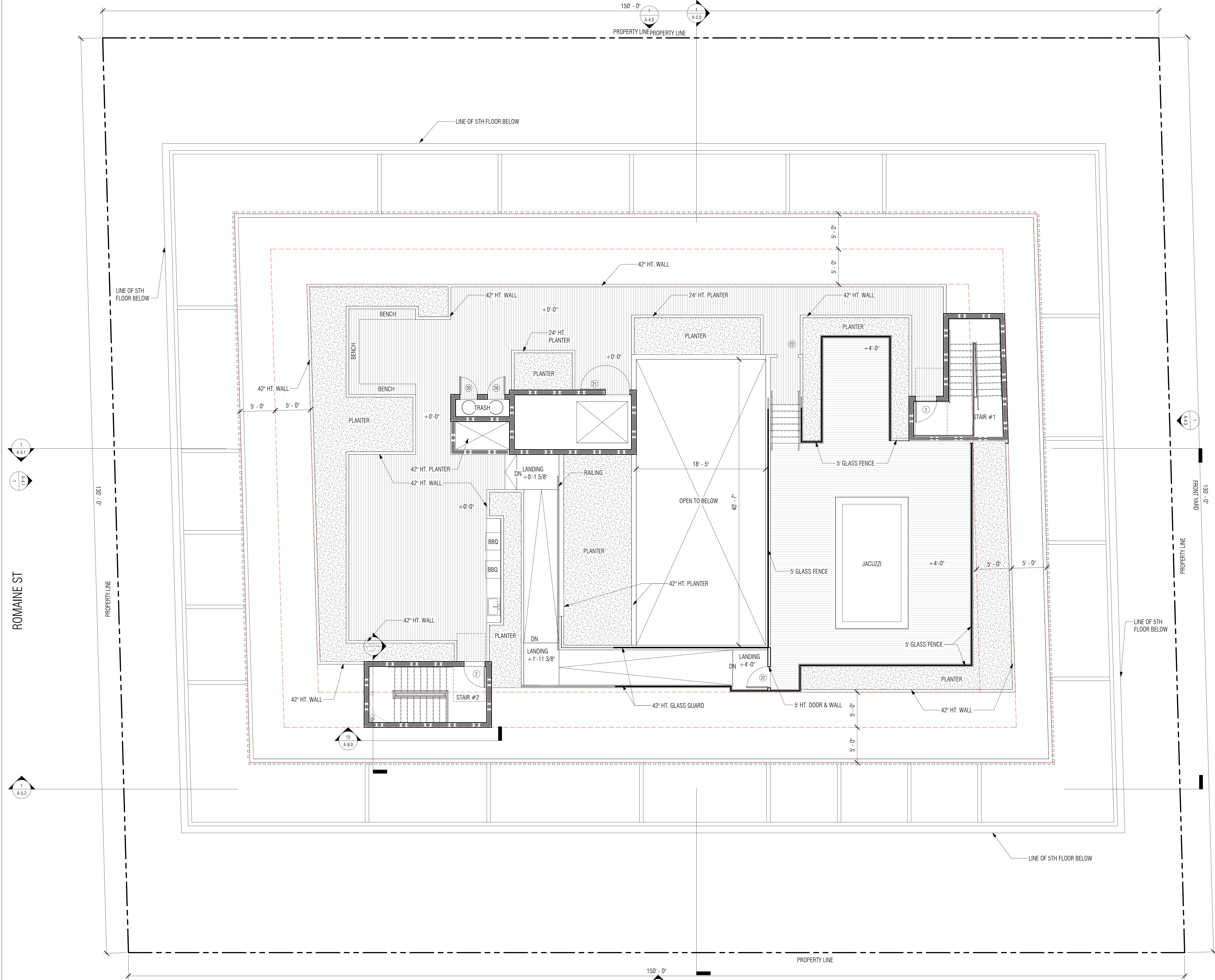
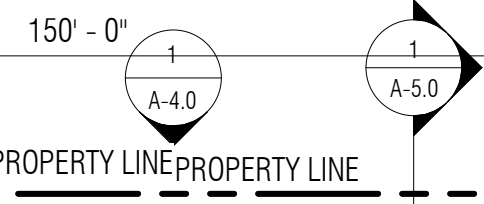
FIFTH FLOOR

A-3.5

3/16" = 1'-0"



ALFRED ST



**EXTERIOR WALL / FIRE TREATED LUMBER**

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**wtarch**  
 Warren Teichert Architecture, Inc.  
 2001 Hyperion Ave. Suite 400  
 Los Angeles, CA 90027  
 warch@wtarch.com  
 310.466.4544  
 www.wtarch.com

**EXHIBIT "A"**  
 Page No. 11 of 26  
 Case No. ADM-2022-6793-DB-HCA

**GENERAL NOTES**

1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N
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**WALL LEGEND**

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- 2-HR RATED EXTERIOR BEARING WALL, PER DETAIL X/X/A-9. FIRE RETARDANT TREATED FRAMING. SEE NOTES
- 2-HR RATED FIRE BARRIER WALL PER DETAIL X/X/A-XX/A-9-X AND A-9-X. FIRE RETARDANT TREATED FRAMING/ SEE NOTES
- 1-HR RATED PARTY WALL, PER DETAIL X/A-9-X MUST MEET SOUND TRANSMISSION CLASS OF STC 50 OR BETTER

**SYMBOL LEGEND**

- DD DECK DRAIN PER DETAIL X/A-9-X
- OD OVERFLOW DRAIN
- EXIT EXIT SIGN IN CONFORMANCE WITH CBC SECTION 1013
- S HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- CD HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- W WINDOW TYPE
- D DOOR TYPE
- DR DIRECTION OF DRAINAGE SLOPE @ 2% MIN.
- CG COMBINATION STANDPIPE
- PD PLANTER DRAIN
- DS DOWNSPOUT
- PH PANIC HARDWARE
- FDC FIRE DEPARTMENT CONNECTION
- FACP FIRE ALARM CONTROL PANEL
- EF EXHAUST FAN, ENERGY STAR RATED W/ HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO OUTDOORS (4.506.1)
- SC 18" SOFFIT AND WATER CURTAIN AT EACH WINDOW & OPENING
- EP ELECTRICAL PANEL
- RT ROOF TIE BACK ANCHOR SEE DETAIL XX/A-9-X
- T SMART THERMOSTAT PER A-1 XX
- AR ACCESSIBILITY ROUTE



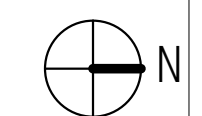
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No.	Description	Date	Issued To	Checked By	Checked
3	Bidding and Safety Plan Check	09/23/22	MC		

**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22  
 ROOF PLAN  
**A-3.6**  
 3/16" = 1'-0"

**1 ROOF PLAN**  
 3/16" = 1'-0"



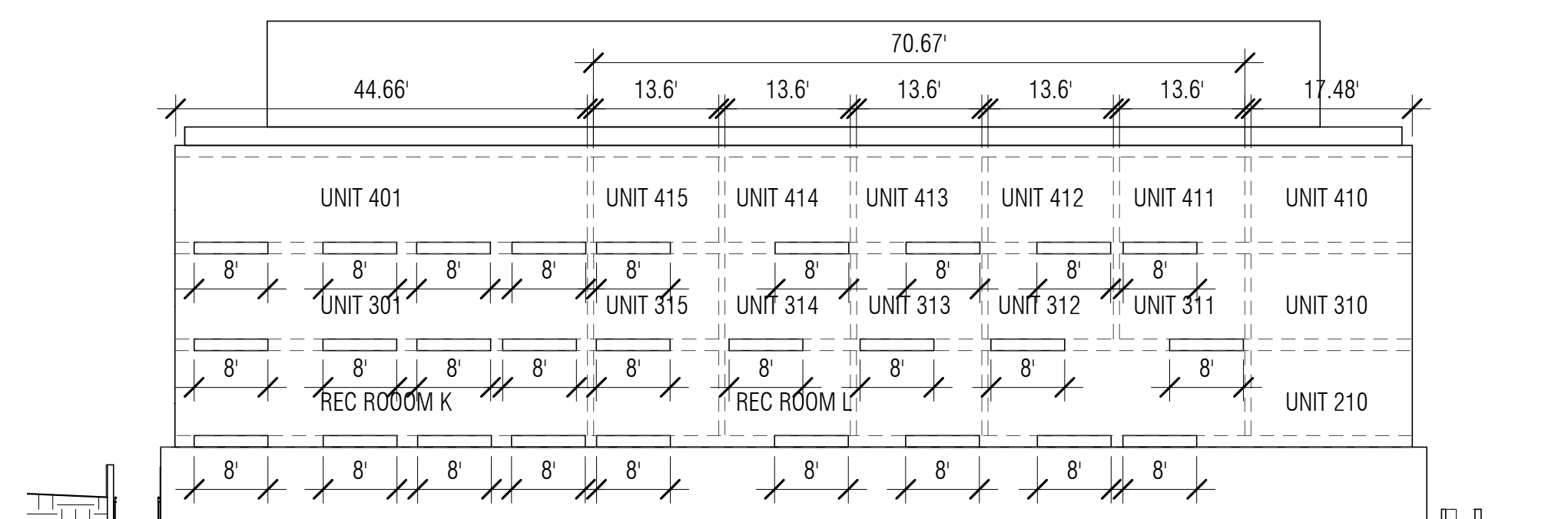




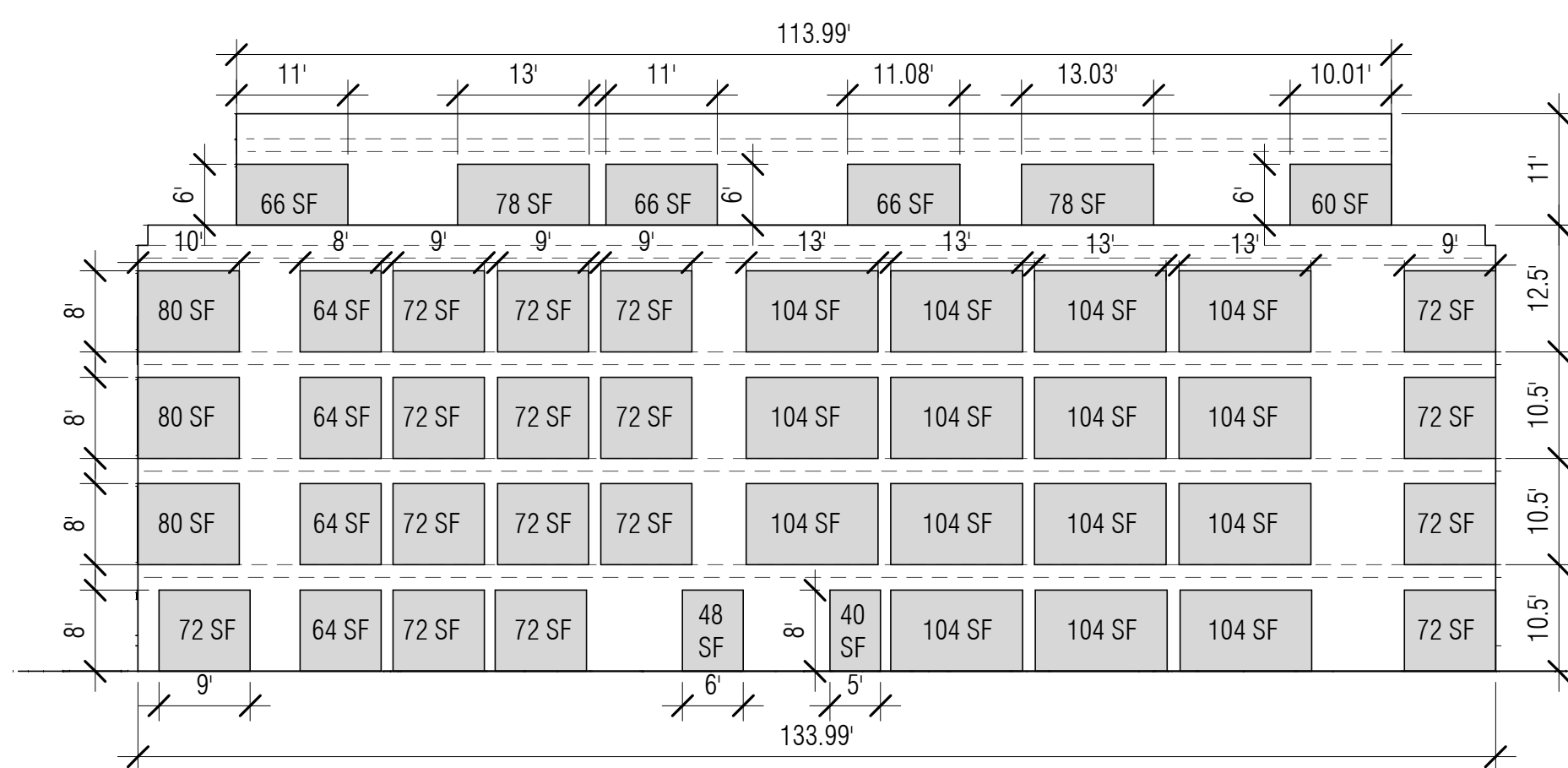
1 WEST ELEVATION  
 3/16" = 1'-0"

BALCONY ANALYSIS - WEST				
75% OF UNIT LENGTH ALLOWED				
UNIT	WALL LENGTH	BALCONY LENGTH	% LENGTH	COMPLIANCE
301, 401	44.66'	32'	72%	OK
210, 310, 410	17.48'	0'	0%	OK
311, 411	13.6'	8'	59%	OK
312, 412	13.6'	8'	59%	OK
313, 413	13.6'	8'	59%	OK
314, 414	13.6'	8'	59%	OK
315, 415	13.6'	8'	59%	OK
REC ROOM K	44.66'	32'	72%	OK
REC ROOM L	70.67'	40'	57%	OK

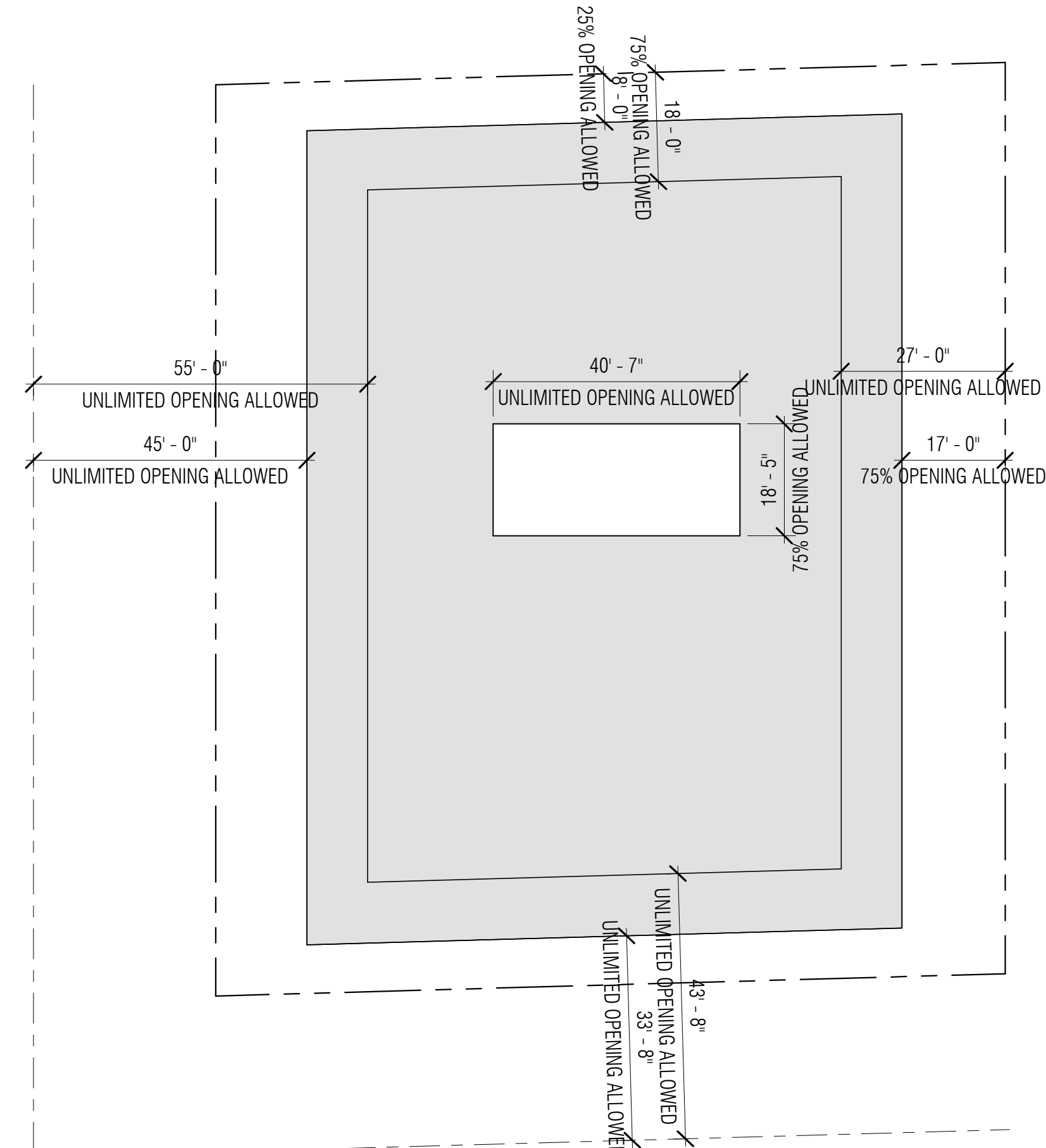
OPENING ANALYSIS - WEST					
UNLIMITED UNPROTECTED OPENINGS ALLOWED					
LEVEL	WALL AREA	U.P.O.	% ALLOWED	% OPEN	COMPLIANCE
1ST FL.	1,407 SF	752 SF	UNLIMITED	53%	OK
2ND FL.	1,407 SF	848 SF	UNLIMITED	60%	OK
3RD FL.	1,407 SF	848 SF	UNLIMITED	60%	OK
4TH FL.	1,467 SF	848 SF	UNLIMITED	58%	OK
5TH FL.	1,254 SF	414 SF	UNLIMITED	33%	OK



WEST ELEVATION BALCONY DIAGRAM



WEST ELEVATION OPENING DIAGRAM



FIRE SEPARATION DISTANCE DIAGRAM



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No.	Description	Date	Issued To	Checked By
3	Building and Safety Plan Check	09/23/22	MC	Checker

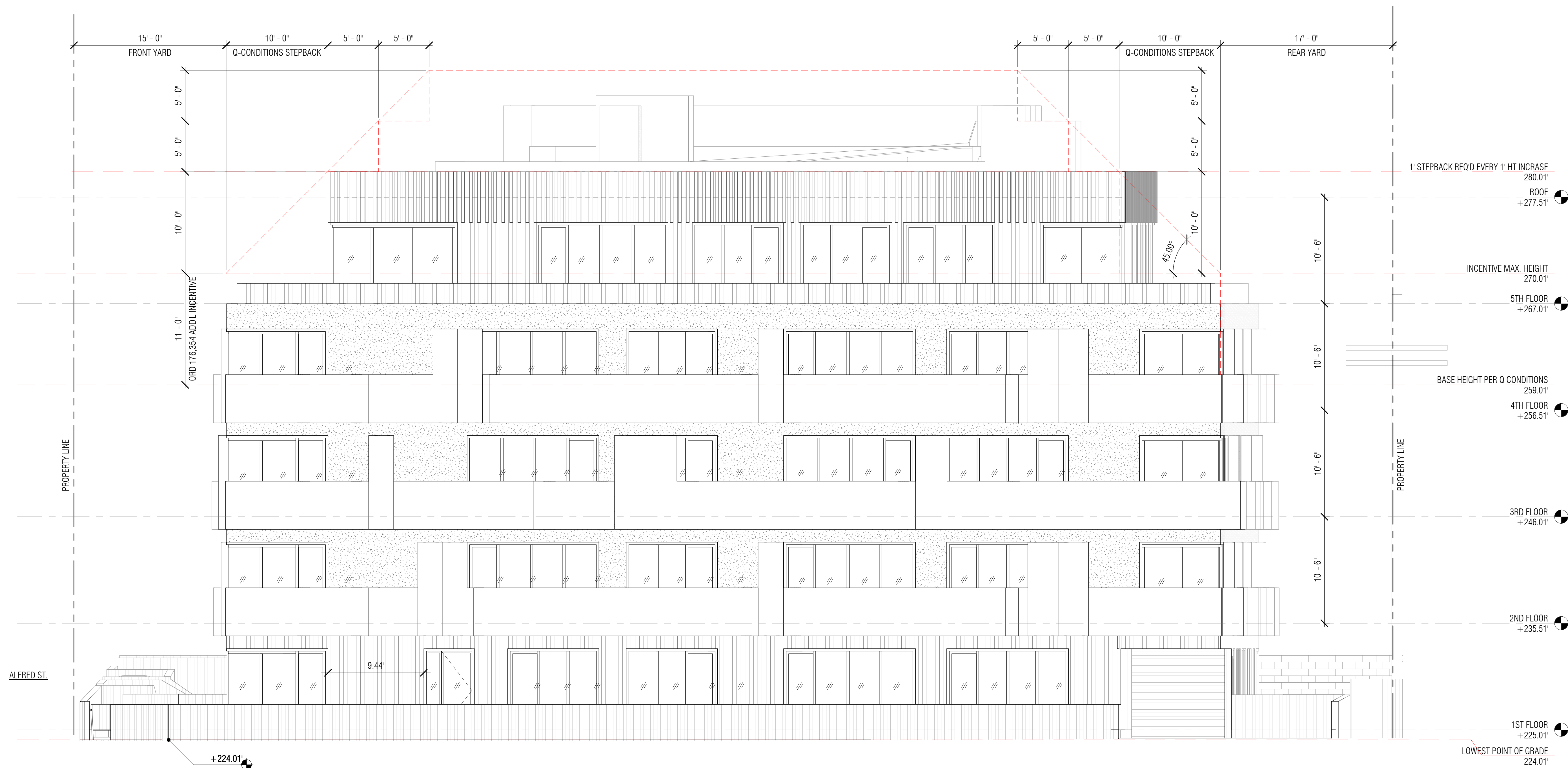
**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

