



## DEPARTMENT OF CITY PLANNING APPEAL RECOMMENDATION REPORT

### City Planning Commission

**Date:** Thursday, October 12, 2023  
**Time:** After 8:30 A.M.\*  
**Place:** Los Angeles City Hall  
200 North Spring Street  
Council Chambers Room 340  
Los Angeles, CA 90012

And via Teleconference. Information will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commissionsboards-hearings> and/or by contacting [cpc@lacity.org](mailto:cpc@lacity.org)

**Public Hearing:** Required  
**Appeal Status:** Not further appealable  
**Expiration Date:** October 12, 2023  
**Multiple Approval:** NA

**Case No.:** DIR-2021-6050-TOC-HCA-1A  
**CEQA No.:** ENV-2021-6051-CE  
**Incidental Cases:** NA  
**Related Cases:** NA  
**Council No.:** 5 – Yaroslavsky  
**Plan Area:** Wilshire  
**Specific Plan:** NA  
**Certified NC:** Greater Wilshire  
**GPLU:** Medium Residential  
**Zone:** R3-1  
**Applicant:** 810 Wilton Development Partners, LLC- C/O Armando Garcia  
**Representative:** Jordan Beroukhim Beroukhim & Company, LLC  
**Appellant:** Adrian Yun

**PROJECT LOCATION:** 810 S. Wilton Place, Los Angeles 90005

**PROPOSED PROJECT:** A Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Tier 3 project, totaling fourteen (14) dwelling units, reserving two (2) units for Very Low Household occupancy for a period of 55 years with incentives.

The project proposes the demolition of an existing single-family dwelling unit and the construction, use, and maintenance of a new four story, 14-unit residential structure, designed with three (3) stories of residential levels over one (1) level of parking garage and one (1) level of subterranean parking. The project's unit mix will be comprised of (4) studio-bedroom units, one (1) one-bedroom units, and nine (9) two-bedroom units. The project will provide fourteen (14) vehicular parking spaces located within the ground level, and subterranean level parking. The project will also provide sixteen (16) bicycle parking spaces, including fourteen (14) long-term and two (2) short-term spaces. The project proposed approximately 11,859 square feet of floor area with a floor area ratio (FAR) of 2.6:1 within a new 56-foot building a lot totaling approximately, 7,507 square feet in lot area. The project will provide a total of 1,710 square feet of open space The project also involves the grading and export of approximately 4,250 cubic yards of earth.

**REQUESTED ACTION:** An Appeal of the February 21, 2023, Director of Planning determination which approved the following Transit Oriented Communities Affordable Housing Incentive Program project,

pursuant to Los Angeles Municipal Code (“LAMC”) Sections 12.22 A.31, 12.22 A.25(g):

1. **Determined**, that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines regarding cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources applies;
2. **Approve with Conditions a Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Review for a qualifying Tier 3 project**, totaling fourteen (14) dwelling units, reserving two (2) units for Very Low Household occupancy for a period of 55 years, with the following Base and Additional Incentives:

#### **Base Incentives**

1. **Residential Density**. A 56-percent increase in the maximum density to permit a total of fourteen (14) dwelling units in lieu of ten (10) units as otherwise permitted by LAMC Section 12.10;
2. **Residential Automobile Parking**. A reduction in the automobile parking requirement to allow a minimum of 0.5 spaces per unit;

#### **Additional Incentives**

3. **Yard Setbacks**. A reduction in the minimum northerly and southerly side yard setbacks to permit 5 feet 7 inches, in lieu of seven (7) feet as otherwise required by LAMC Section 12.10 C.2; and
4. **Height**. An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1.

#### **RECOMMENDED ACTIONS:**

1. **Determine**, that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines regarding cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources applies;
2. **Deny** the appeal of DIR-2021-6250-TOC-HCA; and **Sustain** the decision of the Director of Planning conditionally approving a Transit Oriented Communities Affordable Housing Incentive Program, pursuant to Los Angeles Municipal Code (“LAMC”) Sections 12.22 A.31 and 12.22 A.25(g), allowing the construction, use, and maintenance of a 3-story multi-family residential building containing approximately 11,859 square feet of floor area with (14) dwelling units, reserving two (2) for Very Low-Income Households; and

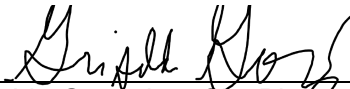
3. **Adopt** the Director of Planning's Conditions of Approval and Findings for DIR-2021-6250-TOC-HCA.

VINCENT P. BERTONI, AICP  
Director of Planning



---

Jane J. Choi, AICP, Principal City Planner



---

Griselda Gonzalez, City Planner

# TABLE OF CONTENTS

**Project Analysis ..... A-1**

**Appeal Analysis ..... A-4**

**Staff Recommendation and Conclusion ..... A-7**

**Exhibits:**

Exhibit A – Project Plans

Exhibit B – Letter of Determination (DIR-2021-6050-TOC-HCA)

Exhibit C – Class 32 Categorical Exemption and Justification (ENV-2021-6051-CE)

Exhibit D- Appeal application and justification (Appellant: Adrian Yun)

## PROJECT ANALYSIS

### Appellate Decision Body

Pursuant to LAMC Section 11.5.7 C.6. the City Planning Commission is the appellate decision maker, for appeals of the Director of Planning determination for Transit Oriented Communities (TOC) projects. The decision of the City Planning Commission is not further appealable to the City Council.

### Project Summary

On February 21, 2023, the Director of Planning approved a project using the Transit Oriented Communities Affordable Housing Incentive Program for the construction, use, and maintenance of a four-story multi-family residential building with fourteen (14) residential units, reserving two (2) dwelling units for Very Low-Income Households for a period of 55 years with Tier 3 incentives.

The proposed project is for the demolition of an existing single-family dwelling unit and the construction, use, and maintenance of a new four story, 14-unit residential structure, designed with three (3) stories of residential levels over one (1) level of parking garage and one (1) level of subterranean parking. The project's unit mix will be comprised of (4) studio-bedroom units, one (1) one-bedroom units, and nine (9) two-bedroom units. The project will provide fourteen (14) vehicular parking spaces located within the ground level, and subterranean level parking. The project will also provide sixteen (16) bicycle parking spaces, including fourteen (14) long-term and two (2) short-term spaces. The project proposed approximately 11,859 square feet of floor area with a floor area ratio (FAR) of 2.6:1 within a new 56-foot building, as measured from grade to the top of the parapet. The bulk of the building mass as depicted in approved Exhibit A, measures approximately 46 feet and 5 inches from ground level to top of 4<sup>th</sup> level parapet. The west/southern portion of the building measures 56 feet from ground level to the top of the building. The project will provide a total of 1,710 square feet of open space, including 885 square feet of roof decks, 625 square feet of common open space, and 200 square feet of private balconies. The project proposes the removal of one (1) non-protected street tree. The project proposes 845 square feet of solar panel area at the roof level, including 12 solar panel. The project also involves the grading and exporting up approximately 4,250 cubic yards of earth.

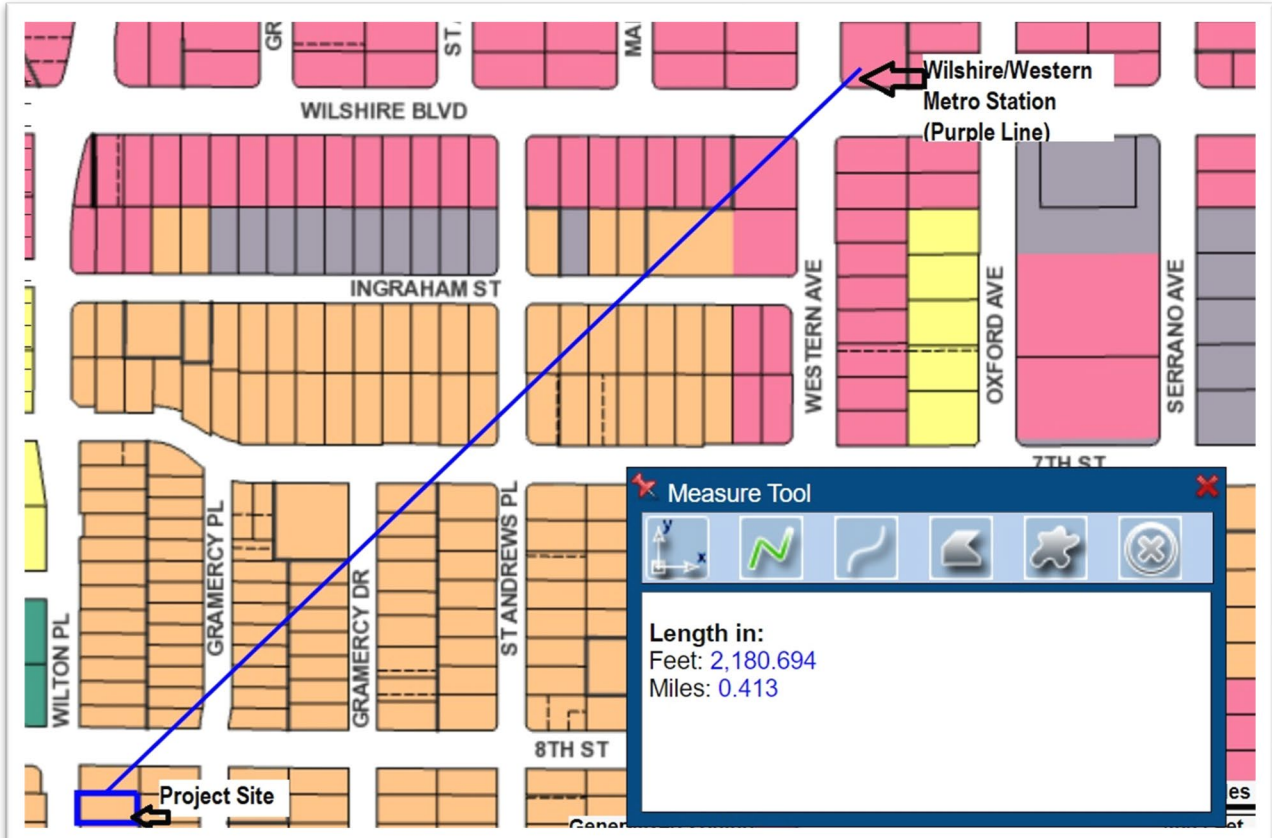


Image Above shows the project's west elevation, fronting the east side of Wilton Place.

## Background

The project site consists of one (1) rectangular-shaped lot with a total lot size of approximately 7,507 square feet. The project site is located on the east side of Wilton Place and has approximately 60 feet of frontage and a uniform depth of approximately 124 feet. The project site is zoned R3-1 and designated for Medium Residential land uses by the Wilshire Community Plan. The project site is not located within the boundaries of or subject to any specific plan, community design overlay, or "Q" Qualified Conditions or "D" Development Limitation ordinance. The site is located within the City of Los Angeles Transit Priority Area, Los Angeles State Enterprise Zone, Urban Agriculture Incentive Zone Area, and Fire District No.29.

The subject property is located approximately 2,180 feet (0.413 miles) from the Wilshire/Western Metro Station (Purple Line), which qualifies the site as Tier 3 TOC Affordable Housing Incentive Area. As such, the project is eligible for Tier 3 TOC Affordable Housing Incentives. Per Section IV of the TOC Guidelines Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 15 percent of the total number of units for Very Low-Income Households. The project proposes to set aside two (2) units, which is 14 percent of the total 14 units, for Very Low-Income Households. The project qualifies for two (2) additional incentives if 10 percent of the base 10 units is set aside for Very Low-Income Households. The project proposes to set aside two (2) units, which is 20 percent of the base 10 units, for Very Low-Income Households. The project is eligible for up to two (2) Additional Incentives. The project complies with the replacement requirements of Senate Bill 330, which are administered by the Los Angeles Housing Department. The project fulfills the Tier 3 TOC eligibility requirements for on-site restricted affordable units. The graphic displayed below shows approximate distance from the subject site to the Wilshire/Western Metro Station.



Graphic above, depicts the distance in feet and miles between the Wilshire/Western Metro Station (Purple Line) and the project site as measured using the Zone Information and Map Access System (ZIMAS) September 5, 2023)

eligible for the following base incentives which are granted by-right for eligible TOC projects, and two (2) Additional Incentives to construct the proposed project as listed below:

**Residential Density (Base Incentive).** A 56-percent increase in the maximum density to permit a total of fourteen (14) dwelling units in lieu of ten (10) units as otherwise permitted by LAMC Section 12.10;

**Residential Automobile Parking (Base Incentive).** A reduction in the automobile parking requirement to allow a minimum of 0.5 spaces per unit;

#### **Additional Incentives**

1. **Yard Setbacks.** A reduction in the minimum northerly and southerly side yard setbacks to permit 5 feet 7 inches, in lieu of seven (7) feet as otherwise required by LAMC Section 12.10 C.2.
2. **Height.** An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1;

#### **Surrounding Neighborhood:**

The subject property is a single lot, totaling approximately 7,707 square feet in lot size and is located at 810 S. Wilton Place, within the boundaries of the Wilshire Community Plan. The subject site is zoned with an R3-1 zone designation and is currently improved with a single family dwelling unit. The surrounding neighborhood is a primarily developed with a mix of single and multifamily residential uses ranging from one to four story residential structures. The subject site is surrounded by properties which are zoned R3-1 and R3-1-HPOZ. The zone designations immediately abutting the subject site to the north, west and south are designated with R3-1 zone designations. The properties located across the street from the subject site are zoned R3-1-HPOZ and are also developed with two to four story residential structures. These properties are located within the boundaries of the Wilshire Park Historic Preservation Overlay Zone (HPOZ). The subject site is not located with an HPOZ or Specific Plan. The subject site is also located approximately 200 feet from Wilton Place Elementary School, which is located on the north-west corner for Wilton Place and 8<sup>th</sup> Street. There is also a religious institution located on the west side of Wilton place, approximately 96 feet the from the subject site.

The property immediately abutting the subject site along its northern property line, is developed with a three-story 10-unit apartment building, the property located along the subject site's eastern property line is developed with three-story, 9-unit apartment building. The property located to the south of the subject site, and immediately abutting the southern property line of the subject site at 816-820 S. Wilton Place is developed with a 4-story 18-unit condominium residential building designed with 3-stories of residential levels above one grade level of parking and one subterranean parking level. This 18-unit new residential condominium building was approved on March 13, 2018, under case number Vesting Tentative Tract (VTT) 73780-CN.

#### **Streets and Circulation:**

Wilton Place is adjoining the project site. The City's Mobility Plan 2035 designates Wilton Place as an Avenue III, which requires a right-of-way width of 72 feet and a roadway width of 36 feet (half roadway width of 23 feet). Wilton Place is currently dedicated with a half roadway of 23 feet, and a half right of way of 35 feet.

## APPEAL ANALYSIS

On March 7, 2023, an appeal was filed for the subject case by Adrian Yun. Mr. Yun, resides in the property abutting the subject site to the south. In the appeal application the appellant, Mr. Yun, states that the appeal was filed on behalf of himself and as president of his homeowner association. Pursuant to LAMC Section 12.22.A 25 an “Applicant or any owner or tenant of a property abutting, across the street or alley from or having a common corner with the subject property aggrieved by the Director’s decision may appeal the decision to the City Planning Commission”. By filing an appeal application, the appellant affirms that he is resident of a property abutting the subject property. The appellant has submitted adequate proof of residency. Therefore, the appellant has standing to file an appeal of the Director decision.

### **Appeal Summary:**

In the appeal application and justification document, the appellant states that the Directors’ decision to grant two additional TOC incentives negatively affects the quality of life for himself and the surrounding community. The first additional incentive grants an 11-foot increase to the maximum allowable building height, allowing a 56-foot-tall building in lieu of the maximum allowed 45 feet. The second additional incentive grants a 1 foot 5-inch reduction to the northerly and southerly side yard setbacks allowing for 5 feet 7-inch side yards in lieu of 7 feet.

The appellant states that granting of the additional incentives would result in a development that is out of scale with the character of the surrounding neighborhood. The appellant further states that the proposed structure would cast shadows on adjacent properties, reduce natural light, block scenic views and result in a loss of privacy. The appellant also states that the project would increase traffic and noise pollution in the community. Additionally, the appellant believes that the proposed incentives violate existing zoning regulations, and thus by granting an approval, the decision maker erred or abused their power.

The following provides a list of the appeal points followed by staff responses for each appeal point. The full appeal application and justification document are provided in Exhibit D.

### **Appeal Point #1:**

*“The proposed height increase of 11 feet and reduction in setbacks of 1 foot and 5 inches will result in a structure that is grossly out of scale with the surrounding buildings and the general character of the neighborhood. The proposed incentives will cast shadows on our property and restrict sunlight, resulting in a significant reduction of natural light and a loss of privacy”.*

### **Staff Response to Appeal Point 1:**

The project site is zoned R3 with a Height District 1 designation which allows for a maximum building height of 45 feet by-right. The applicant’s application for TOC project requests two base incentives for increase in density and parking reductions and two additional incentives. The additional incentives allow for an increase in height and a reduction of the side yards. The project was granted an eleven (11) foot increase allowing for a 56-foot-tall building lieu of 45 feet and a one (1) foot, 5-inch reduction to the side yards, along the northern and southern property line of the subject site allowing for side yards measuring 5 feet 7 inches in lieu of the required 7 feet. The project as designed proposes a structure that is varying in building height. As depicted in the projects’ elevation renderings (Project Plans-Exhibit A), the bulk of the building measures approximately 46 feet and one inch in height from grade level to the top of the fourth level roof parapet and measures up to 55 feet 8 inches at the south/west and north/east portion of the building.



The surrounding structures vary in height from 3 to 4 stories in height with 9 to 18 residential dwelling units. The subject site's southern property line immediately abuts an 18-unit, 45-foot-tall residential condominium development, (with the highest point of the building being along the middle of the block, measuring 55 feet). This 55-foot height accounts for the stairway and elevator structures which are allowed exceed the maximum allowed height by 10. This 18-unit condominium development was built with three stories of residential development over one grade level and one subterranean parking garage sited within a 14,886 square foot lot. The overall building mass of the proposed project is smaller in size when compared to the adjacent 18-unit condominium development. The project proposes 14 units on a 7,707 square foot lot, and similar to the adjacent condominium development is designed with three residential levels over one at grade level parking and one subterranean parking level.

In addition, the appellant claims that there are impacts to shade and shadow, natural light, loss of privacy and to the overall aesthetic character. The project mass, height and character are compatible with the type of buildings located in the immediate neighborhood in described in the paragraph above. Additionally, in granting the approval the Director determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32 ((Exhibit D). Loss of privacy is not a CEQA impact. Additionally, on September 2013, the Governor signed into law Senate Bill (SB) 743 establishes that projects located within Transit Priority Areas (TPA), are exempt from aesthetic character, shade and shadow, light and glare, or any other aesthetic impact as defined in the City's CEQA and shall not be considered an impact for infill projects within TPAs.' The subject site is located within a Transit Priority Area, therefore SB 743 applies.

Therefore, for the reasons explained above, the Director's decision was appropriate.

### **Appeal Point 2:**

The project would *"cause an increase in traffic, noise pollution, negatively change the neighborhood and block scenic views from our homes, which are an essential component of our neighborhood's aesthetic and cultural value, further diminishing our quality of life."*

### **Staff Response to Appeal Point 2:**

The appellant has not provided substantial evidence in the record to support his claim that the project would increase traffic and noise pollution. As demonstrated in the justification for the Class 32 Categorical Exemption (Exhibit C) the proposed project meets all the criteria to qualify as an infill project under Class 32 Categorical Exemption under the California Environmental Quality Act (CEQA). The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance. These RCMs will ensure the project will not have significant impacts on noise. Additionally, all projects are subject to the City's Noise Ordinance No. 144,331 which regulates construction equipment and maximum noise levels during construction and operation. The 14-unit project does not exceed the threshold criteria established by LADOT for preparing a traffic study. According to the Department of Transportation's Vehicle Mile travel Calculator, the project is not located within a Transportation Specific Plan, and further confirms traffic study is not required.

The appellant also claims that the project would "block scenic views from their homes'. Wilton Place is not designated as a scenic highway. The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. State Route 27 is located approximately 21 miles west

of the subject property. Therefore, the subject site will not create any impacts to any designated scenic views. Private views are not designated as 'scenic views' and are not protected under CEQA.

The CEQA determination includes substantial evidence that the Class 32 categorical exemption applies to the proposed project, and there are no significant impacts to traffic, noise, and scenic views resulting from the project.

### **Appeal Point 3:**

*"I am particularly aggrieved and concerned by the fact that the developer strategically did not notify all the residents in our building (18 units), which is located directly south of this development. We are the party that will be the most affected by this decision. I strongly believe that the city should enforce proper notification requirements to ensure that all residents are aware of developments that may have an impact on their quality of life".*

### **Staff Response to Appeal Point 3.**

A hearing is not required for TOC projects prior to the issuance of a determination letter. Pursuant to LAMC Section 12.22 A.25(g)(2)(i)d, the Letter of Determination was transmitted to the applicant and owners of abutting property owners via United States Post Office (USPS) mail on February 20, 2023, as evidenced in the administrative record. The appeals to TOC determinations are heard at the City Planning Commission and will provide an opportunity for any member of the public to submit verbal and written comments.

### **Appeal Point 4.**

*"...the proposed incentives would be a violation of the existing zoning regulations and guidelines of our neighborhood. The developer's request for the additional incentives will not only create an unwarranted exception to the existing regulations, but it also violates the city's obligation to protect the interests and rights of the neighboring property owners".*

### **Staff Response to Appeal Point 4:**

Pursuant to the voter-approved Measure JJJ, Los Angeles Municipal Code (LAMC) 12.22 A.31 was added to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Program). The measure required the Department of City Planning to create TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines) for all Housing Developments located within a one-half mile radius of a Major Transit Stop. These guidelines were established with Ordinance 184,745 and provide the eligibility standards, incentives, and other necessary components of the TOC Program, all of which are required under LAMC 12.22 A.31. Pursuant to LAMC Section 12.22A.31 (b)(1), a Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it provides a minimum required percentage of onsite restricted affordable units, meets applicable replacement requirements of the California Government Code Section 65915C3, and is not seeking and receiving a density of development bonus under the provisions of Government Code 65915 or any other State or local density bonus programs.

The subject site is located at 810 S. Wilton Place and is located within one-half mile radius of the Wilshire/Western Station-Metro D Line (Purple), a Major Transit stop. The project site is located within Tier 3 of a Transit Oriented Communities Affordable Housing Incentive Area.

The proposed project qualified for a base incentive of a 56% increase in maximum density and a reduction in parking spaces. The project site's R3-1 zoning allows a maximum density of one dwelling unit per 800 square feet of lot area. Therefore, based on a 7,507 square lot the maximum base density is 10 units. With a 70 percent increase in density permitted in Tier 3 of the TOC Guidelines, the project is permitted a total density of 17 units. However the project is only proposing 14 units. Housing projects qualify for two (2) additional incentives if 10 percent of the base 10 units is set aside for Very Low-Income Households. The project proposes to set aside two (2) units for Very Low-Income Households, for a period of 55 years, which is 20% of the base units. The project is in compliance with all applicable regulations required under the 'Transit Oriented Communities Affordable Housing Incentive Program. Therefore, the proposed project qualifies for the additional incentives that were granted.

In granting the approval, the Director determined that the proposed project is in compliance with LAMC Section 12.22 A 31 and Ordinance No. 184,745. Therefore, there is no violation of existing zoning regulations and guidelines.

#### **Appeal Point 5.**

*".. As an aggrieved party, I believe that the decision-maker erred or abused their decision-making power by granting this conditional determination."*

#### **Staff Response to Appeal Point 5:**

The appellant has not provided evidence to support his claim. In granting the project approval, the Director of Planning determined that the project meets the applicable TOC affordable housing incentive program eligibility requirements and is in conformance with all applicable LAMC Sections. Therefore, the decision maker did not err or abuse decision making power in granting this determination.

#### **Staff Recommendation and Conclusion**

For the reasons stated herein, and as provided in the Findings in the Director's Determination, the proposed project fully complies with the applicable provisions of the Transit Oriented Communities Affordable Housing Incentive Program, the Los Angeles Municipal Code and the California Environmental Quality Act. The appeal of the Director's Determination cannot be substantiated and therefore should be denied. Staff recommends that the City Planning Commission deny the appeals and sustain the decision of the Director of Planning in approving the proposed project.

# NEW 14-UNIT APARTMENT DEVELOPMENT

PROJECT ADDRESS: 810 S. WILTON PL, LOS ANGELES, CA 90005

**EXHIBIT "A"**  
 Page No. 1 of 41  
 Case No. DIR-2021-6050-TOC-HCA

- architecture
- engineering
- planning
- land-use consultation

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com



FRONT VIEW



SIDE VIEW



SIDE VIEW



REAR VIEW

## RENDERINGS

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No: 20101-10001-02999

REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

SCALE

DATE 07-23-2021

SHEET

**COVER SHEET**

**T-1.0**

# NEW 14-UNIT APARTMENT DEVELOPMENT

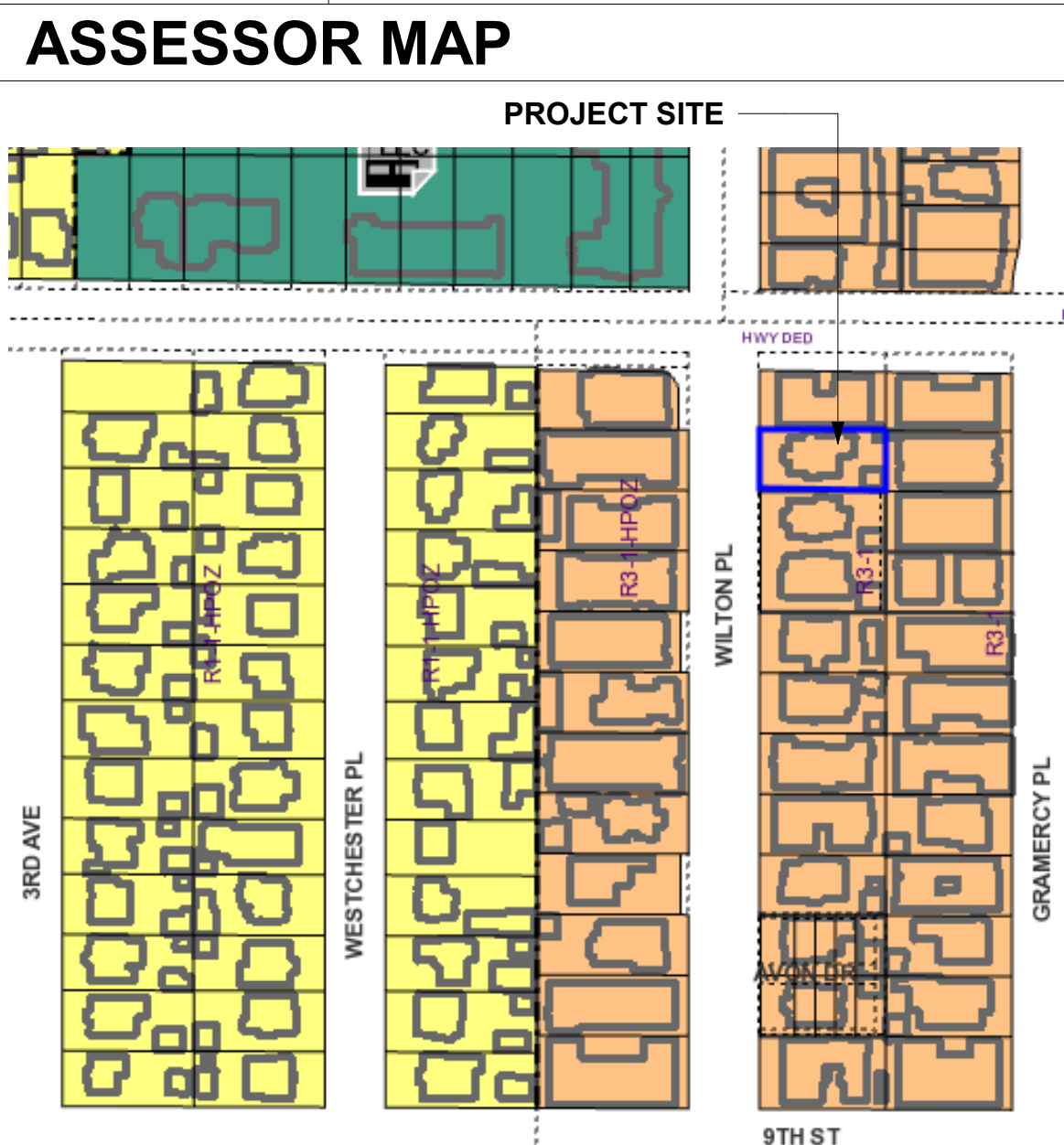
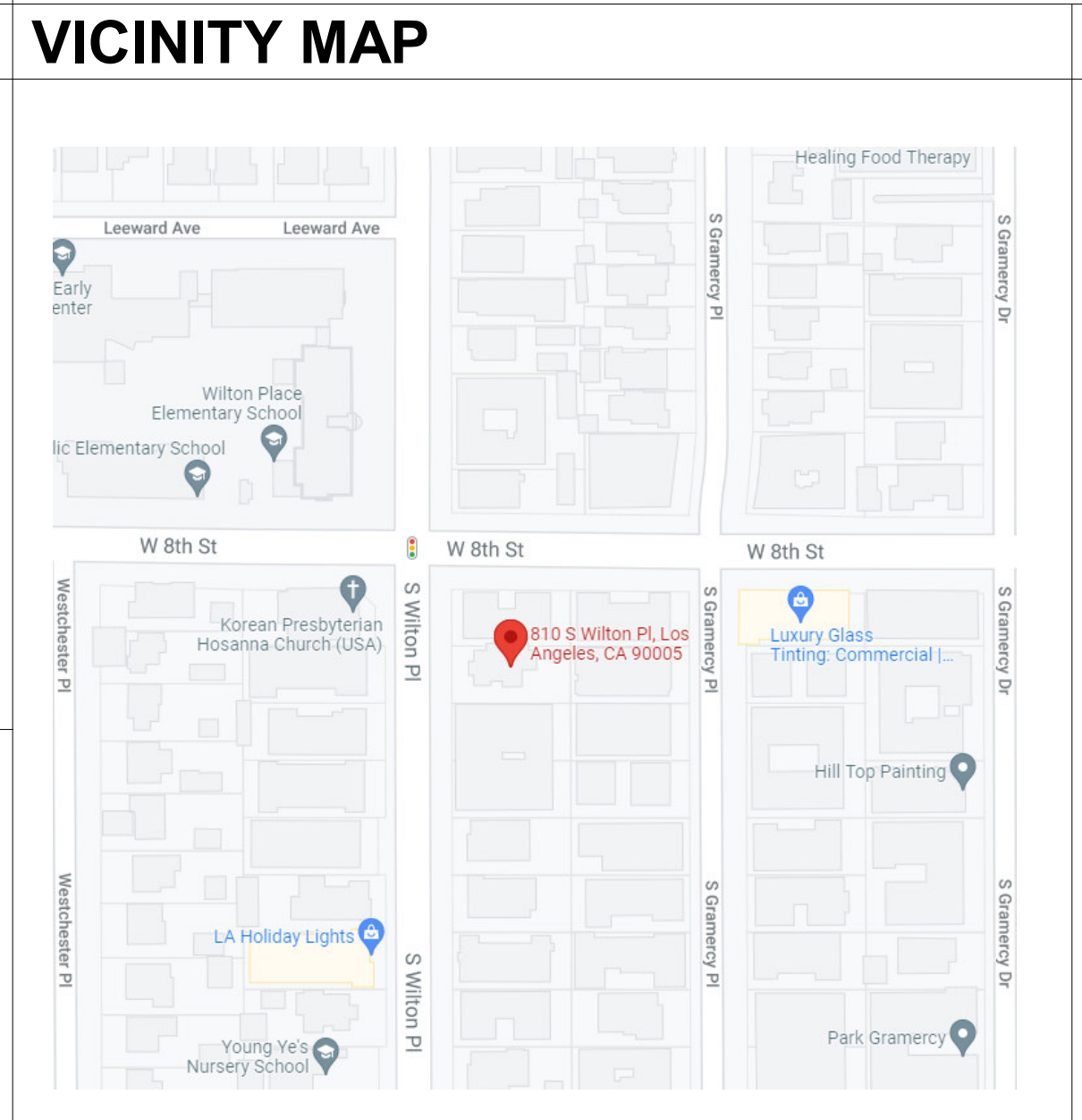
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES. CA 90005

PROJECT INFORMATION	
<b>PROJECT ADDRESS</b> 810 S. WILTON PLACE, LOS ANGELES, CA 90005	
<b>LEGAL DESCRIPTION</b>	
APN:	5092026014
LOT:	14
BLOCK:	9
TRACT:	COUNTRY CLUB PARK
ZONING:	R3-1
TRANSITED ORIENTED COMMUNITIES:	TIER 3
TOTAL LOT AREA:	7,507.0 SQ. FT.
<b>PROJECT DESCRIPTION</b>	
NEW CONSTRUCTION OF A 14-UNIT, 4-STORY RESIDENTIAL BUILDING WITH 1-STORY GROUND PARKING AND 1-STORY SUBTERRANEAN PARKING.	
REQUESTING 2 TOC ADDITIONAL INCENTIVES:	
1. UP TO 30% DECREASE IN THE REQUIRED WIDTH OR DEPTH OF TWO INDIVIDUAL YARDS OR SETBACKS. SIDE SETBACKS (NORTH AND SOUTH): TO 5'-7" IN LIEU OF REQUIRED 8'-0"	
2. TOTAL HEIGHT INCREASE OF UP TO 11 ADDITIONAL FEET	
<b>OCCUPANCY GROUP(S):</b>	R-2, S-2 (PARKING)
<b>TYPES OF CONSTRUCTION:</b>	V-A ON I-B PODIUM
<b>PROPOSED NUMBER OF STORIES:</b>	4 LEVELS ABOVE GROUND (3 RESIDENTIAL LEVELS, 1 PARKING GROUND LEVEL) 1 SUBTERRANEAN PARKING
<b>FIRE SPRINKLER SYSTEM:</b>	FULLY AUTOMATIC-SPRINKLERS THROUGHOUT (COMPLY WITH NFPA-13R)

ZONING ANALYSIS	
<b>DENSITY</b>	
TOTAL LOT AREA:	7,507 SQ. FT.
BUILDABLE AREA:	4,590.33 SQ. FT.
ALLOWABLE F.A.R. PER LAMC:	3 : 1 (13,770.99 SQ. FT.)
ALLOWABLE F.A.R. PER TOC (TIER 3, 50% INCREASE):	4.5 : 1 (20,656.49 SQ. FT.)
PROPOSED FLOOR AREA:	11859.07 SQ. FT.
PROPOSED F.A.R.:	2.6 : 1 (11859.07 / 4,590.33 = 2.6)
MIN. AREA PER UNIT PER LAMC:	800.0 SQ. FT.
# OF UNITS ALLOWED BY RIGHT:	9 UNITS [7,507 / 800 = 9.38] ROUND DOWN TO WHOLE NUMBER
BASE DENSITY:	10 UNITS [7,507 / 800 = 9.38] ROUND UP TO WHOLE NUMBER
MAX. ALLOWABLE DENSITY:	17 UNITS [BASE DENSITY * 1.7 (TOC TIER 3)]
# OF UNITS PROVIDED:	14 UNITS
# OF VERY LOW INCOME HOUSEHOLDS PROVIDED (TOC TIER 3 - 14%)	2 UNITS (14% OF 14)
PARKING PER TOC TIER 3: 0.5 PER UNIT 0.5 PER 14 = 7 PARKING	PROPOSED PARKING 14
ZONING ALLOWABLE HEIGHT:	45'-0"
ALLOWABLE HEIGHT PER TOC (TIER 3, TOC INCENTIVE #2):	56'-0" (= 45' + 11') MAX.
PROPOSED HEIGHT:	46'-6"
<b>SETBACKS</b>	
(TIER 3, TOC INCENTIVES #1 - UP TO 30% DECREASE IN THE REQUIRED WIDTH OR DEPTH OF TWO INDIVIDUAL YARDS OR SETBACKS)	
FRONT (WEST):	PROPOSED: 15'-0" / REQUIRED: 15' PER LAMC
SIDE (NORTH):	PROPOSED: 5'-7" / REQUIRED: 7' PER LAMC
SIDE (SOUTH):	PROPOSED: 5'-7" / REQUIRED: 7' PER LAMC
REAR (EAST):	PROPOSED: 15'-1 1/2" / REQUIRED: 15' PER LAMC

GOVERNING CODES	
THIS PROJECT COMPLIES WITH: 2019 CALIFORNIA BUILDING CODE TITLE 24 AND 2019 CALIFORNIA RESIDENTIAL CODE (CRC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 LOS ANGELES MUNICIPAL CODE TOC GUIDELINES	
<b>1. NOTES:</b>	
<b>SEPARATE PERMIT APPLICATION REQUIRED FOR THE FOLLOWING ITEMS:</b> a. RETAINING WALL OR BLOCK FENCE WALL b. GRADING WORK c. DEMOLITION d. ELECTRICAL, MECHANICAL AND PLUMBING WORK e. FIRE SPRINKLER SYSTEM	
<b>2. NOTE:</b>	
ALL DIMENSIONS ON THE ARCHITECTURAL PLANS HEREIN ARE SET TO THE FINISH DIMENSION OF THE WALL, FLOOR, CEILING, ETC. IN NO EVENT WILL THE GENERAL CONTRACTOR, OR HIS/HER SUBCONTRACTORS UTILIZE FINISH TO FINISH DIMENSION OTHER THAN THE FINISH DIMENSION TO THE MATERIALS LISTED IN THE WALL, FLOOR, ROOF, CEILING TYPES, ETC. AS PROVIDED IN THE DETAILS SHOWN.	

CONSULTANTS	
<b>OWNER:</b>	<b>ARCHITECT:</b>
<b>CONTACT:</b> ARMANDO GARCIA/ EVARISTO ORTIZ <b>ADDRESS:</b> 1340 E. ROUTE 66 SUITE 200 LOS ANGELES, CA 91740	<b>THE CODE SOLUTION</b>
<b>TEL. No.:</b> 909) 630-4765 / (626) 786-8569	<b>SENIOR PROJECT MANAGER</b>
	<b>CONTACT:</b> ARA MELIKSETYAN <b>ADDRESS:</b> 800 W. 6TH ST. SUITE 1250 LOS ANGELES, CA 90017
	<b>TEL. No.:</b> (213) 537-0158 <b>EMAIL:</b> ara@thecodesolution.com
<b>REPRESENTATIVE:</b> BEROUKHIM & COMPANY	<b>ARCHITECTURAL DESIGNER</b>
<b>CONTACT:</b> JORDAN BEROUKHIM <b>ADDRESS:</b> 16255 VENTURA BLVD. #625 ENCINO, CA 91436	<b>CONTACT:</b> ROBERTA DE LEON CRUZ
<b>TEL. No.:</b> (310) 435-4594	<b>EMAIL:</b> roberta@thecodesolution.com
<b>STRUCTURAL ENGINEER:</b>	<b>MECHANICAL &amp; PLUMBING ENGINEER:</b>
<b>Pacific Engineers Group</b>	<b>Pacific Engineers Group</b>
<b>CONTACT:</b> Julian Zhuang, S.E., P.E. <b>ADDRESS:</b> JZ Structural, Inc. 205 S. Chapel Ave #C2. Alhambra, CA 91801	<b>CONTACT:</b> Mel S. Fajardo Jr. MEPF Consulting Electrical Engineers 1106 W. Magnolia Blvd., Suite A Burbank, CA 91506
<b>TEL. No.:</b> (626) 475-2628 <b>EMAIL:</b> www.jzstructural.com	<b>TEL. No.:</b> 818.842.7285 <b>EMAIL:</b> www.pacificeng.net



SYMBOLS	
EXIT SIGN	EXIT & EXIT
STAND PIPE	⊙
REVISION MARK	△
DOOR NUMBER	○
WINDOW NUMBER	○
GLAZING TYPE	○
TOILET ACCESSORY	○
SLAB / SURFACE DROP	X
MATCH LINE	⊙
ROOM TAG	ROOM NAME
WALL TYPES	◇
KEYNOTE	⊙
ENLARGE DETAIL	⊙
DETAIL REFERENCE	⊙
ELEVATION REFERENCE (SHOWN ON PLAN)	⊙
WALL SECTION (SHOWN ON BLDG. ELEVATION/ PLANS)	⊙
INTERIOR ELEVATION	⊙
ELEVATION MARK	⊙
EARTH	⊙
GRAVEL	⊙
DOUBLE WALL	⊙
CONCRETE	⊙
SAND	⊙
BRICK	⊙
CONC. BLOCK	⊙
PLYWOOD OR PARTICLE BOARD	⊙
BATT INSULATION	⊙
RIGID INSULATION	⊙

## SHEET INDEX

SHEET NUMBER	SHEET NAME
A-5.6	SECTION - 7
A-5.7	SECTION - 8
A-5.10	WALL SECTIONS
A-7.3	RAILING DETAIL
A-10.2	FLOOR TYPES
A-11.2	DETAILS
A-11.6	DETAILS
A-12.4	METAL PANELS SPECS
A-12.5	METAL PANEL SPECS
T-1.3	GENERAL NOTES
T-1.4	R1 & R2 OCCUP. PLAN CHECK LISTS
T-1.5	R1 & R2 OCCUP. PLAN CHECK LIST
T-1.6	ADA RESID. ACCESSBT. NOTES
T-1.7	ADA RESID. ACCESSBT. NOTES
T-2.5	WALL OPENING DIAGRAMS
T-1.0	COVER SHEET
T-1.1	TITLE SHEET
T-1.2	PROJECT INFO
T-2.0	BUILDING FLOOR AREA DIAGRAM
T-2.1	ZONING FLOOR AREA DIAGRAM
T-2.2	SCHOOL AREA DIAGRAM
T-2.3	OPEN SPACE CALC.
T-2.4	WALL OPENING DIAGRAMS
T-2.6	BUILDABLE AREA DIAGRAM
T-3.0	SITE SURVEY
T-5.0	TREE REPORT
A-0.1	DEMOLITION PLAN
A-1.0	VICINITY SITE PLAN
A-1.1	PROPOSED SITE PLAN
A-2.0	UNDER GROUND PARKING FLOOR PLAN
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-2.3	THIRD FLOOR PLAN
A-2.4	FOURTH FLOOR PLAN
A-2.5	ROOF DECK PLAN
A-2.6	ROOF PLAN
A-4.0	WEST COLORED ELEVATION
A-4.1	NORTH COLORED ELEVATION
A-4.2	SOUTH COLORED ELEVATION
A-4.3	EAST COLORED ELEVATION
A-5.0	SECTION - 1
A-5.1	SECTION - 2
A-5.2	SECTION - 3
A-5.3	SECTION - 4
A-5.4	SECTION - 5
A-5.5	SECTION - 6
A-5.8	FRONT PLANTER BOX SECTIONS
A-5.9	REAR PLANTER BOX SECTION
L-1.0	LANDSCAPE - GROUND LEVEL
L-1.1	LANDSCAPE - ROOF LEVEL

## SHEET INDEX

**EXHIBIT "A"**  
Page No. 2 of 41  
Case No. DIR-2021-6050-TOC-HCA



architecture  
engineering  
planning  
land-use consultation

**TCS**  
THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION

**PROJECT**  
NEW 14-UNIT APARTMENT DEVELOPMENT  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES. CA 90005

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 1" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**TITLE SHEET**

**T-1.1**

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

ABBREVIATIONS

Table of abbreviations and their full names, including terms like ANCHOR BOLT, ASPHALTIC CONCRETE, AREA DRAIN, etc.

TRANSIT-ORIENTED COMMUNITIES (TOC)



Chart 1. TOC Affordable Housing Incentive Area Tiers. Type of Major Transit Stop, Tier 1 (Low), Tier 2 (Medium), Tier 3 (High), Tier 4 (Regional). Distance to Major Transit Stop.

PROJECT SITE DISTANCE TO METRO RAIL STATION: 2,221.42 FT

ADM-2022-8645-TOC

REFERRAL FORMS: TRANSIT-ORIENTED COMMUNITIES - TIER VERIFICATION FORM LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes...

Form section including NOTES and Planning Staff Name/Title fields.

I. Project Information - To be completed by applicant

Form section including Project Location/Zoning and Community Plan fields.

II. Project Eligibility - To be completed by DCP Housing Services Unit Staff

Form section including Transportation Qualifiers and TOC Tier selection.

Footnote 1: Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.

Table with columns: UNIT TYPE, COUNT, FLOOR AREA PER UNIT (SQ. FT.), TOTAL. Rows include STUDIO, 1-BED, 2-BED 2-BATH, and TOTAL GROSS.

Table with columns: TERM, REQUIRED, PROVIDED, MANUFACTURER. Row: LONG TERM PARKING.

Table with columns: REQUIRED (TOC TIER 3 - 0.5 PER UNIT), TOTAL NUMBER OF UNITS \* 0.5 = 14 \* 0.5 = 7 SPACES, PROVIDED, TOTAL PROVIDED.

Table with columns: # OF UNITS, < 3 HABITABLE ROOMS (100 SQ. FT./UNIT), = 3 HABITABLE ROOMS (125 SQ. FT./UNIT), > 3 HABITABLE ROOMS (175 SQ. FT./UNIT). Rows include REQUIRED, TOTAL REQUIRED, TOTAL REQUIRED PER TOC.

Table with columns: COMMON OPEN SPACE (REAR YARD, ROOF DECK), PRIVATE OPEN SPACE (MAX. 50 SQ. FT./SPACE TO BE COUNTEO). Rows include PROVIDED, SUBTOTAL, TOTAL PROVIDED.

Table with columns: LANDSCAPE SCHEDULE, PROVIDED, 1,164.63 SQ. FT.

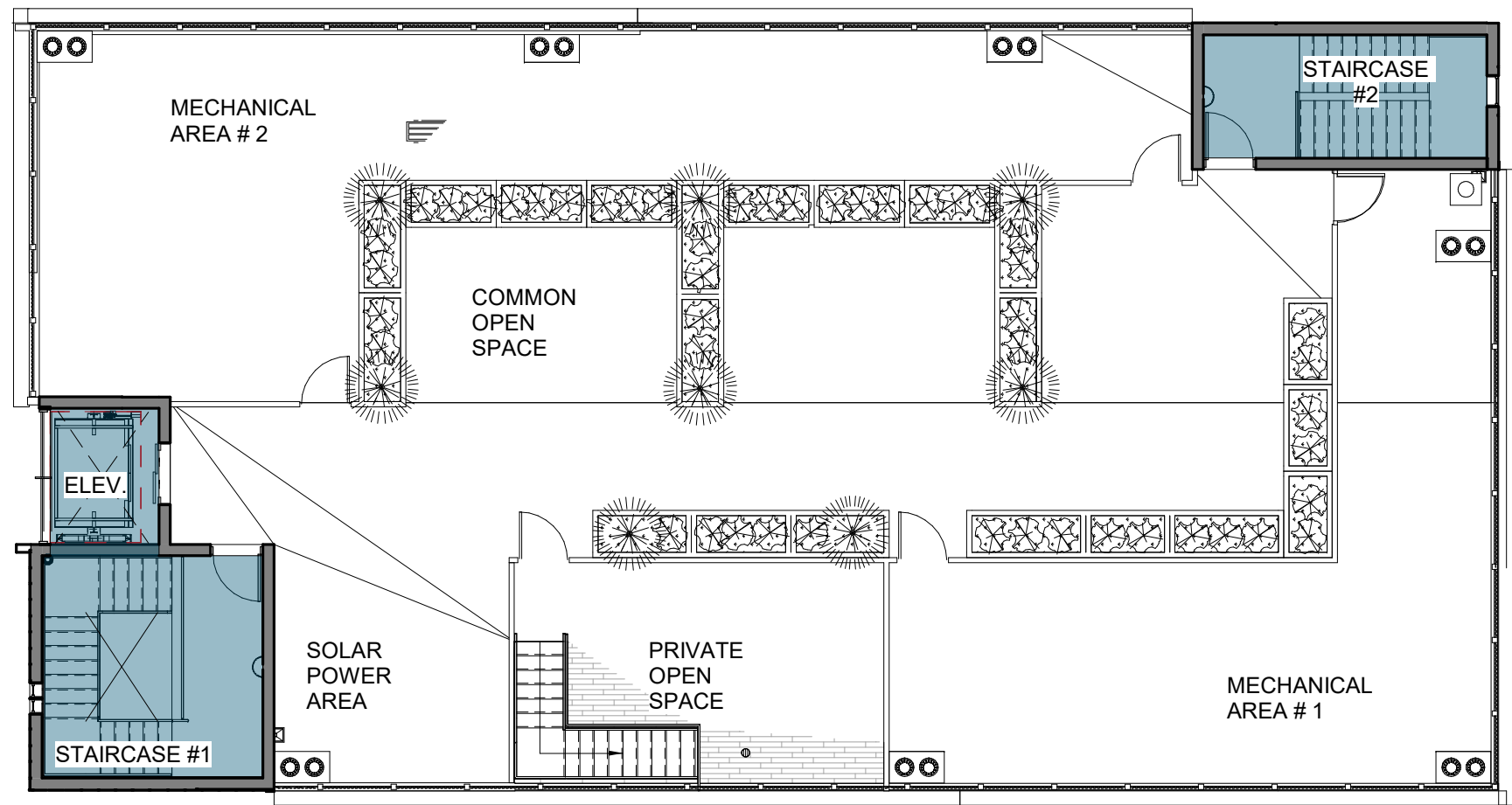
Table with columns: TREE'S, REQUIRED, PROVIDED. Row: 14 X 25% = 3.5 = >4 TOTAL = 4 TREE'S.

Table with columns: Count, Mark, Height, LEVEL. Rows include BOXWOOD HEDGE, GOLDEN TICKET PRIVET, LAVENDER SHRUB, PURPLE QUEEN BOUGAINVILLEA, SOUTHERN MAGNOLIA, WESTERN REDBUD.

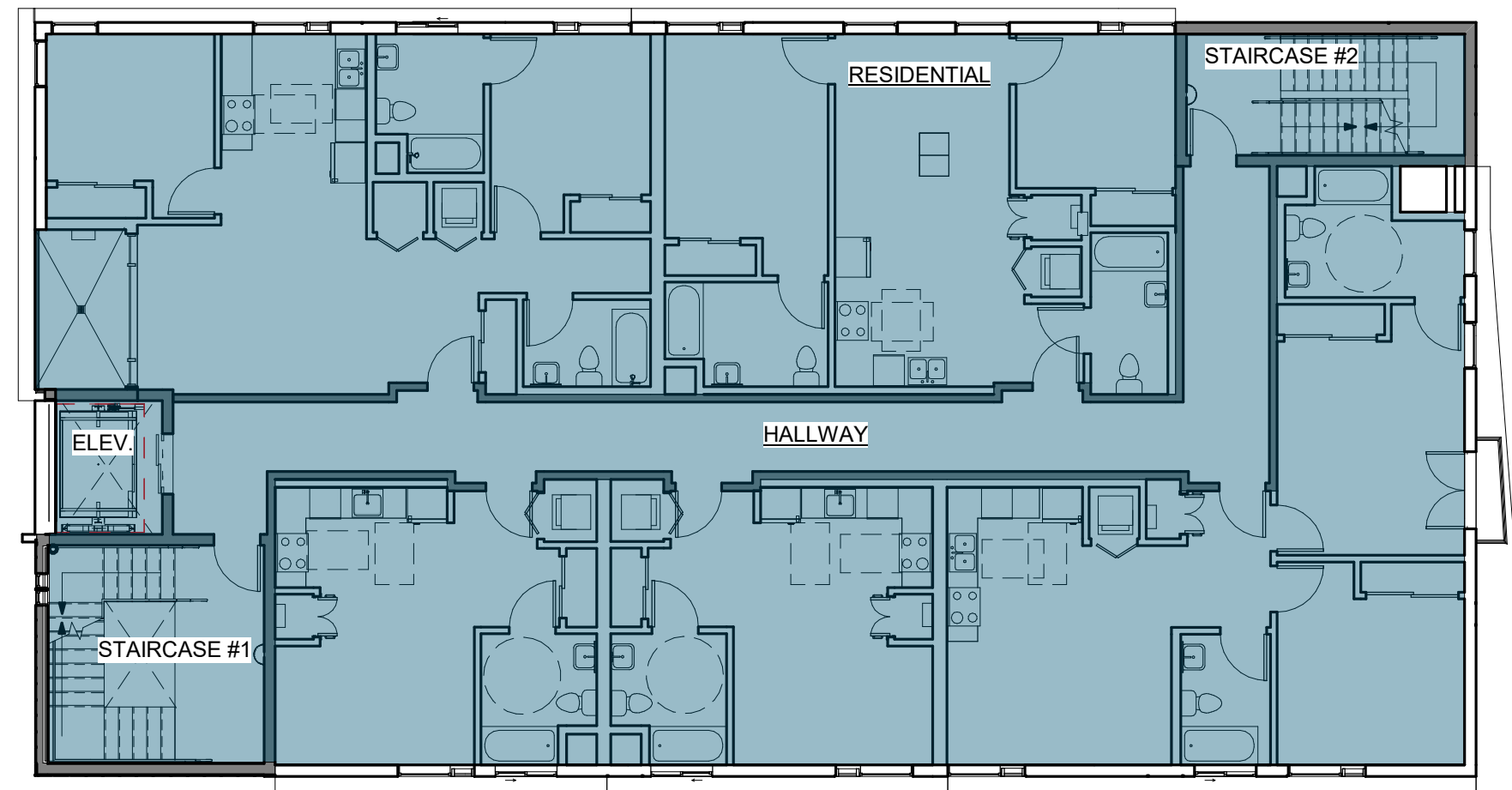
EXHIBIT "A" Page No. 3 of 41 Case No. DIR-2021-6050-TOC-HCA

Vertical sidebar containing project name (NEW 14-UNIT APARTMENT DEVELOPMENT), job number (18007), license stamp, scale (1 1/2" = 1'-0"), date (07-23-2021), sheet info (PROJECT INFO), and T-1.2.

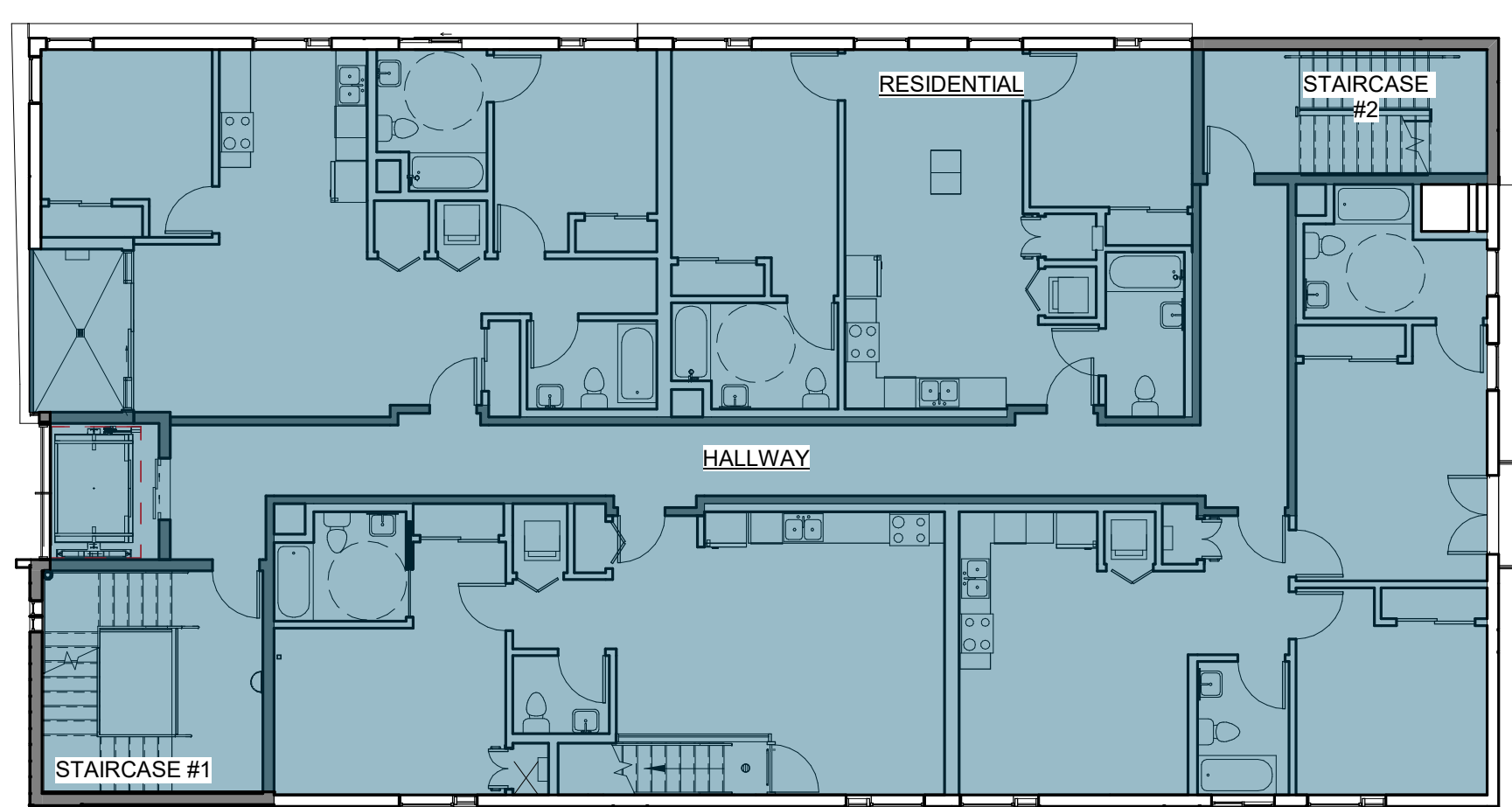
**EXHIBIT "A"**  
 Page No. 4 of 41  
 Case No. DIR-2021-6050-TOC-HCA



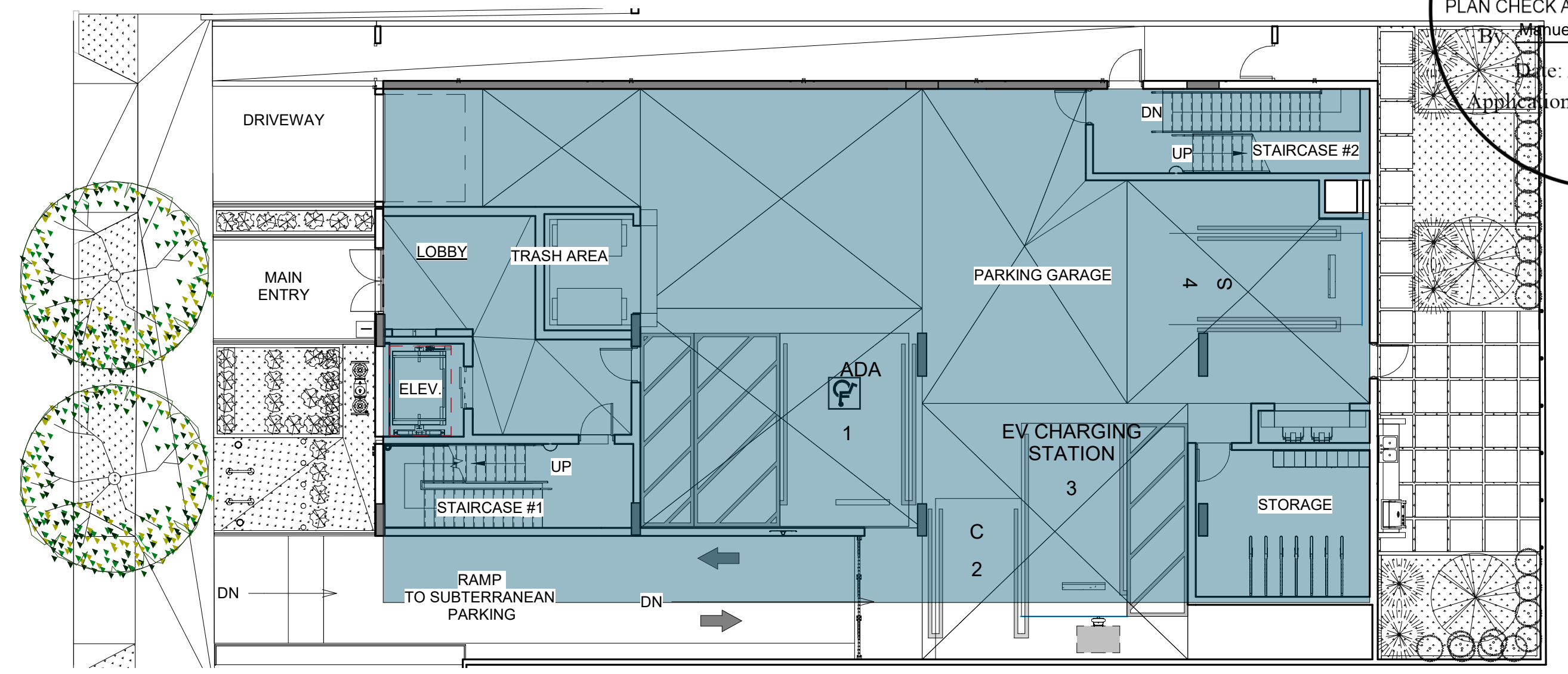
**ROOF PLAN** 3/32" = 1'-0" 6



**SECOND FLOOR PLAN** 3/32" = 1'-0" 3



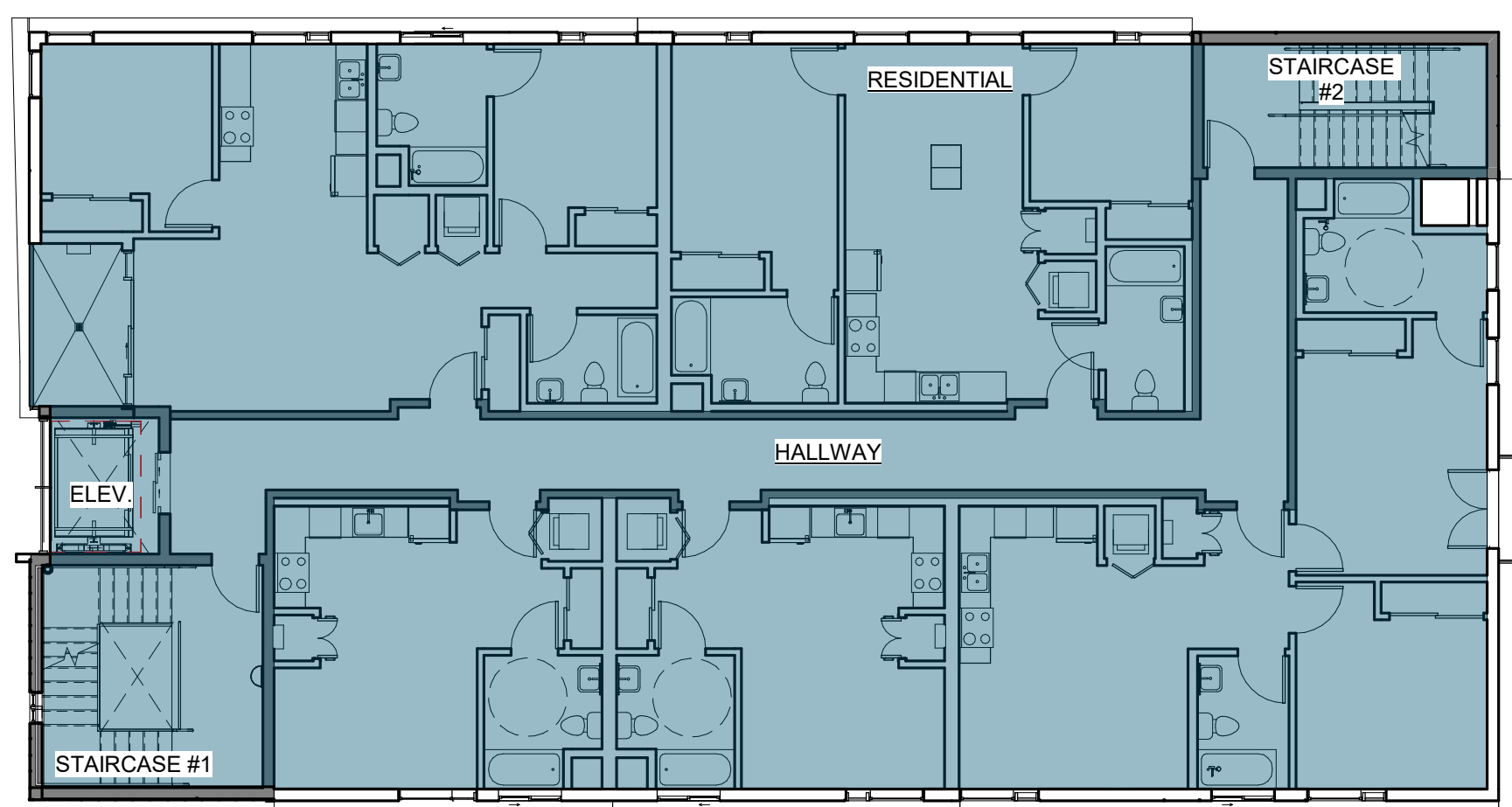
**FOURTH FLOOR PLAN** 3/32" = 1'-0" 5



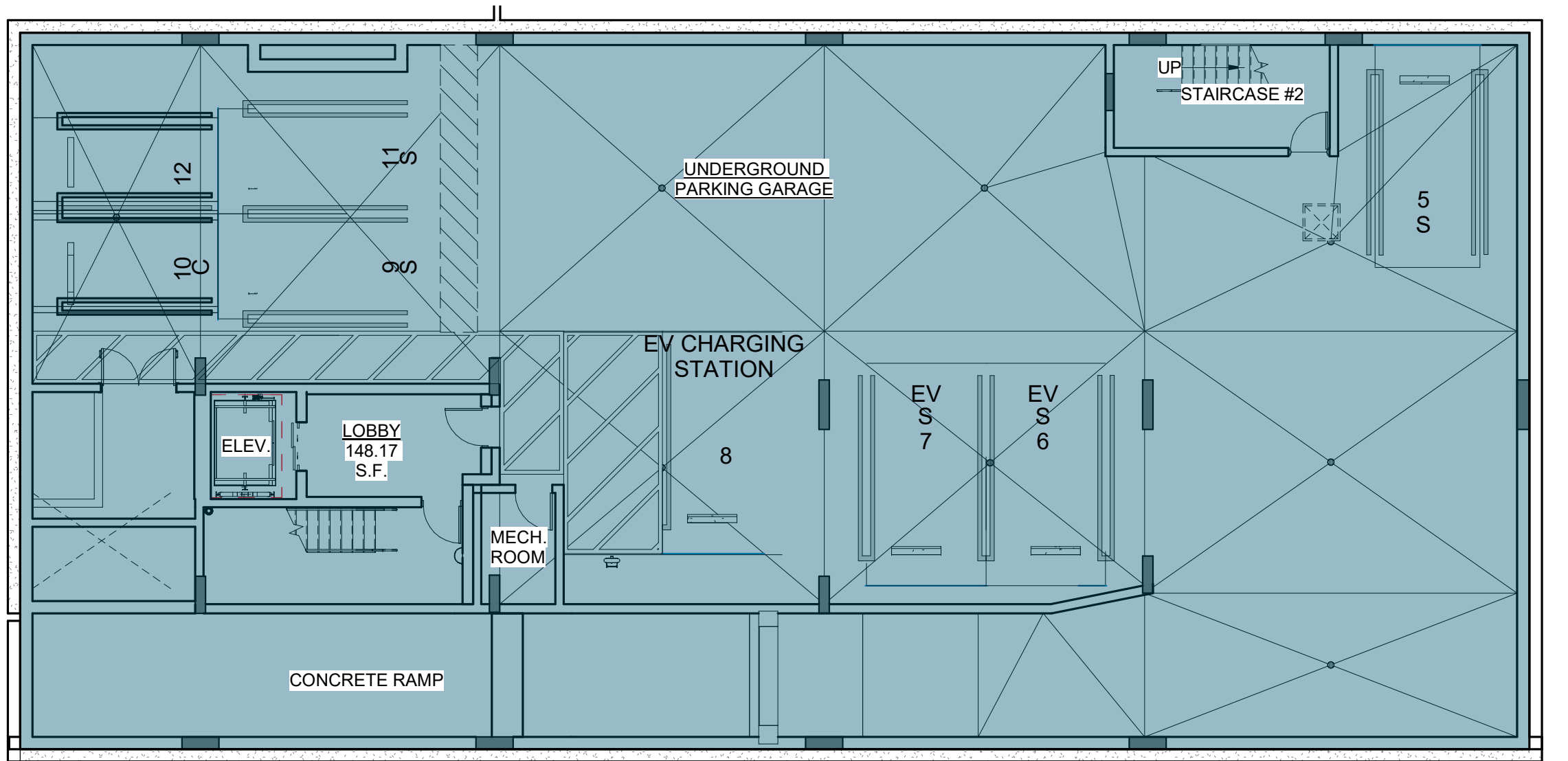
**FIRST FLOOR PLAN** 3/32" = 1'-0" 2

BUILDING FLOOR AREA GROSS	
LEVEL	FLOOR AREA (SQ. FT.)
UNDERGROUND	7,082.38 SF
GROUND	4,388.01 SF
2ND FLOOR	4,339.86 SF
3RD FLOOR	4,339.86 SF
4TH FLOOR	4,339.86 SF
ROOF	402.07 SF
<b>TOTAL BUILDING AREA</b>	<b>24,892.04 SF</b>

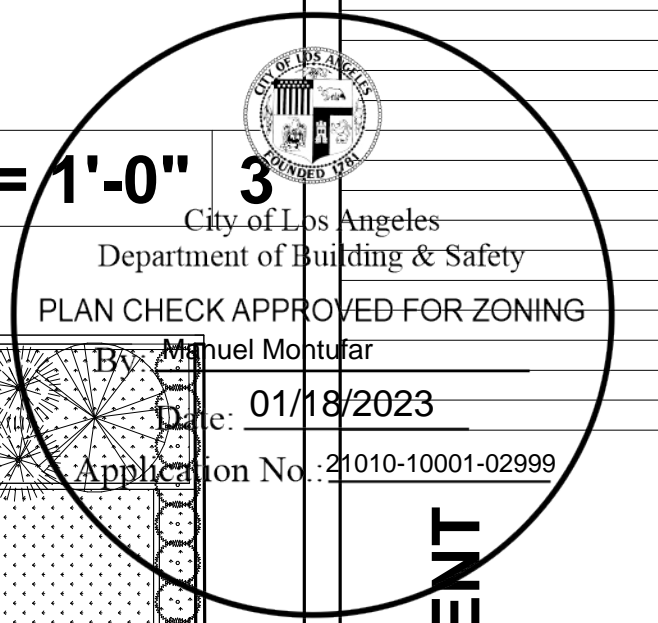
NOTES ON BUILDING FLOOR AREA GROSS  
 THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS CLOSETS THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES, THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OF FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.



**THIRD FLOOR PLAN** 3/32" = 1'-0" 4



**UNDER GROUND PARKING FLOOR PLAN** 3/32" = 1'-0" 1



architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

PROJECT **NEW 14-UNIT APARTMENT DEVELOPMENT**

JOB NUMBER **18007**

LICENSE STAMP

SCALE 3/32" = 1'-0"

DATE 07-23-2021

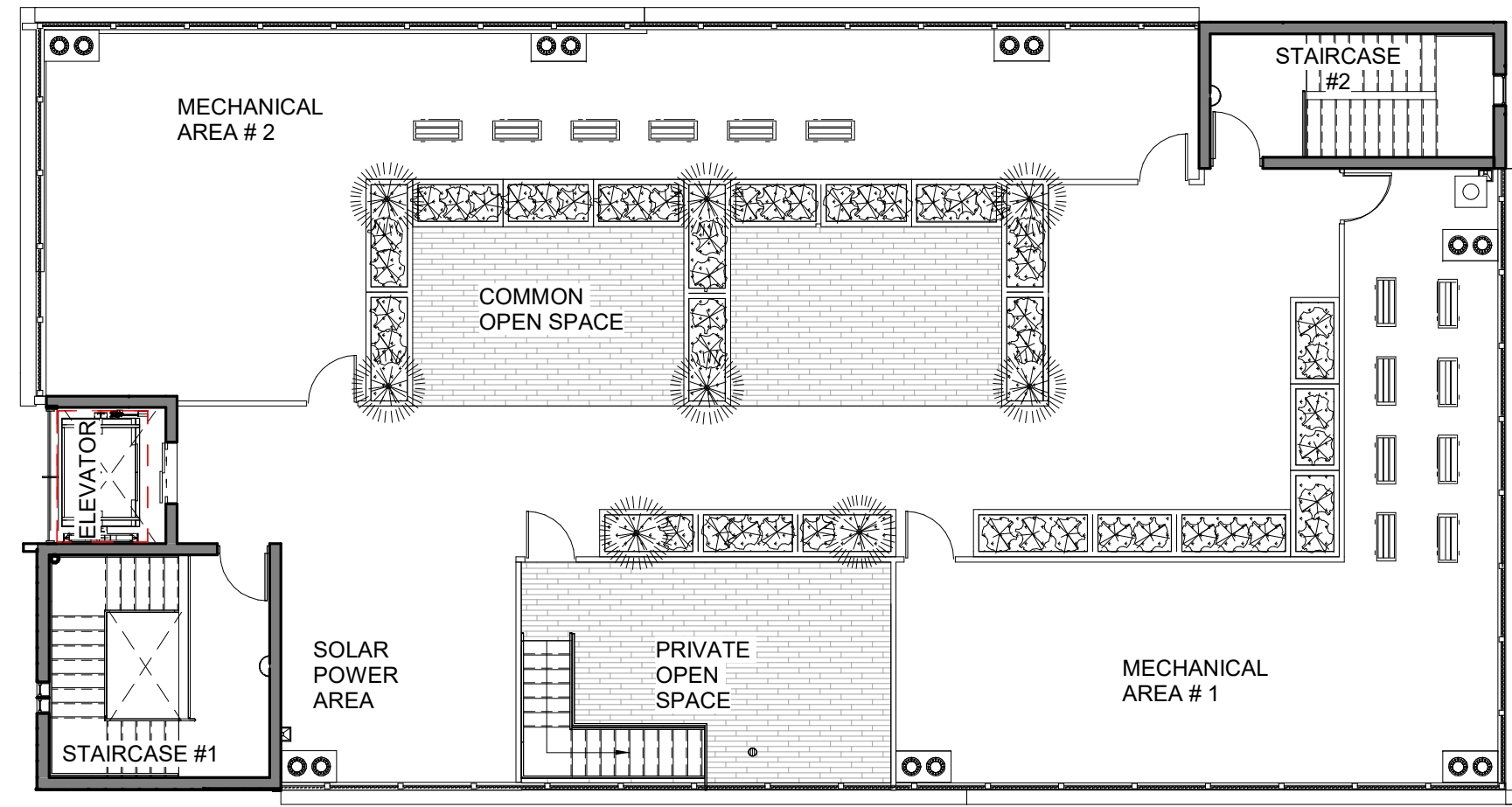
SHEET

**BUILDING FLOOR AREA DIAGRAM**

**T-2.0**

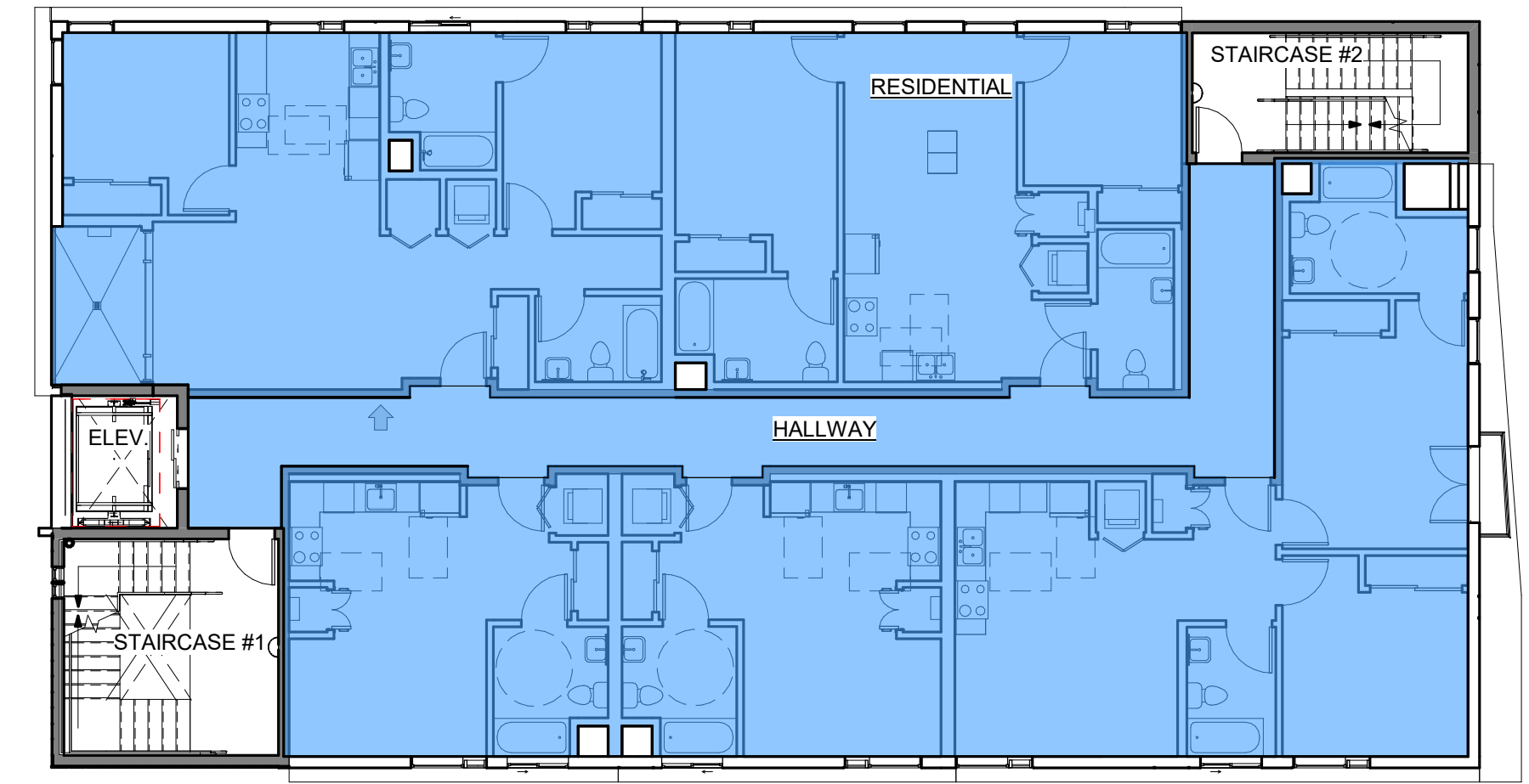
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**EXHIBIT "A"**  
 Page No. 5 of 41  
 Case No. DIR-2021-6050-TOC-HCA