WEST ELEVATION

A-4.0  
 As indicated

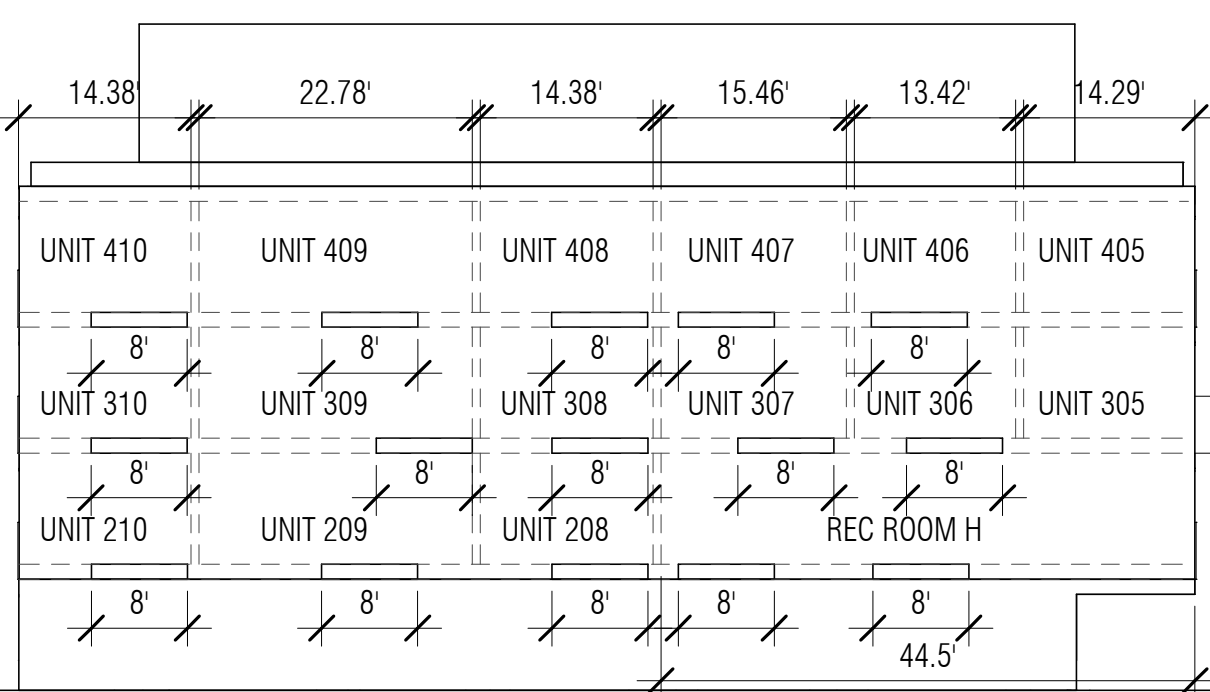




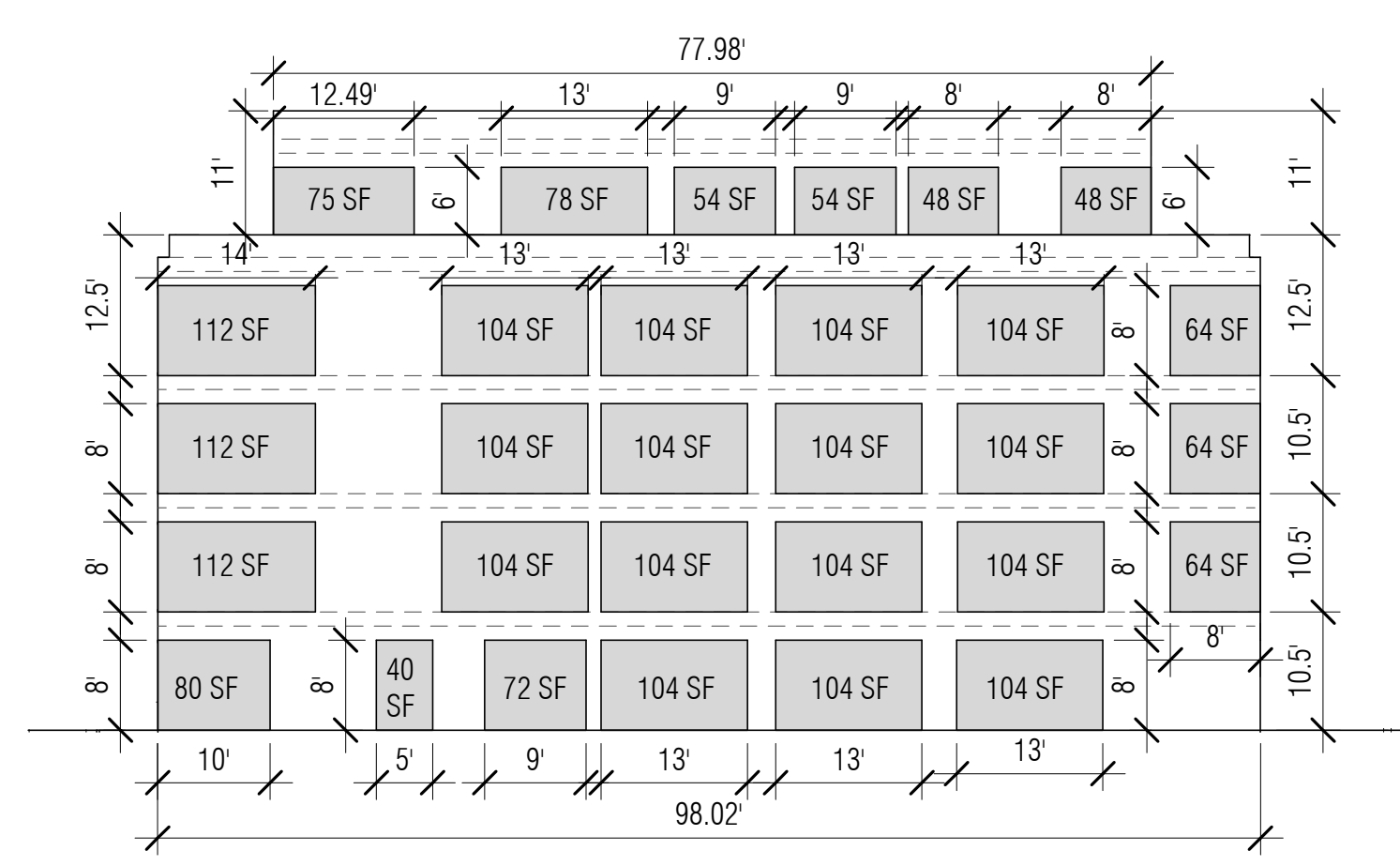
1 SOUTH ELEVATION  
 3/16" = 1'-0"

BALCONY ANALYSIS - SOUTH 75% OF UNIT LENGTH ALLOWED				
UNIT	WALL LENGTH	BALCONY LENGTH	% LENGTH	COMPLIANCE
REC ROOM H	44.5'	16'	40%	OK
305, 405	14.29'	0'	0%	OK
306, 406	13.42'	8'	60%	OK
307, 407	15.46'	8'	52%	OK
208, 308, 408	14.38'	8'	56%	OK
209, 309, 409	22.78'	8'	35%	OK
210, 310, 410	14.38'	8'	56%	OK

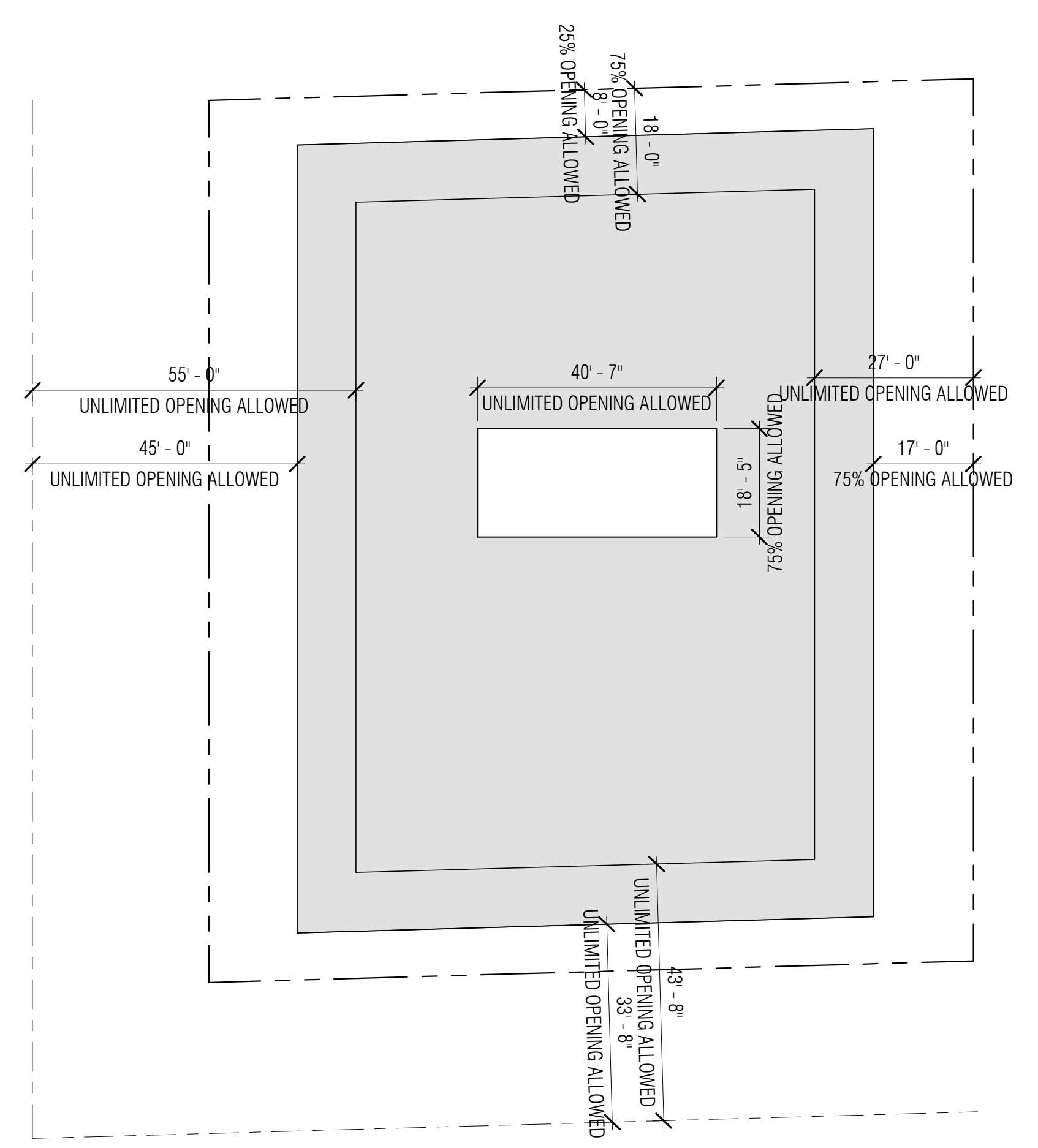
OPENING ANALYSIS - SOUTH UNLIMITED UNPROTECTED OPENINGS ALLOWED					
LEVEL	WALL AREA	U.P.O.	% ALLOWED	% OPEN	COMPLIANCE
1ST FL.	1,029 SF	504 SF	UNLIMITED	49%	OK
2ND FL.	1,029 SF	592 SF	UNLIMITED	58%	OK
3RD FL.	1,029 SF	592 SF	UNLIMITED	58%	OK
4TH FL.	1,225 SF	592 SF	UNLIMITED	48%	OK
5TH FL.	858 SF	357 SF	UNLIMITED	42%	OK



2 SOUTH ELEVATION BALCONY DIAGRAM  
 1/16" = 1'-0"



SOUTH ELEVATION OPENING DIAGRAM



FIRE SEPARATION DISTANCE DIAGRAM



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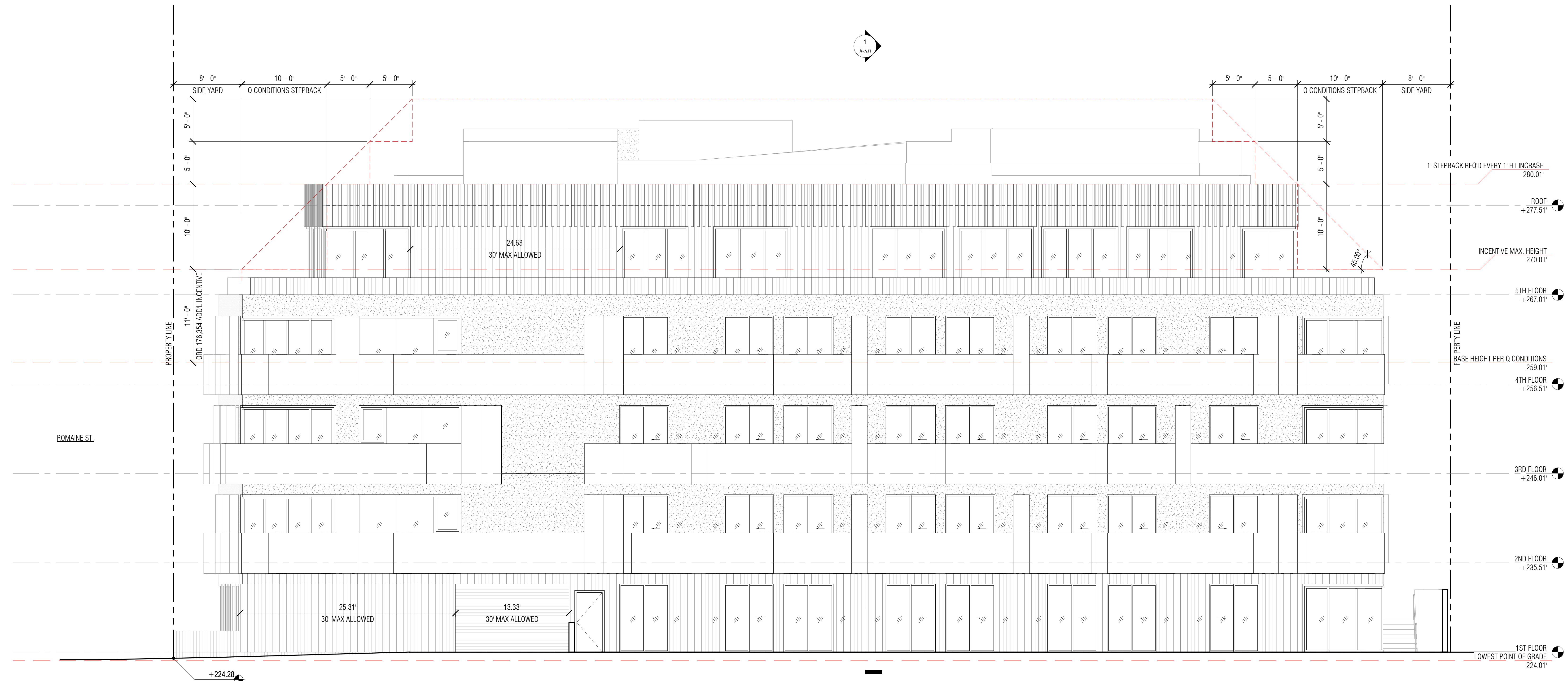
**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

SOUTH ELEVATION

A-4.1  
 As indicated

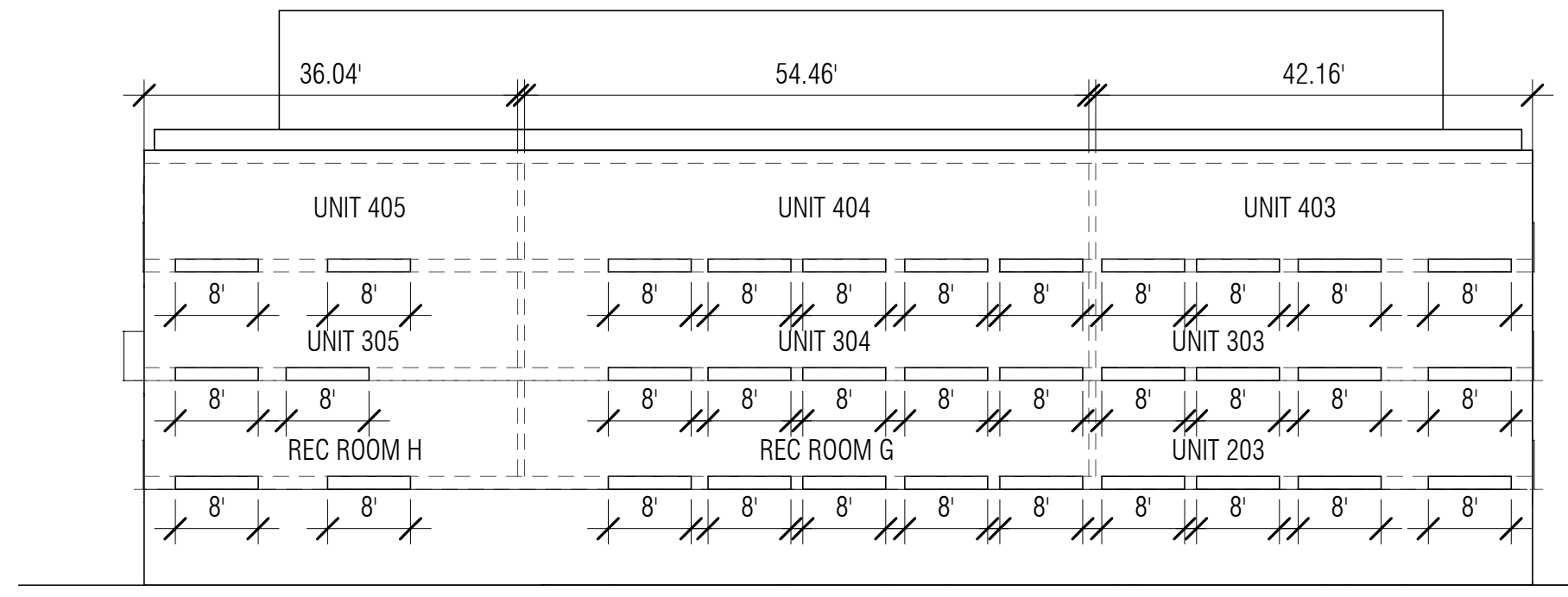




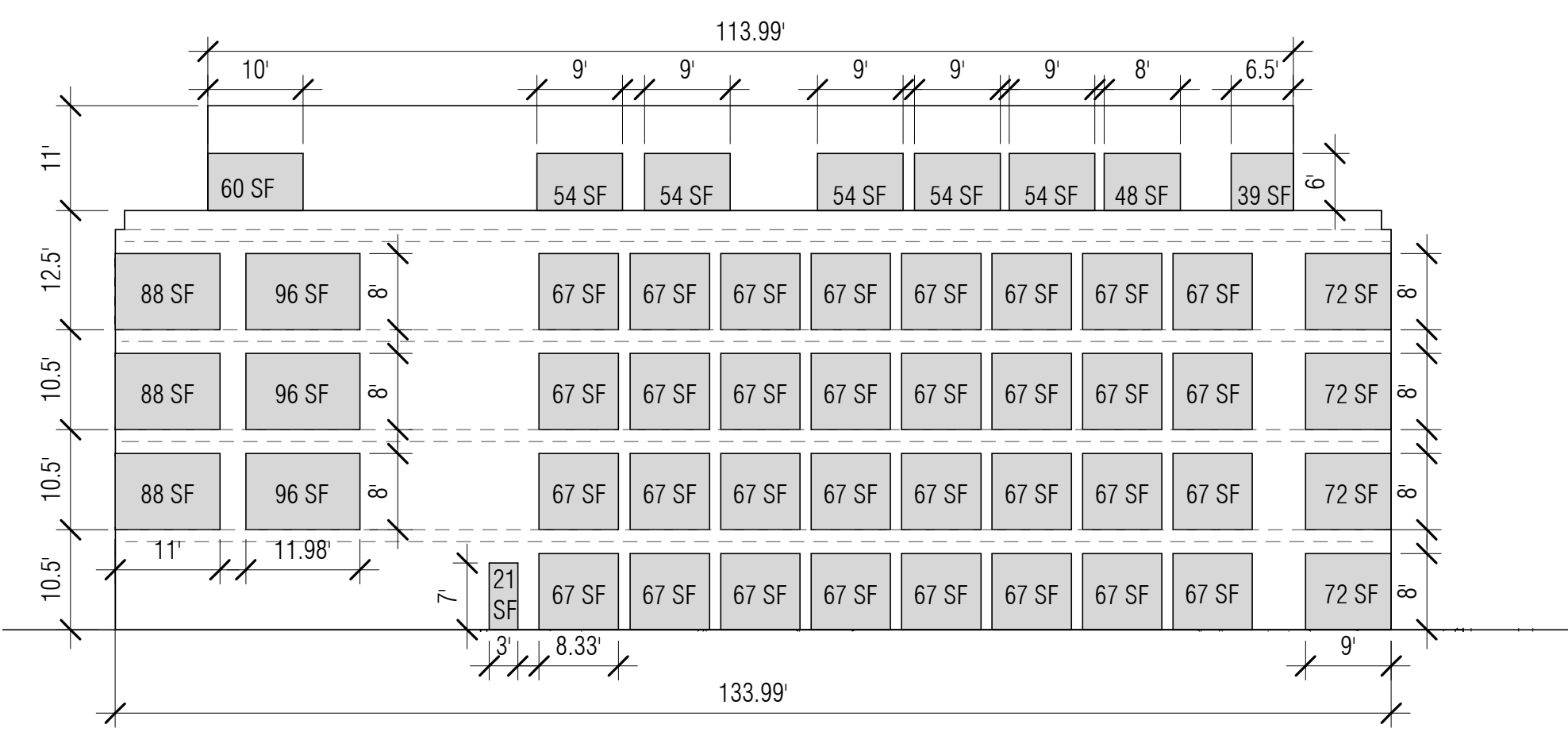
1 EAST ELEVATION  
 3/16" = 1'-0"

BALCONY ANALYSIS - EAST 75% OF UNIT LENGTH ALLOWED				
UNIT	WALL LENGTH	BALCONY LENGTH	% LENGTH	COMPLIANCE
REC ROOM G	54.46'	40'	73%	OK
REC ROOM H	36.04'	16'	44%	OK
203, 303, 403	42.16'	24'	57%	OK
304, 404	54.46'	40'	73%	OK
305, 405	36.04'	16'	44%	OK