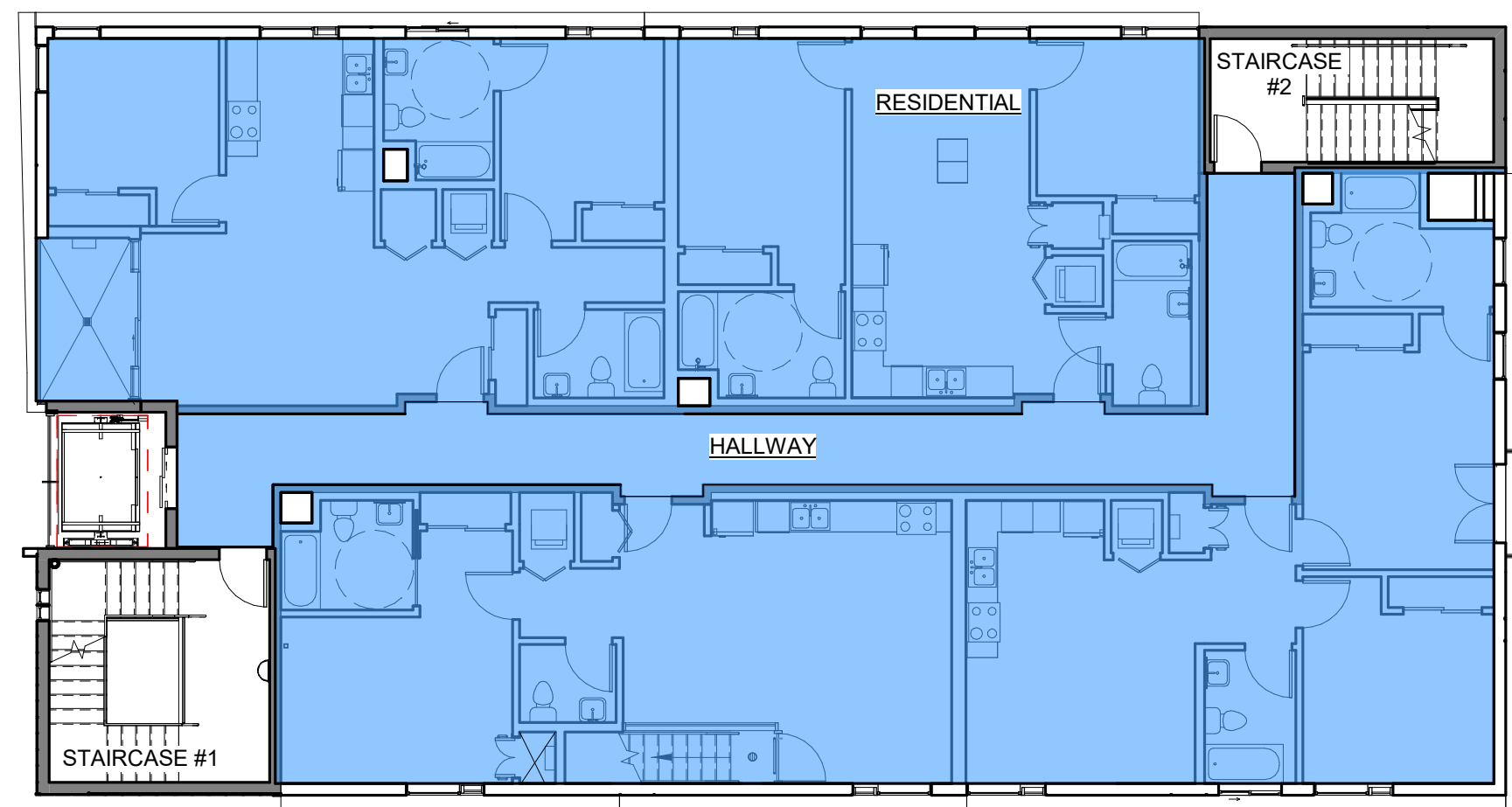
**ROOF PLAN**

3/32" = 1'-0"



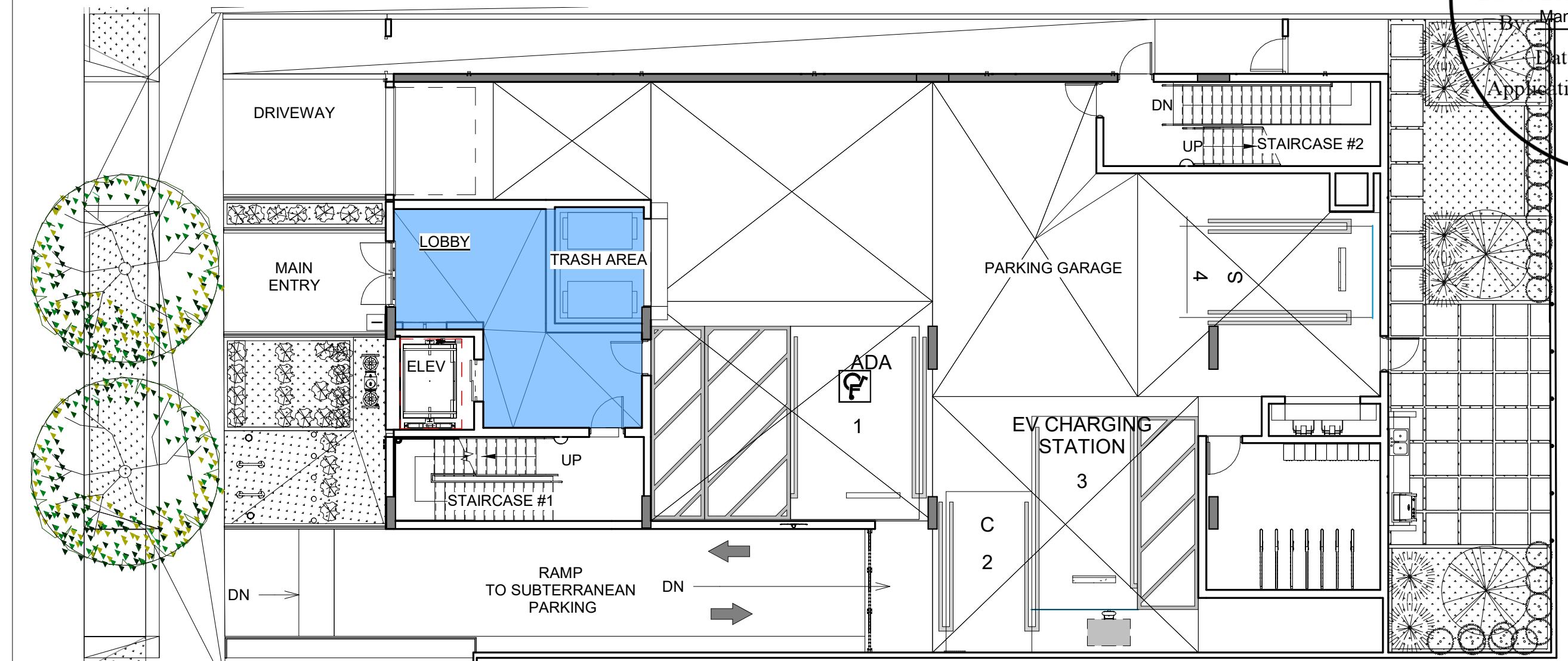
**SECOND FLOOR PLAN**

3/32" = 1'-0"



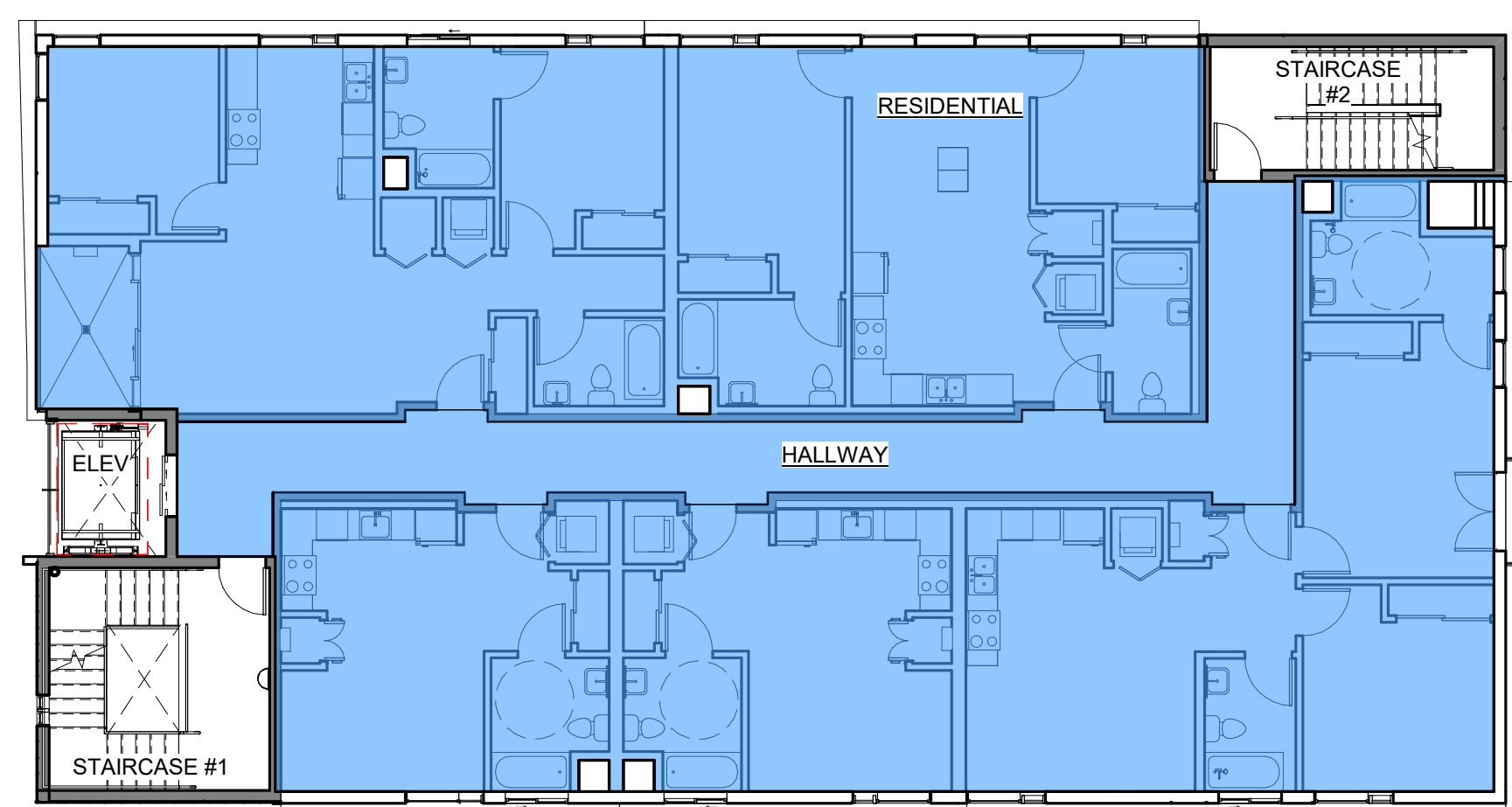
**FOURTH FLOOR PLAN**

3/32" = 1'-0"



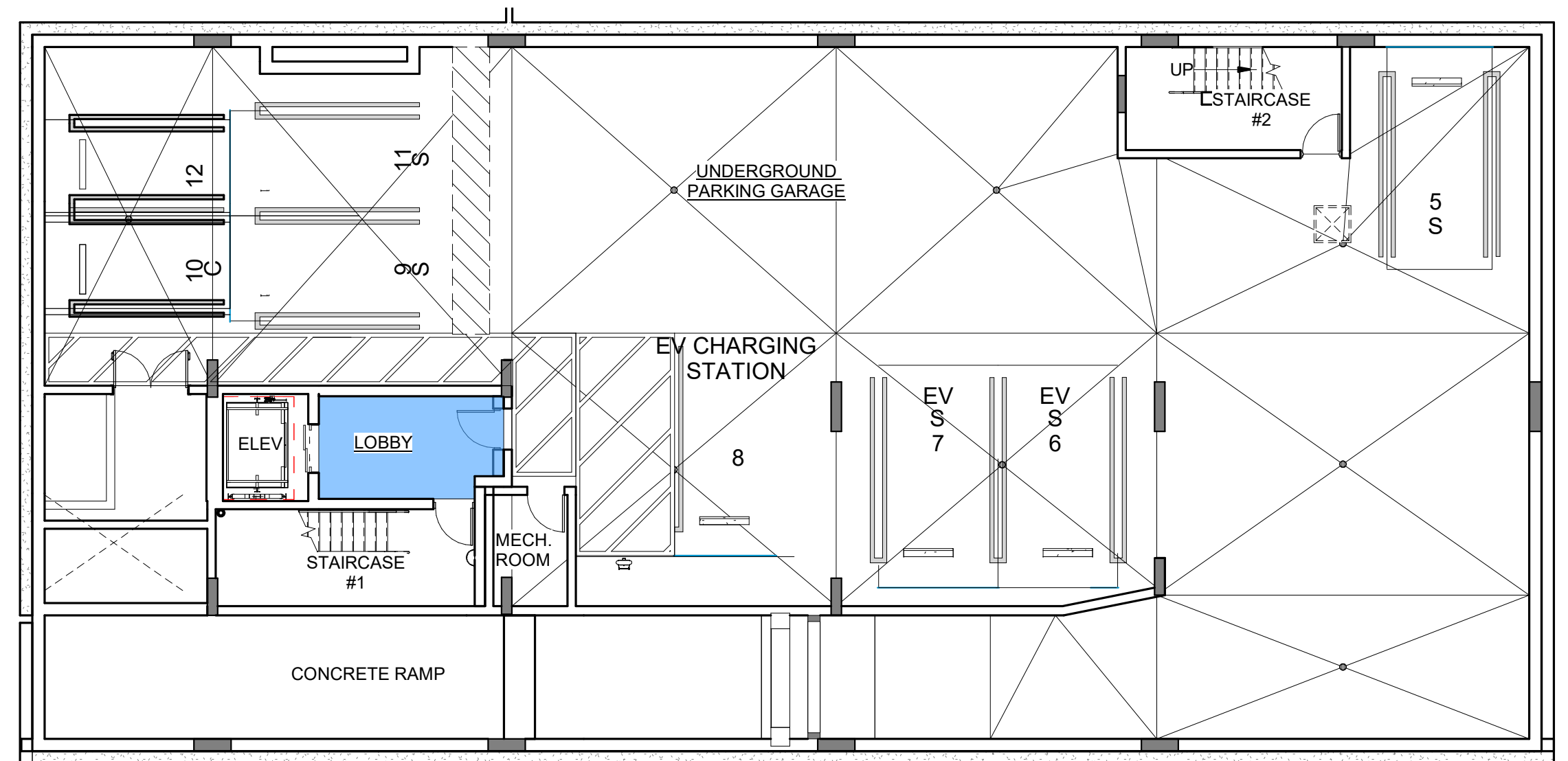
**FIRST FLOOR PLAN**

3/32" = 1'-0"



**THIRD FLOOR PLAN**

3/32" = 1'-0"



**UNDER GROUND PARKING FLOOR PLAN**

3/32" = 1'-0"

FLOOR AREA ZONING			
LEVEL	UNIT (SQ. FT.)	ENCLOSED COMMON SPACE (SQ. FT.)	FLOOR AREA (SQ. FT.)
UNDERGROUND	-	120.31	120.31
GROUND	-	396.93	396.93
2ND FLOOR	3436.68	449.42	3886.10
3RD FLOOR	3436.68	449.42	3886.10
4TH FLOOR	3436.68	449.42	3886.10
ROOF	-	-	-
<b>NET FLOOR AREA</b>			<b>12175.54</b>

**FLOOR AREA DEFINITION PER LAMC SEC. 12.03:**  
 THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

**ZONING AREA DIAGRAM**

architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvan  
 Date: 01/18/2023  
 Application No.: 201010-10001-02999

**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

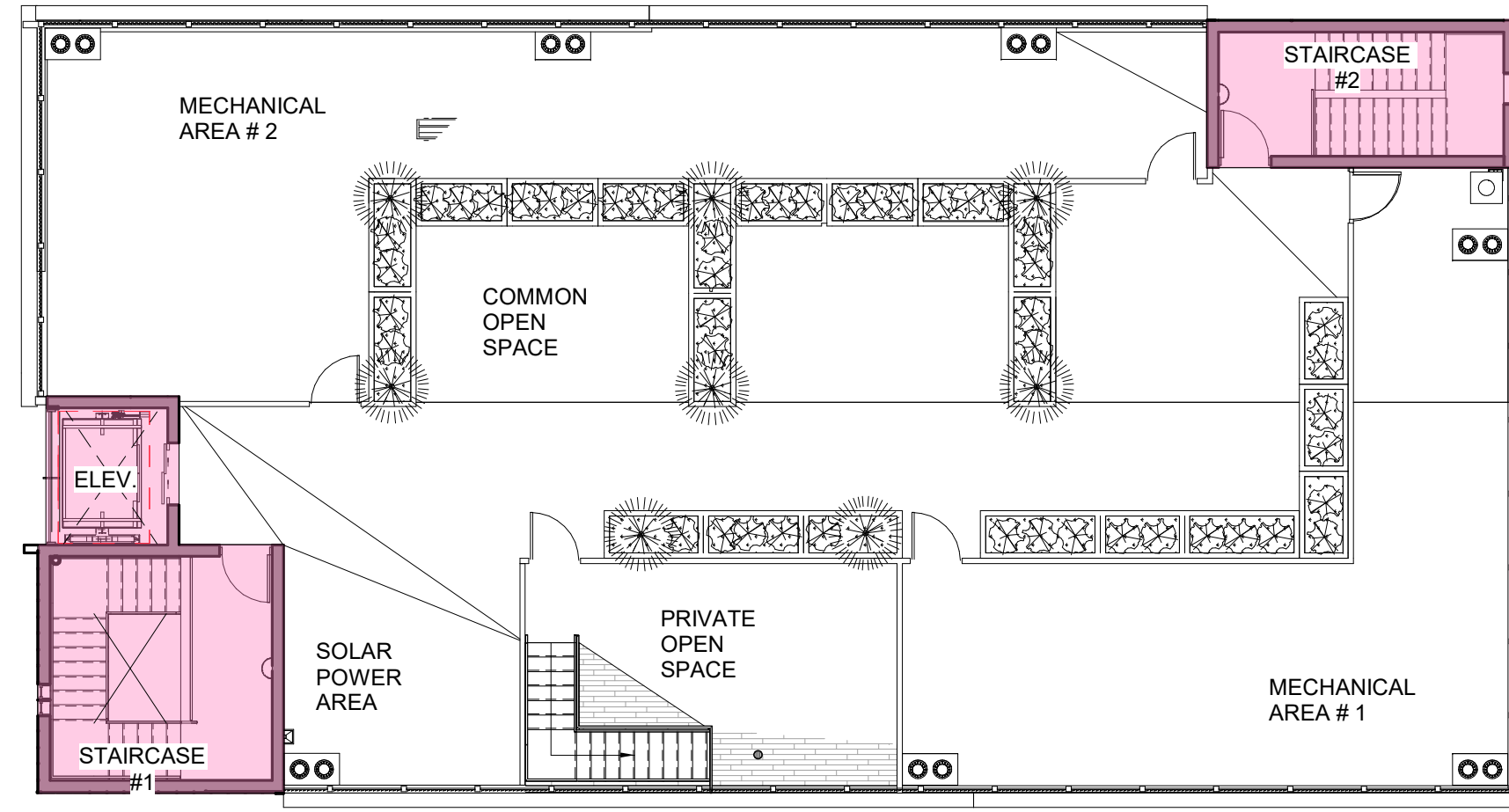
SCALE 3/32" = 1'-0"  
 DATE 07-23-2021  
 SHEET

**ZONING FLOOR AREA DIAGRAM**

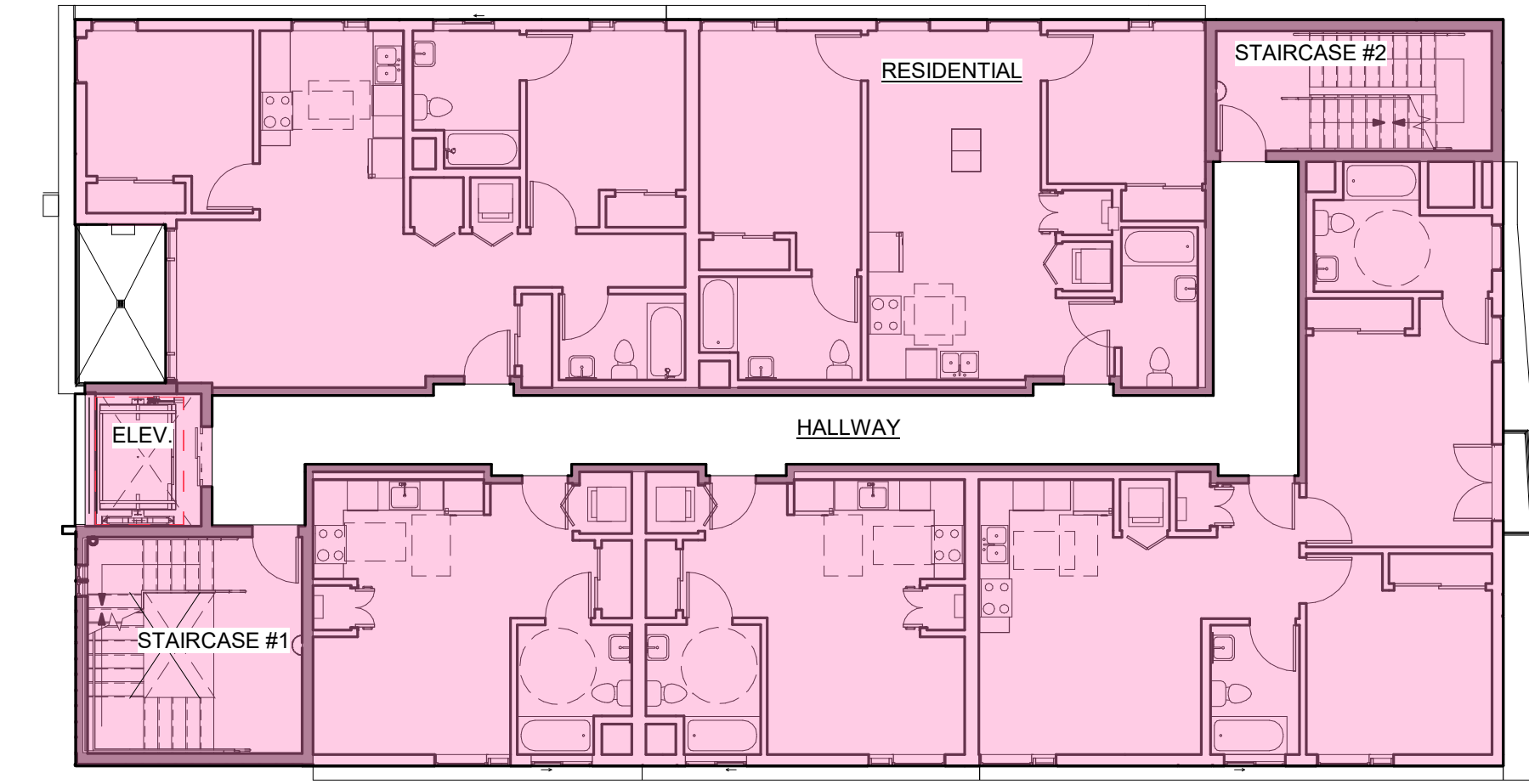
**T-2.1**



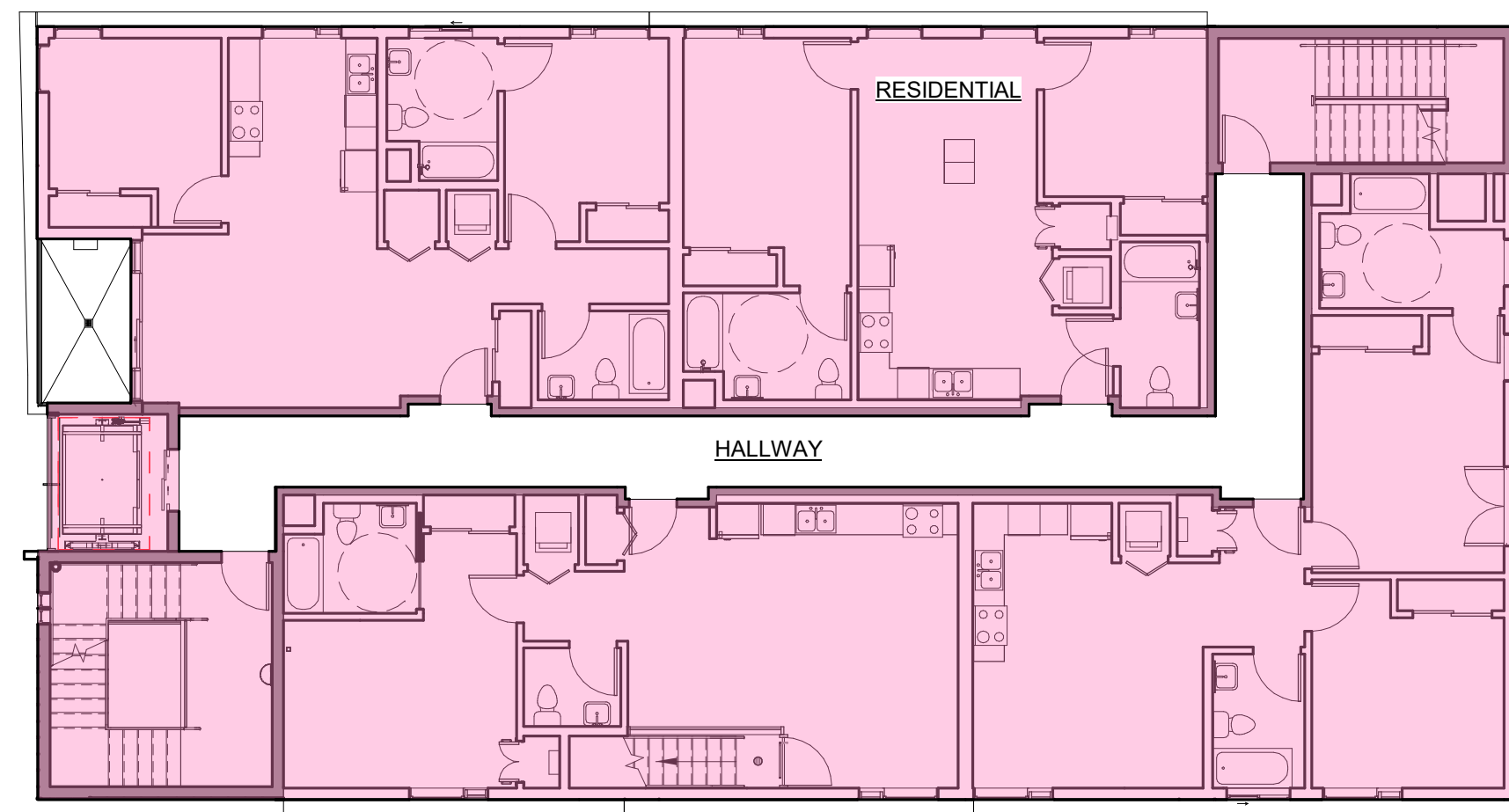
**EXHIBIT "A"**  
 Page No. 6 of 41  
 Case No. DIR-2021-6050-TOC-HCA



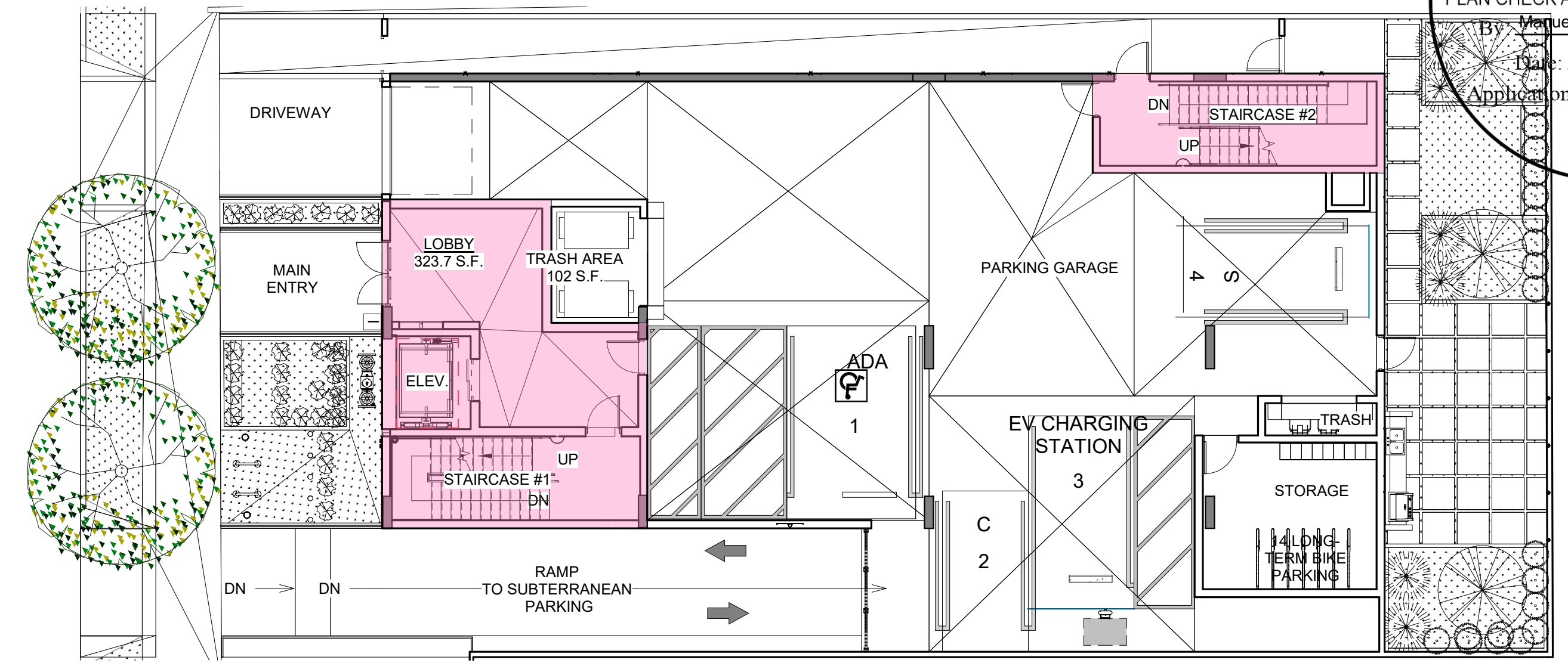
**ROOF PLAN** 3/32" = 1'-0" 6



**SECOND FLOOR PLAN** 3/32" = 1'-0" 3



**FOURTH FLOOR PLAN** 3/32" = 1'-0" 5



**FIRST FLOOR PLAN** 3/32" = 1'-0" 2

**SCHOOL AREA DIAGRAM**

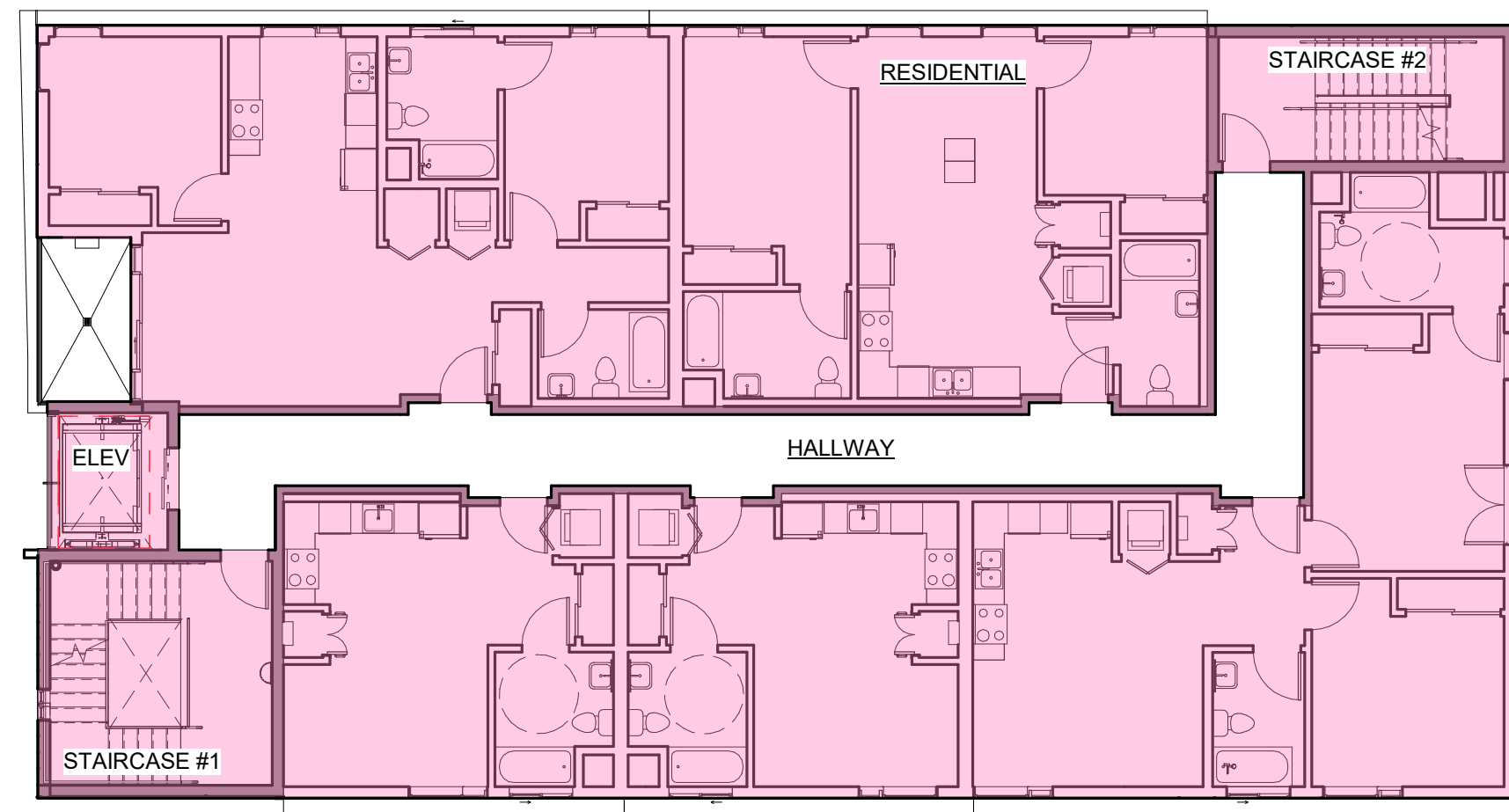
LEVEL	SQUARE FEET
UNDERGROUND	629.90 SF
GROUND	907.98 SF
2ND FLOOR	4046.82 SF
3RD FLOOR	4046.82 SF
4TH FLOOR	4046.82 SF
ROOF	505.79 SF
<b>TOTAL SCHOOL AREA CALCULATION</b>	<b>14,184.13 SF</b>

NOTES ON SCHOOL DISTRICT FLOOR AREA

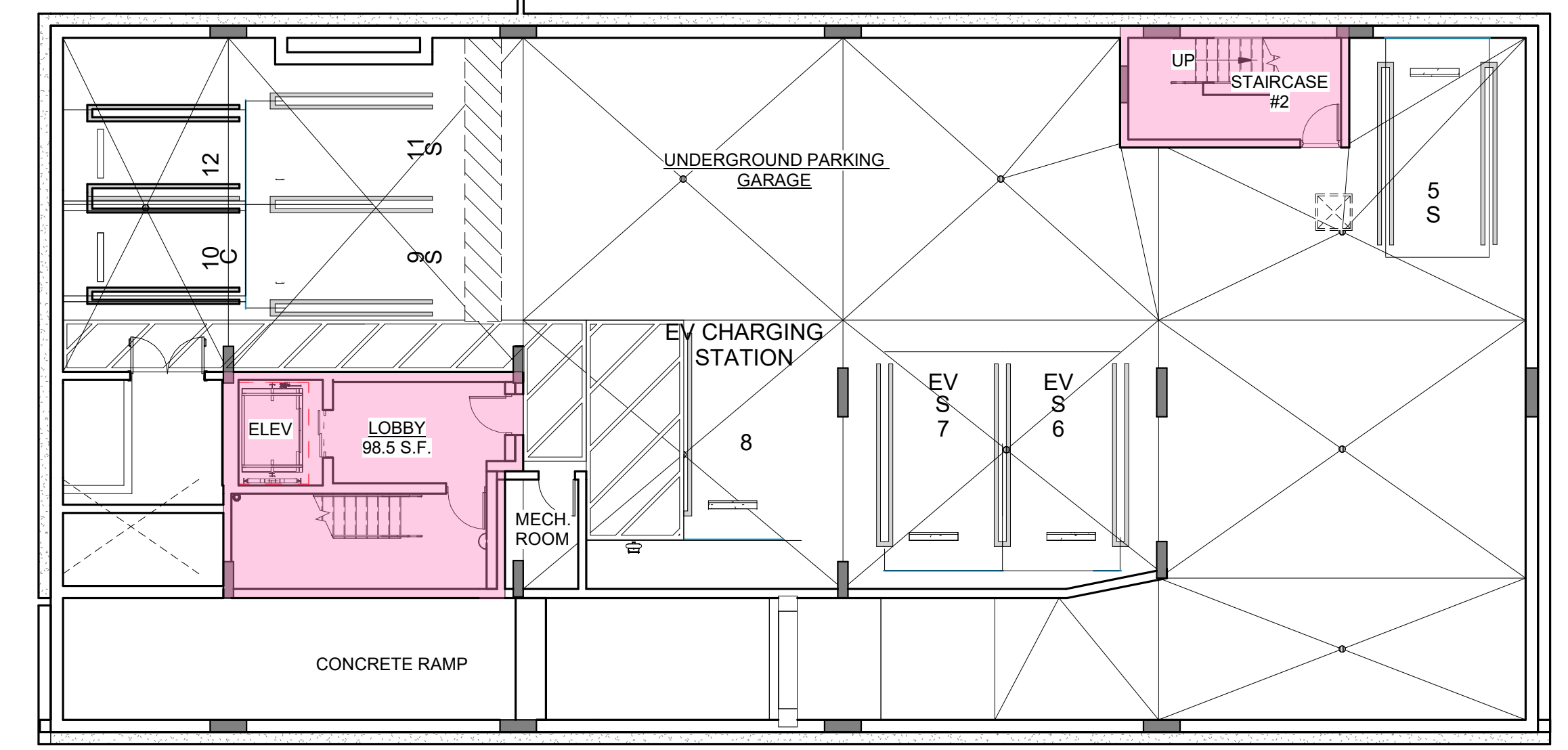
THE SCHOOL DISTRICT FEES FOR COMMERCIAL DEVELOPMENT WILL BE DETERMINED BY USING THE CHARGEABLE COVERED AND ENCLOSED SPACE OF ALL BUILDINGS OTHER THAN RESIDENTIAL DEVELOPMENTS AND OCCUPANCIES.

"CHARGEABLE COVERED AND ENCLOSED SPACE" IS SPACE WITHIN THE PERIMETER OF A COMMERCIAL STRUCTURE, NOT INCLUDING ANY STORAGE AREAS INCIDENTAL TO THE PRINCIPAL USE OF THE DEVELOPMENT, GARAGE, PARKING STRUCTURE, UNENCLOSED WALKWAY, UTILITY OR DISPOSAL AREA."

ACCESSIBLE SPACE IS ALL OF THE SQUARE FOOTAGE WITHIN THE PERIMETER OF A RESIDENTIAL STRUCTURE, NOT INCLUDING ANY CARPORT, WALKWAY, GARAGE, OVERHANG, PATIO, ENCLOSED PATIO, DETACHED ACCESSORY STRUCTURE OR SIMILAR AREA.