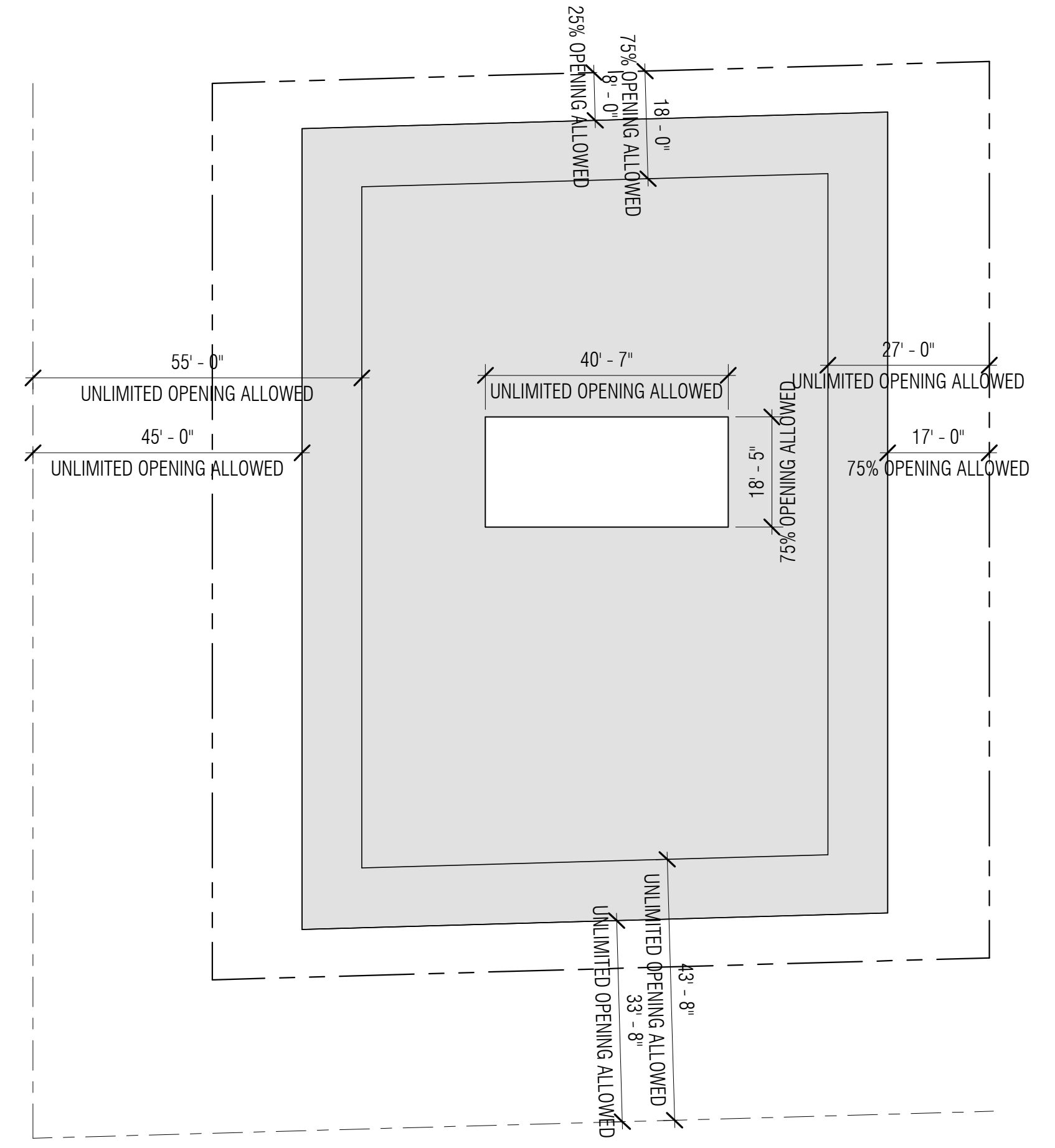
OPENING ANALYSIS - EAST 75% UNPROTECTED OPENINGS ALLOWED					
LEVEL	WALL AREA	U.P.O.	% ALLOWED	% OPEN	COMPLIANCE
1ST FL.	1,407 SF	629 SF	75%	45%	OK
2ND FL.	1,407 SF	792 SF	75%	56%	OK
3RD FL.	1,407 SF	792 SF	75%	56%	OK
4TH FL.	1,474 SF	792 SF	75%	54%	OK
5TH FL.	1,254 SF	417 SF	100%	33%	OK



EAST ELEVATION BALCONY DIAGRAM



EAST ELEVATION OPENING DIAGRAM



FIRE SEPARATION DISTANCE DIAGRAM



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Drawn by	Author	Checked by
Date	10/23/22	
Issued to		
No.	3	Description
		Building and Safety Plan Check

**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

EAST ELEVATION

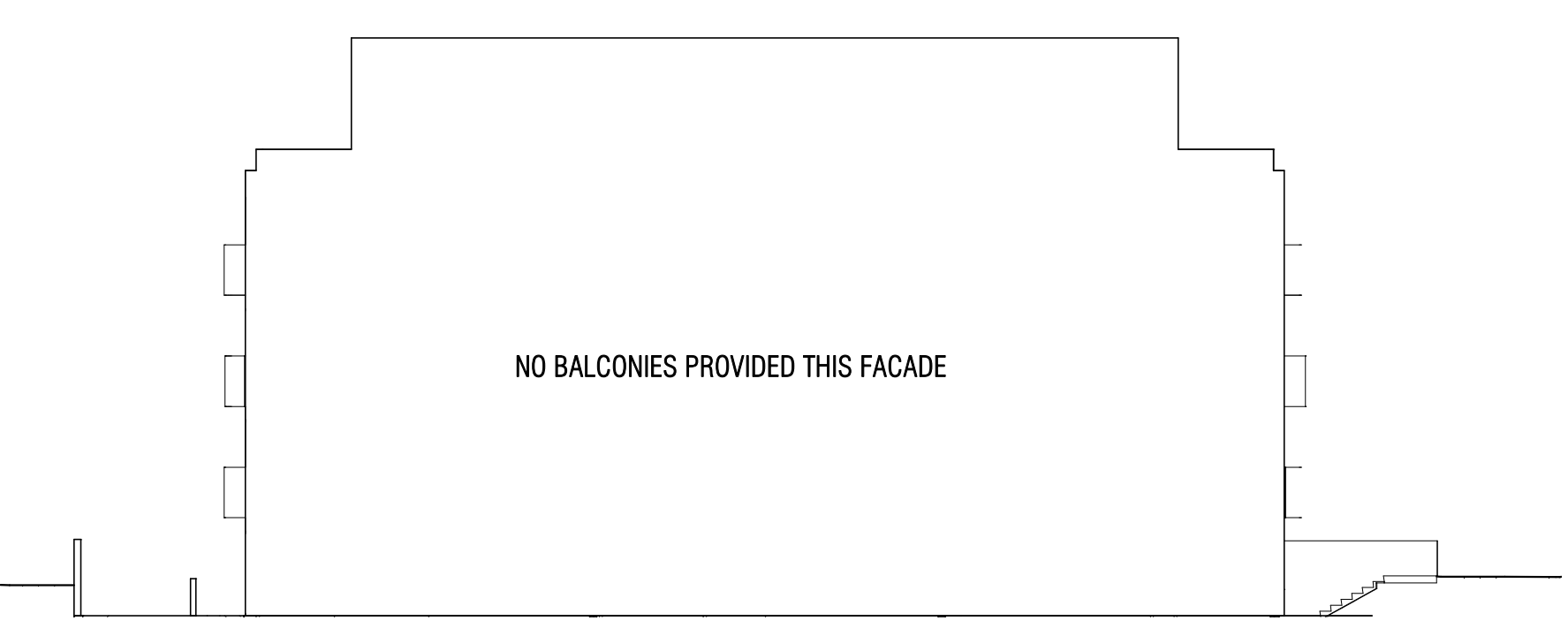
**A-4.2**  
 As indicated



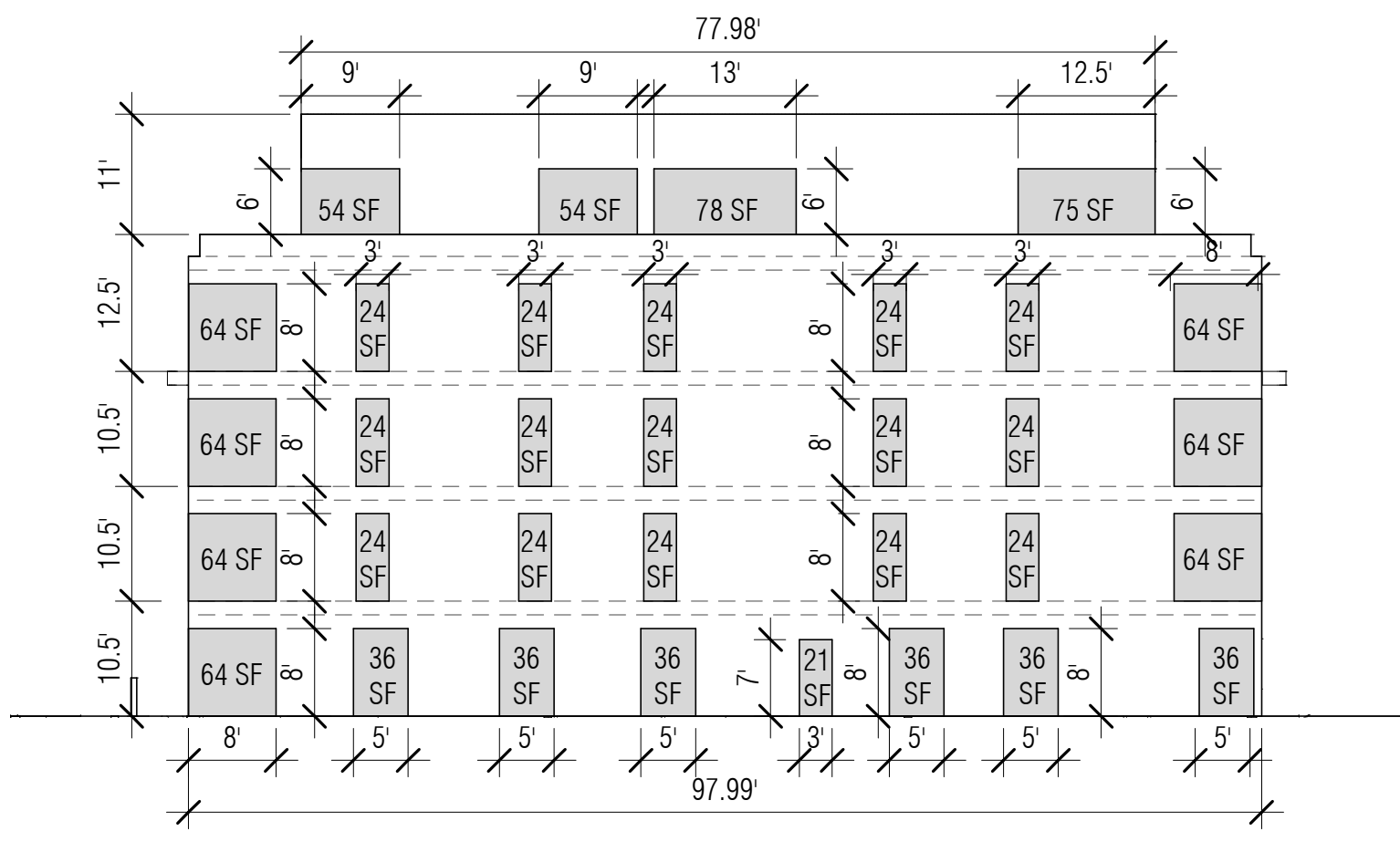


1 NORTH ELEVATION  
 3/16" = 1'-0"

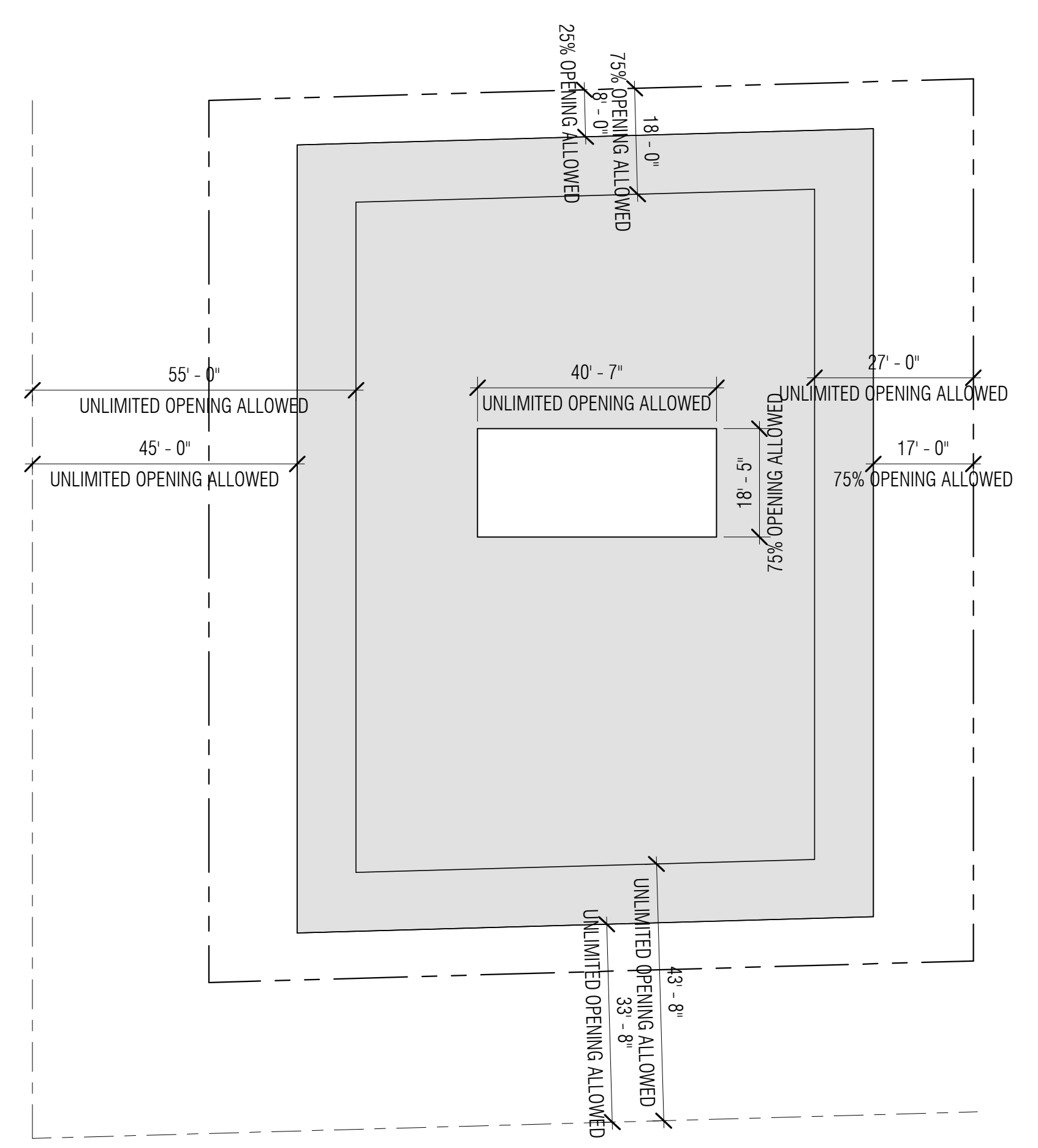
OPENING ANALYSIS - NORTH					
25% UNPROTECTED OPENINGS ALLOWED					
LEVEL	WALL AREA	U.P.O.	% ALLOWED	% OPEN	COMPLIANCE
1ST FL.	1,029 SF	240 SF	25%	24%	OK
2ND FL.	1,029 SF	248 SF	25%	24%	OK
3RD FL.	1,029 SF	248 SF	25%	24%	OK
4TH FL.	1,225 SF	248 SF	25%	24%	OK
5TH FL.	858 SF	261 SF	75%	25%	OK



NORTH ELEVATION BALCONY DIAGRAM



NORTH ELEVATION OPENING DIAGRAM



FIRE SEPARATION DISTANCE DIAGRAM



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Drawn by	Author	Checked by	Checker
Date	09/23/22		
No.	3	Description	Building and Safety Plan Check

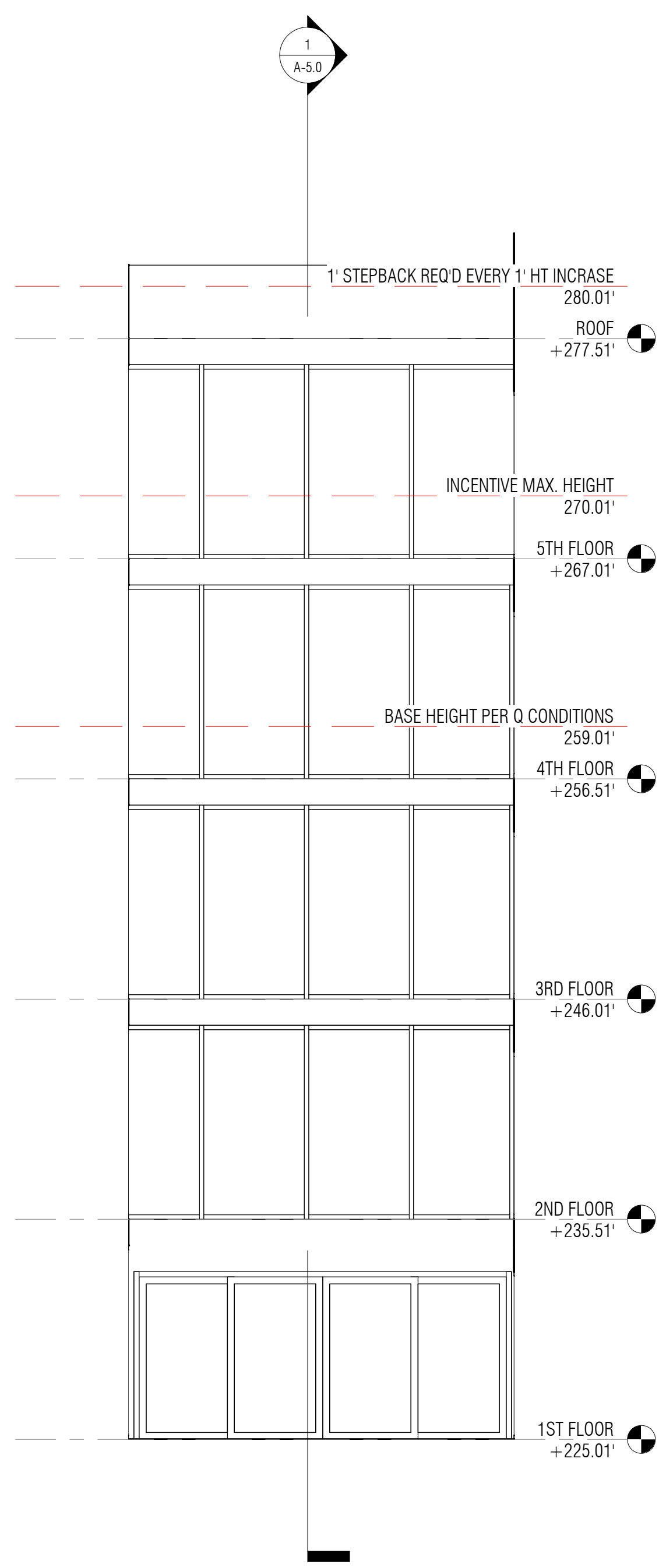
**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

NORTH ELEVATION

**A-4.3**  
 As indicated

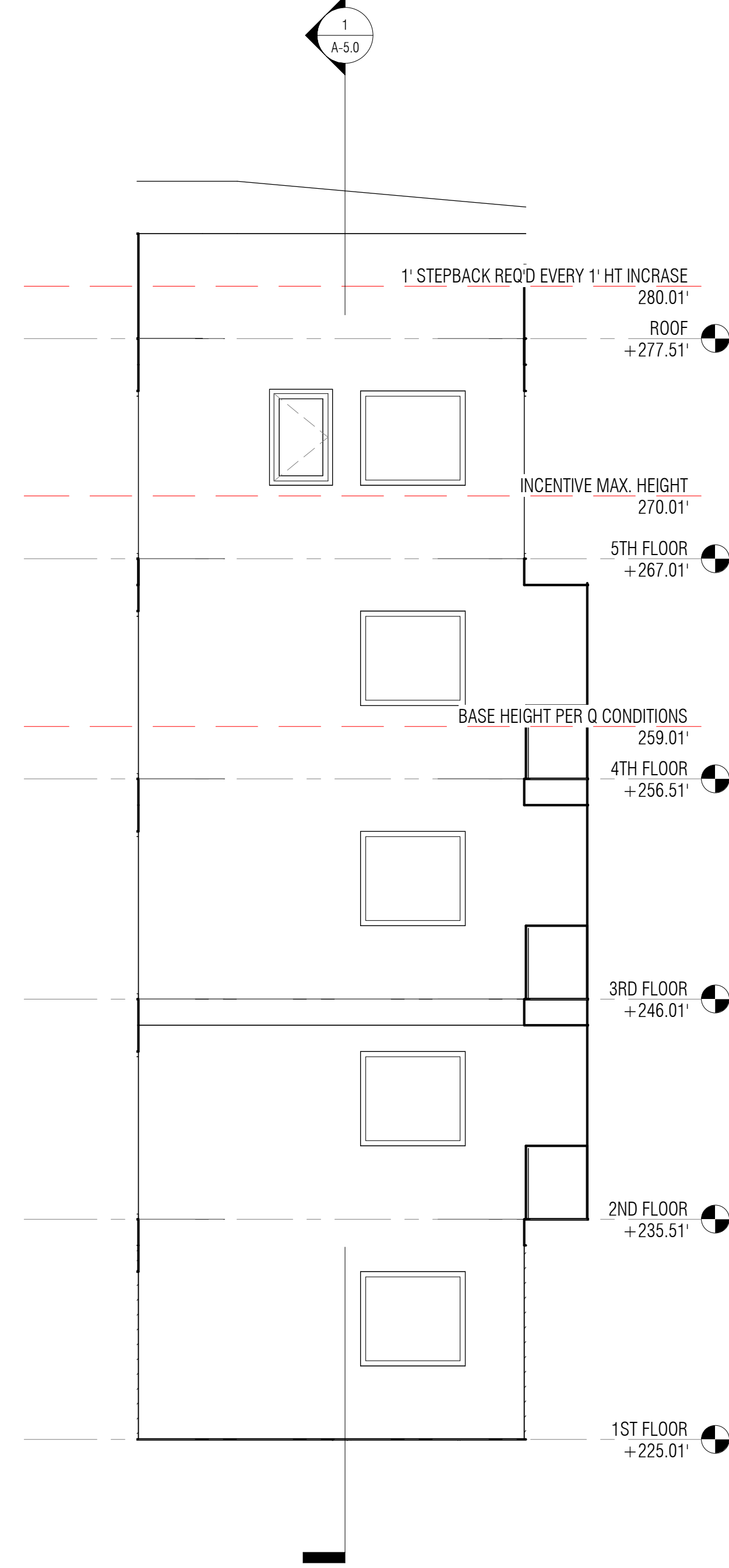




4 COURTYARD ELEVATION - WEST  
 3/16" = 1'-0"



3 COURTYARD ELEVATION - SOUTH  
 3/16" = 1'-0"



2 COURTYARD ELEVATION - EAST  
 3/16" = 1'-0"



1 COURTYARD ELEVATION - NORTH  
 3/16" = 1'-0"



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No.	Description	Issued To	Date	Drawn By	Checked
				MC	
3	Building and Safety Plan Check		09/23/22		

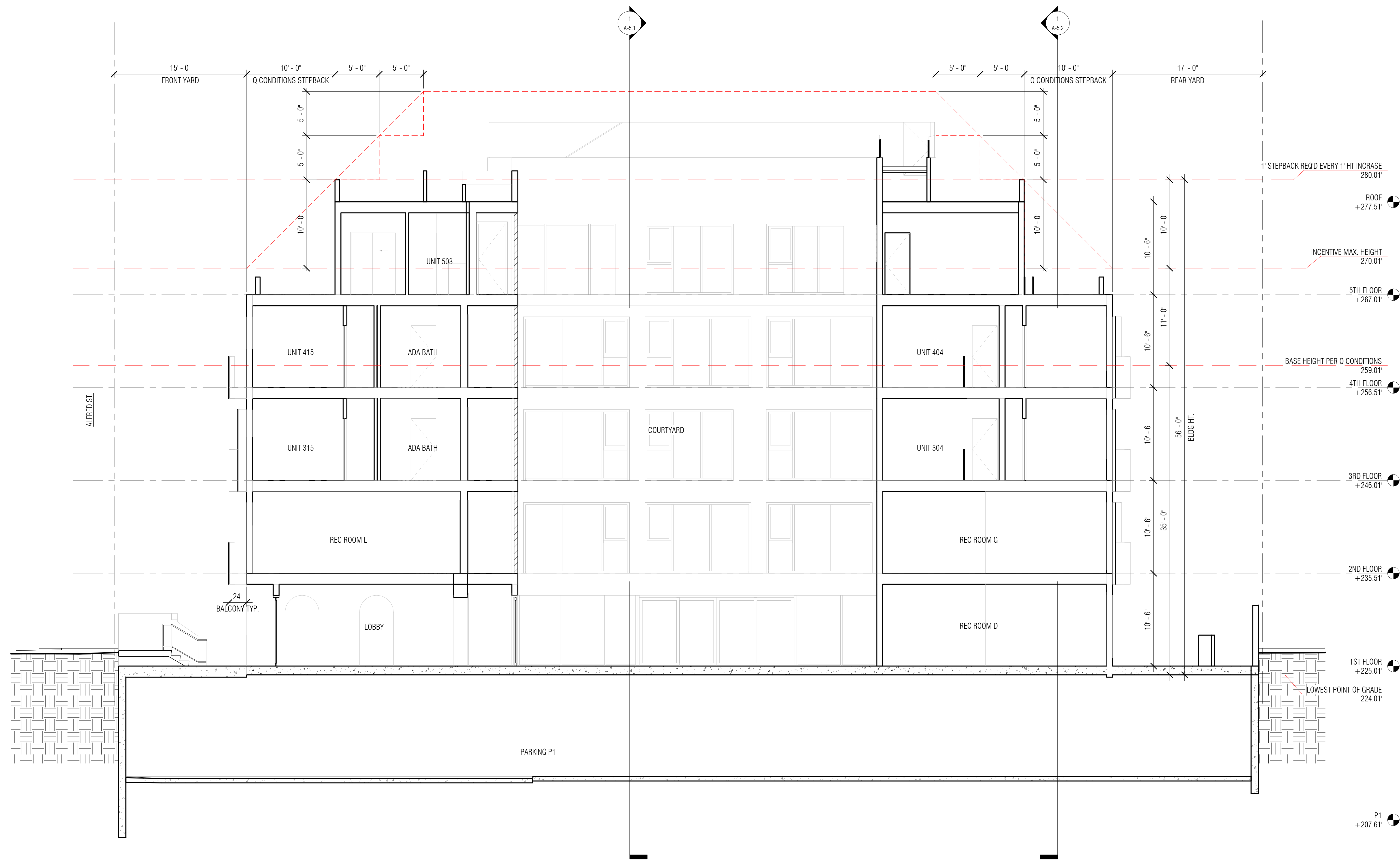
**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

ELEVATIONS

A-4.4

3/16" = 1'-0"



SECTION A-A  
 3/16" = 1'-0"



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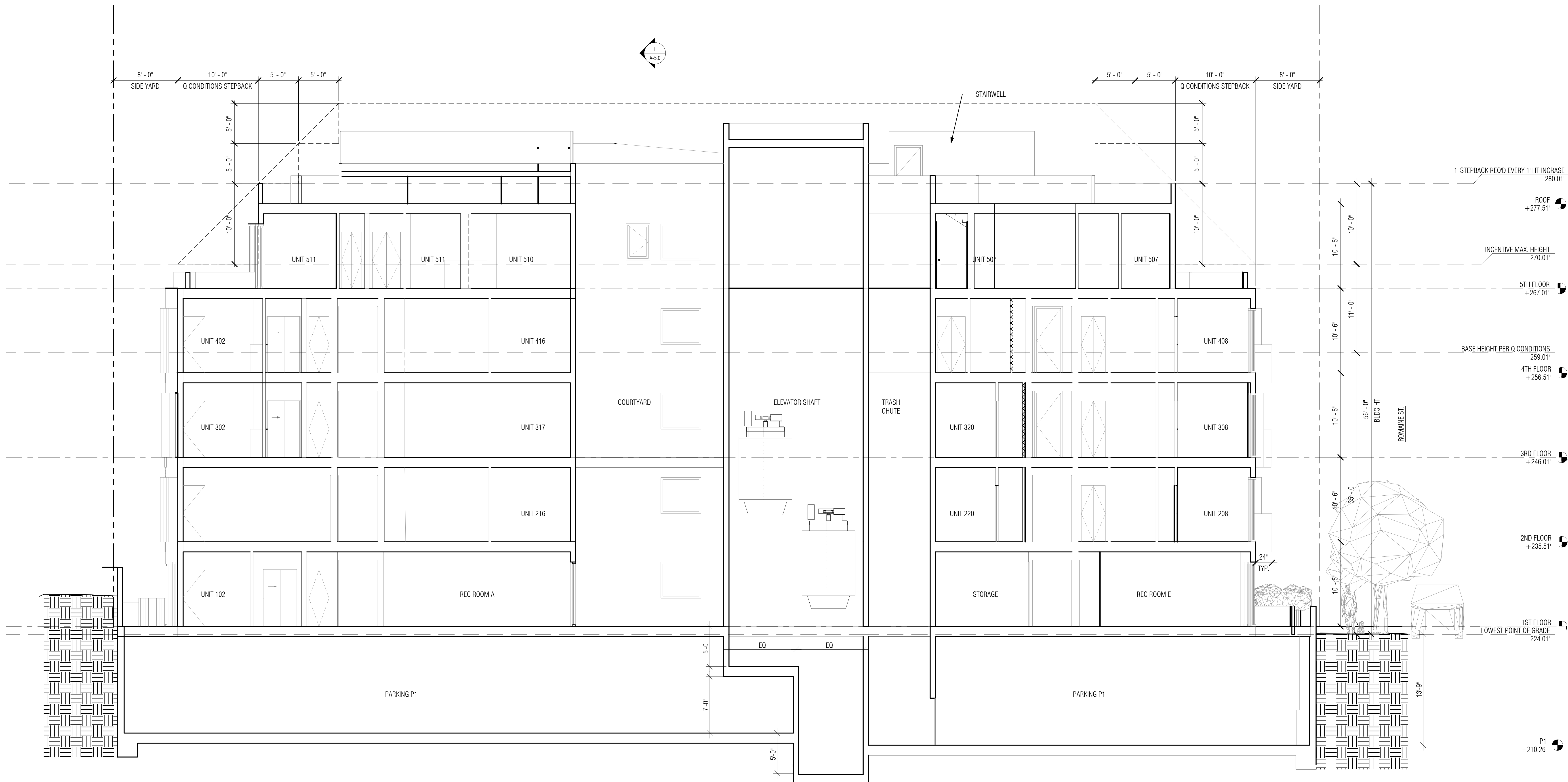
No.	Description	Date	Issued To	Drawn By	Checked By
3	Building and Safety Plan Check	10/23/22	MC		

**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

SECTION A-A

**A-5.0**  
 3/16" = 1'-0"



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Drawn by	MC	Checked by	Checker
Issued to			
Date	08/23/22		
No.	3	Description	Building and Safety Plan Check

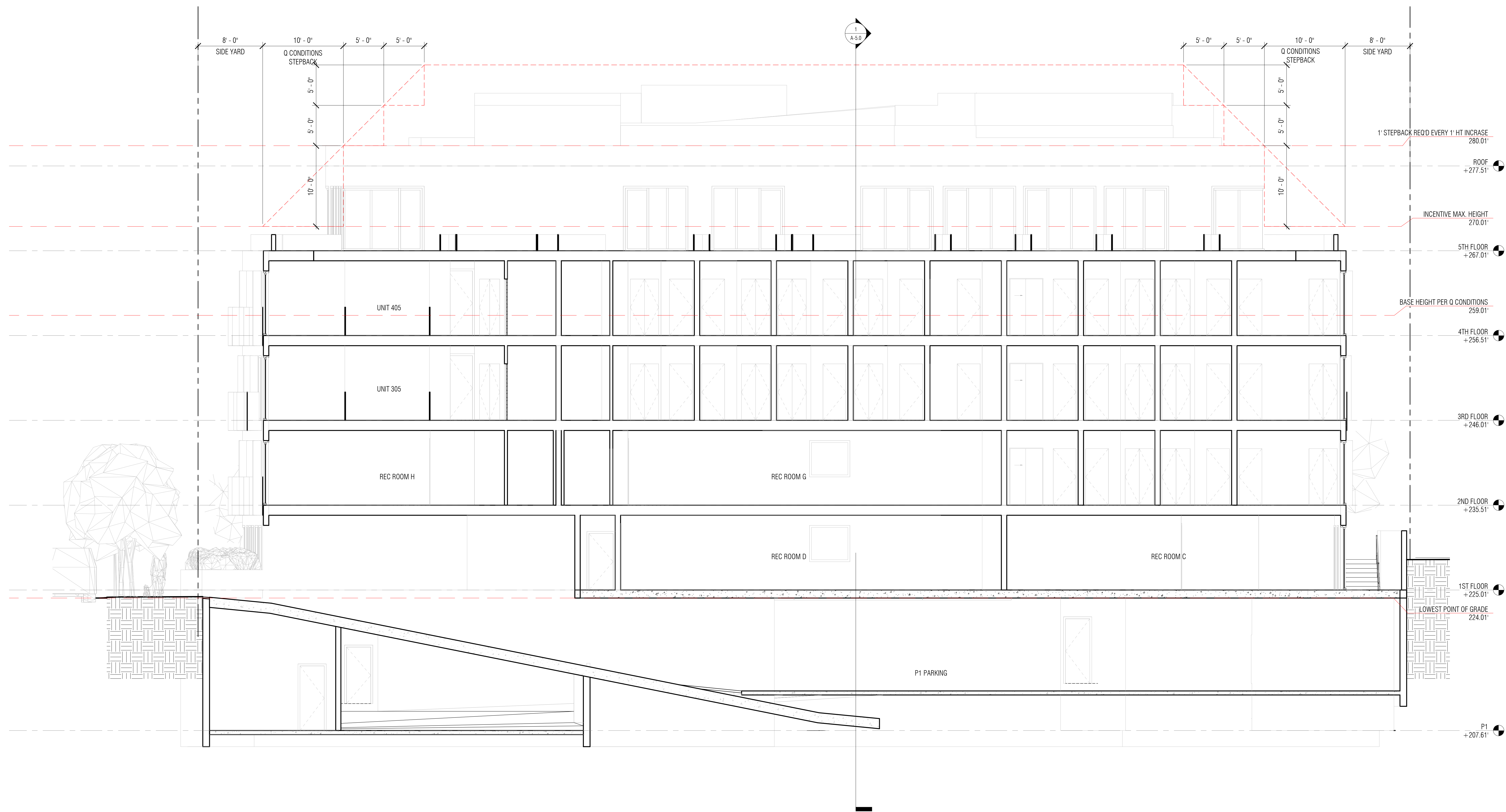
**Alfred Apartments**  
 11002 N. Alfred St.  
 Los Angeles, CA 90069

XXXXXX

SECTION B-B

**A-5.1**  
 3/16" = 1'-0"

SECTION B-B  
 3/16" = 1'-0"



SECTION C-C  
 3/16" = 1'-0"



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No.	Description	Date	Issued To	Checked By
3	Building and Safety Plan Check	10/23/22	MC	Check

**Alfred Apartments**  
 1002 N. Alfred St.  
 Los Angeles, CA 90069

10/31/22

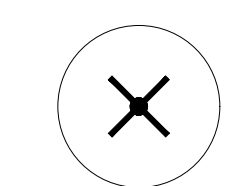
SECTION C-C

A-5.2  
 3/16" = 1'-0"



Category	Checked By
Design	
Drawings	
Site	
Plan	
Section	
Detail	
Construction	
Materials	
Dimensions	
Consultant/Client Reference List	
Plan Check	

TREE DISPOSITION LEGEND



EXISTING TREE TO  
BE REMOVED

BASIS OF BEARINGS.

THE BEARING NORTH 00° 45' EAST, ON THE SUBLINE  
OF CROFT AVENUE AS SHOWN ON TRACT NO. 5191, IN THE  
CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER  
MAP RECORDED IN BOOK 57, PAGES 85 AND 86, OF MAPS IN THE OFFICE OF THE COUNTY  
RECORDERS OF SAID COUNTY.

BENCHMARK.

BM 12-15738 (NAD 1983)  
DESCRIPTION: IRON SPARK 12-15738, 200' 4 FT N/O N  
CROFT AVENUE, 5 FT E/O BOR E/O WEST KNOLL  
BL. NW COR. CB.  
ELEV. = 238.82 FT.

LEGEND.

- APN = ASSESSOR'S PARCEL NUMBER
- A.C. = ASPHALT CONCRETE
- BM = BENCHMARK
- BW = BACK OF WALK
- BUD = BUILDING
- C.C. = CENTERLINE
- CONC. = CONCRETE
- COR. = CORNER
- CS = CRAWL SPACE
- EST. = ESTABLISH
- FB = FIELD BOOK
- FOUN = FOUND
- FF = FINISH FLOOR ELEV.
- FL = FLOWLINE ELEV.
- INT. = INTERSECTION
- LAT = LEAD & TACK
- M.B. = MAP BOOK
- OH = OVERHANG
- P.C. = PROPERTY CORNER
- P.L. = PROPERTY LINE
- P.O.L. = POINT ON LINE
- PROD. = PRODUCED (PROLONGED)
- REF. = REFERENCE
- REG. = REGISTERED CIVIL ENGINEER
- RSE = SPIKE & WASHER
- TOP. = TOP OF CURB ELEV.
- TR. = TRACT MAP
- TW = TOP OF WALL ELEV.
- N/O = NORTHERLY
- S/O = SOUTHERLY
- E/W = EASTERLY
- W/W = WESTERLY
- N/O = NORTH OF
- S/O = SOUTH OF
- E/O = EAST OF
- W/O = WEST OF

SYMBOLS.

- COLUMN
- GAS METER
- MANHOLE
- POWER POLE
- SIGN POST
- TREE
- WATER METER
- PROPERTY LINE
- CENTERLINE
- WALL LINE
- BUILDING LINE
- FENCE LINE
- OVERHEAD WIRE

LEGAL DESCRIPTION.

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE  
OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
LOT 183 OF TRACT 5191, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED  
IN BOOK 57, PAGES 85 AND 86 OF MAPS, IN THE OFFICE OF THE COUNTY  
RECORDERS OF SAID COUNTY.

REFERENCE DOCUMENT.

PER PRELIMINARY TITLE REPORT FROM FIDELITY NATIONAL TITLE COMPANY  
ORDER NO. 0036432-99A-IND-75  
DATED AS OF: APRIL 15, 2020

SCHEDULE B / EASEMENT(S).

NO EASEMENTS RECORDED IN REFERENCED PRELIMINARY TITLE REPORT.

LAND AREA.

CONTAINING AN AREA OF 6500.10 SQ. FT., OR 0.1492 ACRES, MORE OR LESS.

LEGAL DESCRIPTION.

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE  
OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
LOT 184, TRACT 5191, AS PER MAP RECORDED IN BOOK 57, PAGES 85 AND 86 OF  
MAPS, IN THE OFFICE OF THE COUNTY RECORDERS OF SAID COUNTY.

REFERENCE DOCUMENT.

PER PRELIMINARY TITLE REPORT FROM NORTH AMERICAN TITLE COMPANY  
ORDER NO. 01402-20-12400  
DATED AS OF: JULY 31, 2020

SCHEDULE B / EASEMENT(S).

4. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES IN THE  
DOCUMENT RECORDED AS/N BOOK 1443, PAGE 30, OFFICIAL RECORDS,  
PLOTTED HEREON.  
5. AN EASEMENT FOR POLE LINES, CONDUITS AND INCIDENTAL  
PURPOSES RECORDED AS/N BOOK 1497B, PAGE 77, OFFICIAL RECORDS,  
IN FAVOR OF THE CITY OF LOS ANGELES, AS SUCCESSOR TO LOS  
ANGELES GAS AND ELECTRIC CORPORATION  
AFFECTS OVER THE REAR 5 FEET OF SAID LAND  
- PLOTTED HEREON.

LAND AREA.

CONTAINING AN AREA OF 6500.22 SQ. FT., OR 0.1492 ACRES, MORE OR LESS.

LEGAL DESCRIPTION.

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE  
OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
LOT 185 OF TRACT 5191, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED  
IN BOOK 57, PAGES 85 AND 86 OF MAPS, IN THE OFFICE OF THE COUNTY  
RECORDERS OF SAID COUNTY.

REFERENCE DOCUMENT.

PER PRELIMINARY TITLE REPORT FROM NORTH AMERICAN TITLE COMPANY  
ORDER NO. 01402-20-12404  
DATED AS OF: JUNE 15, 2020

SCHEDULE B / EASEMENT(S).

5. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE  
DOCUMENT RECORDED AS/N BOOK 1443, PAGE 30, OFFICIAL RECORDS,  
WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR  
RENDER INVALID THE LEND OF ANY FIRST MORTGAGE OR DEED OF TRUST  
MADE IN 2000 FAITH AND FOR VALUE, BUT OUTLITING ANY COVENANTS  
OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED  
UPON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER  
EXPRESSION, SEXUAL ORIENTATION, MARITAL STATUS, NATIONAL ORIGIN,  
ANCESTRY, FAMILIAL STATUS, SOURCE OF INCOME, DISABILITY, VETERAN  
OR MILITARY STATUS, CREDBY INFORMATION, MEDICAL CONDITION,  
CITIZENSHIP, PRIMARY LANGUAGE, AND IMMIGRATION STATUS, AS SET  
FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT  
THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW,  
AS SET FORTH IN THE DOCUMENT.  
- PLOTTED HEREON.

LAND AREA.

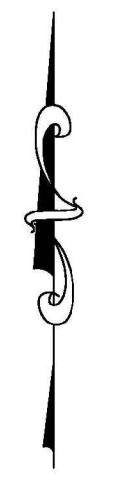
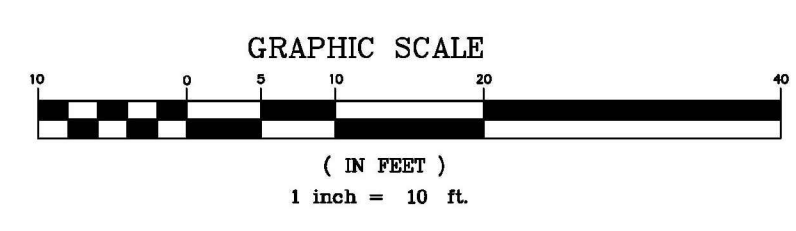
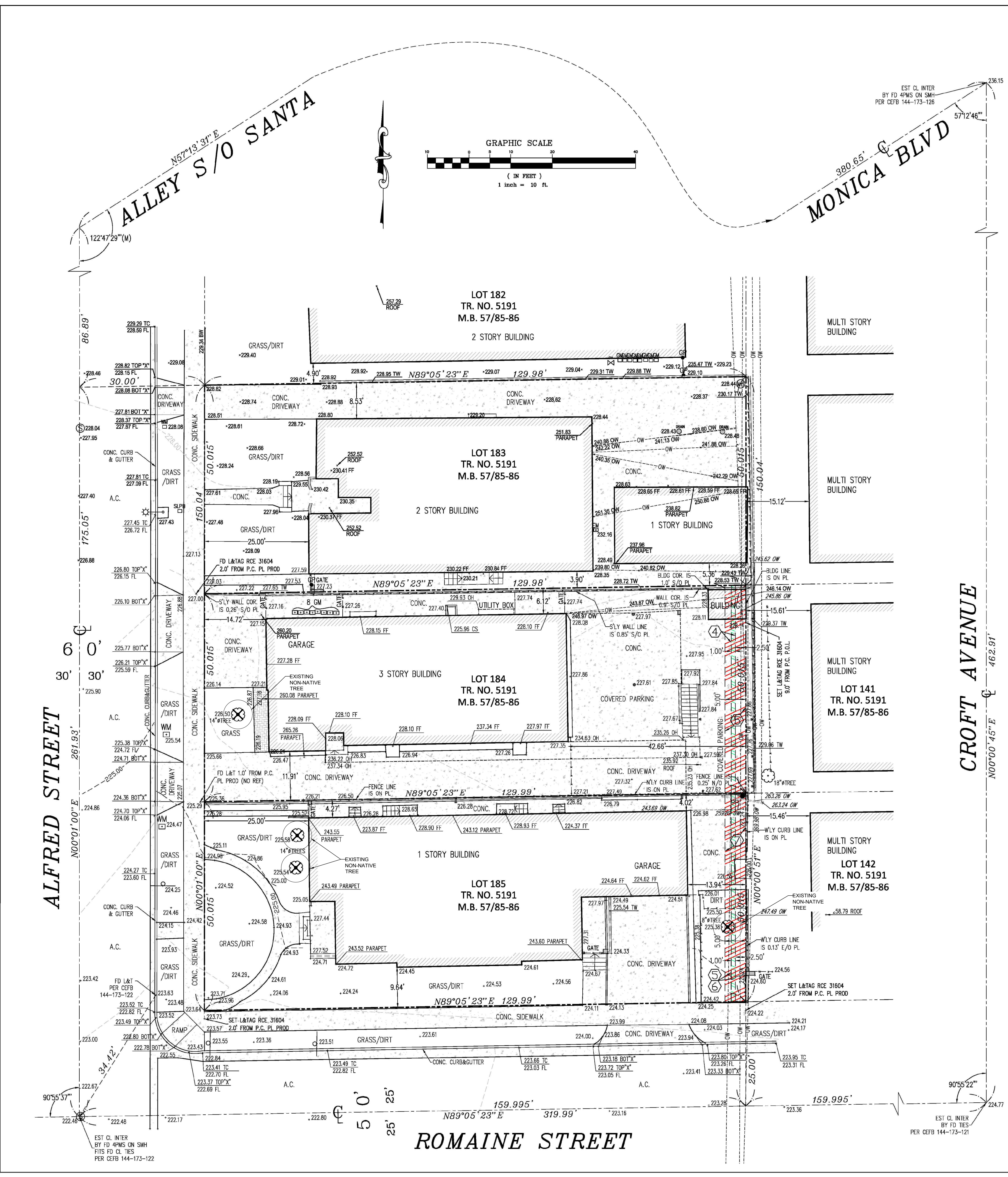
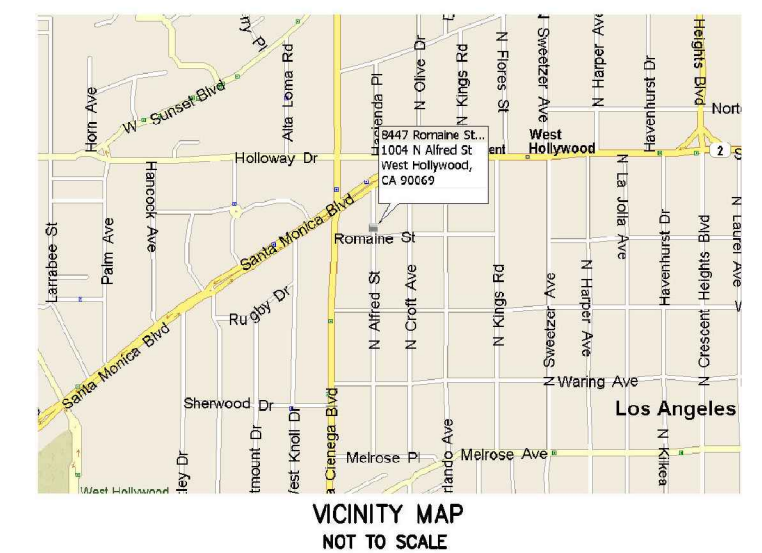
CONTAINING AN AREA OF 6500.33 SQ. FT., OR 0.1492 ACRES, MORE OR LESS.

LEGAL DESCRIPTION.