**THIRD FLOOR PLAN** 3/32" = 1'-0" 4



**UNDER GROUND PARKING FLOOR PLAN** 3/32" = 1'-0" 1

architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No.: 21010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:**  
 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

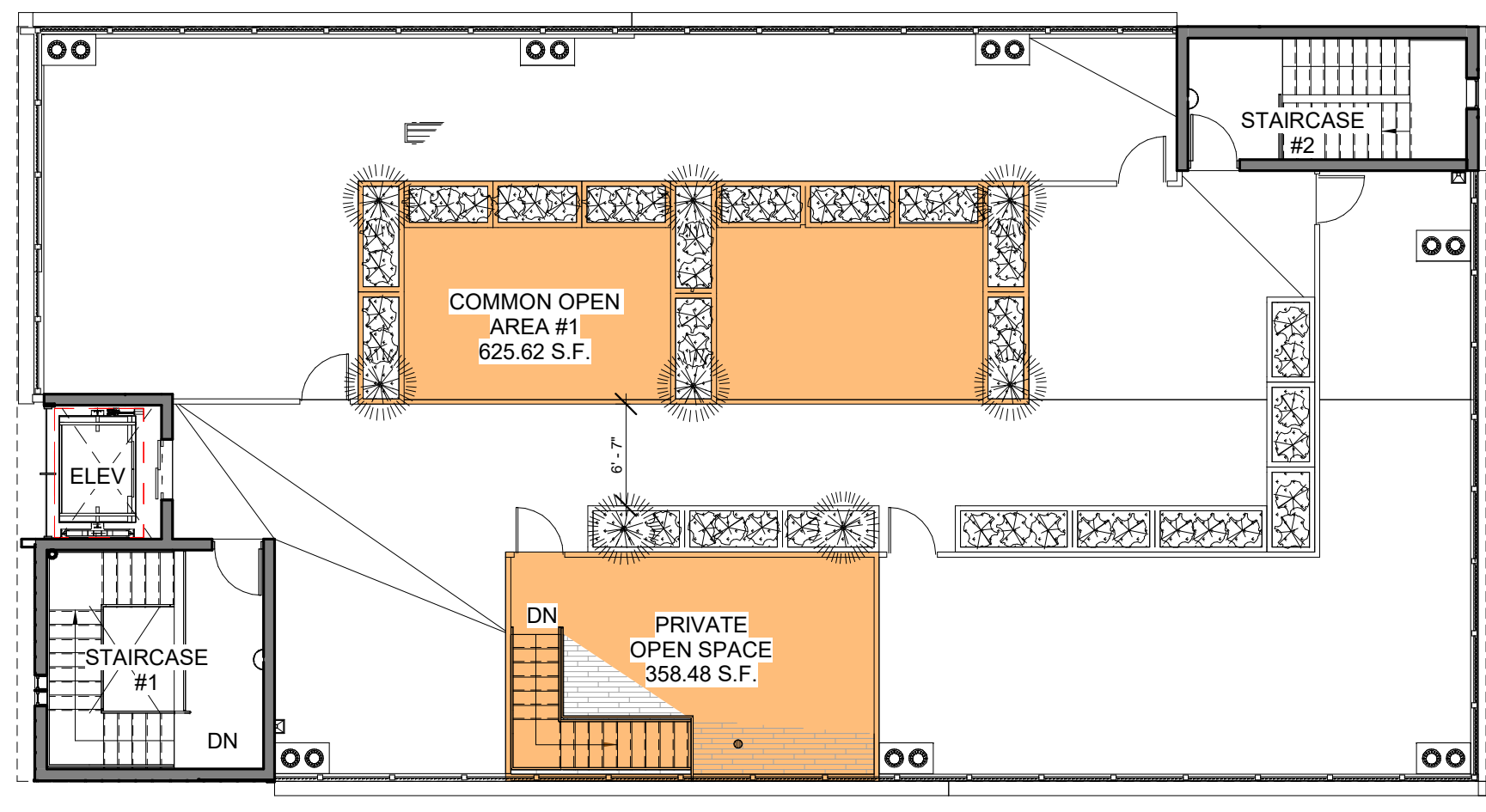
**LICENSE STAMP**

**SCALE** 3/32" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

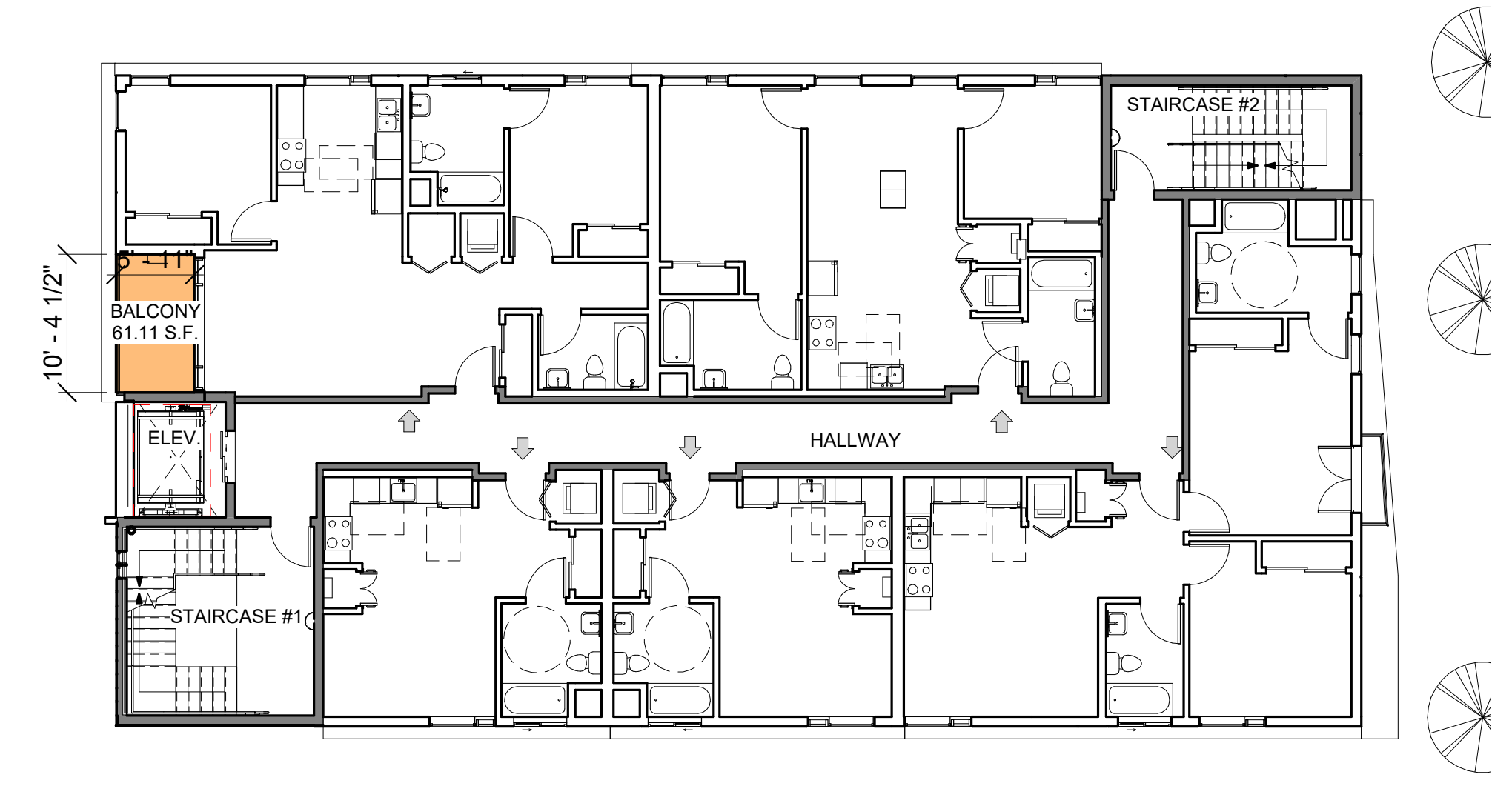
**SCHOOL AREA DIAGRAM**

**T-2.2**

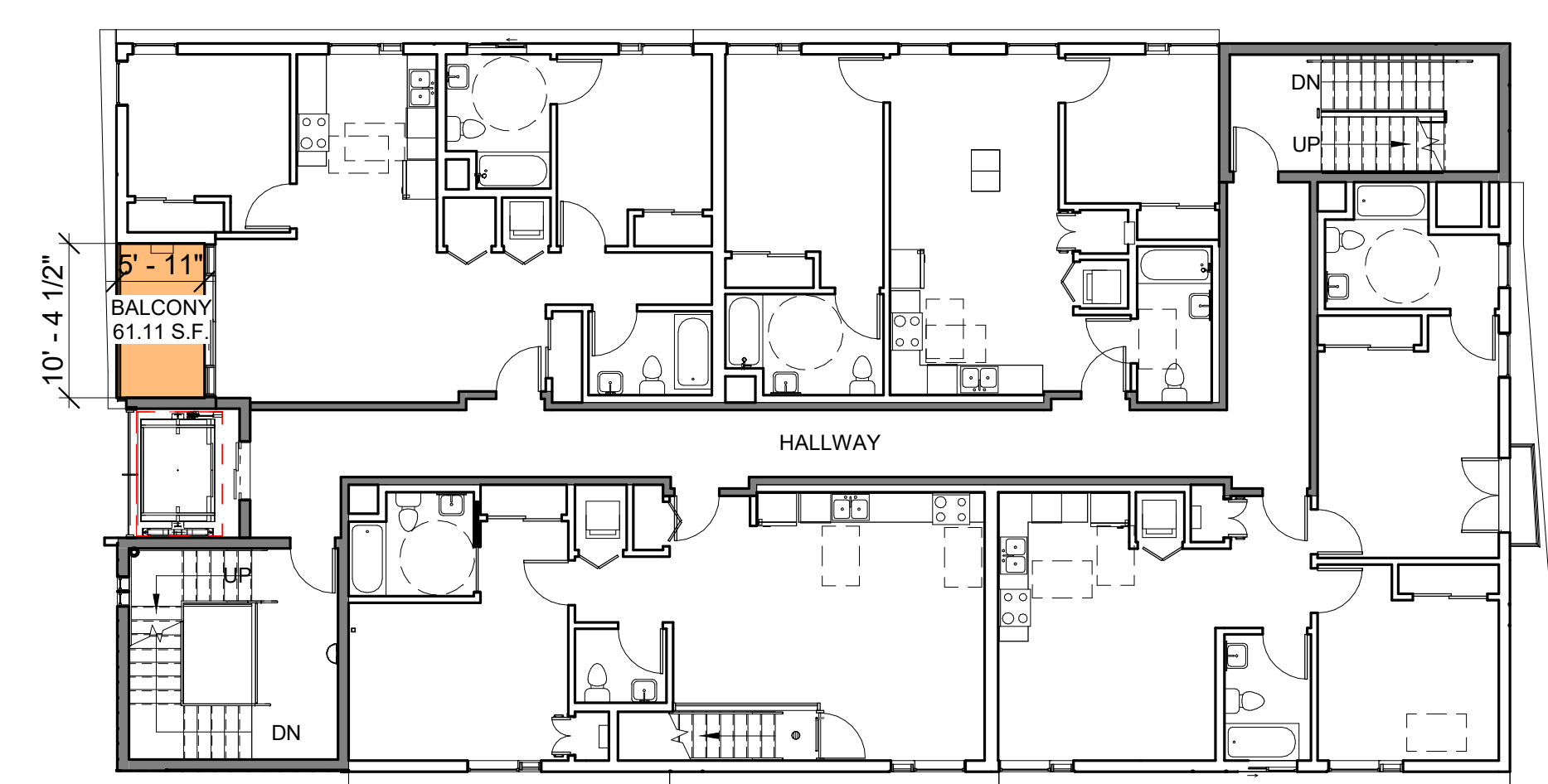
**EXHIBIT "A"**  
 Page No. 7 of 41  
 Case No. DIR-2021-6050-TOC-HCA



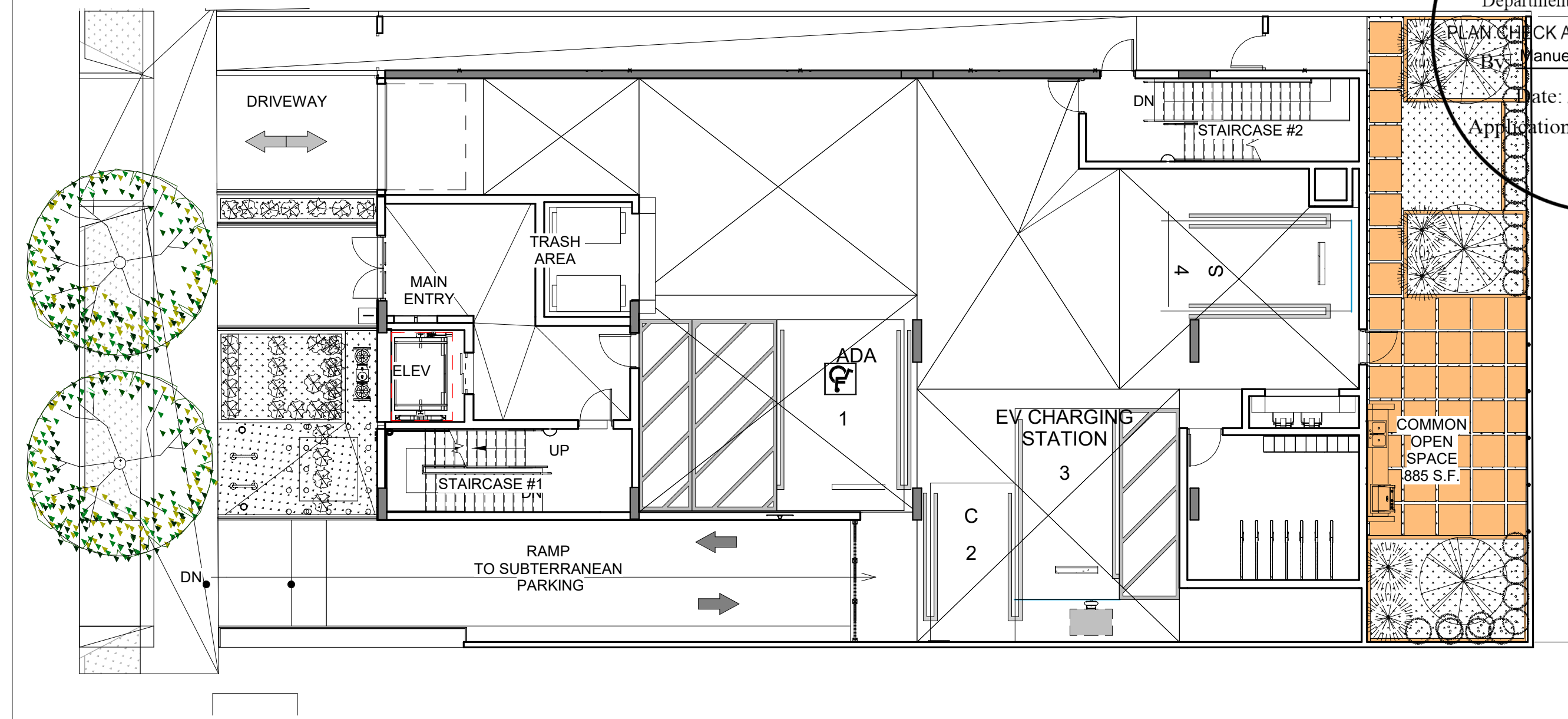
**ROOF PLAN** 3/32" = 1'-0"



**SECOND FLOOR PLAN** 3/32" = 1'-0"



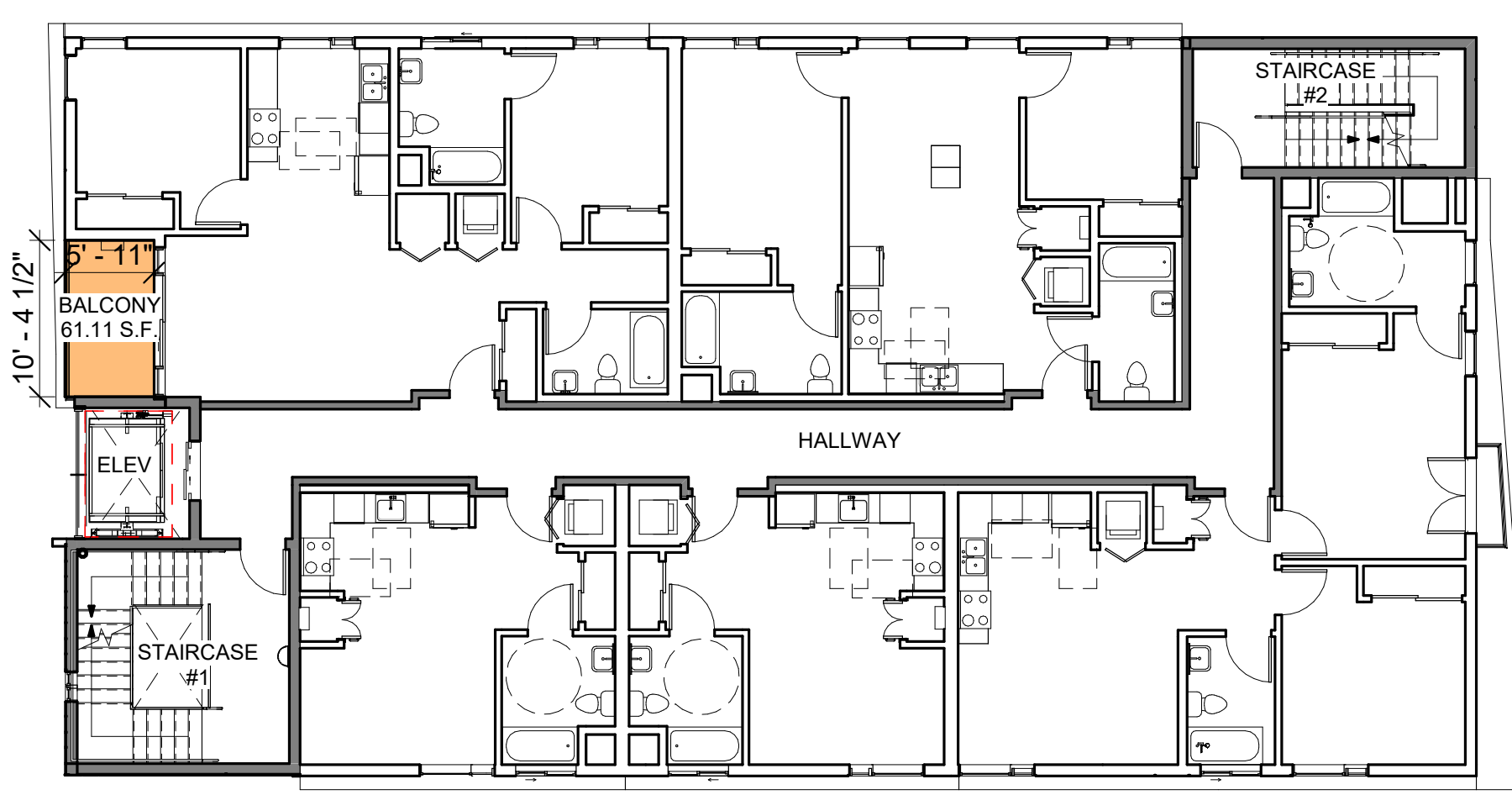
**FOURTH FLOOR PLAN** 3/32" = 1'-0"



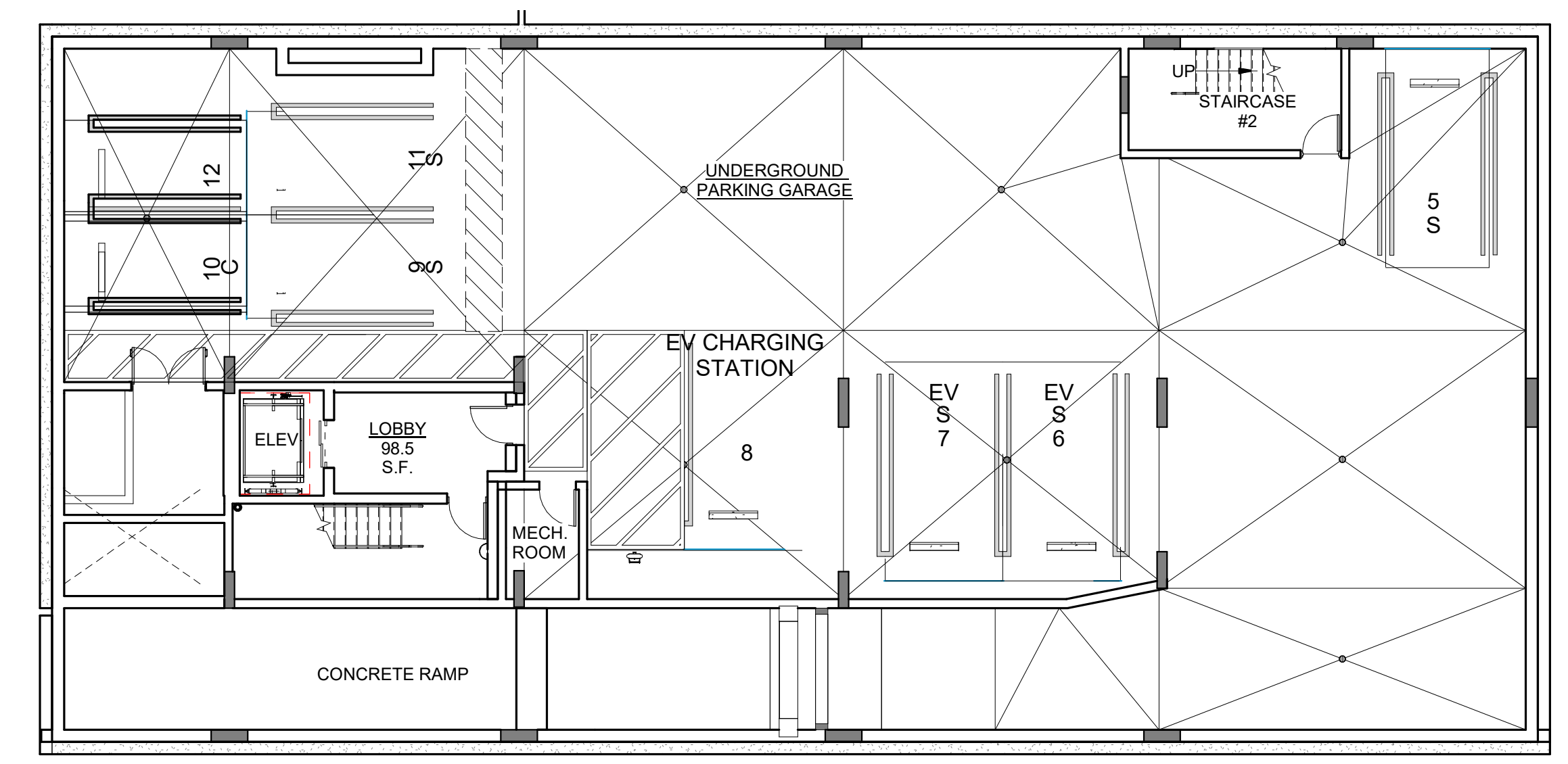
**FIRST FLOOR PLAN** 3/32" = 1'-0"

OPEN SPACE	< 3 HABITABLE ROOMS (100 SQ. FT./UNIT)	= 3 HABITABLE ROOMS (125 SQ. FT./UNIT)	> 3 HABITABLE ROOMS (175 SQ. FT./UNIT)
# OF UNITS	5	9	0
REQUIRED	500.0 SQ. FT.	1,125.0 SQ. FT.	0 SQ. FT.
TOTAL REQUIRED	1,625.0 SQ. FT.		
TOTAL REQUIRED PER TOC	1,218.75 SQ. FT. (25% DECREASE)		

	COMMON OPEN SPACE		PRIVATE OPEN SPACE (MAX. 50 SQ. FT./SPACE TO BE COUNTED)
	REAR YARD	ROOF DECK	
PROVIDED	885.0 SQ. FT.	625.62 SQ. FT.	541.81 SQ. FT.
SUBTOTAL	1,510.62 SQ. FT.		200 SQ. FT.
TOTAL PROVIDED	1,710.62 SQ. FT.		

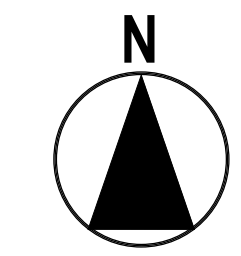


**THIRD FLOOR PLAN** 3/32" = 1'-0"



**UNDER GROUND PARKING FLOOR PLAN** 3/32" = 1'-0"

**OPEN SPACE AREA DIAGRAM**



architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 Manuel Montalvar  
 Date: 01/18/2023  
 Application No. 201010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:**  
 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

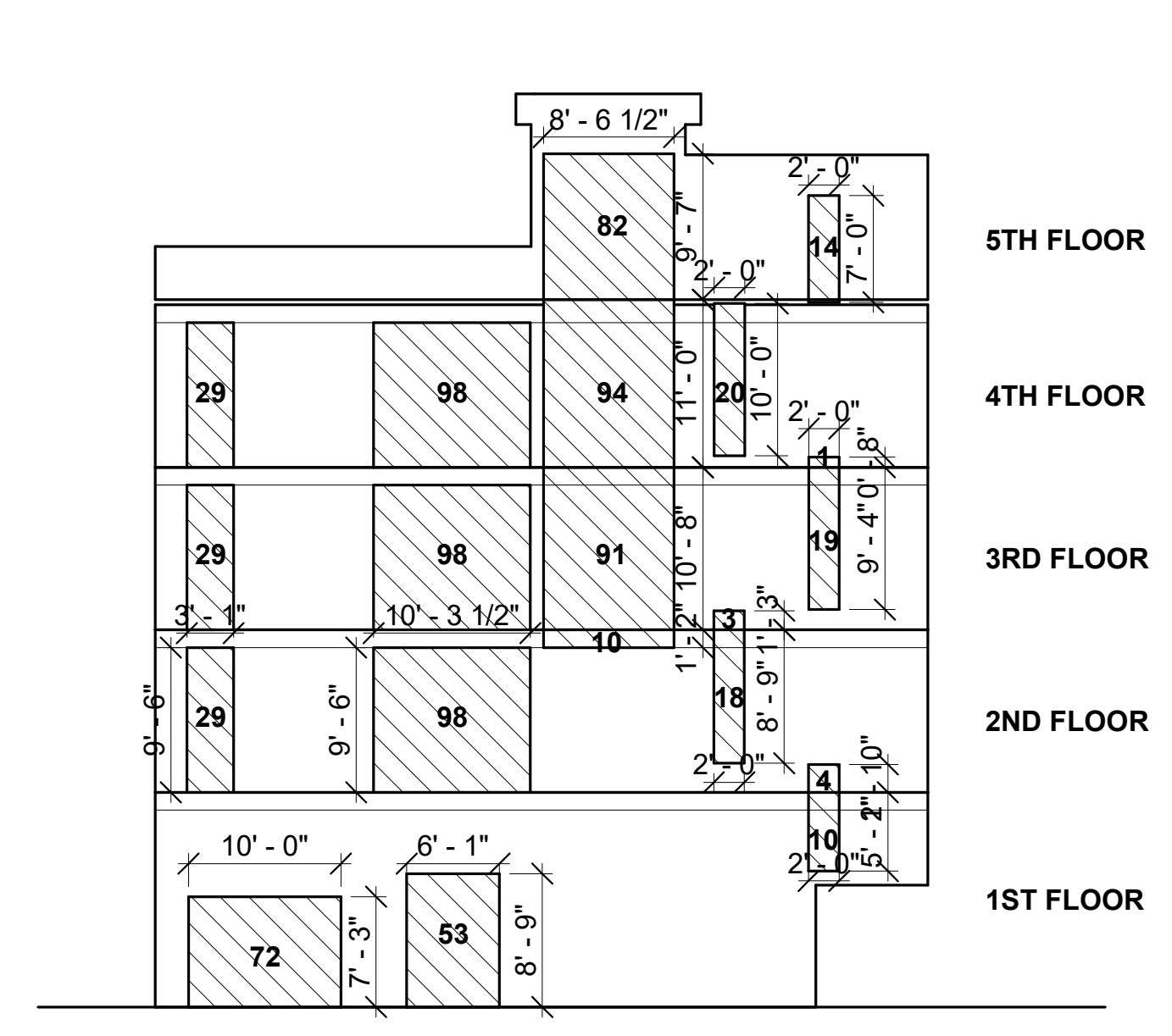
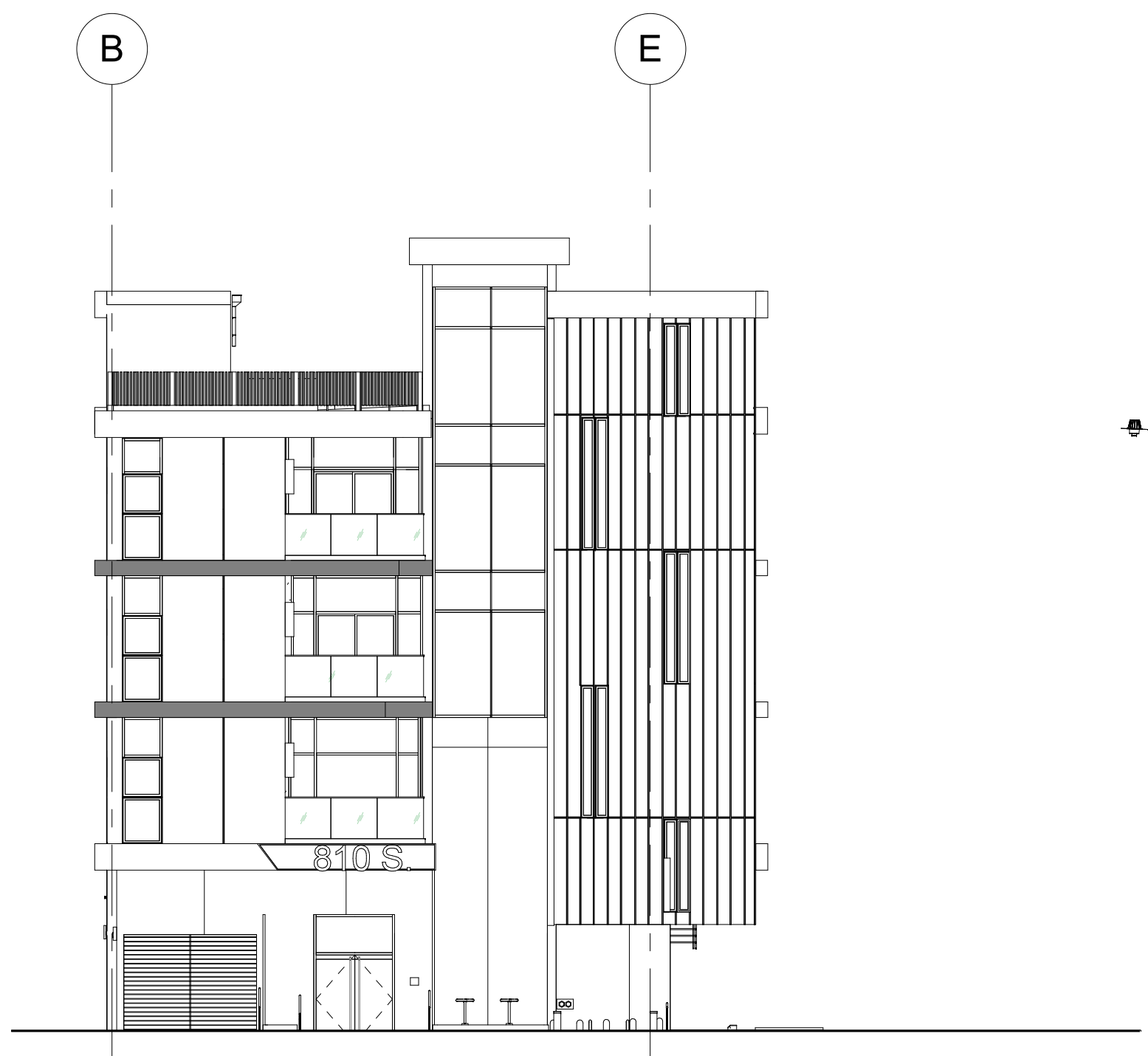
**LICENSE STAMP**

**SCALE** 3/32" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**OPEN SPACE CALC.**

**T-2.3**

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



□ SURFACE WALL AREA  
 ▨ OPENING AREA

**WEST ELEVATION OPENING DIAGRAM**  
 FIRE SEPARATION DISTANCE: 30' OR GREATER ALLOWABLE AREA: NOT REQUIRED

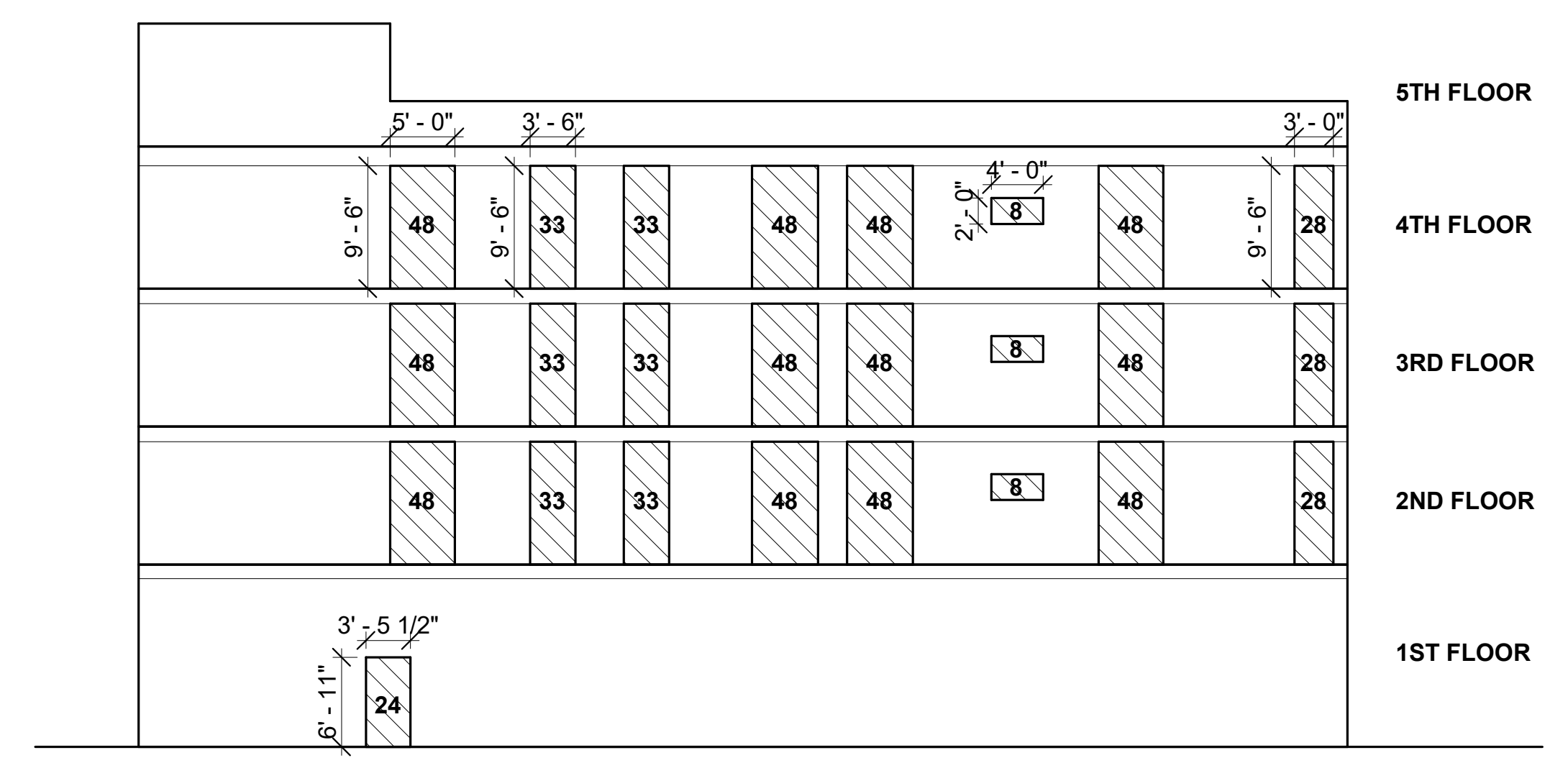
LEVEL	WALL AREA	OPENING AREA	OPENING RATIO
1ST FLOOR	655 S.F.	135 S.F.	20.6%
2ND FLOOR	541 S.F.	159 S.F.	29.4%
3RD FLOOR	541 S.F.	240 S.F.	44.4%
4TH FLOOR	558 S.F.	242 S.F.	43.4%
5TH FLOOR	378 S.F.	96 S.F.	25.4%

\*15' FROM PROPERTY LINE  
 51'-1" FROM ROAD CENTER



**PROPOSED WEST ELEVATION**

3/32" = 1'-0" 1



□ SURFACE WALL AREA  
 ▨ OPENING AREA

**EAST ELEVATION OPENING DIAGRAM**  
 FIRE SEPARATION DISTANCE: 15' TO LESS THAN 20' ALLOWABLE AREA: 75% MAX

LEVEL	WALL AREA	OPENING AREA	OPENING RATIO
1ST FLOOR	1,316 S.F.	24 S.F.	1.8%
2ND FLOOR	996 S.F.	294 S.F.	29.5%
3RD FLOOR	996 S.F.	294 S.F.	29.5%
4TH FLOOR	1,028 S.F.	294 S.F.	28.6%
5TH FLOOR	444 S.F.	0 S.F.	0%