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE  
OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
LOT 142 OF TRACT 5191, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED  
IN BOOK 57, PAGES 85 AND 86 OF MAPS, IN THE OFFICE OF THE COUNTY  
RECORDERS OF SAID COUNTY.

LAND AREA.

CONTAINING AN AREA OF 6500.33 SQ. FT., OR 0.1492 ACRES, MORE OR LESS.

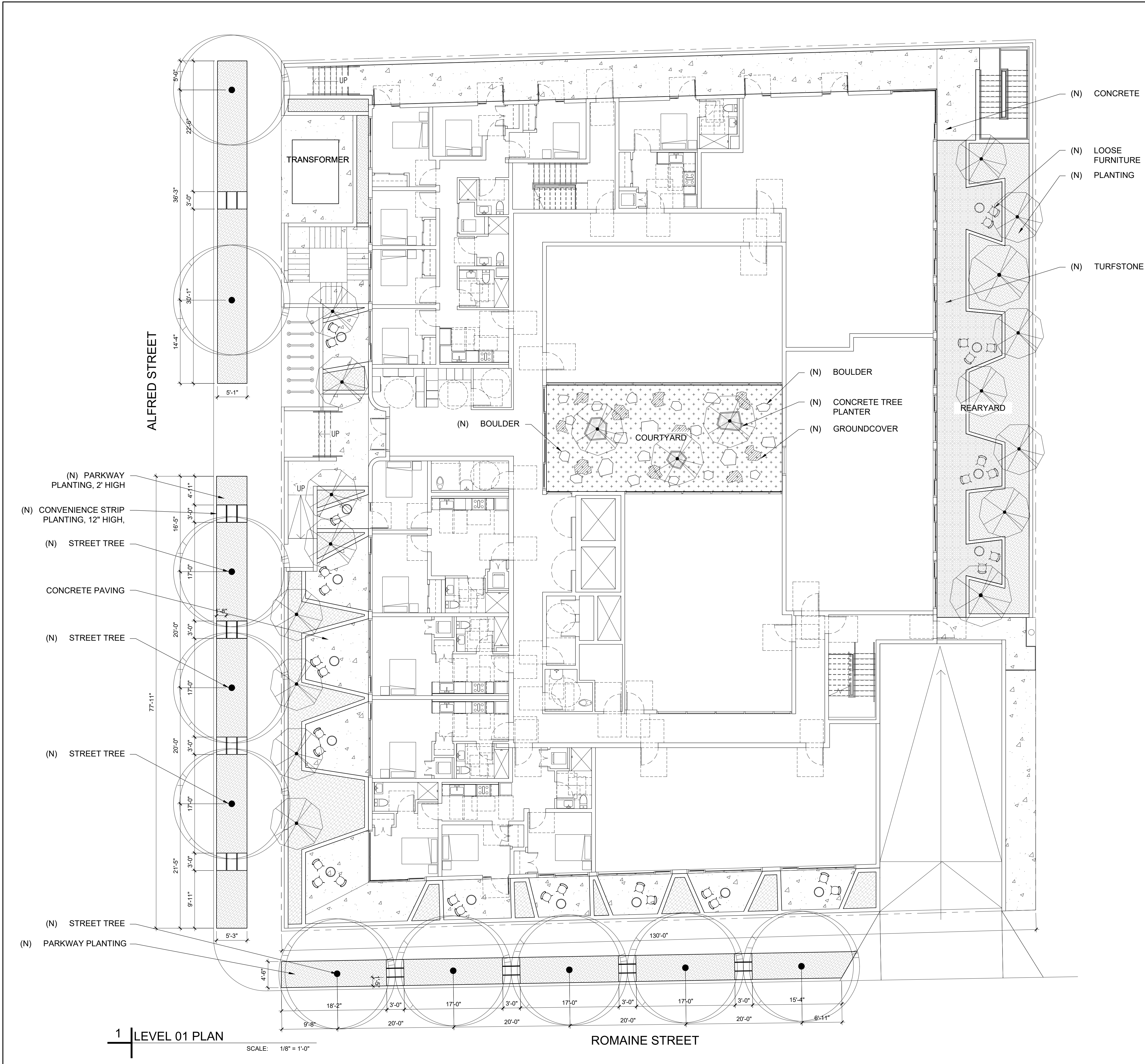


M&G CIVIL ENGINEERING AND  
LAND SURVEYING

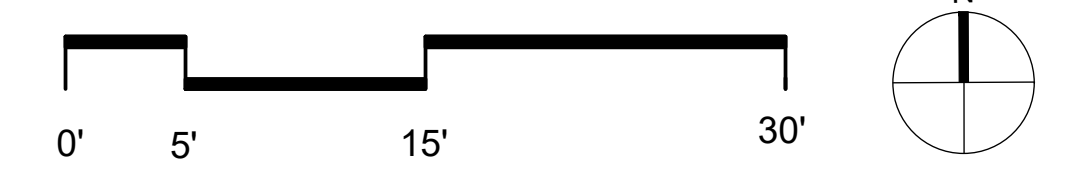
TITLE: TOPOGRAPHIC SURVEY  
8447 ROMANE STREET & 1002 & 1004 ALFRED STREET, WEST HOLLYWOOD, CA 90069  
CLIENT: BRENNEN HANXMAN  
SCALE: 1" = 10'  
DESIGNED BY: P.G. / AG  
DRAWN BY: MC  
CHECKED BY: C.D.L.  
JOB NO.: 20-18734  
DATE: 12/2/2021  
REVISION (S):  
447 S. ROBERTSON BLVD.  
BEVERLY HILLS, CALIFORNIA 90211  
TEL: (310) 859-0871 FAX: (310) 859-0845  
info@mgsurvey.com www.mgsurvey.com  
SHEET 1 OF 1 SHEET



SYMBOL	KEY	ITEM	MANUFACTURER	COLOR/FINISH	SIZE	REMARKS
[Symbol]	M-1	SHREDDED BARK MULCH		DARK BROWN	3" DEEP	ALL PLANTED AREAS
[Symbol]	M-2	TURFSTONE		GRAY	24X16	REAR YARD
[Symbol]	M-3	CONCRETE PAVING		SRI 0.30 NATURAL GREY SAND FINISH		GROUND LEVEL
[Symbol]	M-4	WOOD PAVING				6TH LEVEL
[Symbol]	M-5	GRAVEL		GRAY		REAR YARD



1 LEVEL 01 PLAN  
 SCALE: 1/8" = 1'-0"



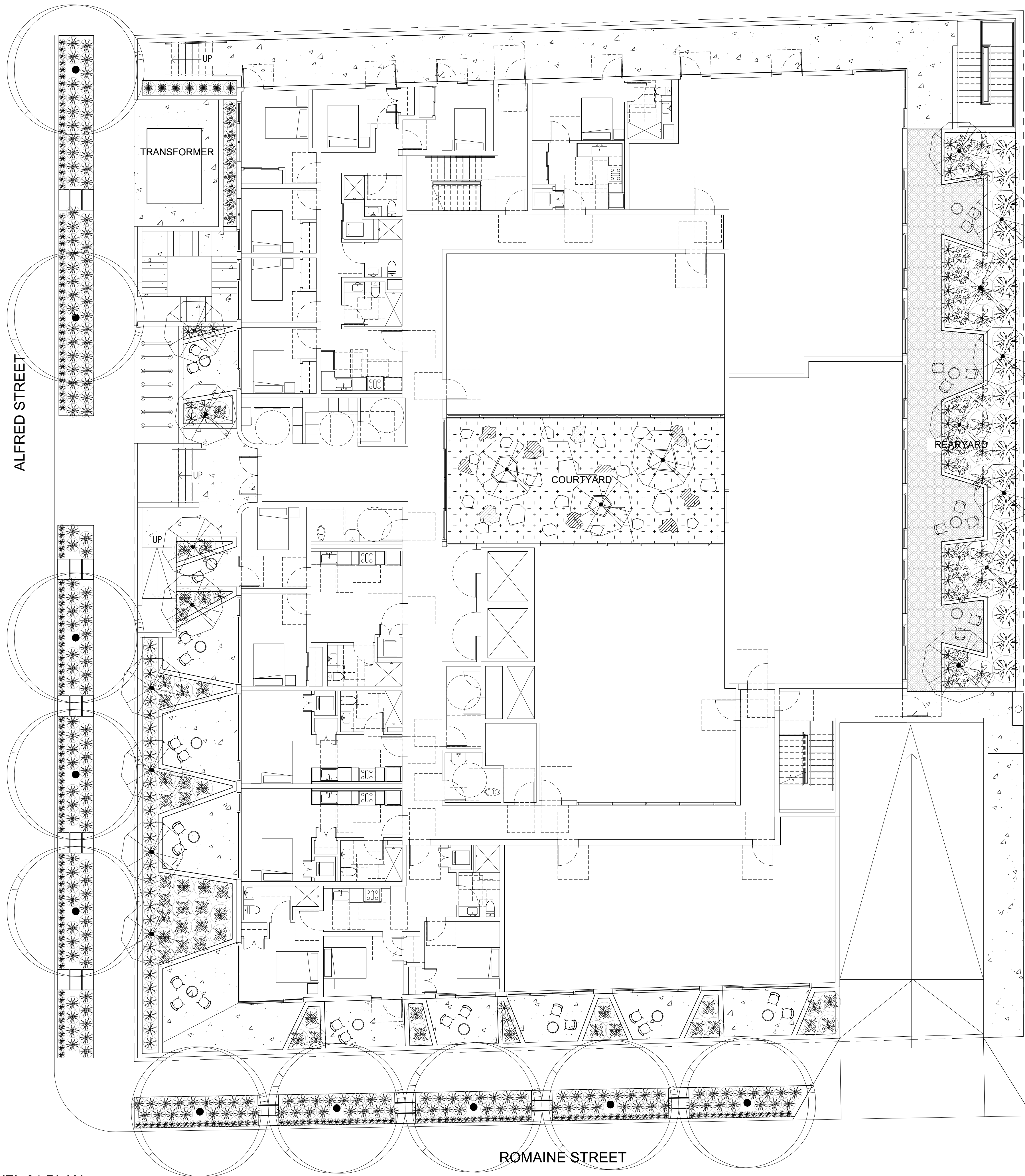
LANDSCAPE ARCHITECT  
 TINA CHEE  
 LANDSCAPE STUDIO  
 1800 SOUTH BRAND  
 BLVD. #212  
 GLENDALE, CA 91204  
 T: 323 691 6647  
 W: WWW.TCLSTUDIO.NET  
 E: TCHEE@TCLSTUDIO.NET

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Category	Created By
Design	
Drawings	
Site	
Date	01/03/2023
Revised	08/03/2023
Design/Prep	
Consultant/Reference Set	
For/Check	

Alfred Apartments  
 1002 N. ALFRED ST.  
 LOS ANGELES, CA  
 90069





1 | LEVEL 01 PLAN  
SCALE: 1/8" = 1'-0"

PLANTING LEGEND						
IMAGE	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING	SIZE
<b>UNDERSTORY</b>						
		LOMANDRA LONGIFOLIA	DWARF MATT RUSH	12	4'-0"	5G
		CAREX DIVULSA	BERKELEY SEDGE	220	1'-0"	1G
		ACACIA COGNATA	COUSIN ITT ACACIA	50	3'-0"	5G
		ASPENIUM AUSTRAL GEM	AUSTRAL GEM BIRD'S NEST FERN	15	3'-0"	15G
		NEPHROLEPIS CORDIFOLIA 'CALIFORNIA'	CALIFORNIA UPRIGHT SWORD FERN	9	2'-0"	5G
		DIABELLA TASMUNICA	TASMANIAN FLAX LILY	7	2'-0"	5G
		CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	63	2'-0"	5G
		BAMBUSA OLDHAMII	GIANT TIMBER BAMBOO	20	4'-0"	15G
		AGAVE GEMIFLORA	TWIN FLOWERED AGAVE	29	2'-0"	5G
		AGAVE DESMITIANA	SMOOTH AGAVE	32	2'-0"	5G
		KALANCHOE BEHARENSIS	VELVET ELEPHANT EAR SHRUB	12	4'-0"	5G
		KALANCHOE LUCIAE	FLAP JACK	228	1'-0"	1G
		CRASSULA PERFOLIATA VAR. FALCATA	PROPELLER PLANT	380	1'-0"	1G
		ECHEVERIA SP.	CHICKS AND HENS	413	1'-0"	1G
		AEONIUM SP.	GREEN SAUCER	407	1'-0"	1G
		SENECIO RADICANS	FISH HOOKS VINE	378	1'-0"	1G
		FESTUCA MAIREI	ATLAS FESCUE	189	2'-0"	1G
		PELLAEA ROTUNDFOLIA	BUTTON FERN		1'-6"	1G
<b>TREE</b>						
		PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PODOCARPUS	17	10'-0"	24" BOX
		ALOE BAINESII	ALOE TREE	19	6'-0"	24" BOX
			STREET TREE PER URBAN FORESTRY SELECTION	10		24" BOX

wtarch  
Warren Technin Architecture, Inc  
2801 Hyperion ave, studio #103  
Los Angeles, CA 90027  
T: 323.664.4500  
F: 323.664.4544  
www.wtarch.com

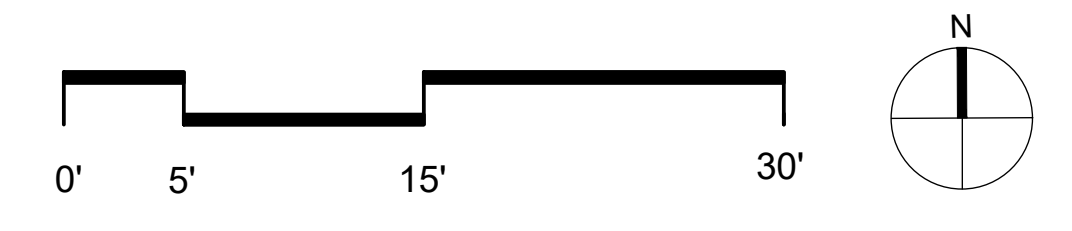
**EXHIBIT "A"**  
Page No. 22 of 26  
Case No. ADM-2022-6793-DB-HCA

LANDSCAPE ARCHITECT  
TINA CHEE  
LANDSCAPE STUDIO  
1808 SOUTH BRAND  
BLVD. #212  
GLENDALE, CA 91204  
T: 323.691.6647  
W: WWW.TCLSTUDIO.NET  
F: THE@TCLSTUDIO.NET

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Alfred Apartments  
1002 N ALFRED ST.  
LOS ANGELES, CA 90069

LANDSCAPE PLANT PLAN - LEVEL 01  
**L-1.11**

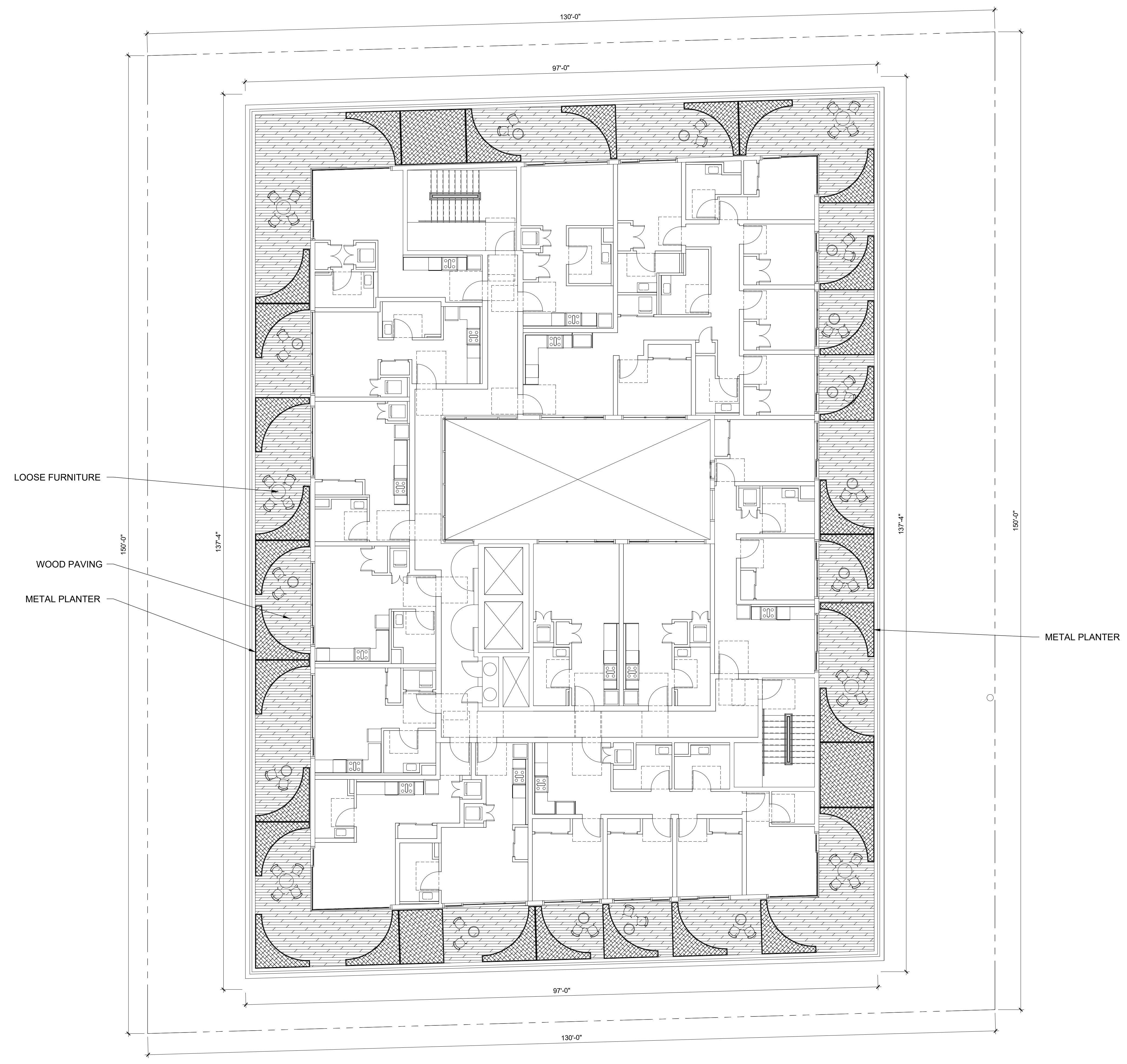




SYMBOL	KEY	ITEM	MANUFACTURER	COLOR/FINISH	SIZE	REMARKS
	M-1	SHREDDED BARK MULCH		DARK BROWN	3" DEEP	ALL PLANTED AREAS
	M-2	TURFSTONE		GRAY	24X16	REAR YARD
	M-3	CONCRETE PAVING		SRI 0.30 NATURAL GREY SAND FINISH		GROUND LEVEL
	M-4	WOOD PAVING				6TH LEVEL
	M-5	GRAVEL		GRAY		REAR YARD

wtarch  
 Warren Techenin Architecture, Inc.  
 2801 Hyperion Ave. Studio #103  
 Los Angeles, CA 90027  
 P: 323.664.4500  
 F: 323.664.4544  
 www.wtarch.com

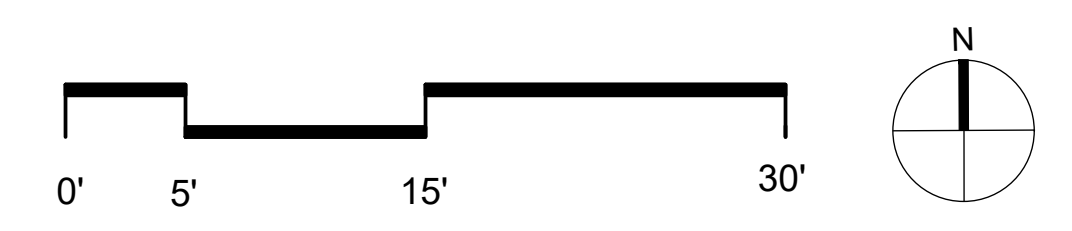
**EXHIBIT "A"**  
 Page No. 23 of 26  
 Case No. ADM-2022-6793-DB-HCA



LOOSE FURNITURE  
 WOOD PAVING  
 METAL PLANTER

METAL PLANTER

1 LEVEL 05 PLAN  
 SCALE: 1/8" = 1'-0"



LANDSCAPE ARCHITECT  
 TINA CHEE  
 LANDSCAPE STUDIO  
 1800 SOUTH BRAND  
 BLVD. #212  
 GLENDALE, CA 91204  
 T: 323.691.6647  
 W: WWW.TCLSTUDIO.NET  
 E: TCHEE@TCLSTUDIO.NET

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Category	Revised By	Revised Date
Design		
Consultant Reference Set		
Permit/Plan		

Alfred Apartments  
 1002 N. ALFRED ST.  
 LOS ANGELES, CA 90069

LANDSCAPE LAYOUT  
 PLAN - LEVEL 05

L-1.50

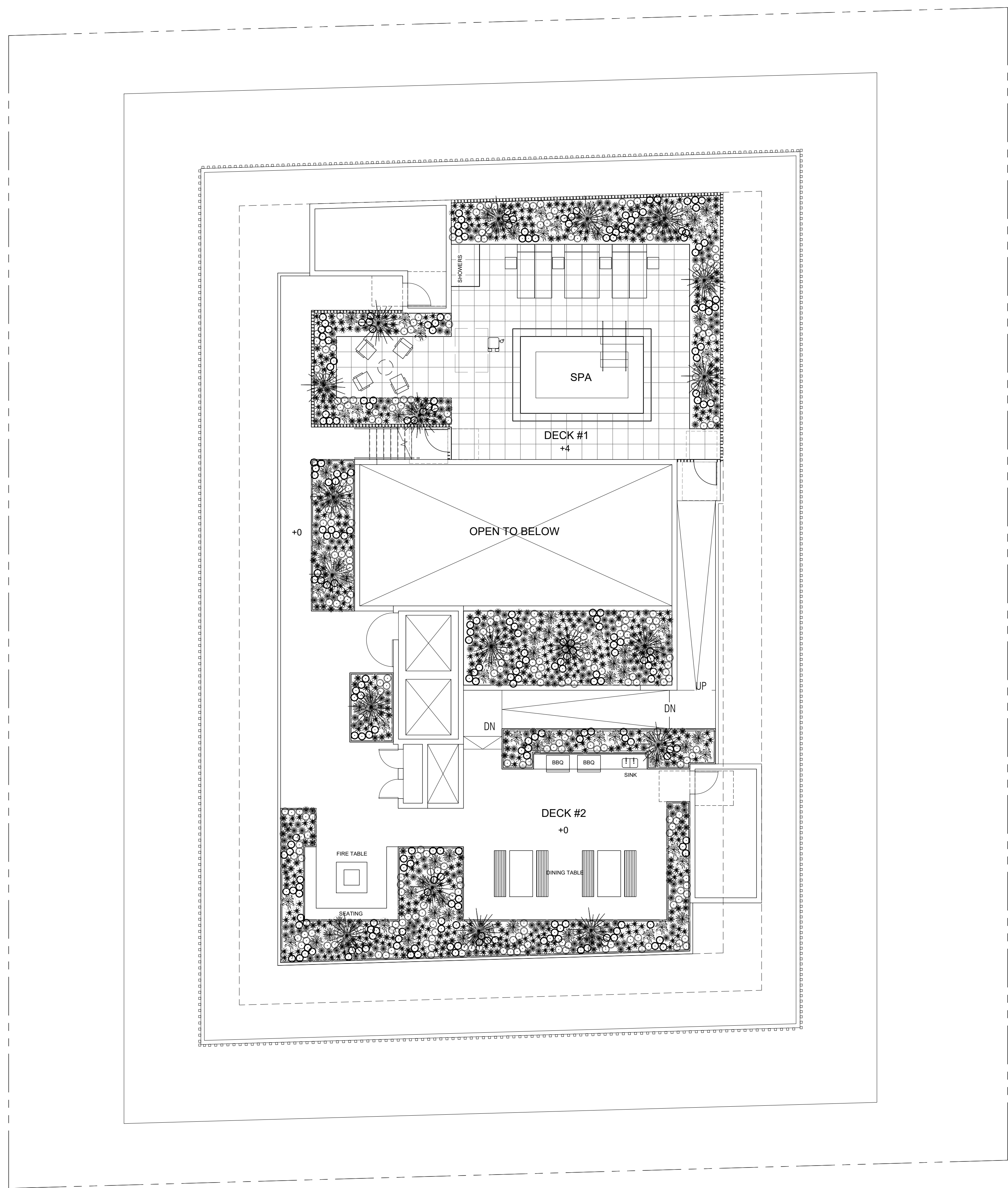










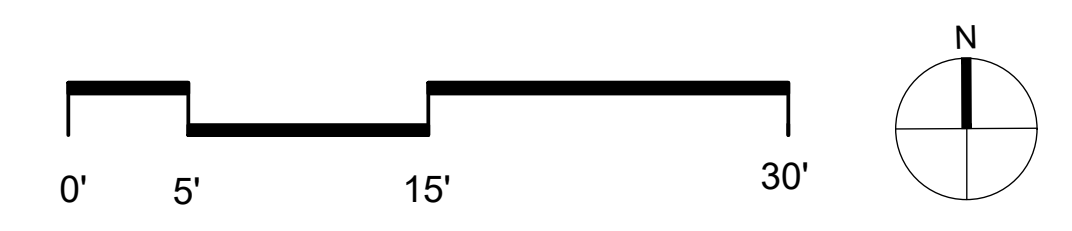


PLANTING LEGEND						
IMAGE	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING	SIZE
<b>UNDERSTORY</b>						
		LOMANDRA LONGIFOLIA	DWARF MATT RUSH	12	4'-0"	5G
		CAREX DIVULSA	BERKELEY SEDGE	220	1'-0"	1G
		ACACIA COGNATA	COUSIN ITT ACACIA	50	3'-0"	5G
		ASPLENIUM AUSTRAL GEM	AUSTRAL GEM BIRD'S NEST FERN	15	3'-0"	15G
		NEPHROLEPIS CORDIFOLIA 'CALIFORNIA'	CALIFORNIA UPRIGHT SWORD FERN	9	2'-0"	5G
		DIANELLA TASMANICA	TASMANIAN FLAX LILY	7	2'-0"	5G
		CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	63	2'-0"	5G
		BAMBUSA OLDHAMII	GIANT TIMBER BAMBOO	20	4'-0"	15G
		AGAVE GEMIFLORA	TWIN FLOWERED AGAVE	29	2'-0"	5G
		AGAVE DESMIIANA	SMOOTH AGAVE	32	2'-0"	5G
		KALANCHOE BEHARENSIS	VELVET ELEPHANT EAR SHRUB	12	4'-0"	5G
		KALANCHOE LUCIAE	FLAP JACK	228	1'-0"	1G
		CRASSULA PERIFOLIATA VAR. FALCATA	PROPELLER PLANT	380	1'-0"	1G
		ECHVEERIA SP.	CHICKS AND HENS	413	1'-0"	1G
		AENONIUM SP.	GREEN SAUCER	407	1'-0"	1G
		SENECIO RADICANS	FISH HOOKS VINE	378	1'-0"	1G
		FESTUCA MAIREI	ATLAS FESQUE	189	2'-0"	1G
		PELLAEA ROTUNDFOLIA	BUTTON FERN		1'-6"	1G
<b>TREE</b>						
		PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PODOCARPUS	17	10'-0"	24" BOX
		ALOE BAINESII	ALOE TREE	19	6'-0"	24" BOX
		STREET TREE PER URBAN FORESTRY SELECTION		10		24" BOX

LANDSCAPE ARCHITECT  
 TINA CHEE  
 LANDSCAPE STUDIO  
 1808 SOUTH BRAND  
 BLVD #212  
 GLENDALE, CA 91204  
 T: 323.691.6647  
 W: WWW.TCLSTUDIO.NET  
 E: TCHEE@TCLSTUDIO.NET

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1 LEVEL 06 PLAN  
 SCALE: 1/8" = 1'-0"



Alfred Apartments  
 1002 N ALFRED ST.  
 LOS ANGELES, CA 90069

LANDSCAPE PLANT PLAN - LEVEL 06

L-1.61

ADM-2022-6793-DB-HCA-1A  
1000-1014 North Alfred Street, 8445-8447 West Romaine Street

EXHIBITS

**B – APPEAL DOCUMENTS**





**APPLICATIONS:**

**APPEAL APPLICATION**

Instructions and Checklist

**Related Code Section:** Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

**Purpose:** This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

**A. APPELLATE BODY/CASE INFORMATION**

**1. APPELLATE BODY**

- Area Planning Commission     City Planning Commission     City Council     Director of Planning
- Zoning Administrator

Regarding Case Number: ADM-2022-6793-DB-HCA

Project Address: 1000-1014 North A;fred St, 8445-8447 West Romaine St.

Final Date to Appeal: 02/09/2023

**2. APPELLANT**

**Appellant Identity:**  
(check all that apply)

- Representative     Property Owner
- Applicant     Operator of the Use/Site

Person, other than the Applicant, Owner or Operator claiming to be aggrieved

Person affected by the determination made by the Department of Building and Safety

- Representative     Owner     Aggrieved Party
- Applicant     Operator

**3. APPELLANT INFORMATION**

Appellant's Name: Suzanne Zachary

Company/Organization: SDZ Properties LLC

Mailing Address: 371 Brockmont Dr.

City: Glendale    State: CA    Zip: 91202

Telephone: (818) 620-1293    E-mail: sdz@pacbell.net

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company?

- Self     Other: \_\_\_\_\_

b. Is the appeal being filed to support the original applicant's position?     Yes     No



**4. REPRESENTATIVE/AGENT INFORMATION**

Representative/Agent name (if applicable): \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**5. JUSTIFICATION/REASON FOR APPEAL**

a. Is the entire decision, or only parts of it being appealed?  Entire  Part

b. Are specific conditions of approval being appealed?  Yes  No

If Yes, list the condition number(s) here: 7, 52

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

**6. APPLICANT'S AFFIDAVIT**

I certify that the statements contained in this application are complete and true:

Appellant Signature: *[Signature]*

Date: 2/9/2023

**GENERAL APPEAL FILING REQUIREMENTS**

**B. ALL CASES REQUIRE THE FOLLOWING ITEMS - SEE THE ADDITIONAL INSTRUCTIONS FOR SPECIFIC CASE TYPES**

**1. Appeal Documents**

a. **Three (3) sets** - The following documents are required for each appeal filed (1 original and 2 duplicates) Each case being appealed is required to provide three (3) sets of the listed documents.

- Appeal Application (form CP-7769)
- Justification/Reason for Appeal
- Copies of Original Determination Letter

**b. Electronic Copy**

Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload materials during filing and return the flash drive to you) or a CD (which will remain in the file). The following items must be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification/Reason Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size.

**c. Appeal Fee**

- Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original application receipt(s) to calculate the fee per LAMC Section 19.01B 1.
- Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1.

**d. Notice Requirement**

- Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC
- Mailing Fee - The appeal notice mailing fee is paid by the project applicant, payment is made to the City Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.

**G. NUISANCE ABATEMENT**

**1. Nuisance Abatement - Appeal procedure for Nuisance Abatement per LAMC Section 12.27.1 C 4**

**NOTE:**

- Nuisance Abatement is only appealable to the City Council.

**a. Appeal Fee**

Aggrieved Party the fee charged shall be in accordance with the LAMC Section 19.01 B 1.

**2. Plan Approval/Compliance Review**

Appeal procedure for Nuisance Abatement Plan Approval/Compliance Review per LAMC Section 12.27.1 C 4.

**a. Appeal Fee**

Compliance Review - The fee charged shall be in accordance with the LAMC Section 19.01 B.

Modification - The fee shall be in accordance with the LAMC Section 19.01 B.

**NOTES**

*A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.*

*Please note that the appellate body must act on your appeal within a time period specified in the Section(s) of the Los Angeles Municipal Code (LAMC) pertaining to the type of appeal being filed. The Department of City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.*

This Section for City Planning Staff Use Only		
Base Fee: \$ 158.00	Reviewed & Accepted by (DSC Planner): Dang Nguyen City Planner	Date: 2-9-23
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)



**SPECIFIC CASE TYPES - APPEAL FILING INFORMATION**

**C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)**

**1. Density Bonus/TOC**

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

**NOTE:**

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.
- Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

**D. WAIVER OF DEDICATION AND OR IMPROVEMENT**

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

**NOTE:**

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

**E. TENTATIVE TRACT/VESTING**

**1. Tentative Tract/Vesting** - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

- Provide a copy of the written determination letter from Commission.

**F. BUILDING AND SAFETY DETERMINATION**

- 1. Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.**

**a. Appeal Fee**

- Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

**b. Notice Requirement**

- Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

- 2. Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.**

**a. Appeal Fee**

- Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

**b. Notice Requirement**

- Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.

**Suzanne D. Zachary, Ph.D.**  
**SDZ Properties LLC**  
**371 Brockmont Dr.**  
**Glendale, CA 90202**  
**(818) 620-1293**  
[sdz@pacbell.net](mailto:sdz@pacbell.net)

February 8, 2023

Department of City Planning

Re: Appeal from Determination  
Case No.: ADM-2022-6793-DB-HCA  
Application Type: Density Bonus  
Location: 1000-1014 North Alfred St., 8445-8447 West Romaine St.  
Plan Area: Hollywood  
Plan Overlay: Melrose Q Condition Overlay  
Council District: 5 – Yaroslavsky

Dear Reader:

I am the owner of the building at 1001-1003.5 North Alfred St., directly across the street from the proposed building to be built at 1000 -1014 North Alfred (the "Building"). I disagree with and appeal from the determination of the Department of City Planning dated January 26, 2023, to approve an 11-foot increase in the height of the building to permit a maximum building height of 56 feet in lieu of the 45 feet otherwise permitted. I also disagree with and appeal from the determination to allow an increase in Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted.

Maximum Height:

The Building will be constructed on the corner of North Alfred St. and Romaine St. There is no other building on either side of North Alfred north of Romaine that is taller than 45 feet. In fact, to the best of my knowledge, there is no other building on North Alfred south of Santa Monica Boulevard whose height exceeds 45 feet. The buildings on North Alfred north and south of Romaine all are charming, older buildings, none of which are taller than 45 feet. Thus, the Building will be 25% taller than both its immediate neighbors and every other building on North Alfred. Simply put, the Building will be totally out of character with the neighborhood.

Having such a large building dominating the skyline of the area directly facing my building undoubtedly will impact negatively the value of my property and other property owners on North Alfred because the Building will be so out of sync with the other

structures. It will reduce the amount of daylight that illuminates the apartments in my building that face North Alfred and will reduce the quality of life of my tenants in those apartments. I applaud the desire of the builder to include six units for Very Low-Income tenants, but, with a proposed 67 dwelling units, the low-income apartments will represent only .009% of the total units to be built. It does not seem to be very fair to the surrounding building owners to allow the applicant to overwhelm the look and feel of the neighborhood just to add six VLI units. Put another way, by permitting the applicant to increase his building size by 11 feet, he will be able to occupy his building with tenants in 61 units paying market rates.

Another significant problem with the proposed Building is that the builder is not required to provide adequate parking for the proposed 67 residential units. Paragraph 8 of the Conditions of Approval requires only that there be "0.5 spaces per unit for all residential units". Half of a parking space for each apartment! While the six VLI tenants may not have cars (a very dubious assumption in Los Angeles.), I think it is fair to assume that most, if not every, tenant in the building will have at least one full-size vehicle because, in my experience as a long-time North Alfred Street landlord, the number of cars correlates directly to the number of bedrooms in each unit. Since the Building will have 119 bedrooms (see Project Background, Page 7, Paragraph 4), this means the tenants of Building will have at least 113 cars that will require parking, yet the builder must have only 30 spaces, leaving 83 car owners to compete for spaces on the already jammed streets in the neighborhood. Presently, after 5 PM on weekdays and for both days of the weekends, it is almost impossible to find a place to park anywhere on North Alfred or Romaine. Even with Permit Only Parking, the streets will be overwhelmed by the number of residents seeking parking spaces.

Finally, for all the reasons mentioned in the preceding paragraph, approval of a building with this many units will have a dramatically negative impact on traffic flow and congestion on North Alfred and Romaine. There will be a minimum of 61 additional vehicles entering and leaving the Building, and, as shown in the last paragraph, the actual number is likely to be at least 113. The determination by the Department of City Planning does not address, much less suggest how to mitigate, the unavoidable increase in the number of cars that this Building will cause.

My analysis focuses on the occupants of the Building, but the traffic and parking situation will be exacerbated because it is beyond peradventure that the tenants of the Building will frequently have guests. In Los Angeles, this means people arriving in the neighborhood in cars looking for places to park, increasing congestion and hampering traffic flow. And if these guests nab one of the few available parking places on North Alfred or Romaine, those people who live in the neighboring buildings will be forced to



park further and further from their homes. The increased traffic and congestion will negatively impact my tenants and my ability to successfully rent the apartments in my Rent Stabilized Building.

Floor Area Ratio:

Allowing for an increased Floor Ratio Area also disturbs the lifestyle and ambience of N. Alfred Street south of Santa Monica Boulevard. The first block South of Santa Monica Boulevard is lined with 1920s era four and sixplexes. These homes have green space in front of the building and in back. My building, for example, has a sizable back area with grass and trees and the front area is a deep set back with grass and bushes. The sidewalks are shaded by mature trees, which promote a neighborhood feel with an appropriate human scale. I am not a large property owner. My fourplex is my only income property and I rely on it to fund my retirement. A tall, oversized for the lot building directly across the street jeopardizes my peace of mind and my ability to fund my retirement and maintain myself for the long term. I do not see this building as an enhancement to the area.

Since increased Floor Area Ratio directly leads to an increase in the number of rental units, I also request that the ratio remain at 3:1 in the hopes that the Building and its tenants are seen as an asset rather than a liability to the street.

It's my hope that the Planning Commission is concerned with quality-of-life development in addition to increased living units.

All the problems detailed in the preceding sections will be exacerbated if the proposed Building is permitted to increase the Floor Area Ratio from 3:1 to 3.72:1.

Conclusion:

For all the reasons set forth in this appeal, I disagree with an object to the decision of the Department of City Planning to approve the Density Bonus for the proposed building at 1000-1014 N. Alfred St. and request that the proposed determination be rejected. The Building should only be permitted to be 45 feet in height with a Floor Area Ratio of 3:1.

Respectfully submitted,



Suzanne D Zachary, Ph.D.

ADM-2022-6793-DB-HCA-1A  
1000-1014 North Alfred Street, 8445-8447 West Romaine Street

EXHIBITS

**C – ADMINISTRATIVE DETERMINATION, ADM-2022-6793-DB-HCA**

DEPARTMENT OF  
CITY PLANNING  
COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

HELEN CAMPBELL  
JENNA HORNSTOCK  
HELEN LEUNG  
KAREN MACK  
DANA M. PERLMAN

CITY OF LOS ANGELES  
CALIFORNIA



KAREN BASS  
MAYOR

EXECUTIVE OFFICES  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

January 26, 2023

**Applicant**

Brennen Hakimian  
Brennen Hakimian Holdings LLC  
325 N. Maple Dr, Space 2743  
Los Angeles, CA 90210

**Owner**

BHB Westwood Apts., LLC  
10250 Constellation Blvd., Space 2700  
Los Angeles, CA 90067

**Representative**

Warren Techentin  
Warren Techentin Architecture  
2801 Hyperion Avenue, Space 103  
Los Angeles, CA 90027

**Case Number:** ADM-2022-6793-DB-HCA  
Density Bonus

**Application Type:** 1000-1014 North Alfred  
Street, 8445-8447 West

**Location:** Romaine Street

**Plan Area:** Hollywood

**Plan Overlay:** Melrose Q Condition  
Overlay

**Council District:** 5 – Yaroslavsky

**Last Day to File an Appeal:** February 10, 2023

**LETTER OF COMPLIANCE – MINISTERIAL ON-MENU DENSITY BONUS**

Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**DETERMINE**, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915(f)(5) and (j)(1) and California Public Resources Code Section 21080(b)(1); and

**APPROVE a ministerial review of a Density Bonus Compliance Review**, pursuant to LAMC Section 12.22 A.25, a 35 percent Density Bonus (with 11 percent of the base number of units set aside for Very Low Income Households), for a project totaling 67 dwelling units, including six (6) units for Very Low Income, for sale for a period of 55 years, along with the following two (2) On-Menu Incentives for a qualifying project:

1. **Height:** An 11-foot increase in building height to permit a maximum building height of 56 feet in lieu of the 45 feet otherwise permitted.
2. **FAR:** An increase in Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted.



## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 67 residential units including Density Bonus Units.
3. **On-site Restricted Affordable Units.** The project shall set aside the number and type of Restricted Affordable Units, as defined by State Density Bonus Law in California Government Code Section 65915(C)(2), corresponding to the percentage of Density Bonus and number of Incentives utilized, consistent with LAMC Section 12.22-A,25.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25 and Government Code Section 65915.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make six (6) units for Very Low Income for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22-A,25, to the satisfaction of LAHD, and in consideration of the project's SB 8 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD. Refer to the Density Bonus Legislation Background section of this determination.
6. **SB 8 Replacement Units.** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated August 24, 2022, to the satisfaction of LAHD.
7. **On-Menu Incentives**
  - a. **Height:** An 11-foot increase in building height to permit a maximum building height of 56 feet in lieu of the 45 feet otherwise permitted.
  - b. **FAR:** An increase in Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted.
8. **Parking.**
  - a. **Automotive Parking.** Automobile parking shall be provided consistent with LAMC Section 12.22 A.31 and Government Code Section 65915(p)(2), which require a minimum of 0.5 spaces per unit for all residential units in an Eligible Housing

Development Project located within one-half mile of a Major Transit Stop. A greater number may be provided at the applicant's discretion.

- b. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21-A,16. In the event that the number of On-Site Restricted Affordable Units should increase or the composition of such units should change, then no modification of this determination shall be necessary and the number of bicycle parking spaces shall be re-calculated consistent with LAMC Section 12.21-A,16.
- c. **Adjustments.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e., the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety pursuant to LAMC Section 12.22-A,25 or California Government Code Section 65915(p)(2).

9. **Melrose Q Condition Overlay.**

- a. **Stepback.** As illustrated in 'Exhibit A', any height above 45 feet shall be stepped back one foot for each additional foot above 45 feet from all exterior faces of the structure.
- b. **Front Yard.** As illustrated in 'Exhibit A', Alfred Street shall be designated as the front yard and the project will provide a 15-foot setback along Alfred Street.
- c. **Landscaping.** As illustrated in 'Exhibit A', a minimum of 50 percent of common usable open space areas shall be planted in ground cover, shrubs or trees. Trees shall be planted in the required front and rear yard setback area at a ratio of one tree per every 300 square feet of front and rear yard provided. Trees may not be less than 24-inch box in size, and shall be planted within open space areas. An automatic irrigation system shall be provided for all required landscaped areas. Landscaped areas located on top of a parking garage or deck shall include permanent planters at least 30 inches in depth (12 inches for lawn/ground cover) and be properly drained.
- d. **Hardscape.** As illustrated in 'Exhibit A', the rear yard shall be used for landscaping and hardscape shall not exceed 20 percent of the area unless the hardscape is required for the purposes of complying with Los Angeles Fire Department egress path requirements. Grasscrete and other permeable paving systems shall not be considered hardscape for these purposes.
- e. **Street Trees.** Street Trees shall be provided 20 feet on center with root collars to prevent uplifting of sidewalks, to the satisfaction of the Bureau of Street Services.
- f. **Roof Structures.** As illustrated in 'Exhibit A', all structures on the roof, including air conditioning units, mechanical equipment, vents, and parapets, shall be fully screened from view from any adjacent residential zoned properties through the use of materials and colors that match the exterior walls of the structure. Any roof projections shall be located a minimum of 5 linear feet from the roof edge. Any roof projections between 5 and 10 feet from the roof edge shall be limited to a height of 5 feet. Roof projections located greater than 10 linear feet from the roof shall be permitted per LAMC.

- g. **Articulation.** As illustrated in 'Exhibit A', all exterior faces on new buildings and those involving the exterior alteration of existing buildings shall be designed to provide articulation that provides relief for every 30 feet in horizontal length and every 20 feet in vertical length, created by architectural detail or a change in material. In addition, for those buildings greater than 35 feet in height, the exterior faces of the upper floor shall be differentiated through the use of such design features as material or color and shall have differently articulated windows.
  - h. **Balconies.** As illustrated in 'Exhibit A', cantilever balcony protrusions into required front and rear yard setbacks shall be limited to 24 inches in depth. The horizontal dimension of each protruding balcony shall be limited to 75 percent of the width of the residential unit it serves.
- 10. **Landscaping.** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
  - 11. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from the Los Angeles Housing Department (LAHD) regarding replacement of affordable units, provision of RSO units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all new units to be exempt from the RSO, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded and agreement submitted and approved by LAHD shall be provided.

#### **Administrative Conditions**

- 12. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
- 13. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 14. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 15. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.



16. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

17. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in

the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.



## PROJECT BACKGROUND

The project site consists of two lots of approximately 19,486 square feet of lot area. The subject property is rectangular-shaped and has a street frontage of approximately 150 feet along the easterly side of Alfred Street, with an approximate 130-foot depth. The project site consists of three (3) parcels which are currently developed with a duplex, a quadplex, and a seven (7) unit building.

The subject site is located within the Hollywood Community Plan area and zoned [Q]R4-1 with a corresponding land use designation of Medium Residential. The subject property is located within the Melrose Zone Change Permanent [Q] Condition Area (ZI-2381). The property is not within the boundaries of any specific plan, community design overlay, or interim control ordinance.

The surrounding properties are primarily zoned and improved for multifamily residential uses. Abutting properties to the north, east, and west are zoned [Q]R4-1 and [Q]R3-1 and improved with multi-family residential structures. Properties to the south are zoned [Q]R3-1 and improved with multi-family residential structures.

The project proposes the construction, use, and maintenance of a new five-story, 56-foot-high apartment building containing 67 units. The proposed building will encompass approximately 52,041 square feet in total buildable area resulting in a Floor Area Ratio (FAR) of 3.72:1. Of the 67 units proposed, 44 will be Studios, six (6) will be one-bedroom units, six (6) will be two-bedroom units, one (1) three-bedroom unit, one (1) four-bedroom unit, four (4) five-bedroom units, and five (5) six-bedroom units. The project proposes to provide 43 automobile parking spaces within a subterranean parking level. The project will also provide a minimum of 46 long-term bicycle parking spaces and five (5) short-term bicycle parking spaces. A total of approximately 7,851 square feet of open space will be provided, divided among private and common areas.