**PROPOSED NORTH ELEVATION**

3/32" = 1'-0" 2

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

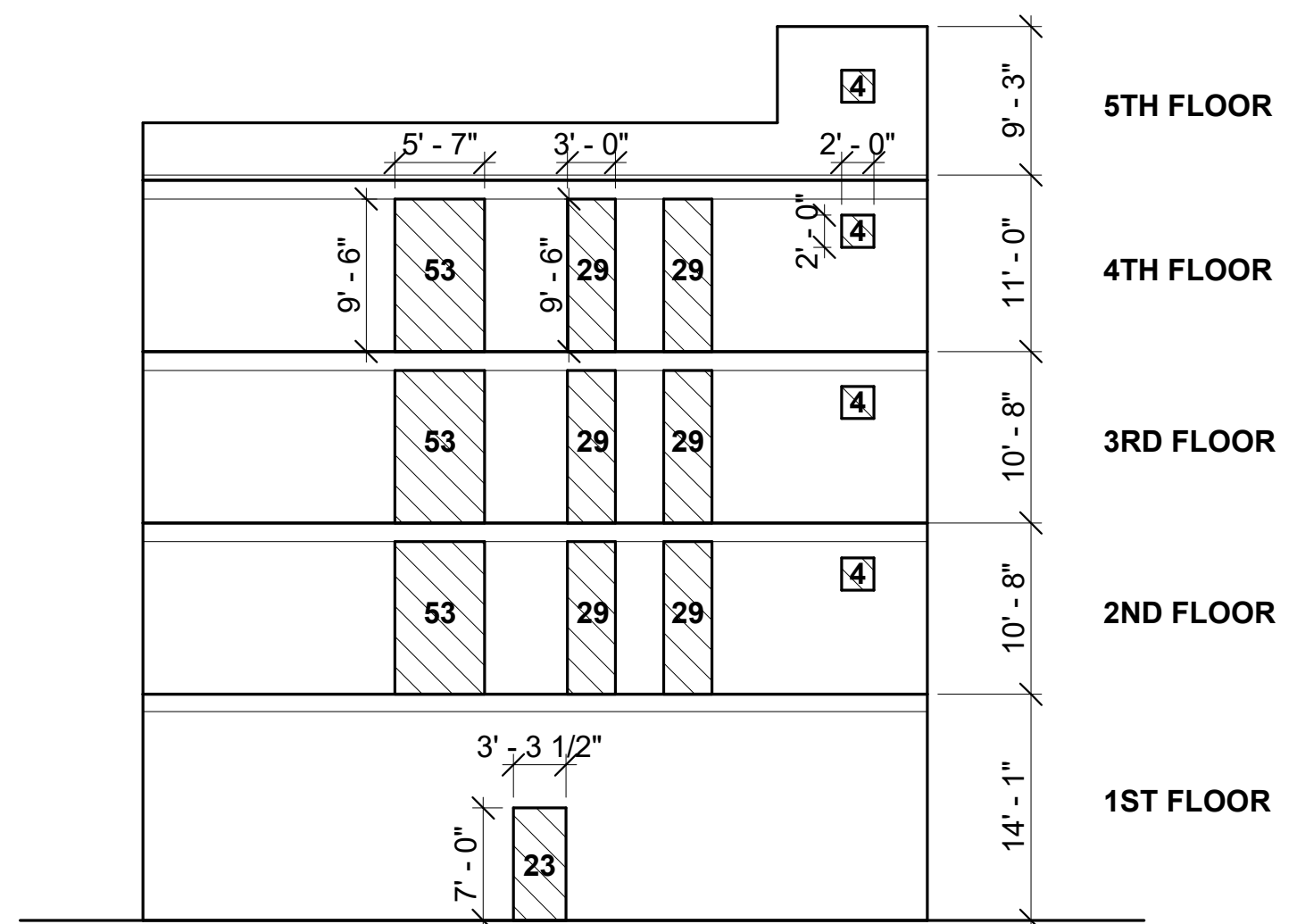
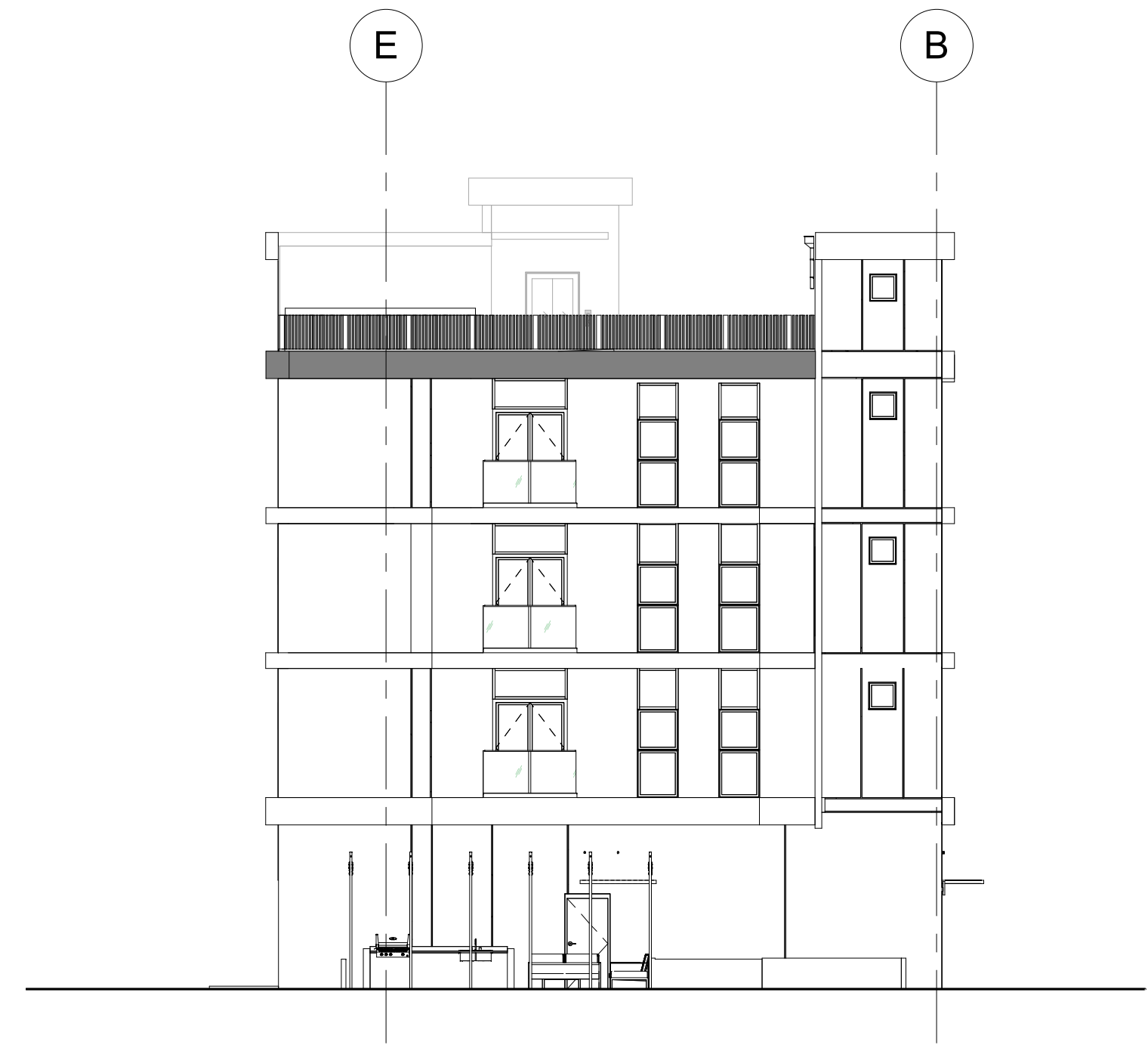
SCALE 3/32" = 1'-0"

DATE 07-23-2021

SHEET

**WALL  
 OPENING  
 DIAGRAMS**

**T-2.4**



□ SURFACE WALL AREA  
 ▨ OPENING AREA

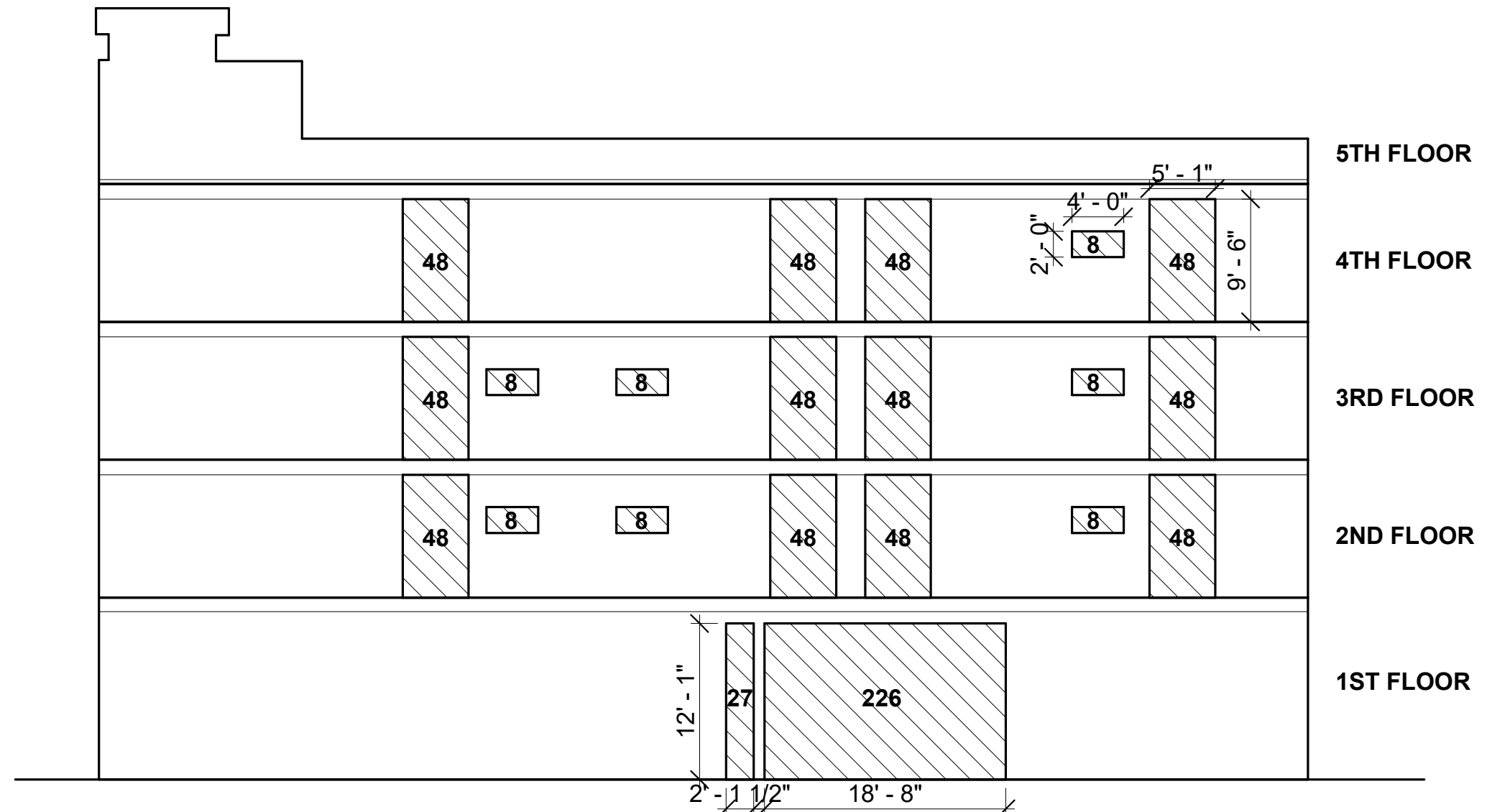
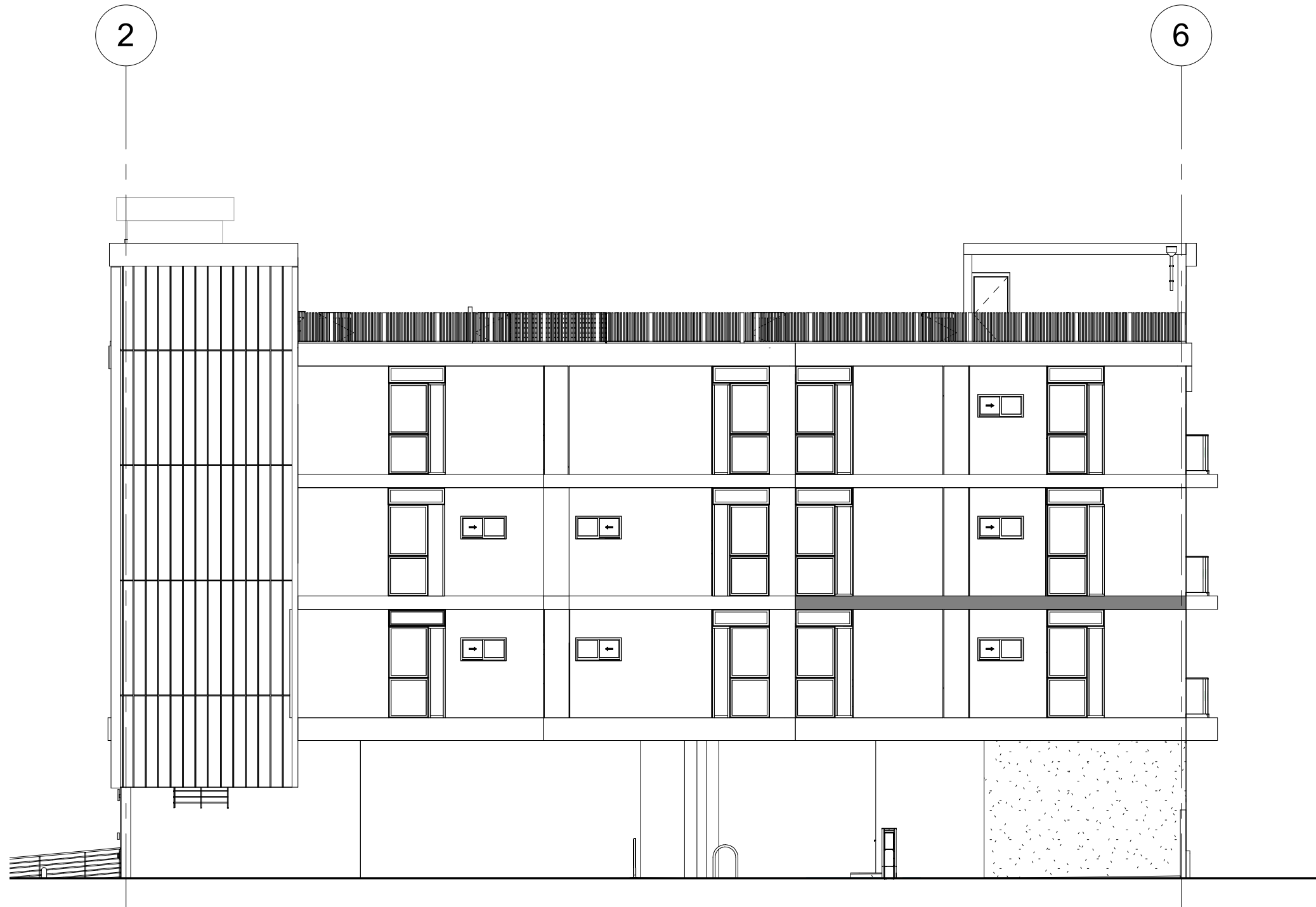
**EAST ELEVATION OPENING DIAGRAM**  
 FIRE SEPARATION DISTANCE: 15' TO LESS THAN 20' ALLOWABLE AREA: 75% MAX

LEVEL	WALL AREA	OPENING AREA	OPENING RATIO
1ST FLOOR	688 S.F.	23 S.F.	3.3%
2ND FLOOR	521 S.F.	115 S.F.	22.1%
3RD FLOOR	521 S.F.	115 S.F.	22.1%
4TH FLOOR	537 S.F.	115 S.F.	21.4%
5TH FLOOR	227 S.F.	4 S.F.	1.8%

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No.: 21010-10001-02999

**PROPOSED EAST ELEVATION**

3/32" = 1'-0" 1



□ SURFACE WALL AREA  
 ▨ OPENING AREA

**SOUTH ELEVATION OPENING DIAGRAM**  
 FIRE SEPARATION DISTANCE: 5' TO LESS THAN 10' ALLOWABLE AREA: 25% MAX

LEVEL	WALL AREA	OPENING AREA	OPENING RATIO
1ST FLOOR	1,317 S.F.	253 S.F.	19.2%
2ND FLOOR	998 S.F.	216 S.F.	21.6%
3RD FLOOR	998 S.F.	216 S.F.	21.6%
4TH FLOOR	1,029 S.F.	200 S.F.	19.4%
5TH FLOOR	459 S.F.	0 S.F.	0%

**PROPOSED SOUTH ELEVATION**

3/32" = 1'-0" 2

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

SCALE 3/32" = 1'-0"

DATE 07-23-2021

SHEET

**WALL  
 OPENING  
 DIAGRAMS**

**T-2.5**

archi  
engi  
plan  
land.  
**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, Calif  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION



PROJECT **NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

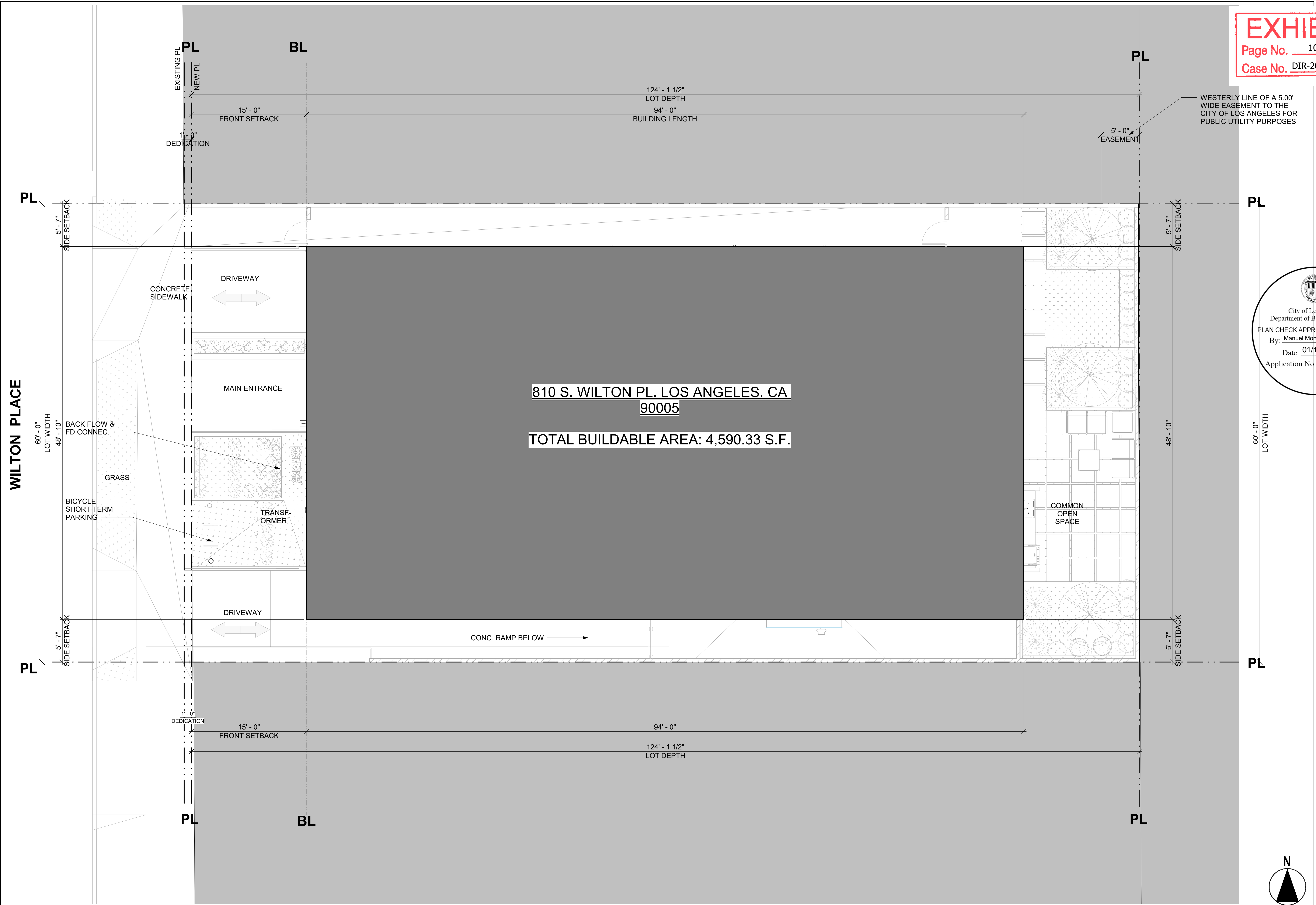
SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

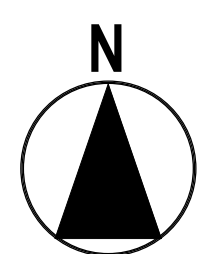
**BUILDABLE AREA DIAGRAM**

**T-2.6**



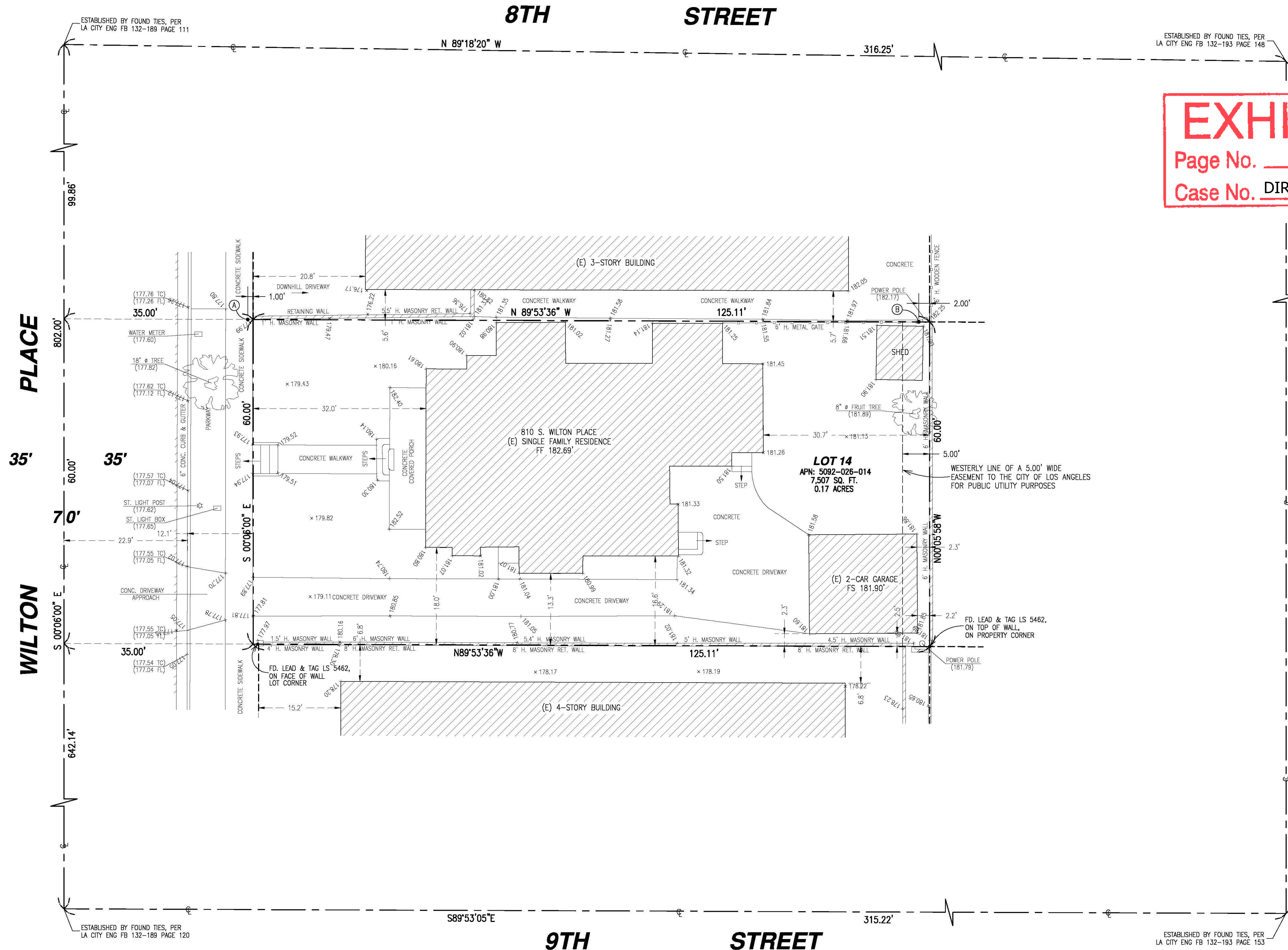
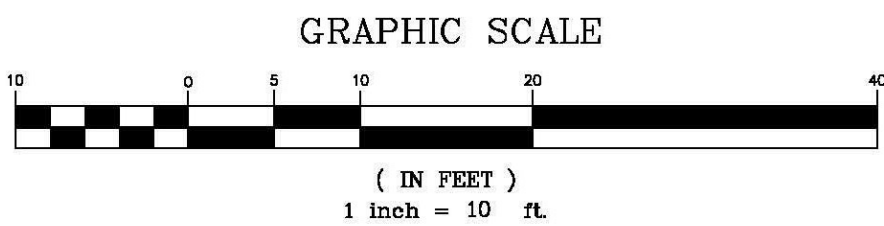
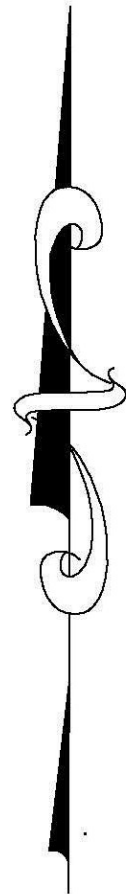
**810 S. WILTON PL. LOS ANGELES, CA  
90005**

**TOTAL BUILDABLE AREA: 4,590.33 S.F.**



**LEGEND**

- A.C. ASPHALT
- B.W. BACK OF WALK
- CONC. CONCRETE
- C.L.F. CHAIN LINK FENCE
- DRWY DRIVEWAY
- FL FLOW LINE
- FF FINISH FLOOR
- F.S. FINISH SURFACE
- FD. FOUND
- H. HIGH
- PP POWER POLE
- P.A. PLANTING AREA
- SSMH SEWER MANHOLE
- TC TOP OF CURB
- WM WATER METER
- WV WATER VALVE
- ∅ DIAMETER
- EXISTING STRUCTURE
- x100.00' SPOT ELEVATION
- CENTERLINE
- PROPERTY LINE
- MAJOR CONTOUR ELEVATION
- MINOR CONTOUR ELEVATION



**EXHIBIT "A"**

Page No. 11 of 41  
Case No. DIR-2021-6050-TOC-HCA



**MONUMENT LEGEND**

- Ⓐ SET LEAD & TAG RCE 2525B, 1.00' OFFSET FROM PROPERTY CORNER ON PROPERTY LINE PROLONGATION
- Ⓑ SET 3/4" ∅ IRON PIPE W/NAIL, 2.00' OFFSET FROM PROPERTY CORNER ON PROPERTY LINE

**BENCHMARK**

BENCHMARK # 12-33610  
DATUM: NAVD 1988  
YEAR OF ADJUSTMENT: 2000  
ELEVATION: 179.606'  
WIRE SPIKE NORTH CURB 8TH STREET; 4.7 FEET WEST OF BC CURB RETURN EAST OF WILTON PLACE; EAST END OF CATCH BASIN.

**BASIS OF BEARING**

THE BEARING OF N 00°06'00" W ON WILTON PLACE, CENTERLINE AS SHOWN ON TRACT NO. 73780, M/B 1413, PAGE(S) 25-26, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

**LEGAL DESCRIPTION**

LOT 14, BLOCK 9, COUNTRY CLUB PARK TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, PER MAP RECORDED IN BOOK 9, PAGE(S) 82, OF SAID MAP, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
ASSESSOR'S PARCEL NUMBER: 5092-026-014

T-3.0

<p>OWNER OR DEVELOPER: TITO ORTIZ (626) 786-8569 TEL ortizrec@aol.com</p>	<p><b>GFM</b> G.F. MONTEMAYOR &amp; ASSOCIATES, INC. CIVIL, STRUCTURAL &amp; ENVIRONMENTAL ENGINEERS 12941 RHODES PLACE CHINO, CA 91710 (626) 260-5666</p>	<p><b>BOUNDARY &amp; TOPOGRAPHIC SURVEY MAP</b> SITE ADDRESS: 810 S. WILTON PLACE LOS ANGELES, CA 90005 ASSESSOR'S PARCEL NUMBER: 5092-026-014</p> <p>DATE: 09-15-2021 SHEET 1 OF 1</p>
<p>ENGINEER _____ DATE: _____</p>		<p>SCALE: 1"=10' DRAWN BY: FABIAN MARISCAL</p>
<p><b>COUNTY OF LOS ANGELES</b></p>		

DEMOLITION KEYNOTES	
1	REMOVE CONCRETE
2	REMOVE EXISTING TREE
3	CONCRETE DRIVEWAY APPROACH TO BE DEMOLISHED
4	REMOVE FENCE WALL

EXHIBIT "A"

Page No. 12 of 41  
Case No. DIR-2021-6050-TOC-HCA

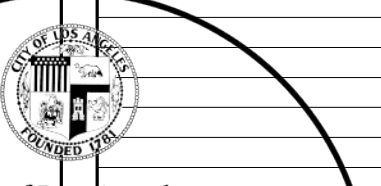
■ architecture  
■ engineering  
■ planning  
■ land-use consultation

TCS

THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montañar  
Date: 01/18/2023  
Application No.: 21010-10001-02999

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
18007

LICENSE STAMP

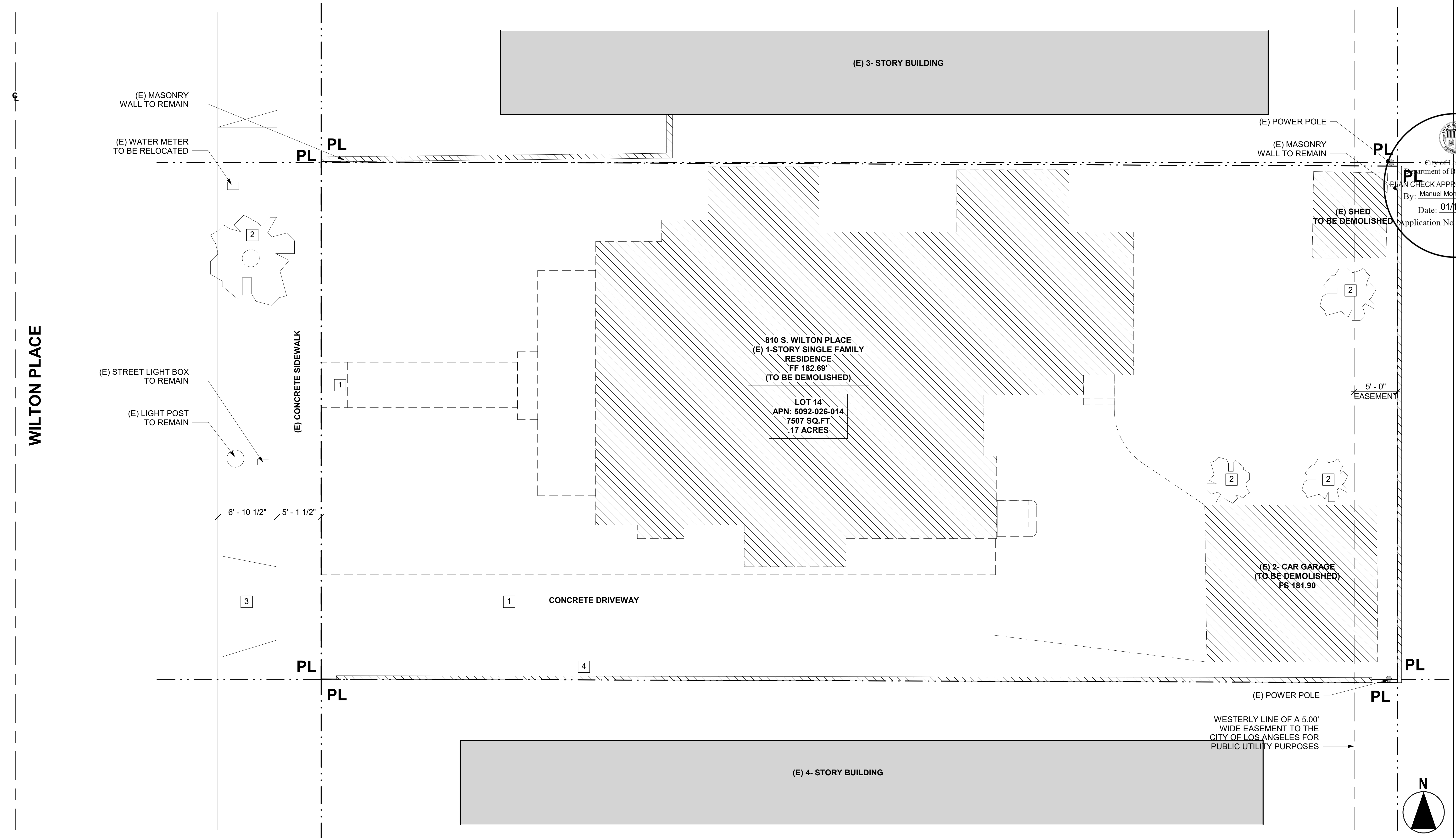
SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

DEMOLITION PLAN

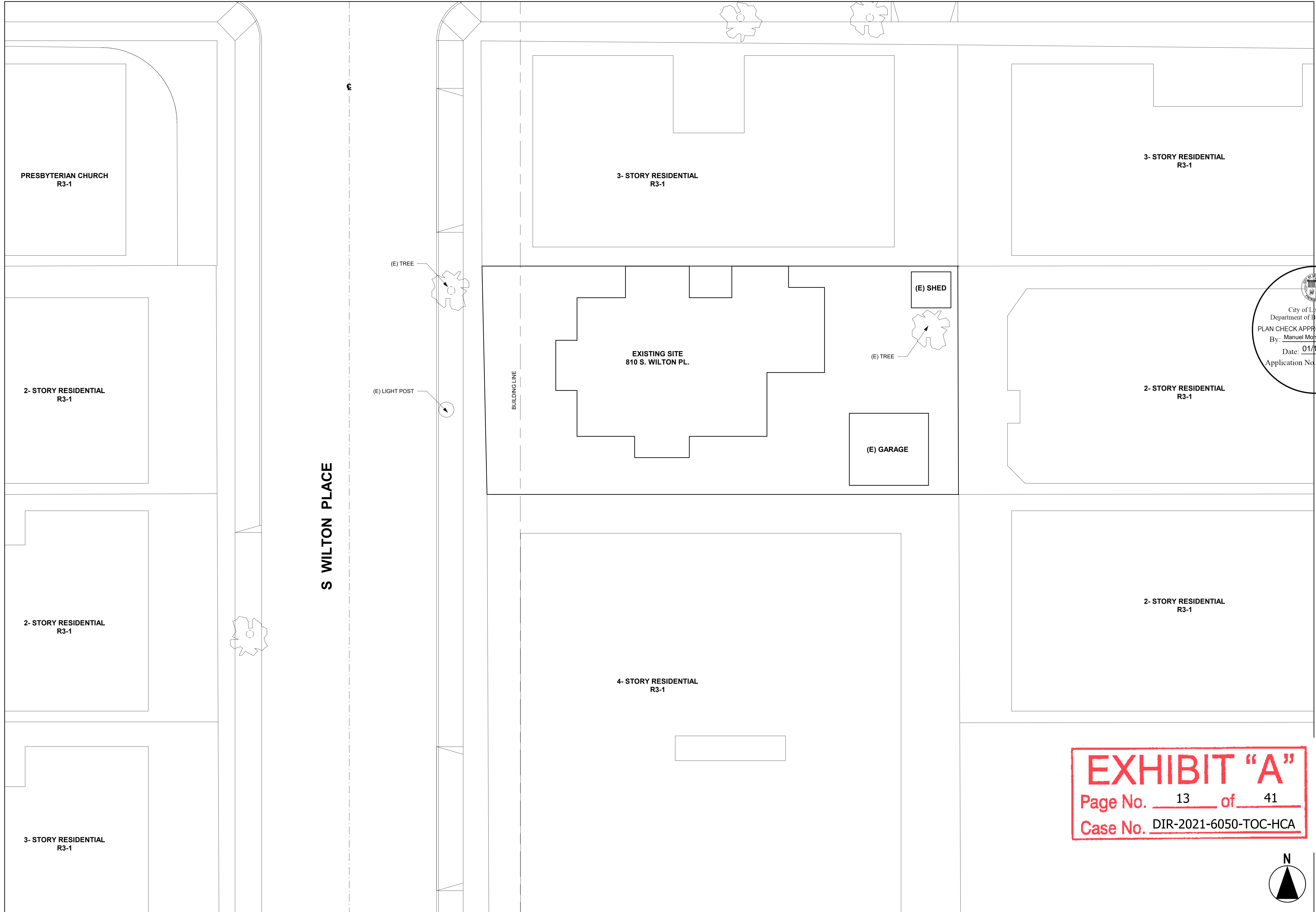
A-0.1



**EXISTING DEMOLITION PLAN**

3/32" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



PRESBYTERIAN CHURCH  
R3-1

2-STORY RESIDENTIAL  
R3-1

2-STORY RESIDENTIAL  
R3-1

3-STORY RESIDENTIAL  
R3-1

3-STORY RESIDENTIAL  
R3-1

EXISTING SITE  
810 S. WILTON PL.