As an eligible Housing Development Project, the project is seeking to utilize the provisions of State Density Bonus law and the LAMC. In exchange for setting aside at least 11 percent of the base number of units for Very Low Income households, the project is permitted an increase in density of up to 35 percent. Based on the underlying zone, the project is permitted a base density of 49 units; therefore, in exchange for reserving 11 percent of this base density for Very Low-Income households, the project is eligible for and is seeking a 35 percent increase in density to allow a total of 67 units. Furthermore, in exchange for setting aside at least 10 percent of the base number of units for Very Low Income households, the project is also eligible for up to two development Incentives. The applicant is seeking two (2) Incentives: 1) an 11-foot increase in building height to permit a maximum building height of 56-feet in lieu of the 45 feet otherwise permitted; and 2) an increase in Floor Area Ratio to permit a maximum FAR of 3.72:1 in lieu of the 3:1 otherwise permitted. The project is setting aside seven (7) units, consisting of six (6) Very Low Income Households and one (1) Low Income Households, which is greater than the 11 percent of the base number of units for Very Low-Income households; accordingly, the project is eligible for a 35 percent Density Bonus to allow up to 67 units, as well as up to two requested Incentives. The project will provide vehicular parking in accordance with the provisions of Assembly Bill 2345 to provide one-half parking spaces per dwelling unit.

## HOUSING REPLACEMENT (SB 8 DETERMINATION) BACKGROUND

Pursuant to LAMC Section 12.22-A,25, an eligible Housing Development shall be eligible for Density Bonus Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

Assembly Bill 2222 (AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016, the Governor signed into law Assembly Bill 2556 (AB 2556) which further amended the State Density Bonus Law. The amendments took effect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines “equivalent size” to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of California State Density Bonus Law, on October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (HCA) through Senate Bill (SB) 330 (2019). SB 330 created new statewide rules regarding the production, preservation and planning for housing. The HCA establishes a statewide temporary housing emergency and has been in effect since January 1, 2020. Subsequently, on September 16, 2021, the Governor signed into law SB 8 (2021), the first major clarification of the HCA. SB 8 is in effect as of January 1, 2022. SB 8 extended the term of the emergency period and expanded the provisions established by SB 330 onto Housing Development Projects consisting of a single residential unit and to projects that require no discretionary approvals. Furthermore, as amended by SB 8, a Protected Unit is required to be replaced in a Housing Development Project consisting of two or more units with a unit of equivalent size and include a right-of-first refusal and relocation assistance for lower-income occupants of a Protected Unit and a right to remain up to six months prior to the start of construction activities for all occupants. For the duration of the statewide housing emergency, the HCA, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed Housing Development Project on a site that will require the demolition of existing residential dwelling units or occupied or vacant “Protected Units” unless the proposed housing development project replaces those units.

The Los Angeles Housing Department (LAHD) (formerly, the Housing and Community Investment Department or HCIDLA) reviewed all of the existing units at the subject site and has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination (RUD), dated August 24, 2022, seven (7) units are subject to replacement pursuant to requirements of the HCA, including five (5) units restricted to Very Low Income Households and two (2) units restricted to Low Income Households. Additionally, three (3) units are subject to replacement requirements of the City’s Rent Stabilization Ordinance. The seven (7) total units required by the SB 330 RUD are satisfied by the six (6) units set aside for habitation by Very Low Income Households and one (1) unit set aside for Low Income. The project is also conditioned to provide replacement of all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number, and the project will be required to comply with all applicable regulations set forth by LAHD.

As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Sections 65915(c)(3) (State Density Bonus Law) and 66300 (Housing Crisis Act of 2019).



## DENSITY BONUS/AFFORDABLE HOUSING INCENTIVES PROGRAM ON-MENU INCENTIVES ELIGIBILITY CRITERIA

Pursuant to LAMC Section 12.22-A,25(e)(2), in order to be eligible for any on-menu incentives, a Housing Development Project (other than an Adaptive Reuse Project) shall comply with the following criteria:

- a. *The façade of any portion of a building that abuts a street shall be articulated with a change of material or a break in plane, so that the façade is not a flat surface.*

The proposed project has a street frontage along Alfred Street and Romaine Street. The proposed building provides a variety of architectural materials and building planes along all facades, including those facing the street. Each façade features accent building materials, balconies, roof elements, and variations in building mass, all of which enhance the appearance of the building and provide breaks in the façade plane. Therefore, the façade of any portion of the building that abuts a street is articulated such that the façade is not an entirely flat surface.

- b. *All buildings must be oriented to the street by providing entrances, windows, architectural features and/or balconies on the front and along any street facing elevation.*

The proposed project has dual street frontages along Alfred Street and Romaine Street. Pedestrian access is oriented primary along Alfred Street with a prominent lobby entrance. The project is served by one driveway which is located on Romaine Street. The building elevation also features accent building materials, doors, windows, balconies, and roof elements which highlight the prominence of the façade and the orientation of the building towards the street. Therefore, the proposed building will be oriented towards the street.

- c. *The Housing Development Project shall not involve a contributing structure in a designated Historic Preservation Overlay Zone (HPOZ) and shall not involve a structure that is a City of Los Angeles designated Historic-Cultural Monument (HCM).*

The proposed project is not located within a designated Historic Preservation Overlay Zone, and it does not involve a property that is designated as a City Historic-Cultural Monument.

- d. *The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.25.01 of the LAMC.*

The project is not located in either a Hillside Area or Very High Fire Hazard Severity Zone.

## DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

1. **Pursuant to Section 12.22 A.25(g)(2)(i)(c) of the LAMC and Section 65915(e) of the California Government Code, the Director of Planning shall approve a density bonus and requested incentive(s) unless they find that:**

- a. *The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs, as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.*

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The project substantially complies with the applicable regulations, standards, and provisions of the State Density Bonus Program. The project includes 11 percent of the project's base density as Very Low Income restricted affordable units, for a total of six (6) residential units. The project represents an urban in-fill development on three (3) existing residentially zoned lots in the [Q]R4-1 Zone. No substantial evidence has been entered into the record indicating that any of the requested On-Menu Incentives do not result in identifiable and actual cost reductions to provide for the project's affordable housing costs (as defined in California Health and Safety Code Sections 50052.5 or 50053) and/or accommodate the restricted very low income unit rents.

Additionally, the list of On-Menu Incentives in Section 12.22-A,25 of the LAMC were preevaluated at the time the Density Bonus Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the Density Bonus On-Menu Incentives do result in identifiable and actual cost reductions to provide for affordable housing costs because the incentives by their nature increase the scale of the project and thus facilitates the provision of affordable housing units.

**Height.** The requested On-Menu Incentive for an increase in maximum building height is expressed in the LAMC as an allowable exception to zoning requirements that result in building design or construction efficiencies that facilitate the creation of affordable housing. Specifically, an eligible Density Bonus housing development project may seek an Incentive for a maximum 11-foot increase in building height or one additional story, whichever is lower. Per the underlying [Q]R4-1 Zone, the project would be limited to a maximum height of 45 feet. Accordingly, the project is requesting to utilize this Incentive to realize the proposed maximum building height of 56 feet. The increase in building height realizes economies of scale for the project which enables the creation of additional useable residential floor area and residential units, including additional affordable units.

**Floor Area Ratio.** The requested On-Menu Incentive for an increase in Floor Area Ratio is expressed in the LAMC as an allowable exception to zoning requirements that result in building design or construction efficiencies that facilitate the creation of affordable housing. Specifically, an eligible Density Bonus housing development project may seek an Incentive for a percentage increase in the allowable Floor Area Ratio equal to the percentage of Density Bonus for which the Housing Development Project is eligible, not to exceed 35%. Per the underlying [Q]R4-1 Zone, the project would be limited to a maximum FAR of 3:1. Accordingly, the project is requesting to utilize this Incentive to request a maximum FAR of 3.72:1, which is an increase of 24% and less than the maximum FAR of 4.05:1 which could be requested. The increase in Floor Area realizes economies of scale for the project which enables the creation of additional useable residential floor area and residential units, including additional affordable units.

Thus, the two (2) Incentives support the applicant's decision to reserve six (6) units for Very Low-Income Households and one (1) unit for Low Income Households and facilitates

the creation of affordable housing units. Therefore, all requested On-Menu Incentives are necessary to provide for affordable housing costs.

- b. *The incentives would have a specific adverse impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to low-income and moderate income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(B) and 65589.5(d)).*

There is no evidence that the proposed incentives will have a specific adverse impact upon public health and safety or the physical environment, or any real property that is listed in the California Register of Historical Resources. A "specific adverse impact" is defined as "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Accordingly, the project will not have a significant impact on any on-site resource or any resource in the surrounding area. The project is not located within any special hazard area; accordingly, the project will not have a specific adverse impact upon public health and safety or the physical environment. The property is not located on a substandard street in a Hillside area or in a Very High Fire Hazard Severity Zone, or any other special hazard area. The project is required to comply with all other pertinent regulations including those governing construction, use, and maintenance, and will not create any significant direct impacts on public health and safety. Therefore, there is no substantial evidence that the proposed project, and thus the requested incentive, will have a specific adverse impact on the physical environment, on public health and safety or the physical environment, or on any Historical Resource.

- c. *The Incentives is contrary to state or federal law.*

There is no substantial evidence in the record indicating that the requested Incentives are contrary to any State or federal laws.



## **CEQA FINDINGS**

It has been determined based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to California Government Code Section 65651 and Public Resources Code Section 21080(b)(1).

## **DENSITY BONUS LEGISLATION BACKGROUND**

The California State Legislature has declared that "[t]he availability of housing is of vital statewide importance," and has determined that state and local governments have a responsibility to "make adequate provision for the housing needs of all economic segments of the community." Section 65580, subds. (a), (d). Section 65915 further provides that an applicant must agree to, and the municipality must ensure, the "continued affordability of all low and very low income units that qualified the applicant" for the density bonus.

With Senate Bill 1818 (2004), state law created a requirement that local jurisdictions approve a density bonus and up to three "concessions or incentives" for projects that include defined levels of affordable housing in their projects. In response to this requirement, the City created an ordinance that includes a menu of incentives (referred to as "on-menu" incentives) comprised of eight zoning adjustments that meet the definition of concessions or incentives in state law (California Government Code Section 65915). The eight on-menu incentives allow for: 1) reducing setbacks; 2) reducing lot coverage; 3) reducing lot width, 4) increasing floor area ratio (FAR); 5) increasing height; 6) reducing required open space; 7) allowing for an alternative density calculation that includes streets/alley dedications; and 8) allowing for "averaging" of FAR, density, parking or open space. In order to grant approval of an on-menu incentive, the City utilizes the same findings contained in state law for the approval of incentives or concessions.

Under Government Code Sections 65915(a), 65915(d)(2)(C), and 65915(d)(3), the City of Los Angeles complies with the State Density Bonus law by adopting density bonus regulations and procedures as codified in Section 12.22-A,25 of the LAMC. Section 12.22-A,25 creates a procedure to waive or modify zoning code standards which may prevent, preclude or interfere with the effect of the density bonus by which the incentive or concession is granted, including legislative body review. The Ordinance must apply equally to all new residential development.

In exchange for setting aside a defined number of affordable dwelling units within a development, applicants may request up to three incentives in addition to the density bonus and parking relief which are permitted by right. The incentives are deviations from the City's development standards, thus providing greater relief from regulatory constraints. Utilization of the Density Bonus/Affordable Housing Incentives Program supersedes requirements of the LAMC and underlying ordinances relative to density, number of units, parking, and other requirements relative to incentives, if requested.

For the purpose of clarifying the Covenant Subordination Agreement between the City of Los Angeles and the United States Department of Housing and Urban Development (HUD) note that the covenant required in the Conditions of Approval herein shall prevail unless pre-empted by State or Federal law.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

## **APPEAL PERIOD – EFFECTIVE DATE**

**The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director's Determination** unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at <http://planning.lacity.org>.

Planning Department public offices are located at:

Figueroa Plaza  
201 North Figueroa Street  
4th Floor  
Los Angeles, CA 90012  
(213) 482-7077

Marvin Braude San Fernando  
Valley Constituent Service Center  
6262 Van Nuys Boulevard, Room 251  
Van Nuys, CA 91401  
(818) 374-5050

West Los Angeles  
1828 Sawtelle Boulevard  
2nd Floor  
Los Angeles, CA 90025  
(310) 231-2901

Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal this Density Bonus Compliance Review Determination. Per the Density Bonus Provision of State Law (Government Code Section §65915) the Density Bonus increase in units above the base density zone limits and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per Section 12.22 A.25 of the LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP

Director of Planning

*Deborah Kahen*

Reviewed by  
Deborah Kahen, AICP, Senior City Planner

*Valentina Knox-Jones*

Prepared by  
Valentina Knox-Jones, City Planner



**D – AFFORDABLE HOUSING REFERRAL FORM**

# REFERRAL FORM



## AFFORDABLE HOUSING REFERRAL FORM

This form is to serve as a referral to the Los Angeles City Planning's (LACP) Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by LACP DSC Housing Services Unit (HSU) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by HSU Staff is prohibited. LACP reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

### THIS SECTION TO BE COMPLETED BY HSU STAFF ONLY

Planning Staff Name & Title: Rina Lara, Planning Assistant

Planning Staff Signature: Rina Lara

Digitally signed by Rina Lara

Date: 2022.08.16 11:44:29 -07'00'

Referral Date: 8/16/2022

Expiration Date: 2/12/2023

#### TRANSPORTATION QUALIFIERS (if applicable)

Major Transit Stop       Paratransit / Fixed Bus Route

Other: \_\_\_\_\_

Location of Transit: Santa Monica Blvd./ La Cienega Blvd.

Qualifier #1: Metro Route 105 (NextGen Tier 1 Rapid)

Service Interval #1: NB: 9.5

Service Interval #2: SB: 9.7

Qualifier #2: Metro Route 4 (NextGen Tier 1 Rapid)

Service Interval #1: EB: 10.5

Service Interval #2: WB: 10.0

*Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm) by the number of eligible trips.*

# ADM-2022-6793

**Referral To:**

Planning DSC - Filing

100% Affordable per AB 2345<sup>1</sup>

SB 35

AB 2162

Measure JJJ

Other: \_\_\_\_\_

**Notes:**

PAR-2022-5288-AHRF

**THIS SECTION TO BE COMPLETED BY THE APPLICANT**

**APPLICANT INFORMATION**

**Applicant Name:** MICHAELA CHO

**Phone Number:** 310-739-3920

**Email:** michaela@wtarch.com

**I. PROPOSED PROJECT**

**1. PROJECT LOCATION/ZONING**

**Project Address(es):** 1002, 1004, 1012 N Alfred St.

**Assessor Parcel Number(s):** 5529007030, 5529007031, 5529007032

**Community Plan:** Hollywood

**Existing Zone:** [Q] R4-1

**Land Use Designation:** Medium Residential

**Number of Parcels:** 3

**Site Size (sf):** 19,486.5

Specific Plan     DRB/CDO     HPOZ     Redevelopment Project Area

Enterprise Zone     Q Condition/D Limitation (Ordinance No.): ZI-2381

Other Pertinent Zoning Information (specify): \_\_\_\_\_

<sup>1</sup> AB 1763 incentives were amended by AB 2345.



**2. DETAILED DESCRIPTION OF PROPOSED PROJECT**

5 STORIES OF TYPE III-A RESIDENTIAL OVER 1 LEVEL SUBTERRANEAN TYPE I-A PARKING GARAGE, ALL FULLY SPRINKLERED TO NFPA 13 REQUIREMENTS. TOTAL (67) RESIDENTIAL UNITS PROPOSED W/ 43 PARKING SPACES. PER LAMC 12.22 A.25, THIS PROJECT IS "BY-RIGHT" AS IT SEEKS TO TAKE CALIFORNIA STATE DENSITY BONUS ONLY

**3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT**

**(11) EXISTING RESIDENTIAL UNITS**

Existing Uses Dwelling Unit (DU) Square Footage (SF)	Existing No. of DUs or Non-Residential SF	Existing No. of DUs or Non-Residential SF to be Demolished	Proposed <sup>2</sup> No. of DUs or Non-Residential SF
Guest Rooms			
Studios	1	1	44
One Bedrooms	3	3	6
Two Bedrooms	6	6	6
Three Bedrooms	1	1	1
4-6 Bedrooms			10
Non-Residential SF			
Other			

<sup>2</sup> Per AB 2556, replacement units shall be equivalent to the number of units and number of bedrooms of the existing development.

#### 4. APPLICATION TYPE

Density Bonus (per LAMC Section 12.22 A.25 or Government Code Section 65915) with only **Base Incentives** filed in conjunction with another discretionary approval.

Density Bonus with **On-Menu Incentives** (specify):

1) Floor Area Ratio - 35% increase \_\_\_\_\_

2) Height - Max 11' increase/1-story \_\_\_\_\_

3) \_\_\_\_\_

4) \_\_\_\_\_

Density Bonus with **Off-Menu Incentives** (specify):

1) \_\_\_\_\_

2) \_\_\_\_\_

3) \_\_\_\_\_

4) \_\_\_\_\_

Density Bonus with **Waivers of Development Standards** (specify):

1) \_\_\_\_\_

2) \_\_\_\_\_

3) \_\_\_\_\_

4) \_\_\_\_\_

Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29

Affordable Housing per LAMC Section 11.5.11 (Measure JJJ)

Public Benefit Project per LAMC Section 14.00 A.2

General Plan Amendment per LAMC Section 11.5.6

Request: \_\_\_\_\_

Zone/Height District Change per LAMC Section 12.32

Request: \_\_\_\_\_

Conditional Use per LAMC Section 12.24 U.26

Site Plan Review per LAMC Section 16.05

Specific Plan Project Permit Compliance per LAMC Section 11.5.7 C

Community Design Overlay per LAMC Section 13.08



Coastal Development Permit per LAMC Section 12.20.2 or 12.20.2.1

Tract or Parcel Map per LAMC Section 17.00 or 17.50

Other (specify): \_\_\_\_\_

## 5. ENVIRONMENTAL REVIEW

Project is Exempt<sup>3</sup>

Not Yet Filed

Filed (Case No.): \_\_\_\_\_

## 6. HOUSING DEVELOPMENT PROJECT TYPE

### CHECK ALL THAT APPLY:

For Rent                       For Sale                       Mixed-Use Project                       Residential Hotel

Extremely Low Income    Very Low Income                       Low Income                       Moderate Income

Market Rate                       Supportive Housing                       Senior

Special Needs (describe): \_\_\_\_\_

Other Category (describe): \_\_\_\_\_

## 7. DENSITY CALCULATION

### A. Base Density: Maximum density allowable per zoning

Lot size (including any 1/2 of alleys)<sup>4</sup>                      19,486.5 SF (a)

Density allowed by Zone                      400 SF of lot area per DU (b)

No. of DUs allowed by right (per LAMC) 48 DUs (c) [c = a/b, round down to whole number]

Base Density                      49 DUs (d) [d = a/b, round up to whole number]

**B. Maximum Allowable Density Bonus<sup>5</sup>** 67 DUs (e) [e = dx1.35, round up to whole number]

<sup>3</sup> Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

<sup>4</sup> If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

<sup>5</sup> Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is located within 0.5 miles of a Major Transit Stop.

**C. Proposed Project:** Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at [hcidla.landuse@lacity.org](mailto:hcidla.landuse@lacity.org).

	Total	HCD (State)	HUD (TCAC)
Market Rate	59	N/A	N/A
Managers Unit(s) - Market Rate	1	N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)	6	6	
Low Income (LI)	1	1	
Moderate Income			
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate		N/A	N/A
Other _____			
Other _____			
Other _____			
Other _____			
TOTAL No. of DUs Proposed	67	(f)	
TOTAL No. of Affordable Housing DUs	7	(g)	
No. of Density Bonus DUs	18	(h) [If f>c, then h=f-c; if f<c, then h= 0]	
Percent of Density Bonus Requested	35	(i) $\{i = 100 \times [(f/d) - 1]\}$ (round down)	
Percent of Affordable Set Aside	14	(j) [g/d, round down to a whole number]	



## 8. SITE PLAN REVIEW CALCULATION

An application for Site Plan Review (SPR) may be required for projects that meet any of the SPR thresholds as outlined in LAMC Section 16.05 C, unless otherwise exempted per LAMC Section 16.05 D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the SPR threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05 D, please confirm the exemption with LACP's DSC HSU.

48 units allowed by right (permitted by LAMC) – 11 existing units = 37 units

**YES, SPR is required.**

Proposed by-right units minus existing units is equal to or greater than 50<sup>6</sup>

**NO, SPR is not required.**

Base Density units minus existing units is less than 50

**Exempt.**

Specify reason: \_\_\_\_\_

## II. DENSITY BONUS (LAMC SECTION 12.22 A.25, ORDINANCE NO. 179,681)

## 9. PARKING OPTIONS

**CHECK ALL THAT APPLY:**

**Automobile Parking Reductions via Bicycle Parking for Residential Uses<sup>7</sup>. Choose only one of the options, if applicable:**

10%

15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)

30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: \_\_\_\_\_

Required Parking after the 30% reduction: \_\_\_\_\_

<sup>6</sup> Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in LAMC Section 16.05.

<sup>7</sup> Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

**Automobile Parking for Residential Uses (choose only one of the following options):**

*Note: Any fractional numbers are rounded up.*

**Parking Option 1.** Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		1.5		
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
<b>TOTALS</b>				

**Parking Option 2.** Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per Code		
Restricted Affordable		1		
VLI/LI Senior or Disabled		0.5		
Restricted Affordable in Residential Hotel		2.5		
Stalls Reduced via Bike Parking				Subtract:
<b>TOTALS</b>				

**Parking Option 3 [AB 2345 (2020)].** Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager's unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

**100% Affordable Housing Developments.** There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

- A housing development located within 0.5 miles of a Major Transit Stop.
- A housing development for individuals who are 62 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.



- Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.
- Supportive Housing Development**, as defined in Section 50675.14 of the H&SC.
- Mixed-Income Developments** consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5	34	39 Standard 4 Compact

**Major Transit Stop** is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

**Bus Rapid Transit** is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.
- 2) Transit signal priority.
- 3) All-door boarding.
- 4) Fare collection system that promotes efficiency.
- 5) Defined stations.

## 10. INCENTIVES

### A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application. Check only one:

Incentives	% Very Low Income	% Low Income	% Moderate Income
<b>One</b>	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
<b>Two</b>	<input checked="" type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
<b>Three</b>	<input type="checkbox"/> 15% or greater	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% or greater

- 100% Affordable Housing Developments may request up to four (4) incentives and one (1) Waiver of Development Standard.** Check this box if this applies to the project.

**B. Project Zoning Compliance & Incentives** (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu
<input type="checkbox"/> Yard/Setback (each yard counts as one incentive)				
<input type="checkbox"/> Front (1)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Front (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Side (1)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Side (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Rear	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Coverage	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Floor Area Ratio <sup>8</sup>	<u>3.0</u>	<u>4.05</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Height/Stories <sup>9</sup>	_____	_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Overall Height	<u>45'</u>	<u>56'</u>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Transitional Height(s)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Open Space	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Density Calculation	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Averaging (all count as one incentive — check all that are needed)				
<input type="checkbox"/> FAR				
<input type="checkbox"/> Density				
<input type="checkbox"/> Parking				
<input type="checkbox"/> Open Space				
<input type="checkbox"/> Vehicular Access				
<input type="checkbox"/> Other Off-Menu Incentives (specify): _____				
<input type="checkbox"/> Waiver of Development Standards (specify): _____				
<input type="checkbox"/> 100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.				