(E) SHED

(E) GARAGE

(E) TREE

3-STORY RESIDENTIAL  
R3-1

2-STORY RESIDENTIAL  
R3-1

2-STORY RESIDENTIAL  
R3-1

4-STORY RESIDENTIAL  
R3-1

S WILTON PLACE

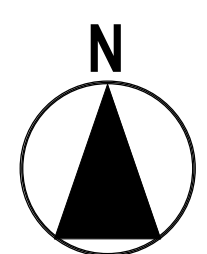
BUILDING LINE

(E) TREE

(E) LIGHT POST



**EXHIBIT "A"**  
 Page No. 13 of 41  
 Case No. DIR-2021-6050-TOC-HCA



VICINITY SITE PLAN

3/32" = 1'-0" 1

- architecture
- engineering
- planning
- land-use consultation

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

PROJECT **NEW 14-UNIT APARTMENT DEVELOPMENT**

JOB NUMBER  
18007

LICENSE STAMP

SCALE 3/32" = 1'-0"  
 DATE 07-23-2021

SHEET

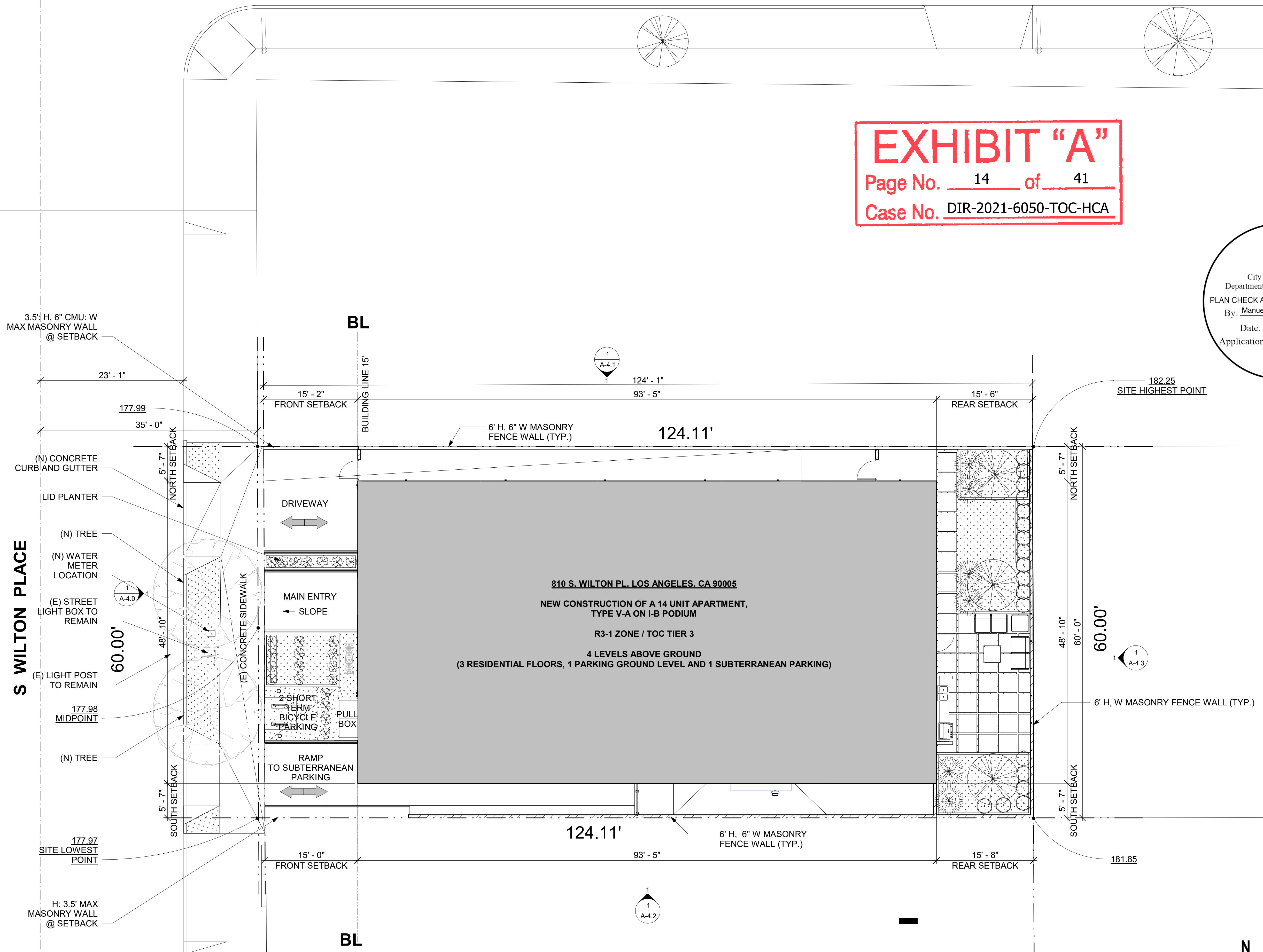
VICINITY  
SITE  
PLAN

**A-1.0**



EXHIBIT "A"  
 Page No. 14 of 41  
 Case No. DIR-2021-6050-TOC-HCA

REVISION



PROJECT: NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER 18007

LICENSE STAMP

SCALE 1/8" = 1'-0"

DATE 07-23-2021

SHEET

PROPOSED  
 SITE  
 PLAN

A-1.1

PROPOSED SITE PLAN

1/8" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, CA 90005  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvar  
 Date: 01/18/2023  
 Application No: 201010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

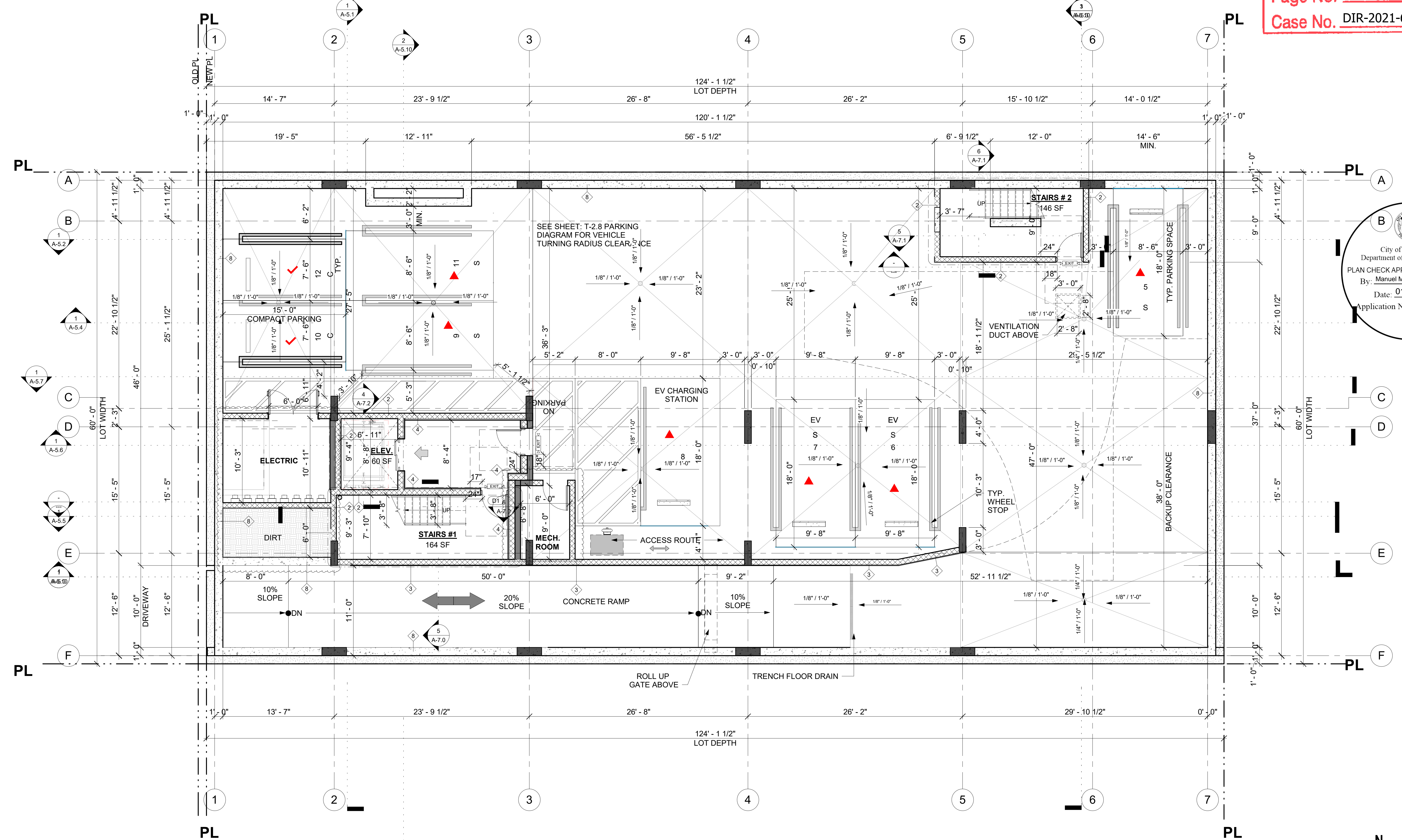
**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**UNDER  
 GROUND  
 PARKING  
 FLOOR  
 PLAN  
 A-2.0**



**PROPOSED UNDERGROUND PARKING FLOOR PLAN**

3/16" = 1'-0" 1

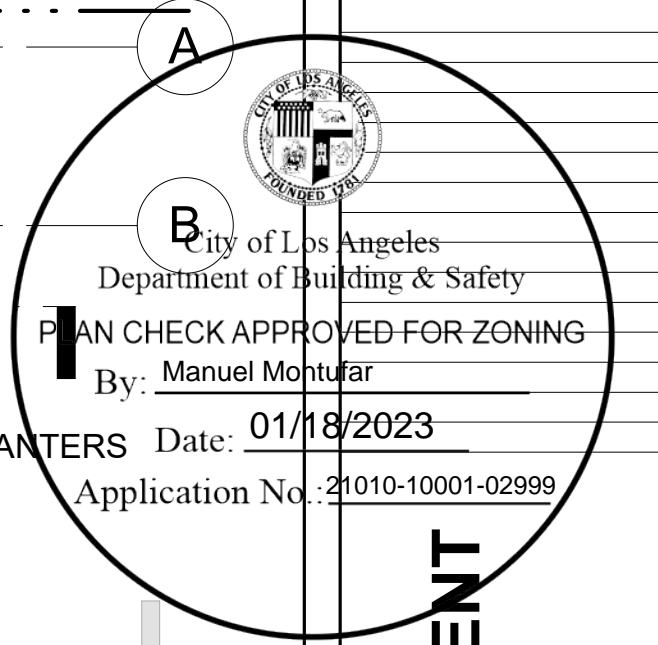
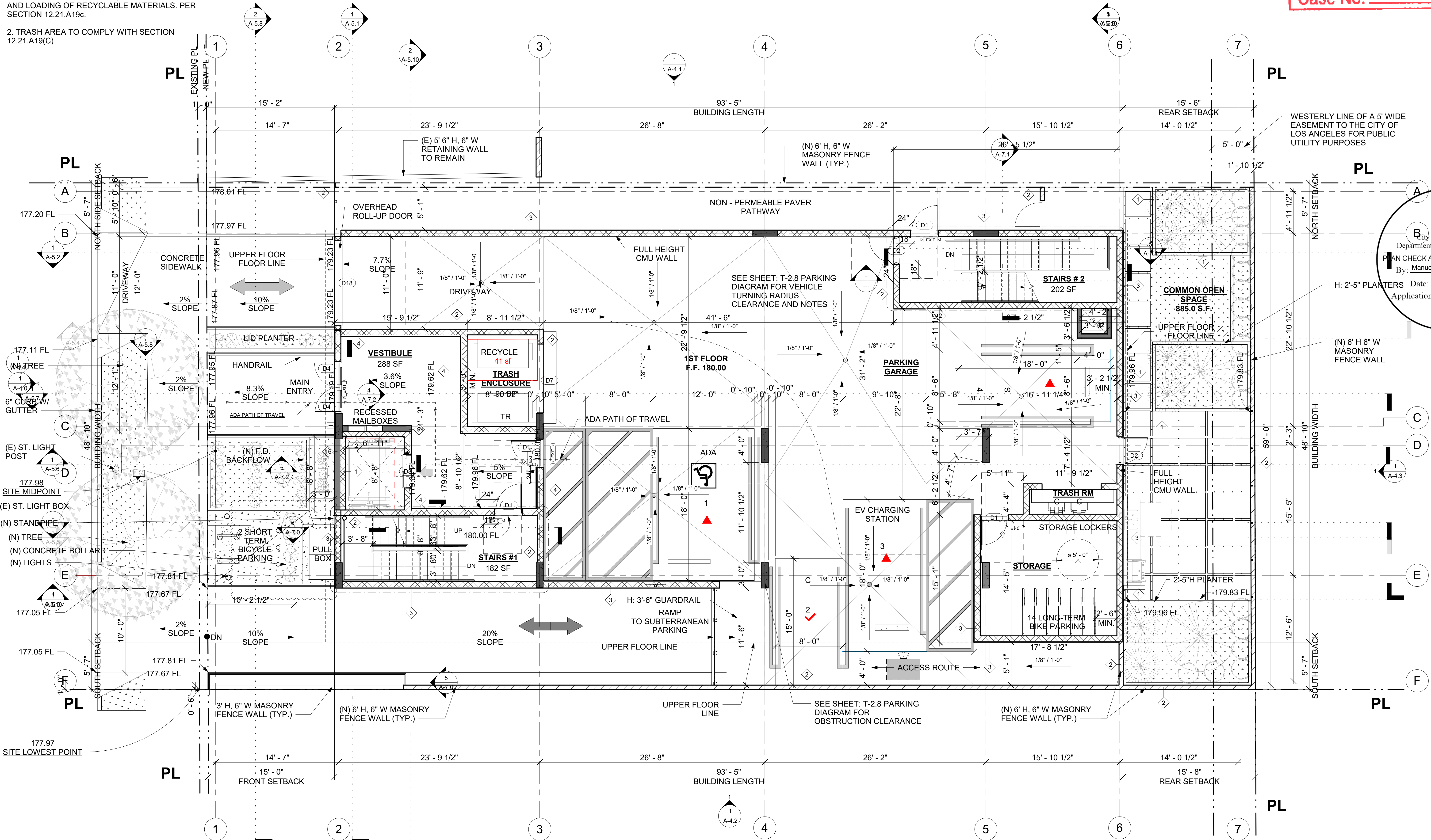
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**GENERAL NOTE:**

1. ALL NEW DEVELOPMENT PROJECTS, ALL EXISTING MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENT PROJECTS OF FOUR OR MORE UNITS WHERE THE ADDITION OF FLOOR AREA IS 25 PERCENT OR MORE, AND ALL OTHER EXISTING DEVELOPMENT PROJECTS WHERE THE ADDITION OF FLOOR AREA IS 30 PERCENT OR MORE, SHALL PROVIDE AN ADEQUATE RECYCLING AREA OR ROOM, FOR COLLECTION AND LOADING OF RECYCLABLE MATERIALS. PER SECTION 12.21.A19c.

2. TRASH AREA TO COMPLY WITH SECTION 12.21.A19(C)

**EXHIBIT "A"**  
 Page No. 16 of 41  
 Case No. DIR-2021-6050-TOC-HCA



**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Ang  
 Tel. 213. 537. 0158  
 admin@thecodesolution.com

REVISION

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**FIRST FLOOR PLAN**

**A-2.1**

**PROPOSED FIRST FLOOR PLAN**

3/16" = 1'-0" 1

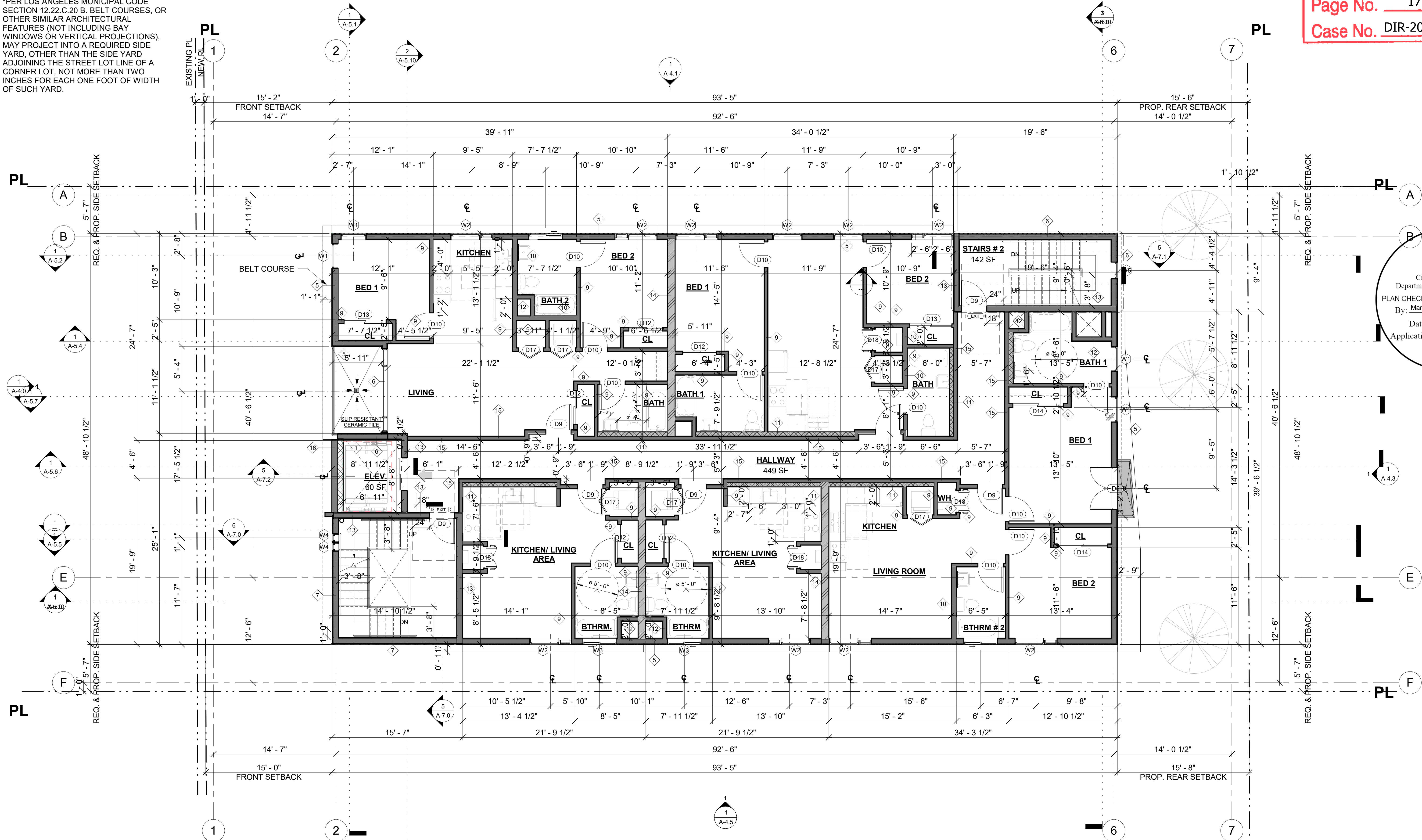
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**GENERAL NOTE:**

1. NOTE: BELT COURSE MAX PROJECTION  
CALCULATION:  
5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE  
SECTION 12.22.C.20 B. BELT COURSES, OR  
OTHER SIMILAR ARCHITECTURAL  
FEATURES (NOT INCLUDING BAY  
WINDOWS OR VERTICAL PROJECTIONS),  
MAY PROJECT INTO A REQUIRED SIDE  
YARD, OTHER THAN THE SIDE YARD  
ADJOINING THE STREET LOT LINE OF A  
CORNER LOT, NOT MORE THAN TWO  
INCHES FOR EACH ONE FOOT OF WIDTH  
OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 17 of 41  
Case No. DIR-2021-6050-TOC-HCA



**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION  
City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montalvar  
Date: 01/18/2023  
Application No: 201010001-02999

**PROJECT**  
NEW 14-UNIT APARTMENT DEVELOPMENT  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**SECOND FLOOR PLAN**

**A-2.2**

**PROPOSED SECOND FLOOR PLAN**

3/16" = 1'-0" 1

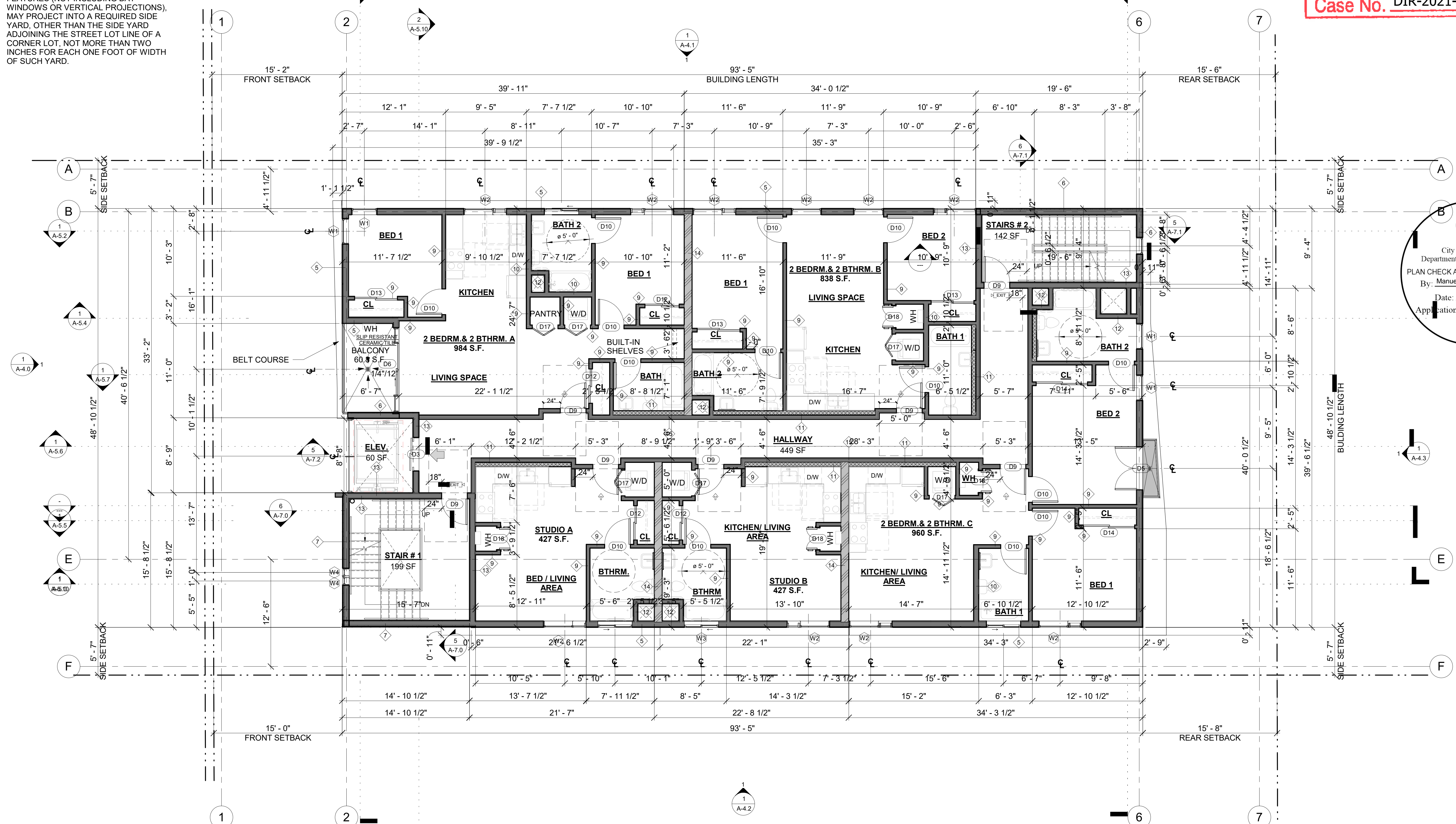
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**GENERAL NOTE:**

1. BELT COURSE MAX PROJECTION  
 CALCULATION:  
 $5.7' \times 2" = 11.4"$

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
 Page No. 18 of 41  
 Case No. DIR-2021-6050-TOC-HCA



City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvar  
 Date: 01/18/2023  
 Application No: 201010-10001-02999

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, CA 90005  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:**  
 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**THIRD FLOOR PLAN**

**A-2.3**

**PROPOSED THIRD FLOOR PLAN**

3/16" = 1'-0" 1

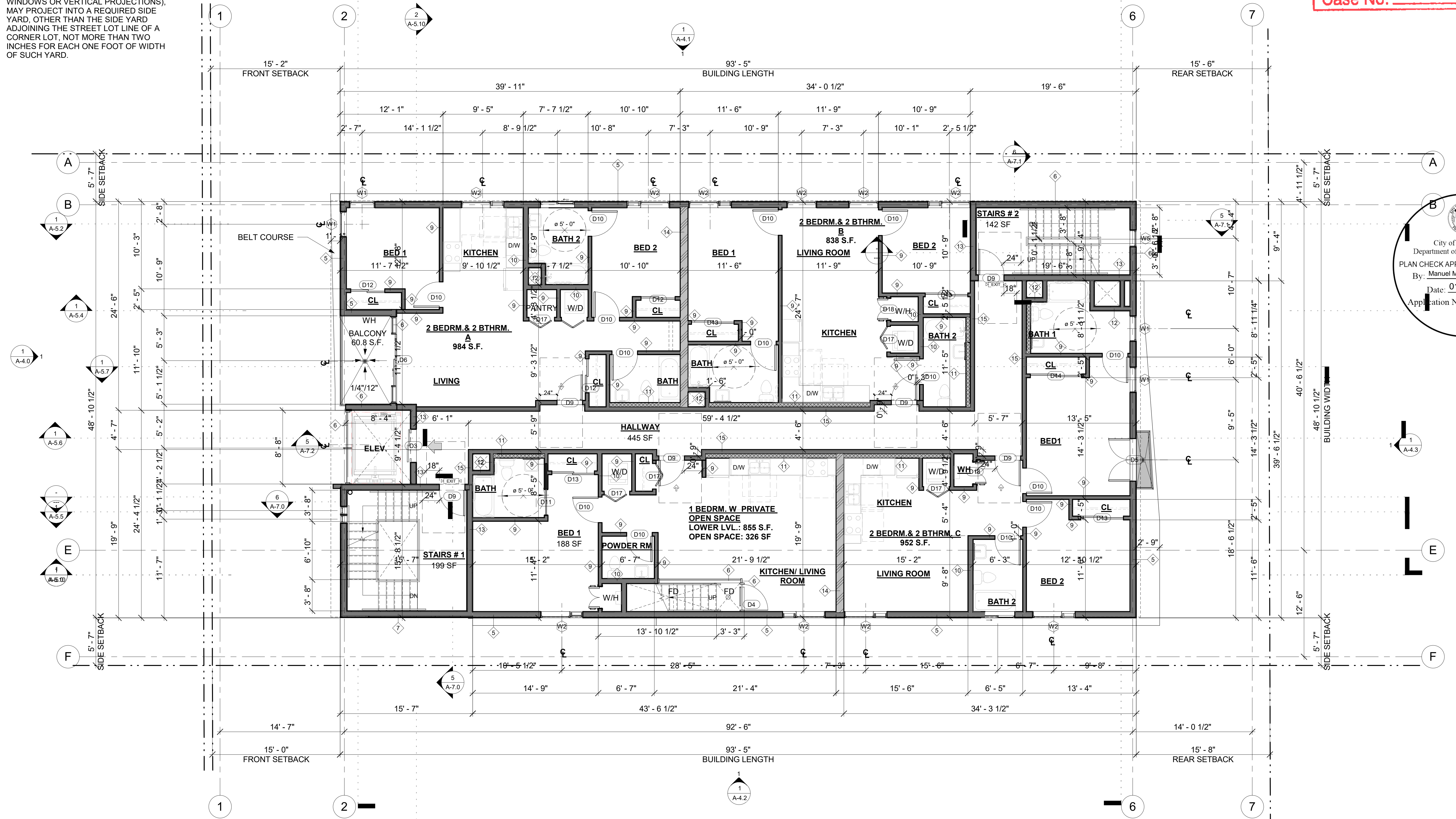
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**GENERAL NOTE:**

1. BELT COURSE MAX PROJECTION  
 CALCULATION:  
 $5.7' \times 2" = 11.4"$

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
 Page No. 19 of 41  
 Case No. DIR-2021-6050-TOC-HCA



City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvar  
 Date: 01/18/2023  
 Application No: 201010-10001-02999

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles  
 Tel. 213.537.0158  
 admin@thecodesolution.com

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**FOURTH FLOOR PLAN**  
**A-2.4**

**PROPOSED FOURTH FLOOR PLAN**

3/16" = 1'-0" 1

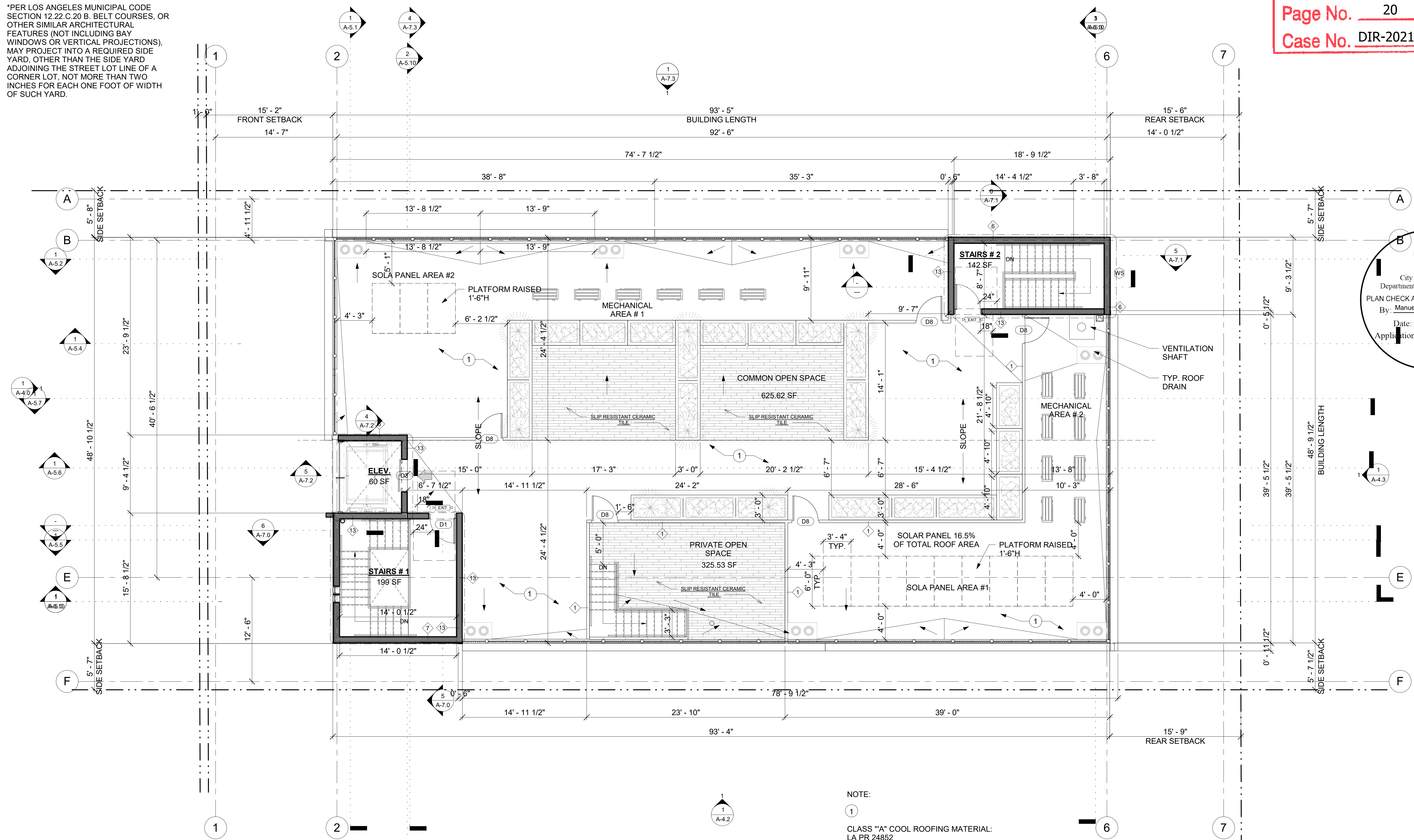
THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

**GENERAL NOTE:**

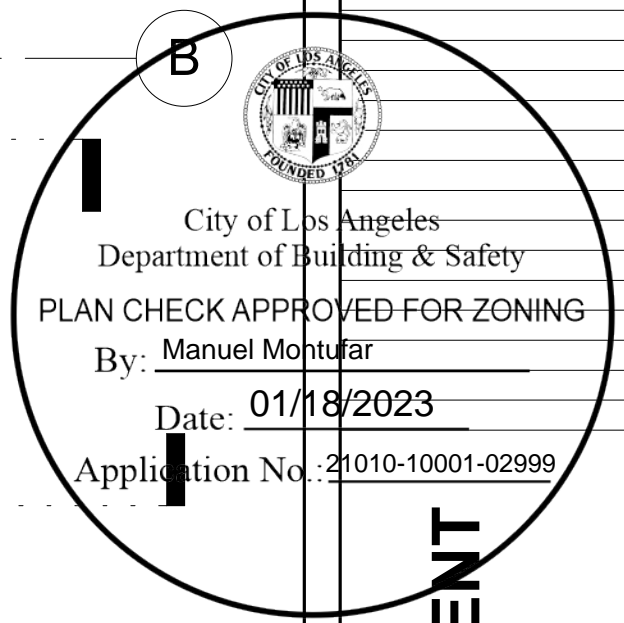
1. BELT COURSE MAX PROJECTION  
CALCULATION:  
5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 20 of 41  
Case No. DIR-2021-6050-TOC-HCA



**NOTE:**  
①  
CLASS "A" COOL ROOFING MATERIAL:  
LA PR 24852  
ICC ESR-1157  
SARNAFIL G410 GRAY, 72 MIL THICK  
FLEXIBLE POLYVINYL CHLORIDE  
POLYESTER REINFORCED SHEET, COLOR GRAY  
3 YEAR SOLAR REFLECTANCE - 0.70  
3 YEAR THERMAL EMITTANCE - 0.86  
BY SIKA SARNAFIL CORP. FIELD APPLIED  
COATING OR SIMILAR



**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Ang  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**NEW 14-UNIT APARTMENT DEVELOPMENT**

JOB NUMBER  
18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

**ROOF DECK PLAN**

**A-2.5**

**PROPOSED ROOF DECK PLAN**

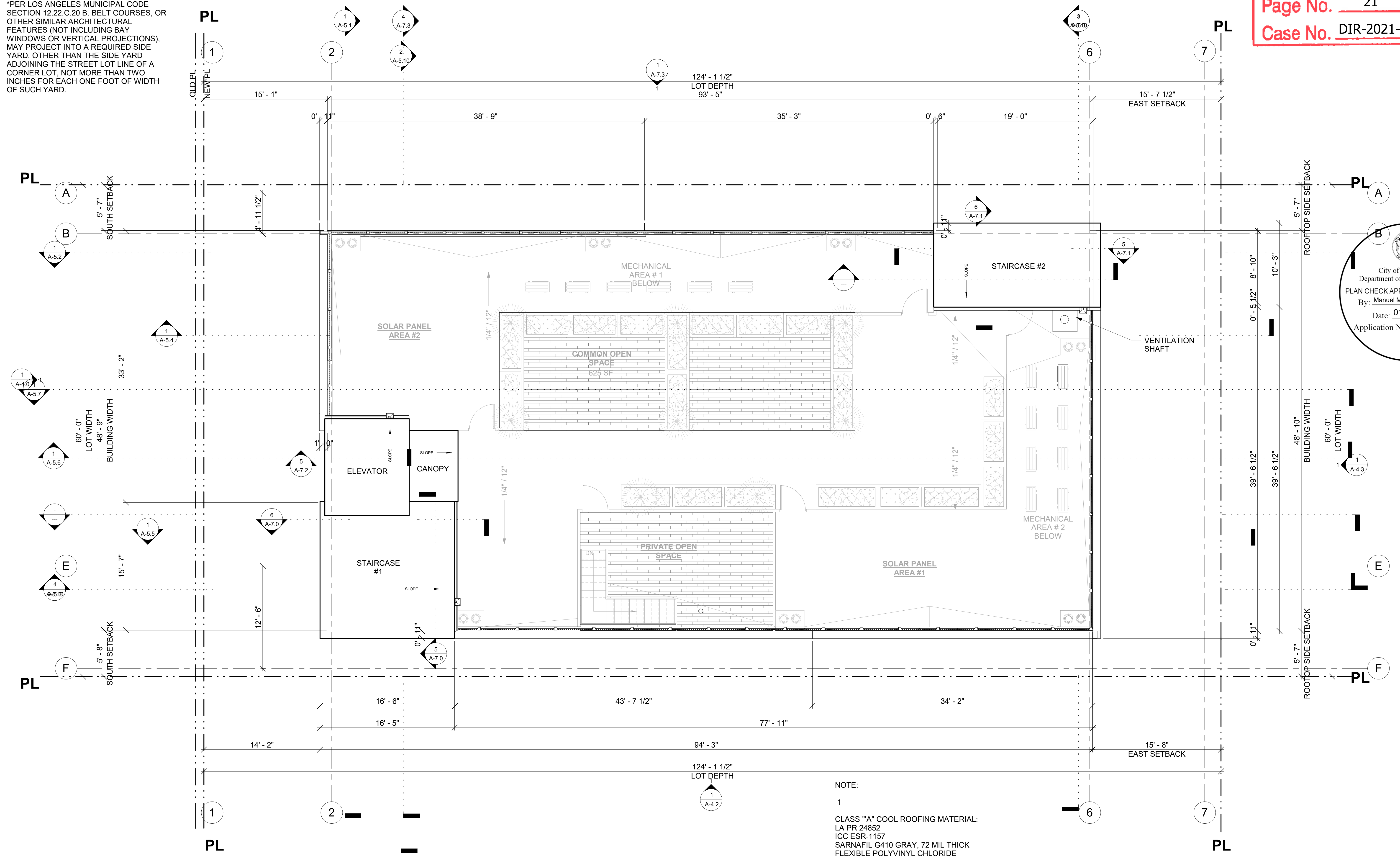
3/16" = 1'-0" 1

**GENERAL NOTE:**

1. BELT COURSE MAX PROJECTION  
CALCULATION:  
5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 21 of 41  
Case No. DIR-2021-6050-TOC-HCA



NOTE:  
1  
CLASS "A" COOL ROOFING MATERIAL:  
LA PR 24852  
ICC ESR-1157  
SARNAFIL G410 GRAY, 72 MIL THICK  
FLEXIBLE POLYVINYL CHLORIDE  
POLYESTER REINFORCED SHEET, COLOR GRAY  
3 YEAR SOLAR REFLECTANCE - 0.70  
3 YEAR THERMAL EMITTANCE - 0.86  
BY SIKA SARNAFIL CORP. FIELD APPLIED  
COATING OR SIMILAR



**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, CA 90005  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION

**PROJECT**  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

**PROJECT ADDRESS:** 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**ROOF PLAN**

**A-2.6**

**PROPOSED ROOF PLAN**

3/16" = 1'-0" 1



NOTE: BELT COURSE MAX PROJECTION  
CALCULATION: 5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.



**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, CA 90005  
Tel. 213.537.0158  
admin@thecodesolution.com

City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montañar  
Date: 01/18/2023  
Application No.: 201010-10001-02999

**PROJECT**  
NEW 14-UNIT APARTMENT DEVELOPMENT  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**WEST COLORED ELEVATION**

**A-4.0**

1		SMOOTH METAL SHEET COLOR SLATE BLUE BY ATAS OR SIMILAR COMPANY
2		SMOOTH METAL SHEET COLOR REGAL BLUE BY ATAS OR SIMILAR COMPANY
3		CHARCOAL GRAY CORRUGATED METAL CLADDING BY ATAS OR SIMILAR
4		EQUITONE (LUNARA) LA20 SIMILAR COMPANY
5		STUCCO SMOOTH COLOR DE 6359 SILVER SETTING BY DUNN EDWARDS OR SIMILAR COMPANY
6		STUCCO SMOOTH FINISH 40 DOVE GREY BY LA HABRA STUCCO OR SIMILAR COMPANY
7		BETTER PRIME DOUG FIR LUMBER OR SIMILAR COMPANY
8		ALUMINIUM CLEAR ANODIZED FROM MILGARD
9		OUTDOOR MODERN WATERPROOF LONG STRIP BRIGHT LED WALL LIGHT
10		METAL DOWNSPOUT

**PROPOSED WEST COLORED ELEVATION**

3/16" = 1'-0" 1

NOTE: BELT COURSE MAX PROJECTION  
CALCULATION: 5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 23 of 41  
Case No. DIR-2021-6050-TOC-HCA

architecture  
engineering  
planning  
land-use consultation

**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213.537.0158  
admin@thecodesolution.com



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montalvar  
Date: 01/18/2023  
Application No: 201010-10001-02999

REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

**NORTH  
COLORED  
ELEVATION**

**A-4.1**

1		SMOOTH METAL SHEET COLOR SLATE BLUE BY ATAS OR SIMILAR COMPANY
2		SMOOTH METAL SHEET COLOR REGAL BLUE BY ATAS OR SIMILAR COMPANY
3		CHARCOAL GRAY CORRUGATED METAL CLADDING BY ATAS OR SIMILAR
4		EQUITONE (LUNARA) LA20 SIMILAR COMPANY
5		STUCCO SMOOTH COLOR DE 6359 SILVER SETTING BY DUNN EDWARDS OR SIMILAR COMPANY
6		STUCCO SMOOTH FINISH 40 DOVE GREY BY LA HABRA STUCCO OR SIMILAR COMPANY
7		BETTER PRIME DOUG FIR LUMBER OR SIMILAR COMPANY
8		ALUMINIUM CLEAR ANODIZED FROM MILGARD
9		OUTDOOR MODERN WATERPROOF LONG STRIP BRIGHT LED WALL LIGHT
10		METAL DOWNSPOUT

**PROPOSED NORTH ELEVATION**

3/16" = 1'-0" 1

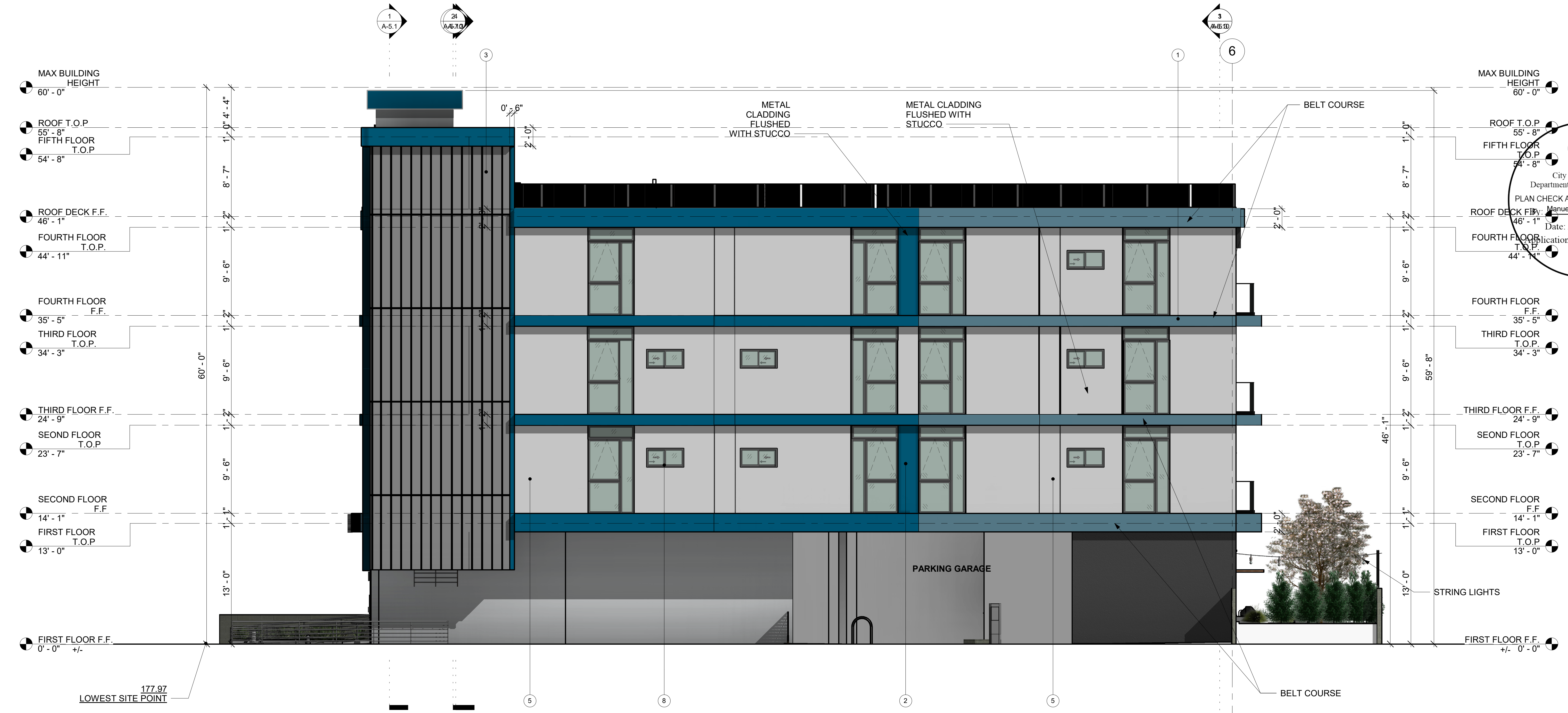
NOTE: BELT COURSE MAX PROJECTION  
CALCULATION: 5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 24 of 41  
Case No. DIR-2021-6050-TOC-HCA

architecture  
engineering  
planning  
land-use consultation

**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213.537.0158  
admin@thecodesolution.com



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
Roof Deck File: Manuel Montalvan  
Date: 01/18/2023  
Application No: 21010-10001-02999

REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

**SOUTH  
COLORED  
ELEVATION**

**A-4.2**

1	SMOOTH METAL SHEET COLOR SLATE BLUE BY ATAS OR SIMILAR COMPANY	2	SMOOTH METAL SHEET COLOR REGAL BLUE BY ATAS OR SIMILAR COMPANY	3	CHARCOAL GRAY CORRUGATED METAL CLADDING BY ATAS OR SIMILAR	4	EQUITONE (LUNARA) LA20 SIMILIAR COMPANY	5	STUCCO SMOOTH COLOR DE 6359 SILVER SETTING BY DUNN EDWARDS OR SIMILIAR COMPANY	6	STUCCO SMOOTH FINISH 40 DOVE GREY BY LA HABRA STUCCO OR SIMILAR COMPANY	7	BETTER PRIME DOUG FIR LUMBER OR SIMILAR COMPANY	8	ALUMINIUM CLEAR ANODIZED FROM MILGARD	9	OUTDOOR MODERN WATERPROOF LONG STRIP BRIGHT LED WALL LIGHT	10	METAL DOWNSPOUT
---	---	---	---	---	---	---	--	---	---	---	--	---	---	---	--	---	---	----	-----------------

**PROPOSED SOUTH ELEVATION**

3/16" = 1'-0" 1

NOTE: BELT COURSE MAX PROJECTION  
CALCULATION: 5.7' X 2" = 11.4"

\*PER LOS ANGELES MUNICIPAL CODE SECTION 12.22.C.20 B. BELT COURSES, OR OTHER SIMILAR ARCHITECTURAL FEATURES (NOT INCLUDING BAY WINDOWS OR VERTICAL PROJECTIONS), MAY PROJECT INTO A REQUIRED SIDE YARD, OTHER THAN THE SIDE YARD ADJOINING THE STREET LOT LINE OF A CORNER LOT, NOT MORE THAN TWO INCHES FOR EACH ONE FOOT OF WIDTH OF SUCH YARD.

**EXHIBIT "A"**  
Page No. 25 of 41  
Case No. DIR-2021-6050-TOC-HCA

architecture  
engineering  
planning  
land-use consultation

**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213.537.0158  
admin@thecodesolution.com



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montalvar  
Date: 01/18/2023  
Application No. 21010-10001-02999

REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**  
PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

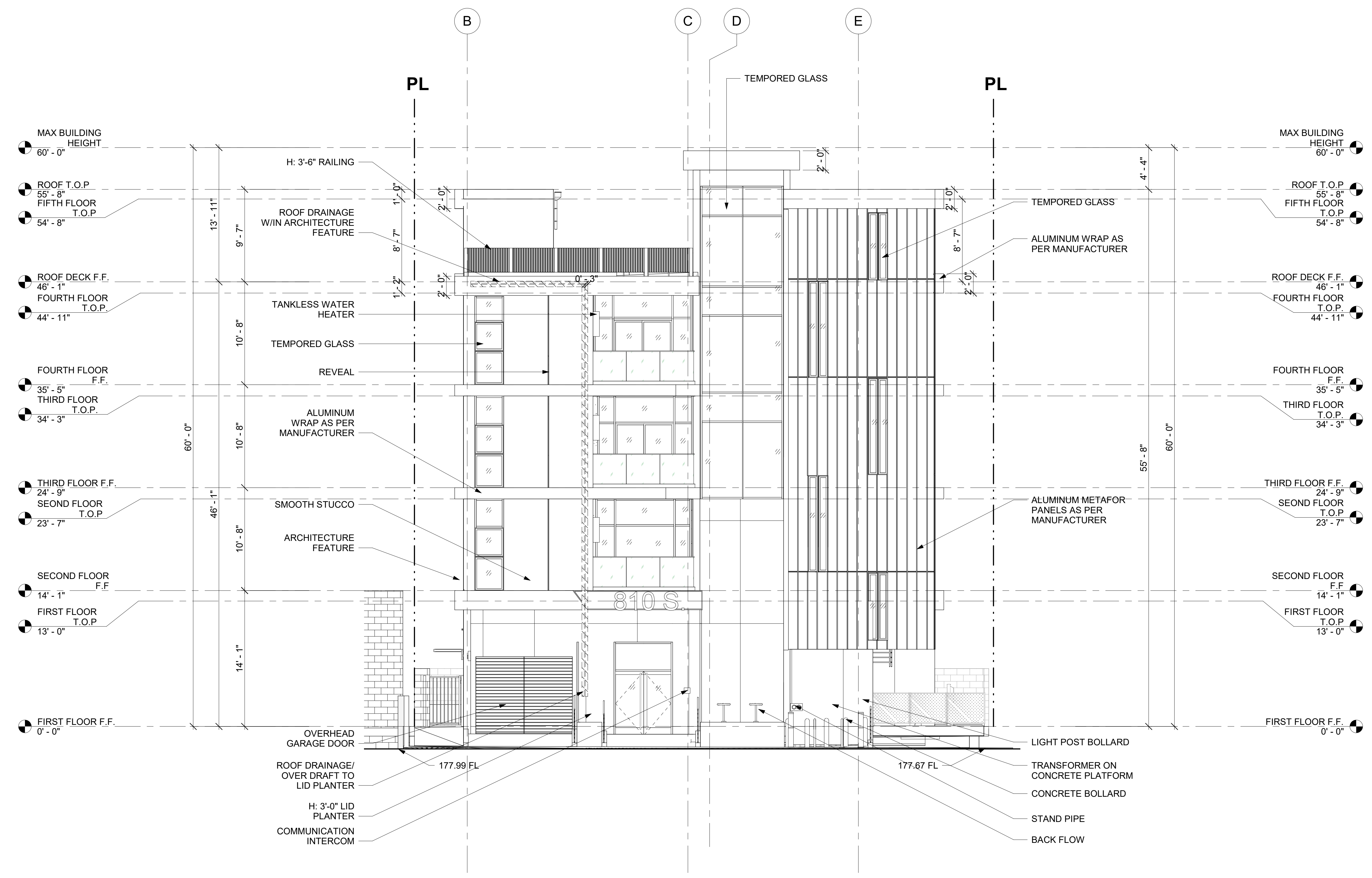
**EAST  
COLORED  
ELEVATION**

**A-4.3**

1		SMOOTH METAL SHEET COLOR SLATE BLUE BY ATAS OR SIMILAR COMPANY
2		SMOOTH METAL SHEET COLOR REGAL BLUE BY ATAS OR SIMILAR COMPANY
3		CHARCOAL GRAY CORRUGATED METAL CLADDING BY ATAS OR SIMILAR
4		EQUITONE (LUNARA) LA20 SIMILAR COMPANY
5		STUCCO SMOOTH COLOR DE 6359 SILVER SETTING BY DUNN EDWARDS OR SIMILAR COMPANY
6		STUCCO SMOOTH FINISH 40 DOVE GREY BY LA HABRA STUCCO OR SIMILAR COMPANY
7		BETTER PRIME DOUG FIR LUMBER OR SIMILAR COMPANY
8		ALUMINIUM CLEAR ANODIZED FROM MILGARD
9		OUTDOOR MODERN WATERPROOF LONG STRIP BRIGHT LED WALL LIGHT
10		METAL DOWNSPOUT

**PROPOSED EAST ELEVATION**

3/16" = 1'-0" 1



REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

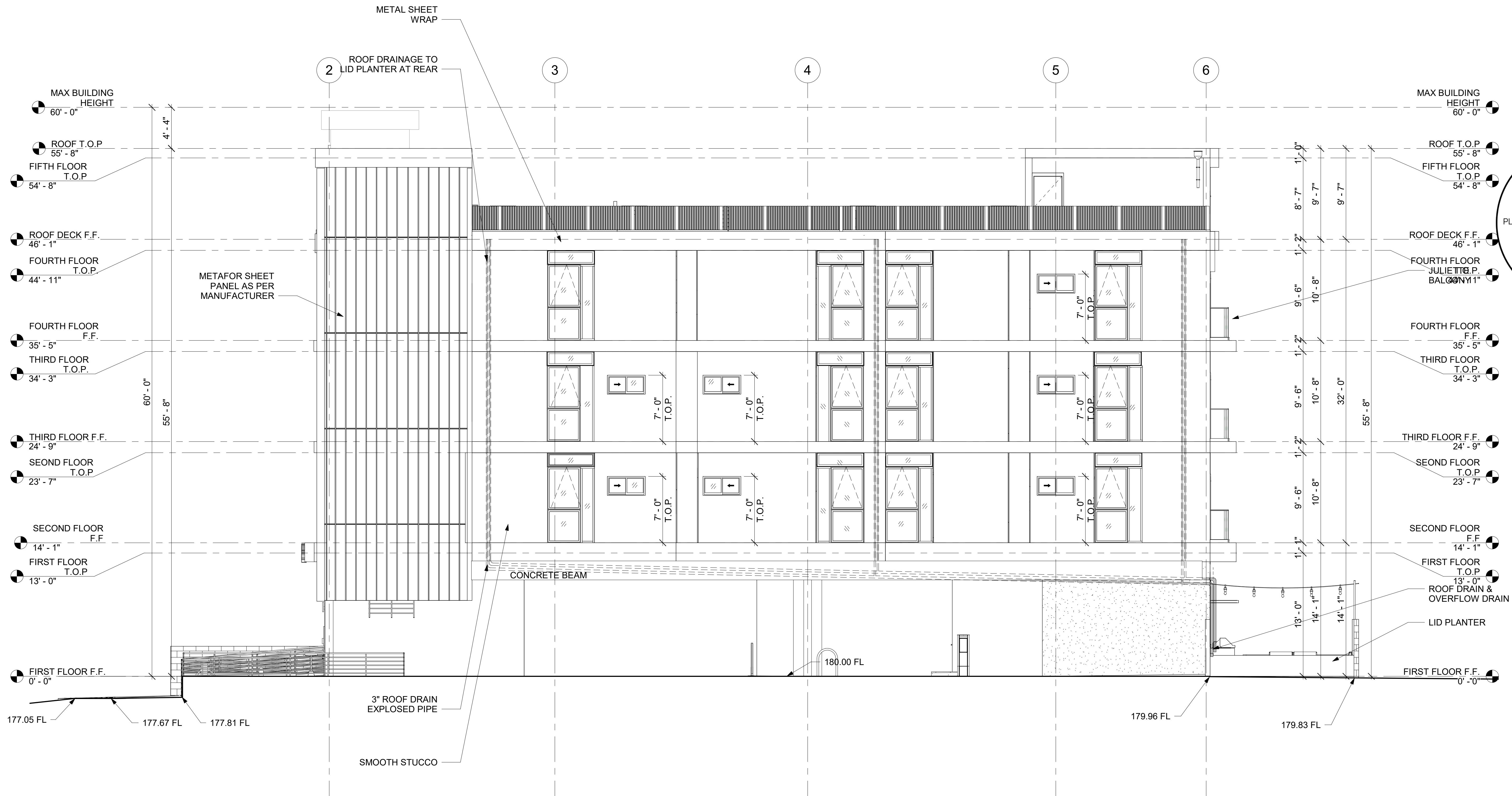
**WEST  
 B&W  
 ELEVATION**

**A-4.4**

**PROPOSED WEST BLACK AND WHITE ELEVATION**

3/16" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**SOUTH  
 B&W  
 ELEVATION**

**A-4.5**

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No.: 21010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:** 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

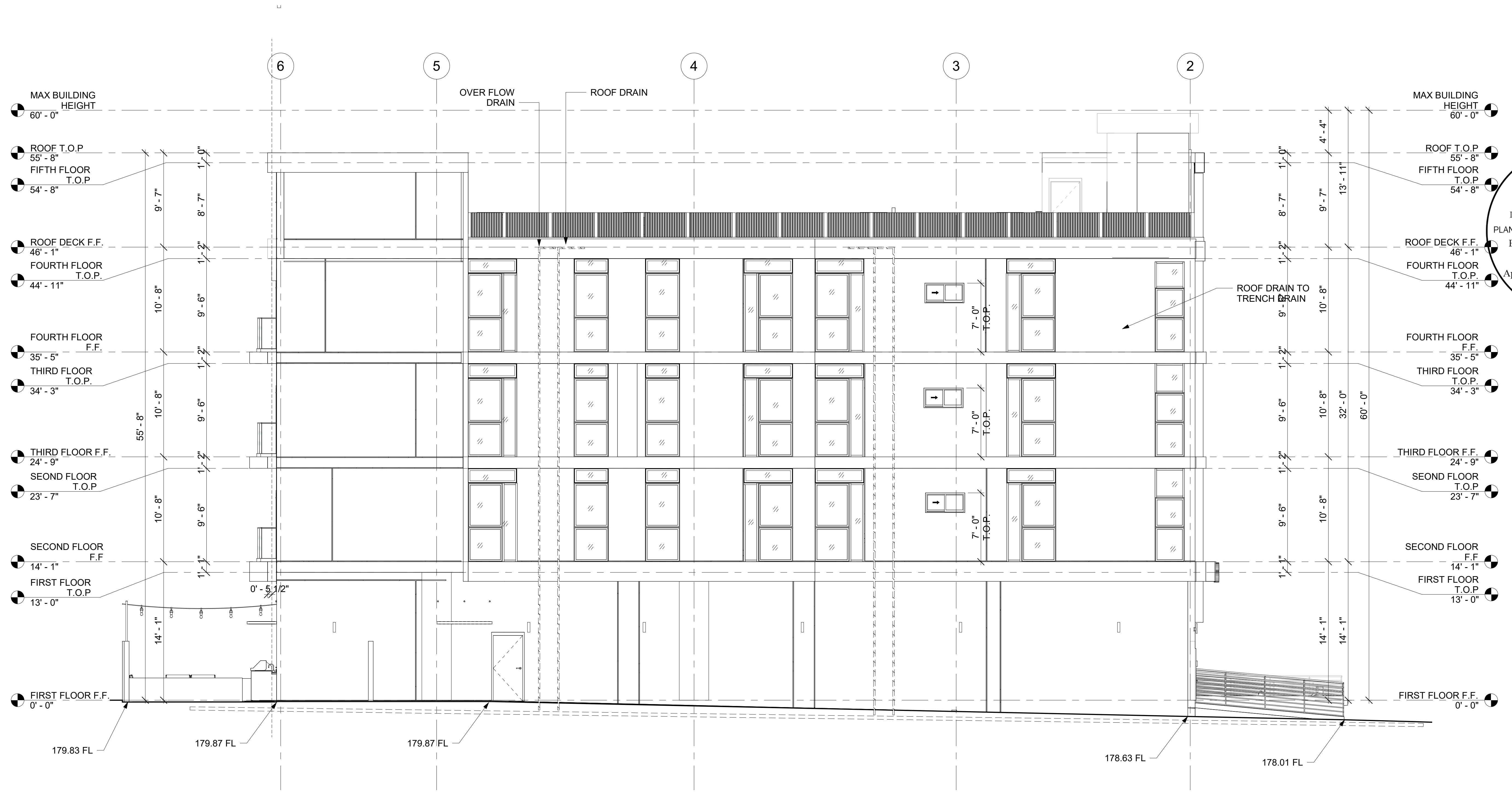
**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**NORTH  
 B&W  
 ELEVATION**

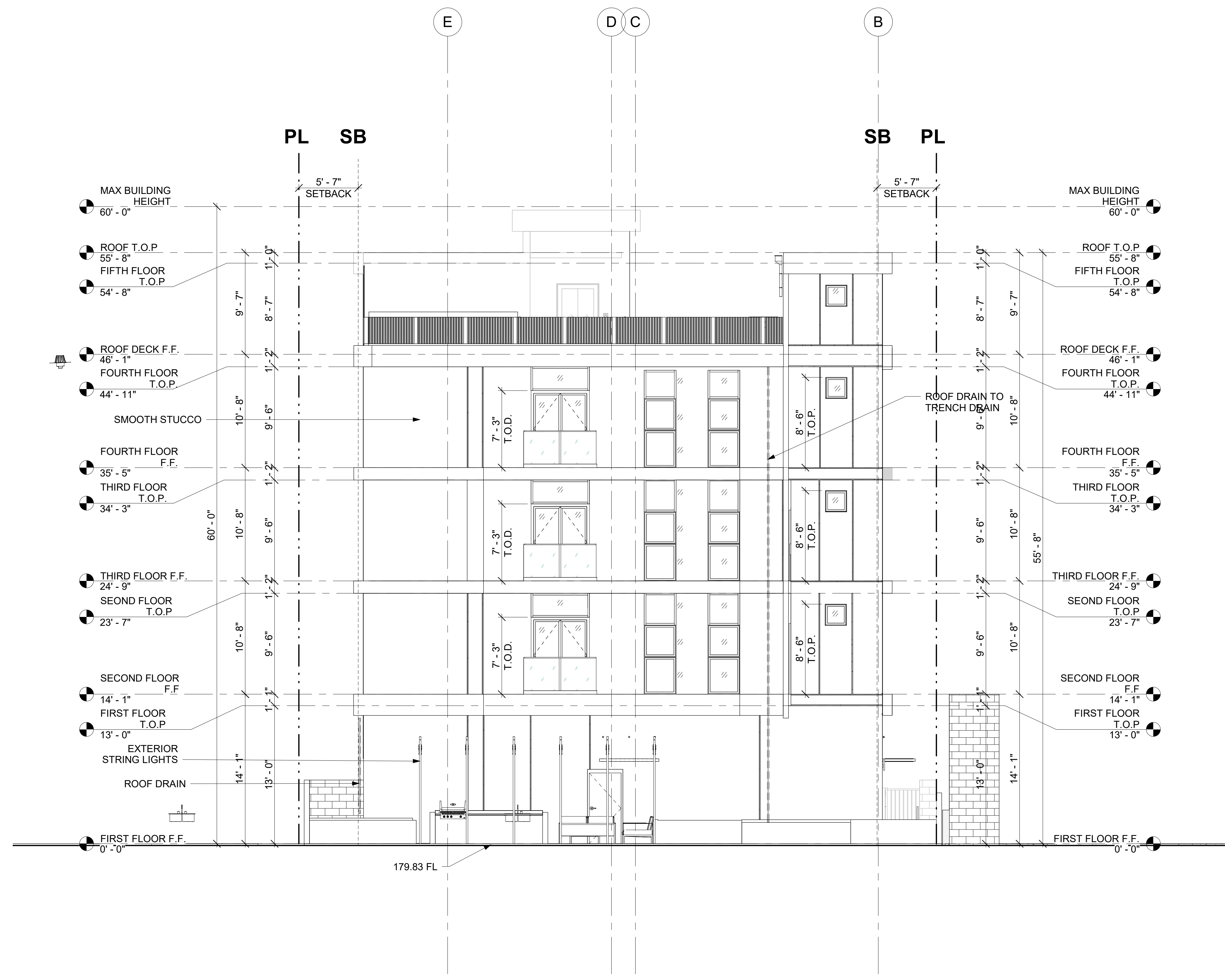
**A-4.6**



**PROPOSED NORTH BLACK AND WHITE ELEVATION**

3/16" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

**EAST  
 B&W  
 ELEVATION**

**A-4.7**



**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvar  
 Date: 01/18/2023  
 Application No: 21010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

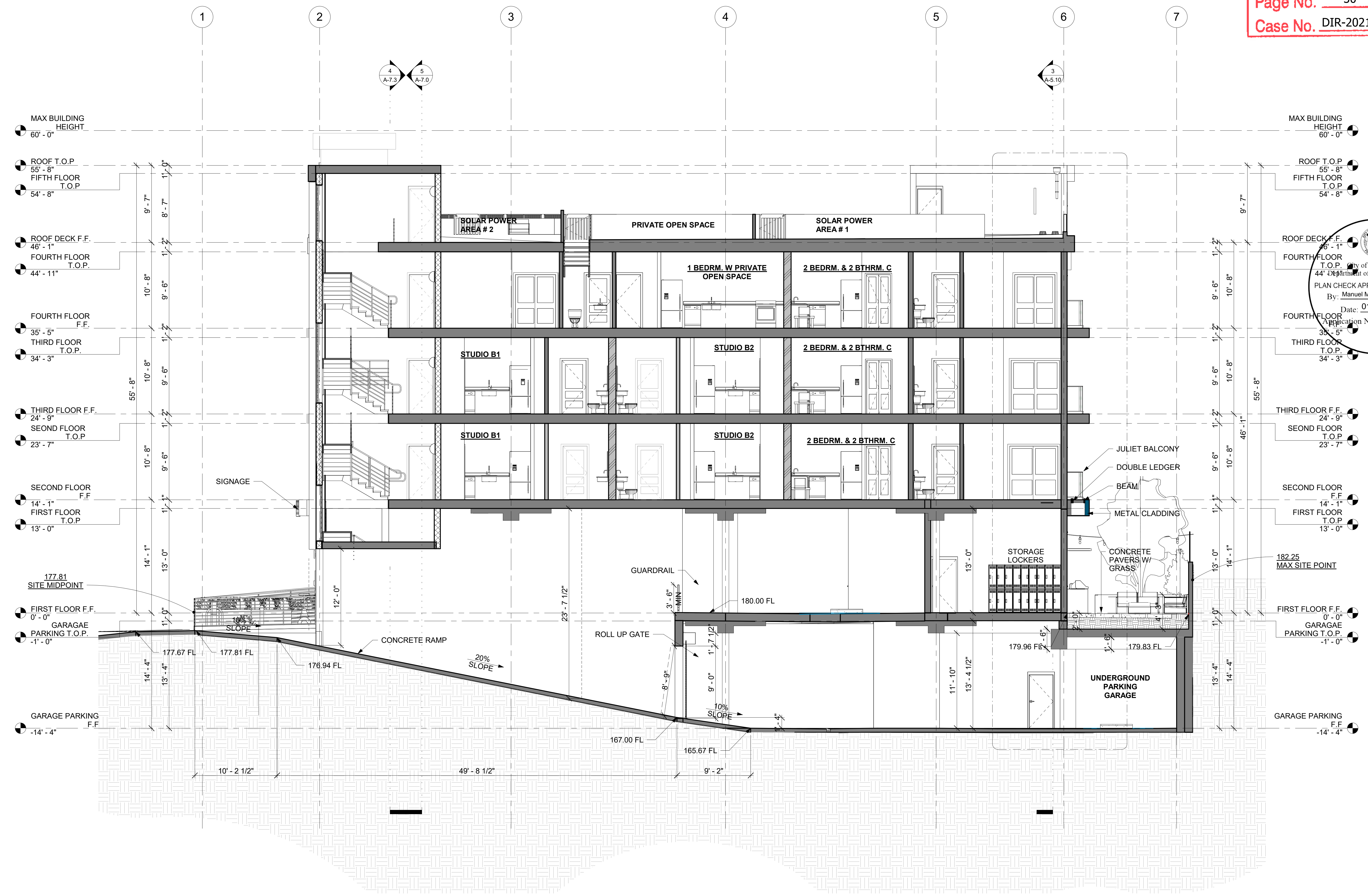
**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

**SECTION**  
 - 1

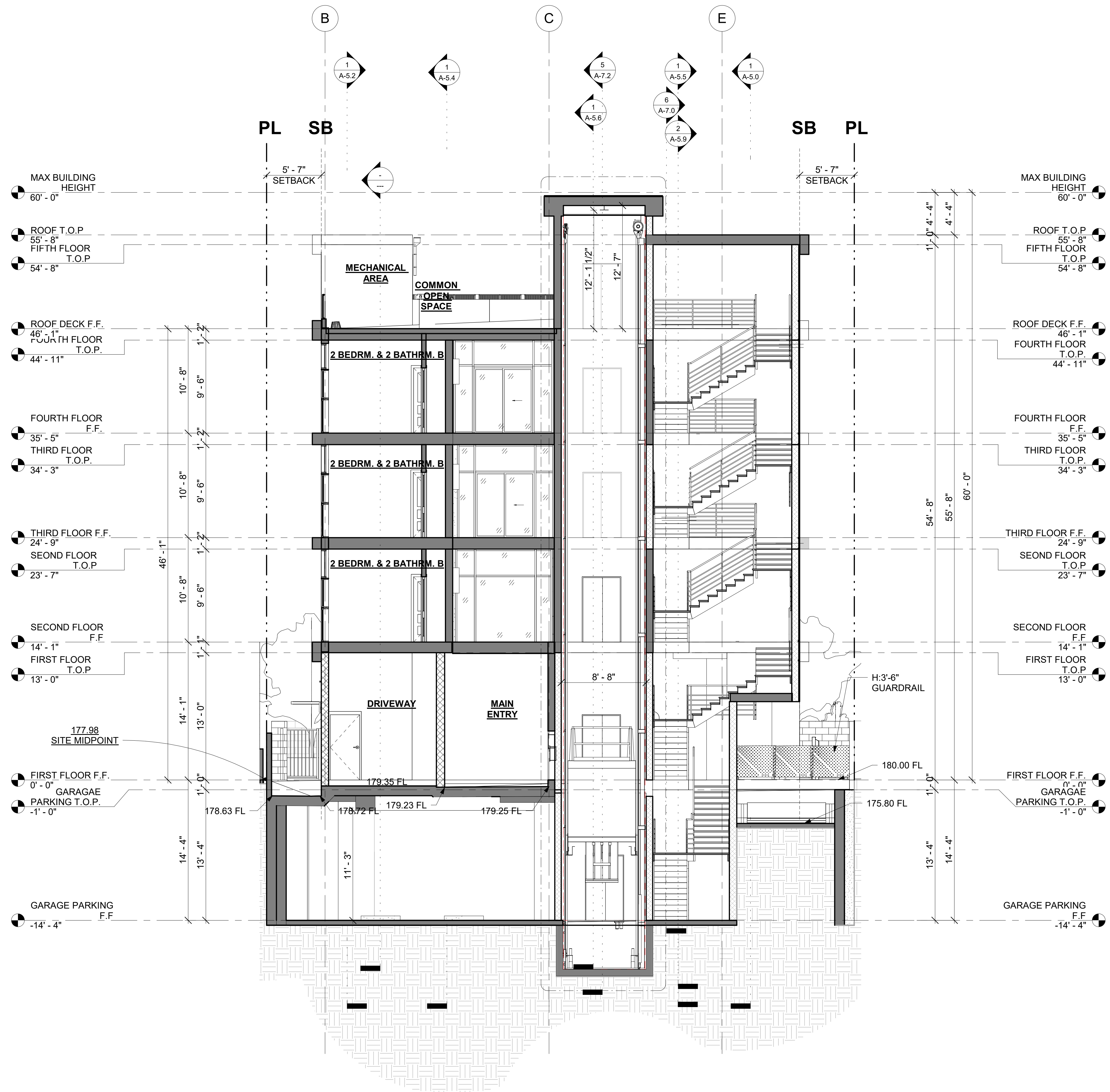
**A-5.0**



**SECTION - 1**

**3/16" = 1'-0" 1**

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



REVISION

PROJECT **NEW 14-UNIT APARTMENT DEVELOPMENT**

JOB NUMBER **18007**

LICENSE STAMP

SCALE **3/16" = 1'-0"**

DATE **07-23-2021**

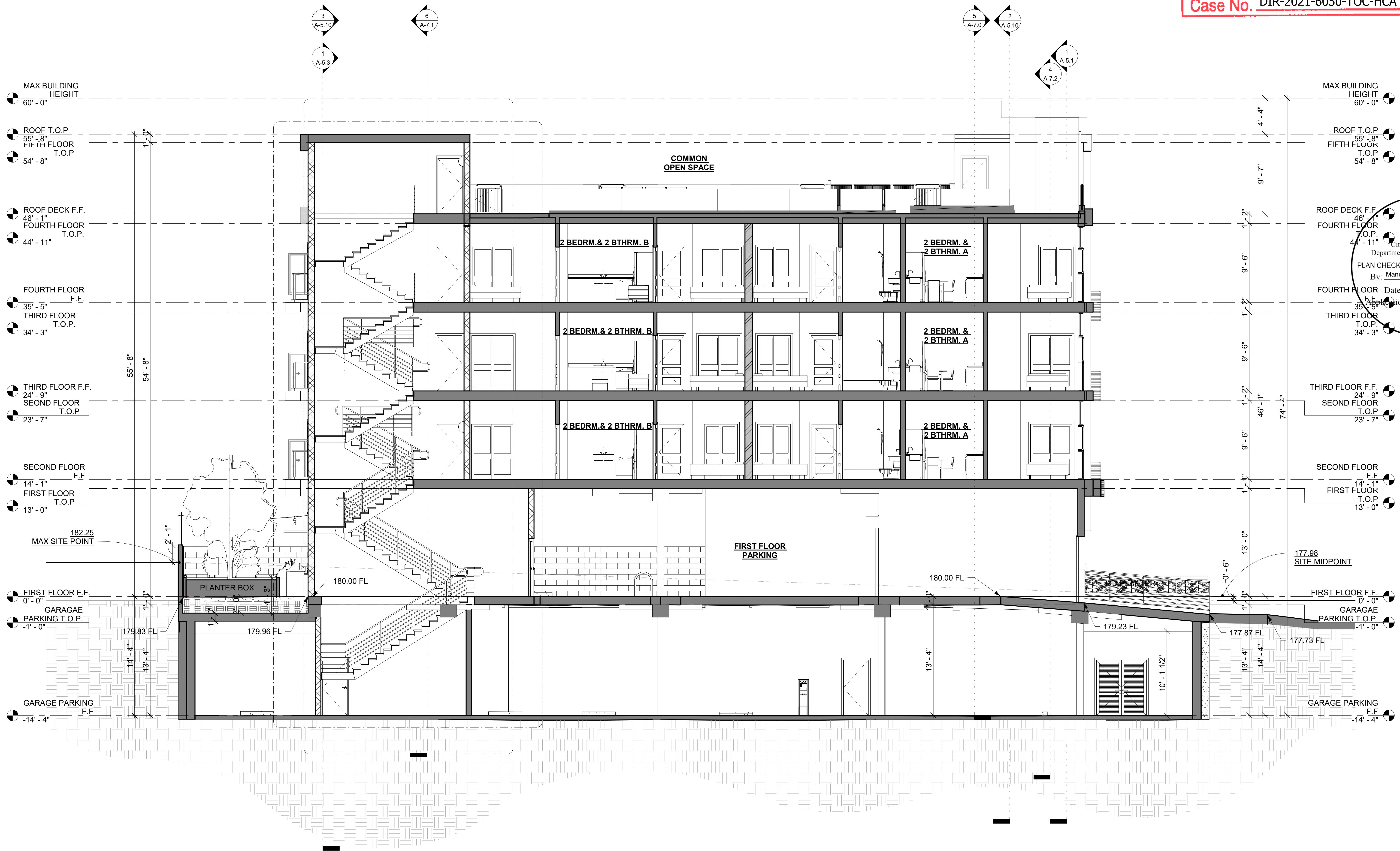
SHEET

**SECTION - 2**

**A-5.1**

**SECTION - 2**

**3/16" = 1'-0" 1**



REVISION

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
 18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

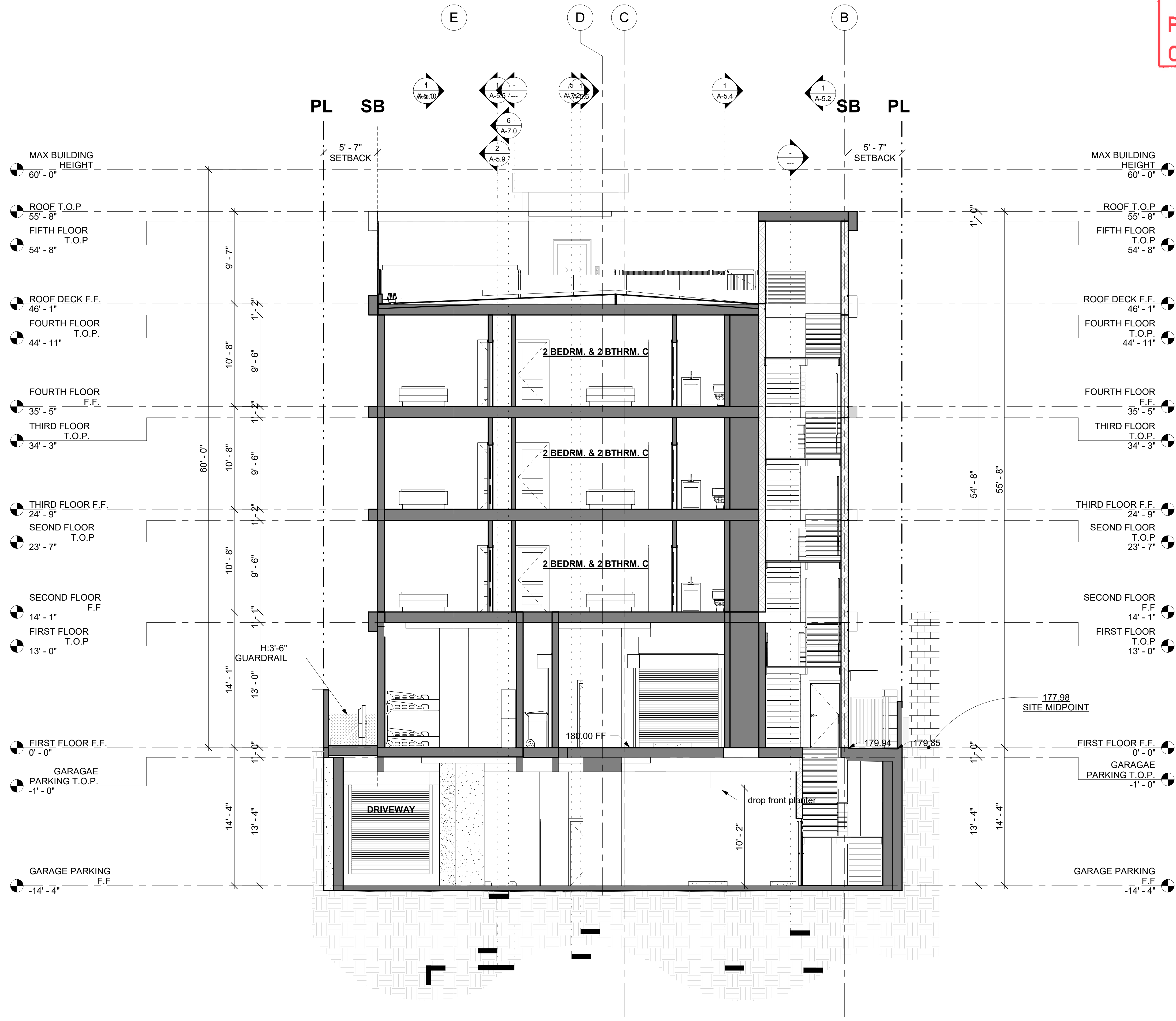
SHEET

**SECTION - 3**

**A-5.2**

**SECTION - 3**

**3/16" = 1'-0" 1**



REVISION

PROJECT **NEW 14-UNIT APARTMENT DEVELOPMENT**

JOB NUMBER **18007**

LICENSE STAMP

SCALE **3/16" = 1'-0"**

DATE **07-23-2021**

SHEET

**SECTION - 4**

**A-5.3**

**SECTION - 4**

**3/16" = 1'-0" 1**

REVISION  
 City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No: 21010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

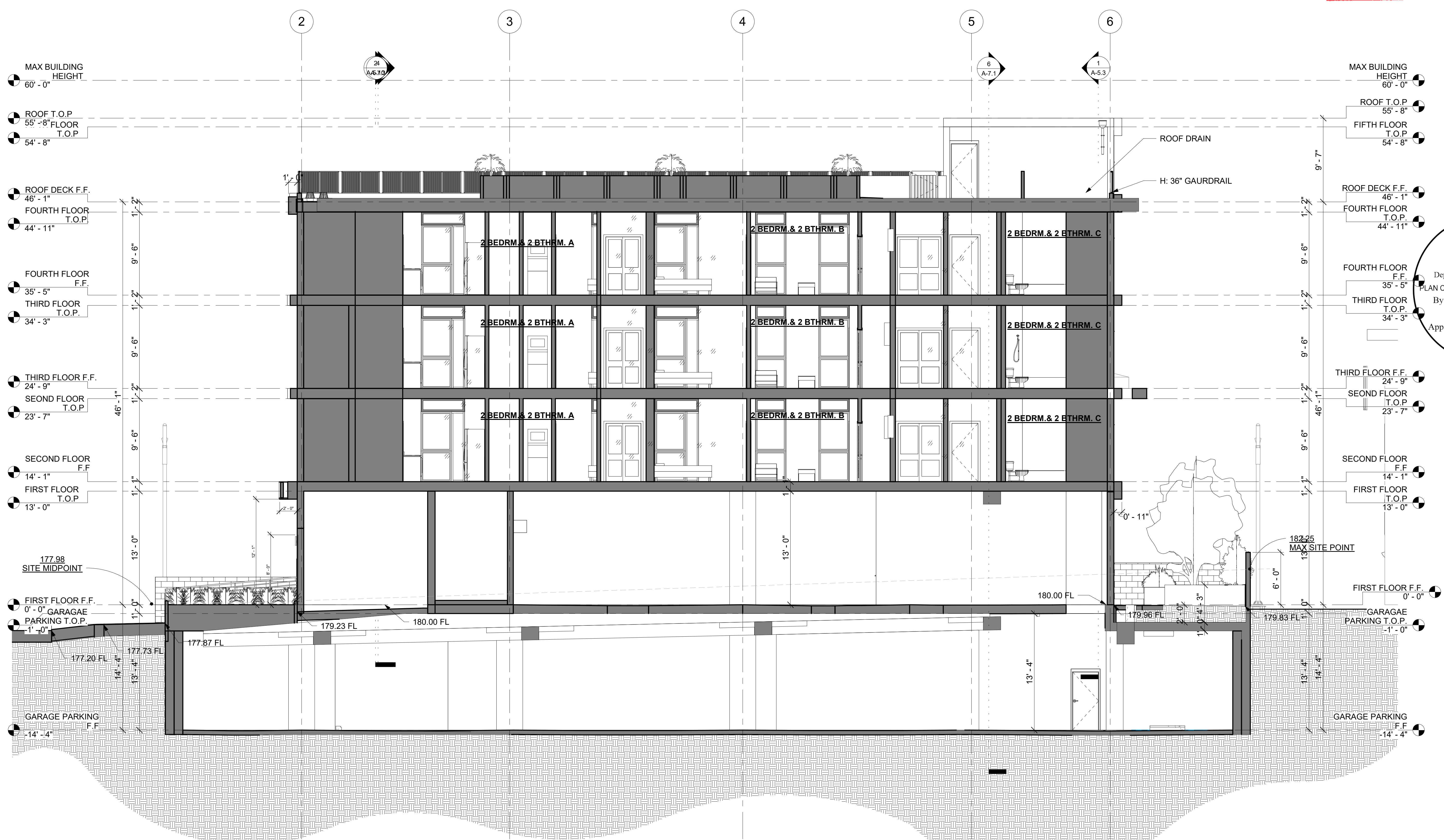
**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**SECTION**  
 - 5

**A-5.4**



**SECTION - 5**

3/16" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montalvan  
 Date: 01/18/2023  
 Application No: 21010-10001-02999

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:**  
 810 S. WILTON PL. LOS ANGELES, CA 90005