**TOTAL No. of Incentives Requested:** On-Menu 2 Off-Menu 0

**TOTAL No. of Waivers Requested:** 0

<sup>8</sup> See LAMC Section 12.22 A.25(f)(4) for additional requirements.

<sup>9</sup> See LAMC Section 12.22 A.25(f)(5) for additional requirements.



## 11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at [hcidla.landuse@lacity.org](mailto:hcidla.landuse@lacity.org).

## III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22 A.29, ORDINANCE NO. 179,076)

## 12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

### A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at [hcidla.landuse@lacity.org](mailto:hcidla.landuse@lacity.org).

- 5% of the total number of DUs provided for VLI households; and
- One of the following shall be provided:
  - 10% of the total number of DUs for LI households; or
  - 15% of the total number of DUs for Moderate Income households; or
  - 20% of the total number of DUs for Workforce Income households, and
- Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

### B. Incentives

NOTE: Must meet all three (3) eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11).

#### CHECK ALL THAT APPLY:

- A 35% increase in total floor area
- Open Space requirement pursuant to LAMC Section 12.21 G reduced by one-half, provided that a fee equivalent to amount of the relevant park fee, pursuant to LAMC Section 19.17, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) for exceptions
- No parking required for units for households earning less than 50% AMI
- No more than one parking space required for each dwelling unit

### C. Additional Incentives to Produce Housing in the GDHIA

- No yard requirements except as required by the Urban Design Standards and Guidelines
- Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)

- Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ™ (LAMC Sec. 11.5.11, Ordinance No. 184, 745)

**13. AFFORDABLE REQUIREMENTS**

A certain percentage of affordable units is required based on the total number of units in the project.  
**Fill out either A or B below:**

**A. Rental Projects**

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
  - \_\_\_\_\_ % VLI    **OR**     \_\_\_\_\_ % LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
  - 5% ELI            **AND**             6% VLI            **OR**             15% LI
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
  - 5% ELI            **AND**             11% VLI            **OR**             20% LI

**Required Number of Affordable Units**

ELI \_\_\_\_\_ VLI \_\_\_\_\_ LI \_\_\_\_\_

**B. For Sale Projects**

- No less than the affordability percentage corresponding to the level of density increase requested or allowed:
  - \_\_\_\_\_ % VLI    **OR**     \_\_\_\_\_ % LI            **OR**     \_\_\_\_\_ % Moderate Income
- For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
  - 11% VLI            **OR**             20% LI            **OR**             40% Moderate Income

**Required Number of Affordable Units**

VLI \_\_\_\_\_ LI \_\_\_\_\_ Moderate Income \_\_\_\_\_

<sup>10</sup> All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number, and shall not be rounded down.



## 14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units on site, there are three (3) other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

**A. Off-Site Construction** – Construction of affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

**Updated Required Number of Affordable Units**

ELI \_\_\_\_\_ VLI \_\_\_\_\_ LI \_\_\_\_\_ Moderate Income \_\_\_\_\_

**B. Off-Site Acquisition** – Acquisition of property that will provide affordable units at the following rate:

- Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

**Updated Required Number of Affordable Units**

ELI \_\_\_\_\_ VLI \_\_\_\_\_ LI \_\_\_\_\_ Moderate Income \_\_\_\_\_

**C. In-Lieu Fee** – From the Affordability Gaps Study published by the Los Angeles City Planning

**Total In-Lieu Fee** \_\_\_\_\_ (Note: Final fee TBD if/when the project is approved)

## 15. DEVELOPER INCENTIVES

Please describe up to a maximum of three (3) incentives:

- 1) \_\_\_\_\_  
\_\_\_\_\_
- 2) \_\_\_\_\_  
\_\_\_\_\_
- 3) \_\_\_\_\_  
\_\_\_\_\_

*Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.*

ADM-2022-6793-DB-HCA-1A  
1000-1014 North Alfred Street, 8445-8447 West Romaine Street

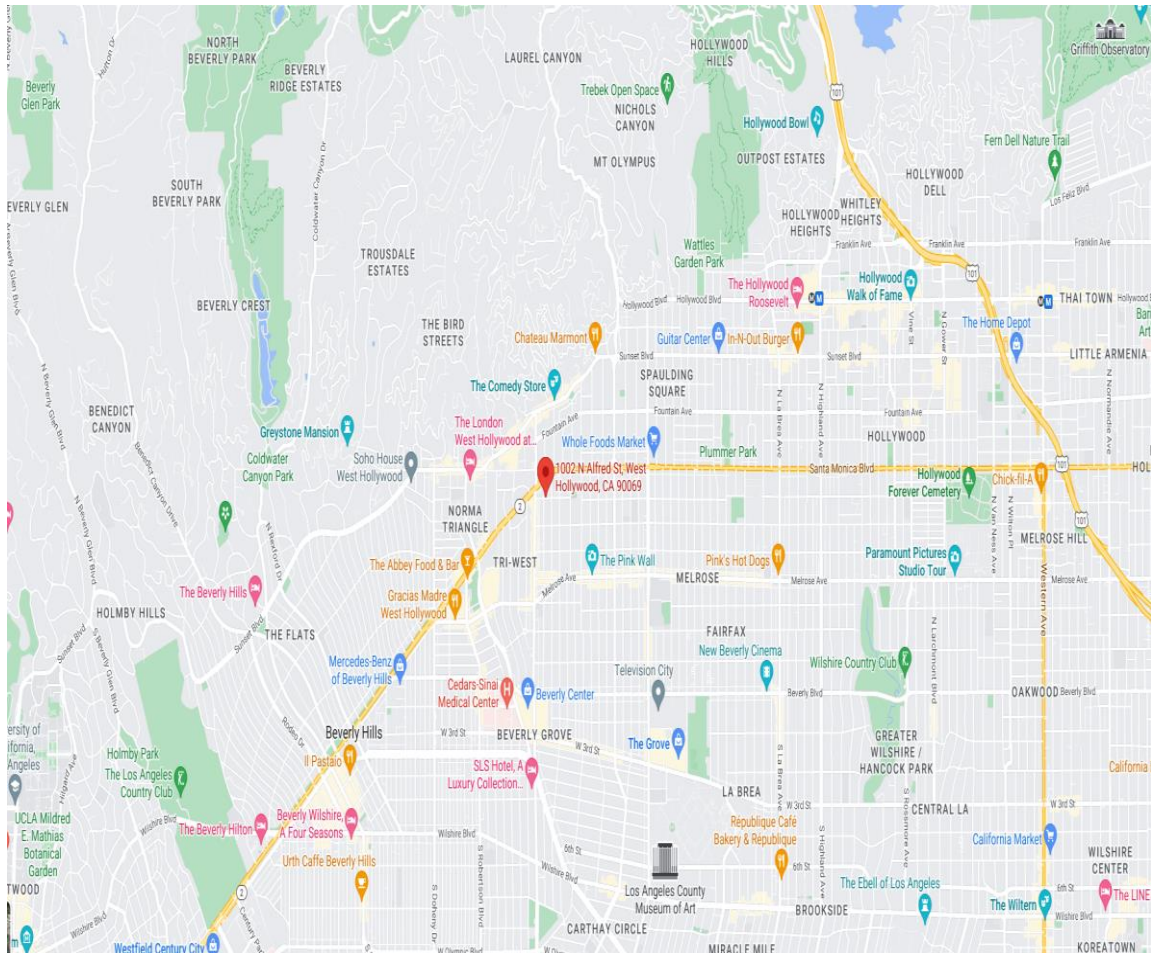
EXHIBITS

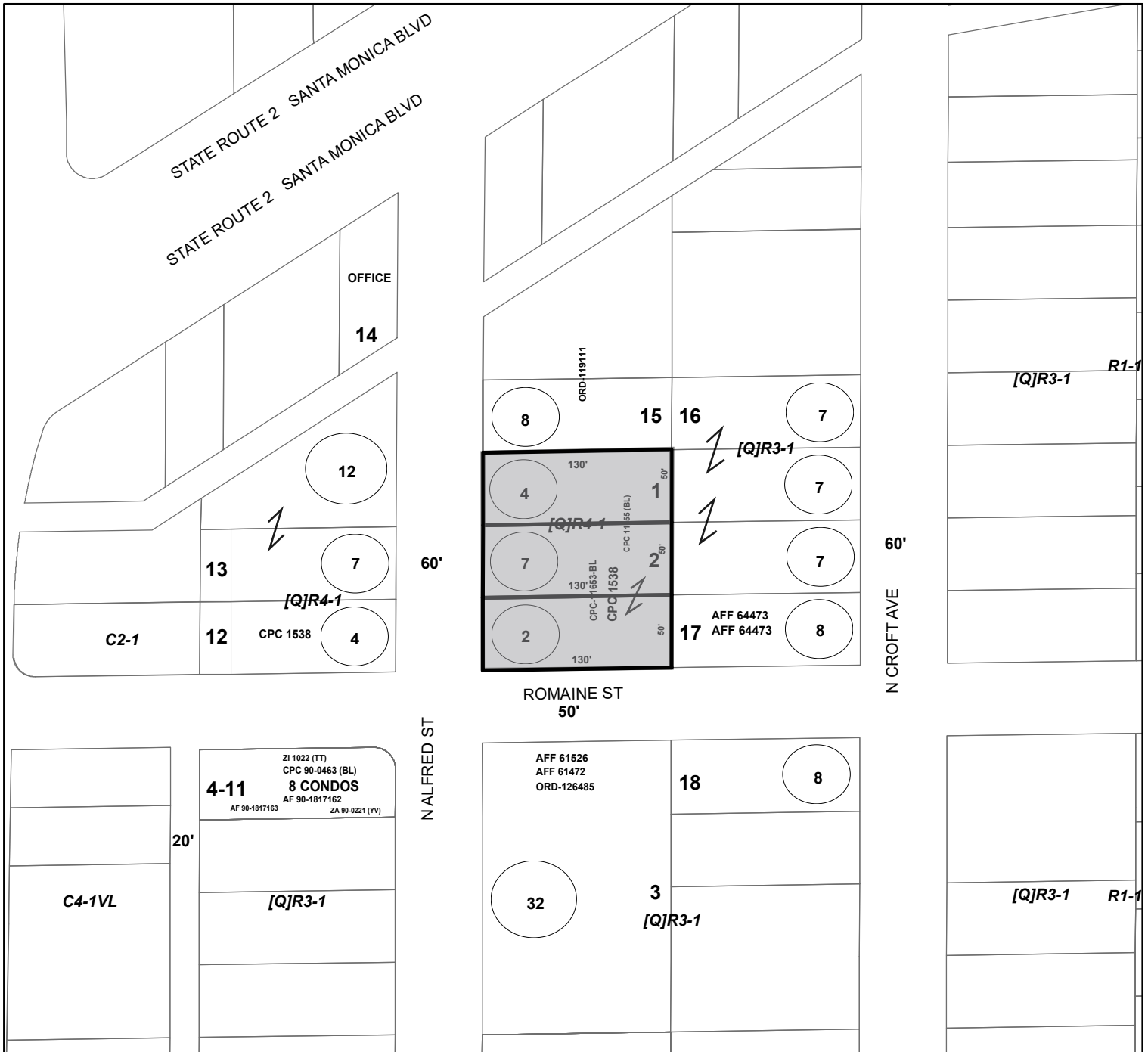
**E – MAPS**  
VICINITY MAP,  
RADIUS MAP,  
ZIMAS MAP AND PARCEL PROFILE REPORT



# Vicinity Map

## 1002 – 1012 N Alfred St





## DENSITY BONUS - ON MENU INCENTIVES

**PROJECT ADDRESS:**  
 1002 - 1012 N ALFRED ST  
 LOS ANGELES, CA 90069  
 NET ACREAGE: .447

**CENTERPOINT RADIUS MAPS**  
 263 W OLIVE AVE # 193  
 BURBANK, CA 91502  
 818.220.5401  
 centerpointradiusmaps@gmail.com  
 www.centerpointradiusmaps.com  
**DRAWN BY: J BOONE**  
**DATE: 12-23-2022**

**THOMAS BROTHERS:**  
 PAGE: 592, GRID: J6

**LEGAL:**

LOTS: 183 - 185

TRACT: TR 5191

M.B: 57 - 85 / 86

BLOCK: NONE

MAP SHEET: 144B173

C.D: 5

C.T: 1944.02

P.A: HOLLYWOOD

USES: FIELD

CASE #: ADM-2022-6793-DB-HCA

SCALE: 1" = 100'





08/23/2022

Generalized Zoning

ZIMAS PUBLIC



Zoning: [Q]R4-1  
General Plan: Medium Residential

Tract: TR 5191  
Block: None  
Lot: 183  
Arb: None

Address: 1012 N ALFRED ST  
APN: 5529007030  
PIN #: 144B173 165



# City of Los Angeles Department of City Planning

8/23/2022

## PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

1012 N ALFRED ST  
1014 1/2 N ALFRED ST  
1012 1/2 N ALFRED ST  
1014 N ALFRED ST

### ZIP CODES

90069

### RECENT ACTIVITY

None

### CASE NUMBERS

CPC-2016-1450-CPU  
CPC-2006-7181-ZC  
CPC-2006-5122-ICO  
CPC-2004-2092-ICO  
CPC-11655-BL  
CPC-11653-BL  
ORD-183497  
ORD-178884  
ORD-177699  
ORD-176073  
ORD-119111  
ENV-2016-1451-EIR  
ENV-2006-7182-ND  
ENV-2006-5123-CE

### Address/Legal Information

PIN Number	144B173 165
Lot/Parcel Area (Calculated)	6,495.1 (sq ft)
Thomas Brothers Grid	PAGE 592 - GRID J6
Assessor Parcel No. (APN)	5529007030
Tract	TR 5191
Map Reference	M B 57-85/86
Block	None
Lot	183
Arb (Lot Cut Reference)	None
Map Sheet	144B173

### Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Mid City West
Council District	CD 5 - Paul Koretz
Census Tract #	1944.02
LADBS District Office	Los Angeles Metro

### Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

### Planning and Zoning Information

Special Notes	None
Zoning	[Q]R4-1
Zoning Information (ZI)	ZI-2381 Melrose Zone Change ZI-2452 Transit Priority Area in the City of Los Angeles
General Plan Land Use	Medium Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	General (RBPA)
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No

**ADM-2022-6793**

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org).  
(\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment, and Information Systems Department.



Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium-High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	15
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5529007030
APN Area (Co. Public Works)*	0.149 (ac)
Use Code	0400 - Residential - Four Units (Any Combination) - 4 Stories or Less
Assessed Land Val.	\$78,663
Assessed Improvement Val.	\$100,152
Last Owner Change	08/15/2006
Last Sale Amount	\$0
Tax Rate Area	67
Deed Ref No. (City Clerk)	811654
	637807
	464
	282843
	182159-60
	1812140
	1119557

#### Building 1

Year Built	1928
Building Class	D6
Number of Units	4
Number of Bedrooms	8
Number of Bathrooms	6
Building Square Footage	4,987.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	Yes [APN: 5529007030]

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

## Seismic Hazards

### Active Fault Near-Source Zone

Nearest Fault (Distance in km)	0.80753712
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000

Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

### Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

### Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	<a href="https://housing.lacity.org">https://housing.lacity.org</a>
Rent Stabilization Ordinance (RSO)	Yes [APN: 5529007030]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No
Housing Crisis Act Replacement Review	Yes

### Public Safety

Police Information	
Bureau	West
Division / Station	Wilshire
Reporting District	701
Fire Information	
Bureau	West
Battalion	5
District / Fire Station	41
Red Flag Restricted Parking	No



## CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2016-1450-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	CPC-2006-7181-ZC
Required Action(s):	ZC-ZONE CHANGE
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	CPC-2006-5122-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	CPC-2004-2092-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	AN INTERIM CONTROL ORDINANCE TO TEMPORARILY PROHIBIT THE ISSUANCE OF ALL BUILDING PERMITS ON ALL MULTI-FAMILY ZONED LOTS (ALLOWING MORE THAN ONE DWELLING UNIT PER LOT) IN THE AREA BETWEEN SANTA MONICA BOULEVARD AND MELROSE AVENUE, AND BETWEEN CRESCENT HEIGHTS AND ALFREDO STREET.
Case Number:	CPC-11655-BL
Required Action(s):	BL-BUILDING LINE
Project Descriptions(s):	Data Not Available
Case Number:	CPC-11653-BL
Required Action(s):	BL-BUILDING LINE
Project Descriptions(s):	Data Not Available
Case Number:	ENV-2016-1451-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	ENV-2006-7182-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	ENV-2006-5123-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.

## DATA NOT AVAILABLE

ORD-183497  
ORD-178884  
ORD-177699  
ORD-176073  
ORD-119111



# City of Los Angeles Department of City Planning

8/23/2022

## PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

1004 1-7 N ALFRED ST  
1006 N ALFRED ST

### ZIP CODES

90069

### RECENT ACTIVITY

None

### CASE NUMBERS

CPC-2016-1450-CPU  
CPC-2006-7181-ZC  
CPC-2006-5122-ICO  
CPC-2004-2092-ICO  
CPC-19XX-1538  
CPC-11655-BL  
CPC-11653-BL  
ORD-92724  
ORD-183497  
ORD-178884  
ORD-177699  
ORD-176073  
ORD-119111  
ENV-2016-1451-EIR  
ENV-2006-7182-ND  
ENV-2006-5123-CE

### Address/Legal Information

PIN Number	144B173 176
Lot/Parcel Area (Calculated)	6,495.5 (sq ft)
Thomas Brothers Grid	PAGE 592 - GRID J6
Assessor Parcel No. (APN)	5529007031
Tract	TR 5191
Map Reference	M B 57-85/86
Block	None
Lot	184
Arb (Lot Cut Reference)	None
Map Sheet	144B173

### Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Mid City West
Council District	CD 5 - Paul Koretz
Census Tract #	1944.02
LADBS District Office	Los Angeles Metro

### Permitting and Zoning Compliance Information

Administrative Review	None
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### Planning and Zoning Information

Special Notes	None
Zoning	[Q]R4-1
Zoning Information (ZI)	ZI-2381 Melrose Zone Change ZI-2452 Transit Priority Area in the City of Los Angeles
General Plan Land Use	Medium Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	General (RBPA)
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No



Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium-High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	15
500 Ft School Zone	No
500 Ft Park Zone	No

**Assessor Information**

Assessor Parcel No. (APN)	5529007031
APN Area (Co. Public Works)*	0.149 (ac)
Use Code	0500 - Residential - Five or More Units or Apartments (Any Combination) - 4 Stories or Less
Assessed Land Val.	\$204,287
Assessed Improvement Val.	\$51,000
Last Owner Change	09/15/2021
Last Sale Amount	\$3,500,035
Tax Rate Area	67
Deed Ref No. (City Clerk)	726943
	3-92
	1414586
	1409834
	0229140

**Building 1**

Year Built	1962
Building Class	D65
Number of Units	7
Number of Bedrooms	11
Number of Bathrooms	8
Building Square Footage	7,795.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	Yes [APN: 5529007031]

**Additional Information**

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

**Seismic Hazards**

<b>Active Fault Near-Source Zone</b>	
Nearest Fault (Distance in km)	0.82073496
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

#### **Economic Development Areas**

Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

#### **Housing**

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	<a href="https://housing.lacity.org">https://housing.lacity.org</a>
Rent Stabilization Ordinance (RSO)	Yes [APN: 5529007031]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No
Housing Crisis Act Replacement Review	Yes

#### **Public Safety**

<b>Police Information</b>	
Bureau	West
Division / Station	Wilshire
Reporting District	701
<b>Fire Information</b>	
Bureau	West
Battalion	5
District / Fire Station	41
Red Flag Restricted Parking	No



## CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2016-1450-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	CPC-2006-7181-ZC
Required Action(s):	ZC-ZONE CHANGE
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	CPC-2006-5122-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	CPC-2004-2092-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	AN INTERIM CONTROL ORDINANCE TO TEMPORARILY PROHIBIT THE ISSUANCE OF ALL BUILDING PERMITS ON ALL MULTI-FAMILY ZONED LOTS (ALLOWING MORE THAN ONE DWELLING UNIT PER LOT) IN THE AREA BETWEEN SANTA MONICA BOULEVARD AND MELROSE AVENUE, AND BETWEEN CRESCENT HEIGHTS AND ALFREDO STREET.
Case Number:	CPC-19XX-1538
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	CPC-11655-BL
Required Action(s):	BL-BUILDING LINE
Project Descriptions(s):	Data Not Available
Case Number:	CPC-11653-BL
Required Action(s):	BL-BUILDING LINE
Project Descriptions(s):	Data Not Available
Case Number:	ENV-2016-1451-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	ENV-2006-7182-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.
Case Number:	ENV-2006-5123-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	MELROSE INTERIM CONTROL ORDINANCE AND SUBSEQUENT ZONE CHANGE.

## DATA NOT AVAILABLE

ORD-92724  
ORD-183497  
ORD-178884  
ORD-177699  
ORD-176073  
ORD-119111



# City of Los Angeles Department of City Planning

8/23/2022

## PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

1002 N ALFRED ST  
8447 W ROMAINE ST  
1000 N ALFRED ST  
8455 W ROMAINE ST

### ZIP CODES

90069

### RECENT ACTIVITY

None

### CASE NUMBERS

CPC-2016-1450-CPU  
CPC-2006-7181-ZC  
CPC-2006-5122-ICO  
CPC-2004-2092-ICO  
CPC-19XX-1538  
CPC-11653-BL  
ORD-92724  
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ORD-119111  
ENV-2016-1451-EIR  
ENV-2006-7182-ND  
ENV-2006-5123-CE

### Address/Legal Information

PIN Number	144B173 188
Lot/Parcel Area (Calculated)	6,495.9 (sq ft)
Thomas Brothers Grid	PAGE 592 - GRID J6
Assessor Parcel No. (APN)	5529007032
Tract	TR 5191
Map Reference	M B 57-85/86
Block	None
Lot	185
Arb (Lot Cut Reference)	None
Map Sheet	144B173

### Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Mid City West
Council District	CD 5 - Paul Koretz
Census Tract #	1944.02
LADBS District Office	Los Angeles Metro

### Permitting and Zoning Compliance Information

Administrative Review	None
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### Planning and Zoning Information

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Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	General (RBPA)
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](https://zimas.lacity.org).  
 (C) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment, and...



Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium-High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	15
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5529007032
APN Area (Co. Public Works)*	0.149 (ac)
Use Code	0200 - Residential - Double, Duplex, or Two Units - 4 Stories or Less
Assessed Land Val.	\$1,305,600
Assessed Improvement Val.	\$280,908
Last Owner Change	02/28/2022
Last Sale Amount	\$4,055,040
Tax Rate Area	67
Deed Ref No. (City Clerk)	956223
	684110
	384891
	1469418
	1044814
	1-865
	0229140
	0-774

#### Building 1

Year Built	1923
Building Class	D65
Number of Units	2
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	2,300.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
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Rent Stabilization Ordinance (RSO)	Yes [APN: 5529007032]

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
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High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No

Wells	None
<b>Seismic Hazards</b>	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	0.8339328
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
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Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
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Dip Angle (degrees)	70.00000000
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