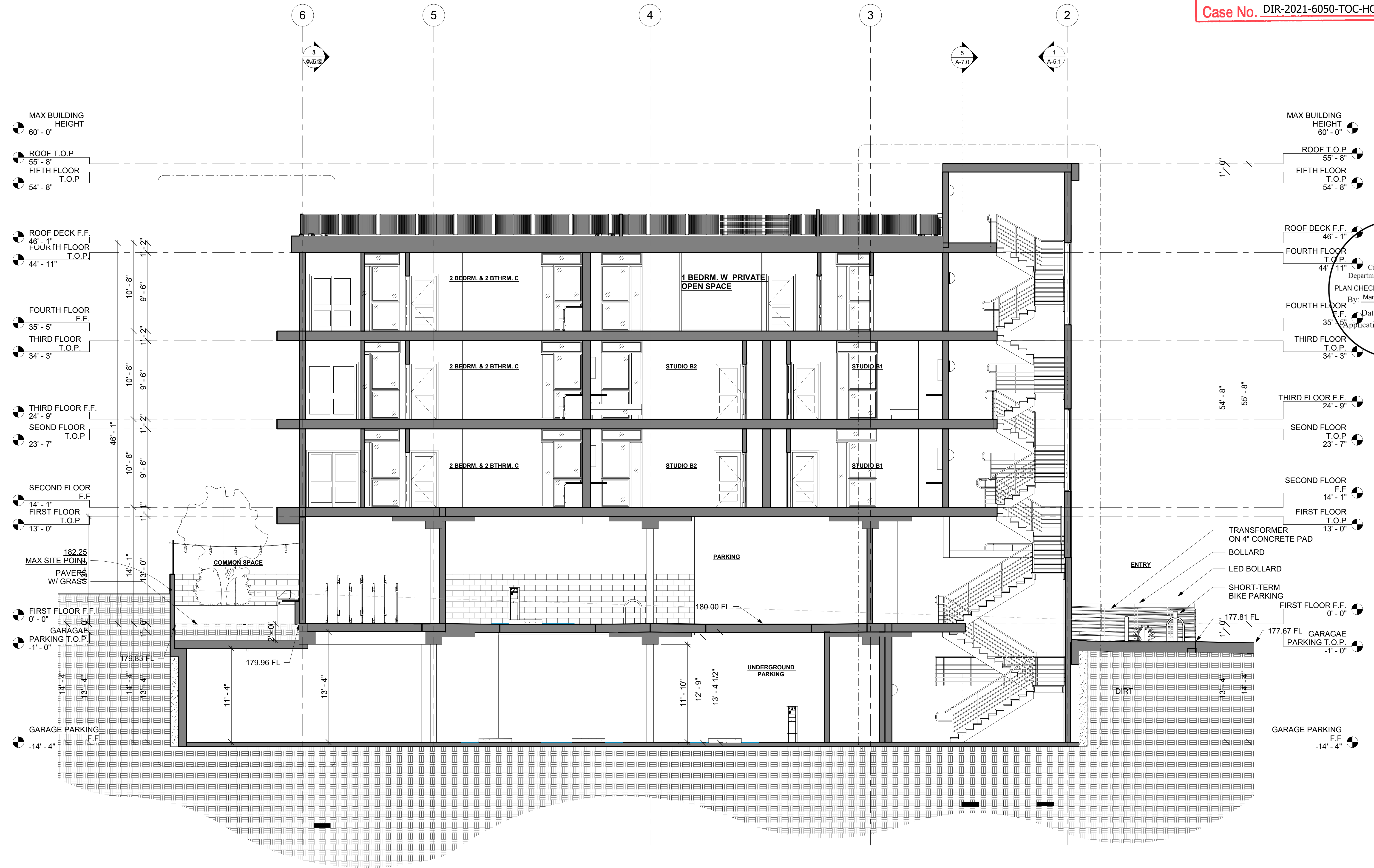
**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**SECTION**  
 - 6

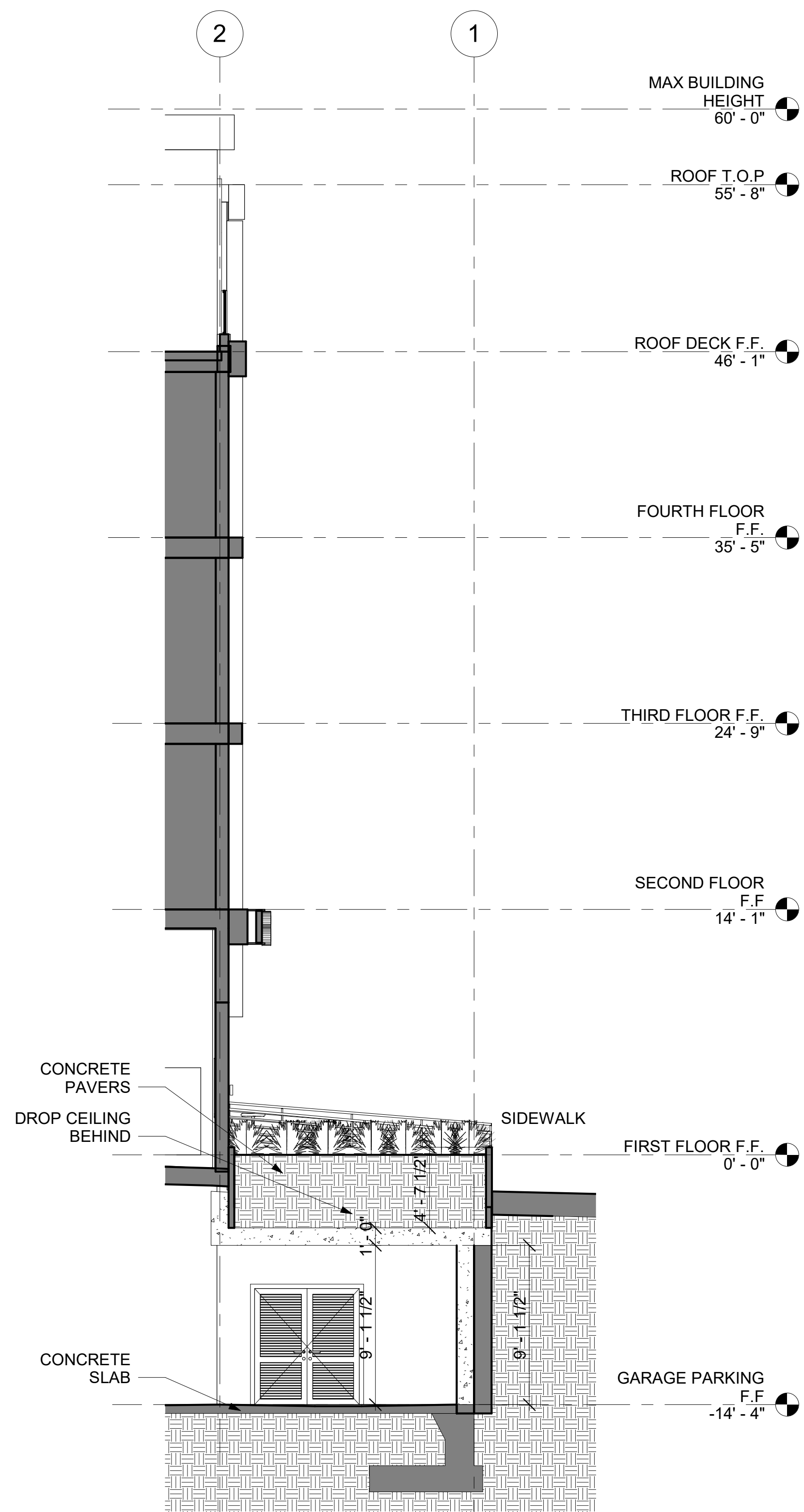
**A-5.5**



**SECTION - 6**

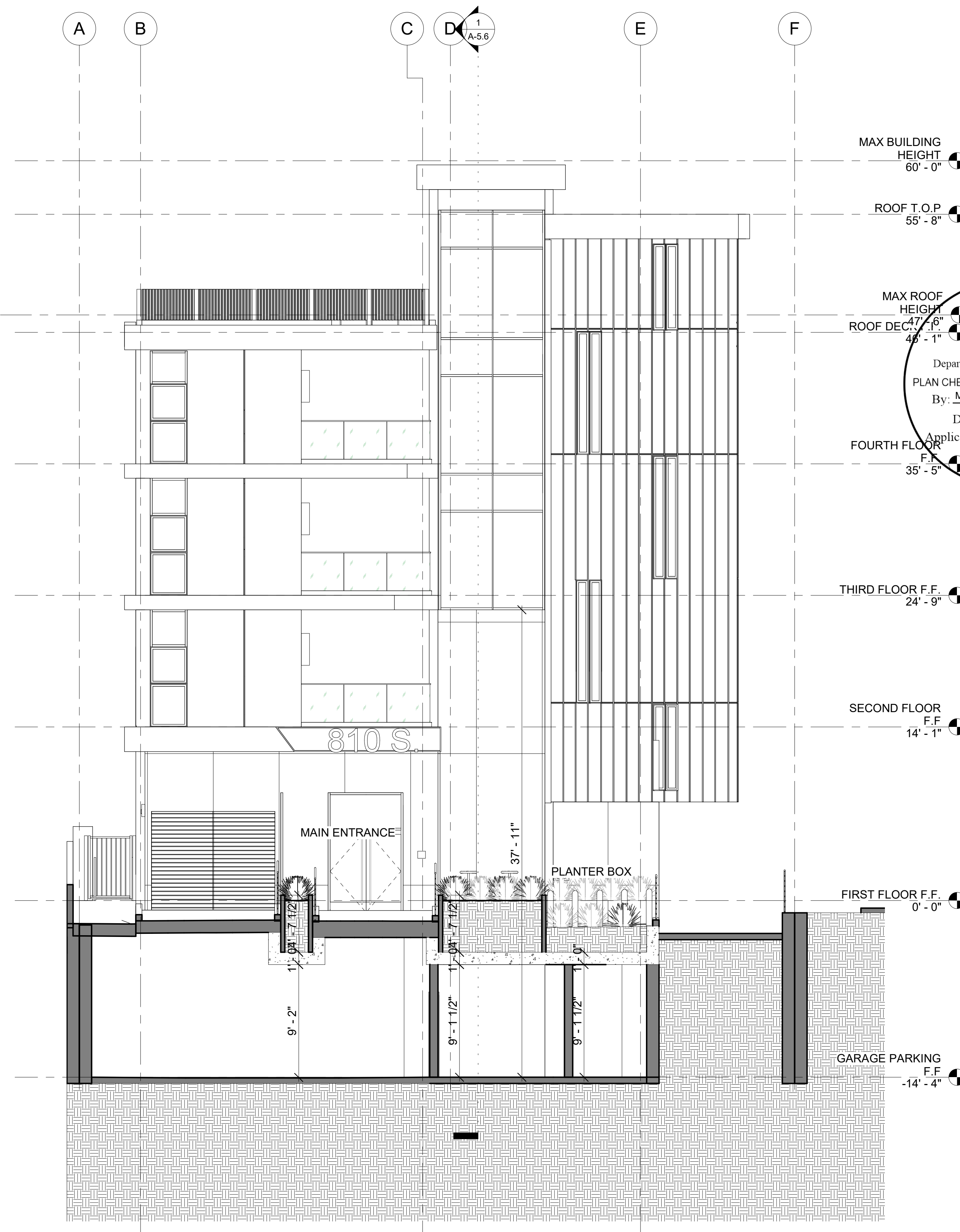
3/16" = 1'-0" 1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



**FRONT PLANTER BOX-LONGITUDE SECTION**

3/16" = 1'-0" 2



**FRONT PLANTER BOX- LATITUDE SECTION**

3/16" = 1'-0" 1

**TCS**  
THE CODE SOLUTION  
800 W. 6th St., Suite 1250, Los Angeles, CA 90005  
Tel. 213.537.0158  
admin@thecodesolution.com

REVISION

City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Manuel Montañar  
Date: 01/18/2023  
Application No.: 201010-10001-02999

**PROJECT**  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

**PROJECT ADDRESS:** 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

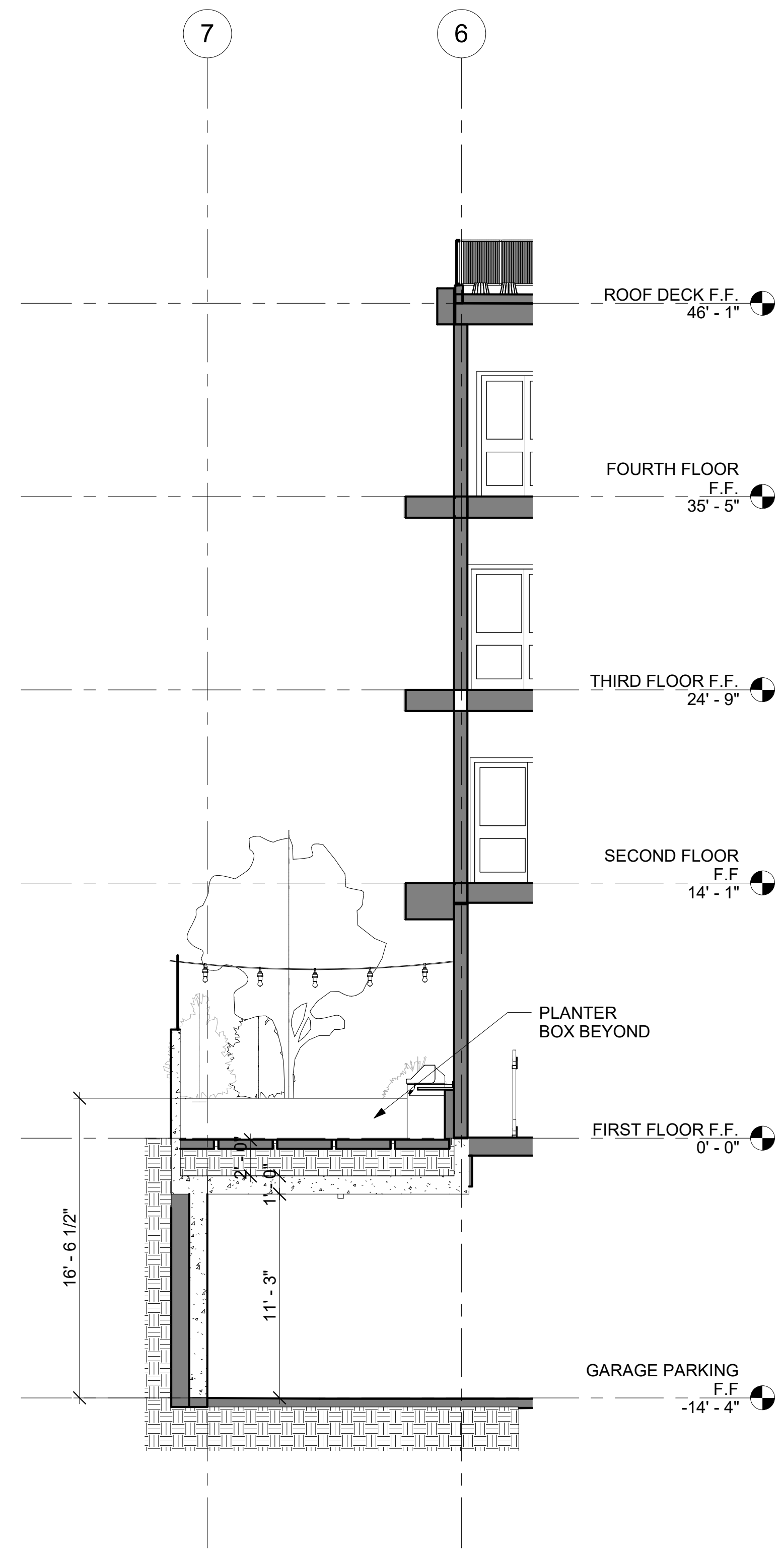
**DATE** 07-23-2021

**SHEET**

**FRONT PLANTER BOX SECTIONS**

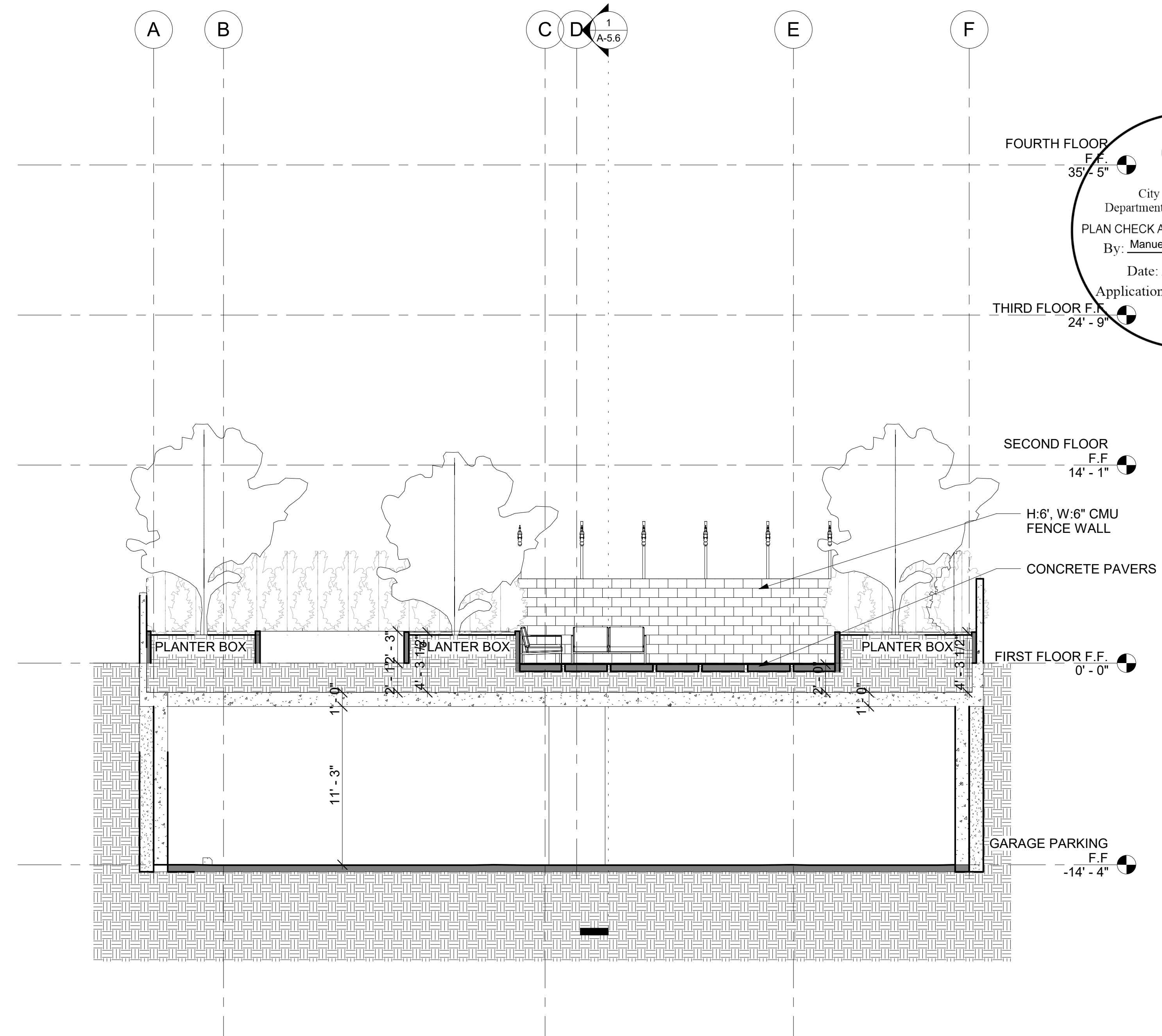
**A-5.8**

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



REAR PLANTER BOX- LONGITUDE SECTION

3/16" = 1'-0" 2



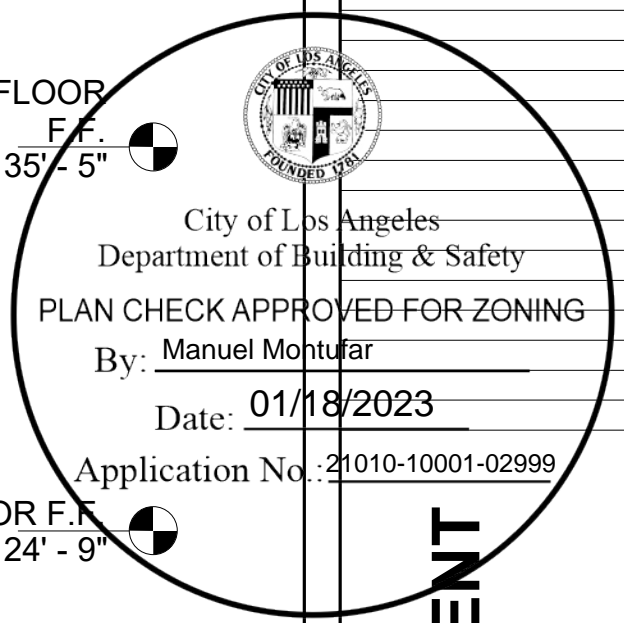
REAR PLANTER BOX- LATITUDE SECTION

3/16" = 1'-0" 1

**EXHIBIT "A"**  
 Page No. 37 of 41  
 Case No. DIR-2021-6050-TOC-HCA

■ architecture  
 ■ engineering  
 ■ planning  
 ■ land-use consultation

**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com



REVISION

**PROJECT**  
 NEW 14-UNIT APARTMENT DEVELOPMENT

**PROJECT ADDRESS:**  
 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"  
**DATE** 07-23-2021  
**SHEET**

**REAR PLANTER BOX SECTION**

**A-5.9**

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.



# EXHIBIT "A"

Page No. 38 of 41

Case No. DIR-2021-6050-TOC-HCA



2. STREET VIEW



1. REAR COMMON OPEN SPACE

LANDSCAPE SCHEDULE			
PROVIDED			
1,164.63 SQ. FT.			
TREE'S			
REQUIRED		PROVIDED	
14 X 25% = 3.5 = >4 TOTAL		= 4 TREE'S	
Count	Mark	Height	LEVEL
20	BOXWOOD HEDGE	24" BOX	FIRST FLOOR
18	GOLDEN TICKET PRIVET	1 GALLON	FIRST FLOOR
14	LAVENDER SHRUB	1 GALLON	FIRST FLOOR/ ROOF DECK
49	PURPLE QUEEN BOUGAINVILLEA	1 GALLON	ROOF DECK
2	SOUTHERN MAGNOLIA	25' -45'- FEET	FIRST FLOOR
3	WESTERN REDBUD	15'	FIRST FLOOR

## PLANTING LEGEND

1 GOLDEN TICKET PRIVET  
*oleaceae*  
1 GAL - 18 TOTAL

2 BOXWOOD HEDGE  
*buxus microphylla*  
24" BOX - 20 TOTAL

3 WESTERN REDBUD  
*cercis occidentalis*  
10'-20ft tall - 1 TOTAL

4 LAVENDER SHRUB  
*L. angustifolia*  
1 GAL - 6 TOTAL

5 SOUTHERN MAGNOLIA  
*magnolia grandiflora*  
25'-45' ft tall - 2 TOTAL

6 PURPLE QUEEN BOUGAINVILLEA  
*bougainvillea 'moneth'*

1 GOLDEN TICKET PRIVET  
*oleaceae*

2 BOXWOOD HEDGE  
*buxus microphylla*

3 WESTERN REDBUD  
*cercis canadensis*  
10' -20' feet tall

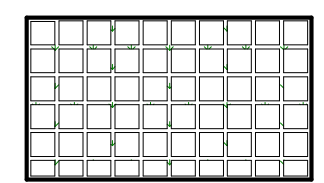
4 LAVENDER SHRUB  
*L. angustifolia*

5 SOUTHERN MAGNOLIA  
*magnolia grandiflora*  
25'-45' ft tall - 2 TOTAL

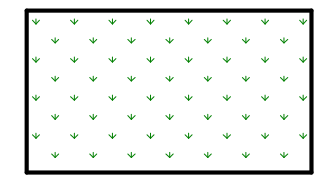
6 PURPLE QUEEN BOUGAINVILLEA  
*bougainvillea 'moneth'*

## LANDSCAPE - RENDERS/ LEGEND

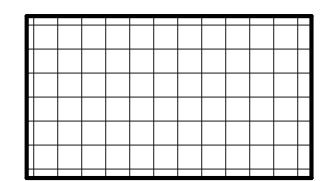
### FLOOR FINISH LEGEND



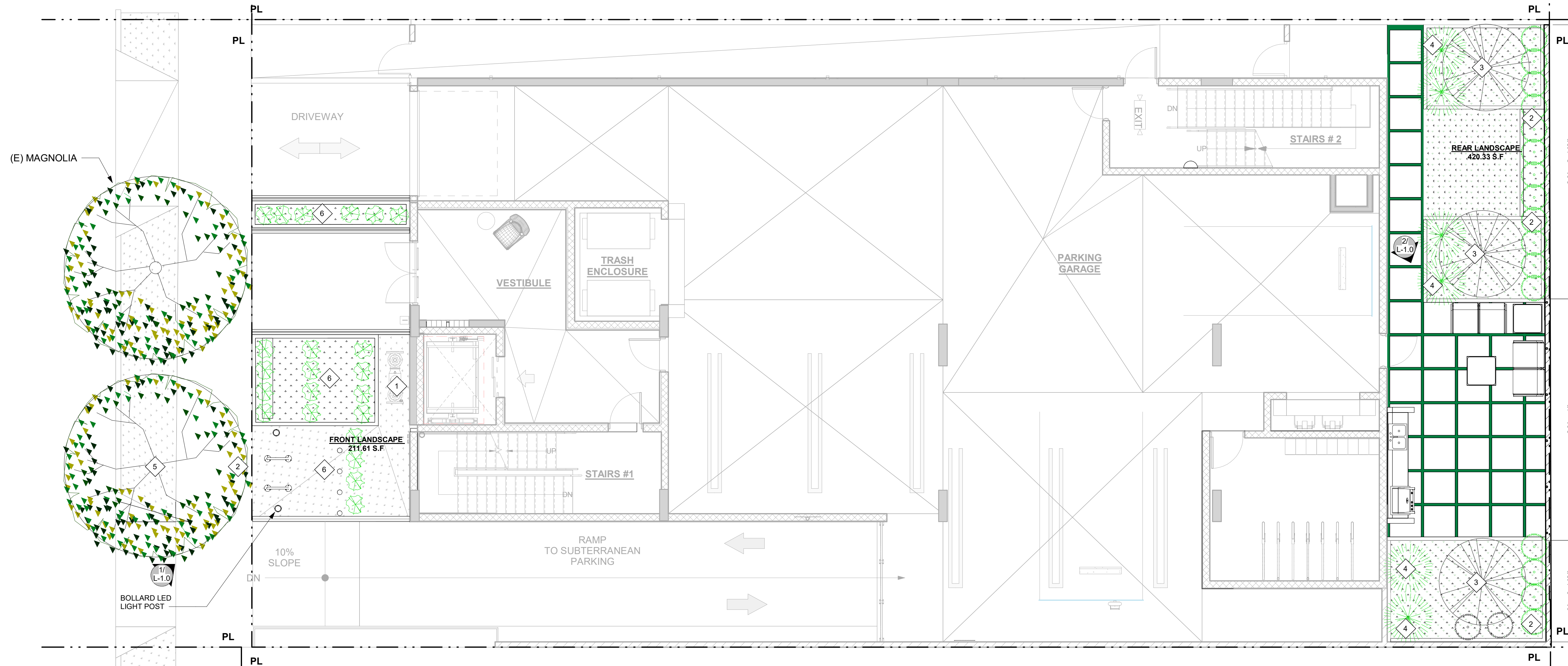
PAVERS WITH GRASS AREA



LANDSCAPED AREA



HARDSCAPE AREA



## LANDSCAPE - GROUND LEVEL

1

THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF TCS CORPORATION. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED, RESTRICTED TO SUCH USE. TITLE TO THE PLANS AND DESIGNS REMAIN WITH TCS CORPORATION VISUAL CONTACT WITH THEM CONSTITUTES APPROVAL WITH THESE RESTRICTIONS.

architecture  
engineering  
planning  
land-use consultation

**TCS**  
THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
Tel. 213. 537. 0158  
admin@thecodesolution.com

REVISION

City of Los Angeles  
Department of Building & Safety  
APPROVED FOR ZONING  
By: Manuel Montañar  
Date: 01/18/2023  
Application No: 201010-10001-02999

2

PROJECT  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER  
18007

LICENSE STAMP

SCALE 3/16" = 1'-0"

DATE 07-23-2021

SHEET

**LANDSCAPE**  
-  
**GROUND LEVEL**  
**L-1.0**

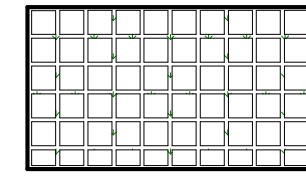


2. COMMON OPEN SPACE EXIT

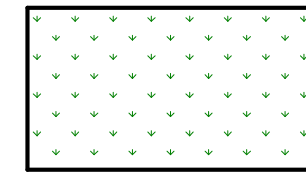


1. COMMON OPEN SPACE ENTRANCE

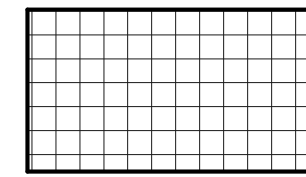
**FLOOR FINISH LEGEND**



PAVERS WITH GRASS



LANDSCAPED



HARDSCAPE

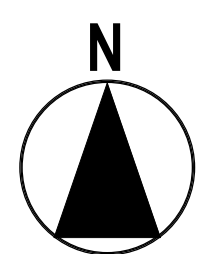
**EXHIBIT "A"**  
 Page No. 39 of 41  
 Case No. DIR-2021-6050-TOC-HCA

architecture  
 engineering  
 planning  
 land-use consultation  
**TCS**  
 THE CODE SOLUTION  
 800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

  
 City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 By: Manuel Montañar  
 Date: 01/18/2023  
 Application No.: 21010-10001-02999

**LANDSCAPE - RENDERS/ LEGEND**

2



**LANDSCAPE - GROUND LEVEL**

1

**PROJECT**  
**NEW 14-UNIT APARTMENT DEVELOPMENT**

**JOB NUMBER**  
18007

**LICENSE STAMP**

**SCALE** 3/16" = 1'-0"

**DATE** 07-23-2021

**SHEET**

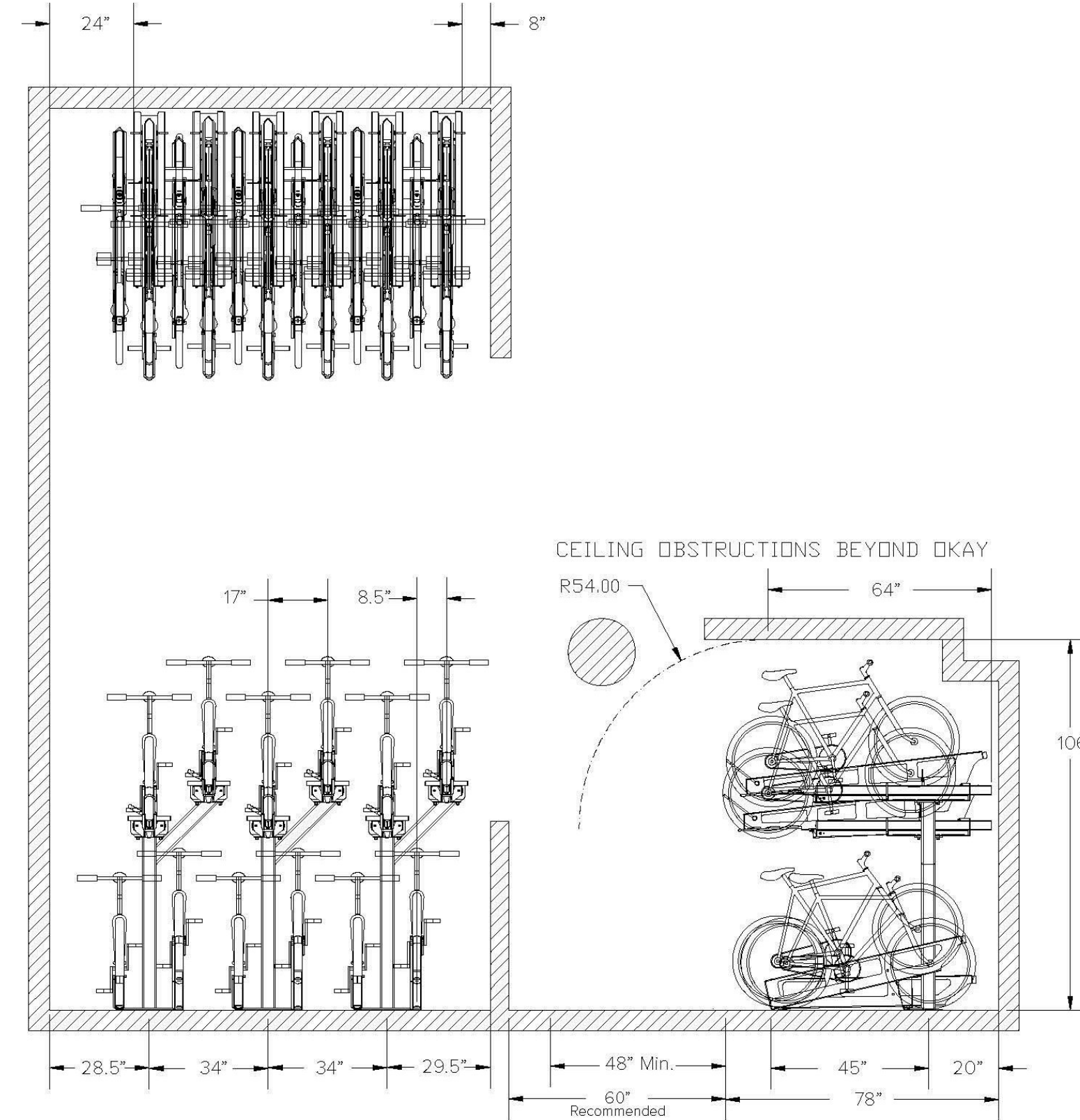
**LANDSCAPE - ROOF LEVEL**

**L-1.1**

**PROJECT ADDRESS:** 810 S. WILTON PL. LOS ANGELES, CA 90005

# EXHIBIT "A"

Page No. 40 of 41  
Case No. DIR-2021-6050-TOC-HCA



## Dero Decker

The Dero Decker takes bike parking to the next level – literally. By stacking bikes on a two-tiered system, capacity doubles. Unlike other two-tier systems our lift-assist top trays slide down inches from the ground, thus requiring only minimal lifting of the bike into the tray. The Dero Decker has a front wheel safety locking lever and tray dampers to provide safe lowering of upper trays. The rear vertical lowered trays also reduce the required aisle space, giving

REVISION



SEP 2021

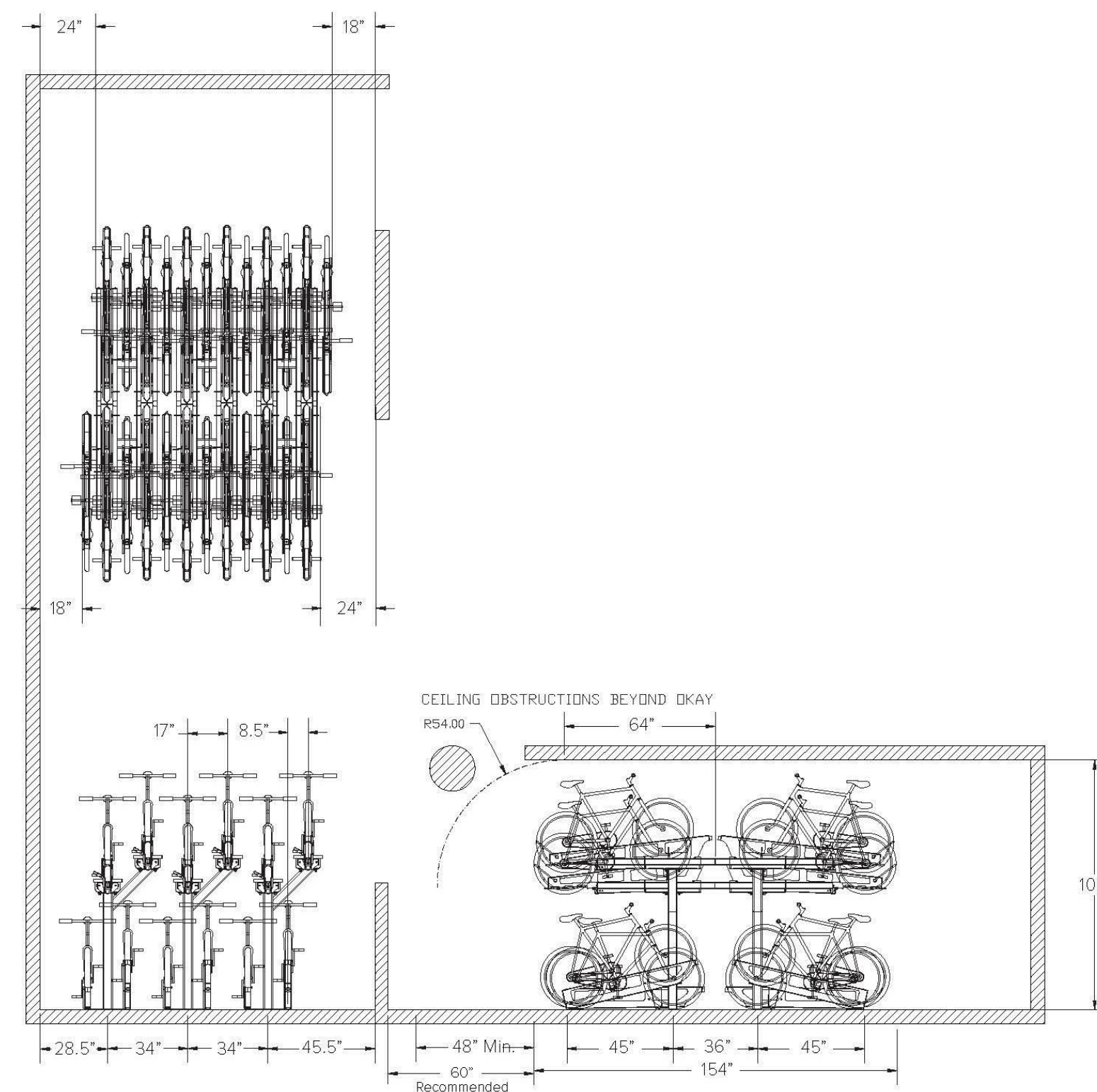
### Dero Recycled Content Certificate

Dero products are primarily fabricated from steel, a fully recyclable material.

#### Average Recycled Content for Carbon Steel Products (Galvanized or Powder Coated Finish)

Post-consumer Recycled Content	56%
Pre-consumer (Post-Industrial) Recycled Content	24%
Home or revert scrap	Negligible
Total recycled content	81%

*Harvest point* Given unprecedented cost and availability challenges in the steel markets, we are unable to provide details on harvest points at this time other than that it is of USA origin.



## Dero Decker



- Sturdy red handle grips
- Lift-assist trays
- Dampers for safe lowering of trays
- Spring loaded levers hold bikes firmly in place
- U-lock compatible
- Smallest footprint
- Smooth and silent operation
- Simple installation
- Low maintenance
- Specially designed fat bike trays available

#### FINISH OPTIONS

Galvanized	Powder Coat
White	Black
Light Gray RAL 7043	Light Gray RAL 7043
Dark Red RAL 3009	Yellow RAL 1023
CNH Bright Yellow	Orange RAL 2004
Light Green RAL 6039	Green RAL 6036
Dark Purple	Flat Black
Wine Red RAL 3005	Bronze
Beige RAL 1001	Iron Gray RAL 7011
Blue RAL 5005	Blue RAL 5005
Dark Purple	Blue RAL 5005
Wine Red RAL 3005	Silver RAL 9007
Bronze	

PROJECT

NEW 14-UNIT APARTMENT DEVELOPMENT

PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

JOB NUMBER

18007

LICENSE STAMP

SCALE

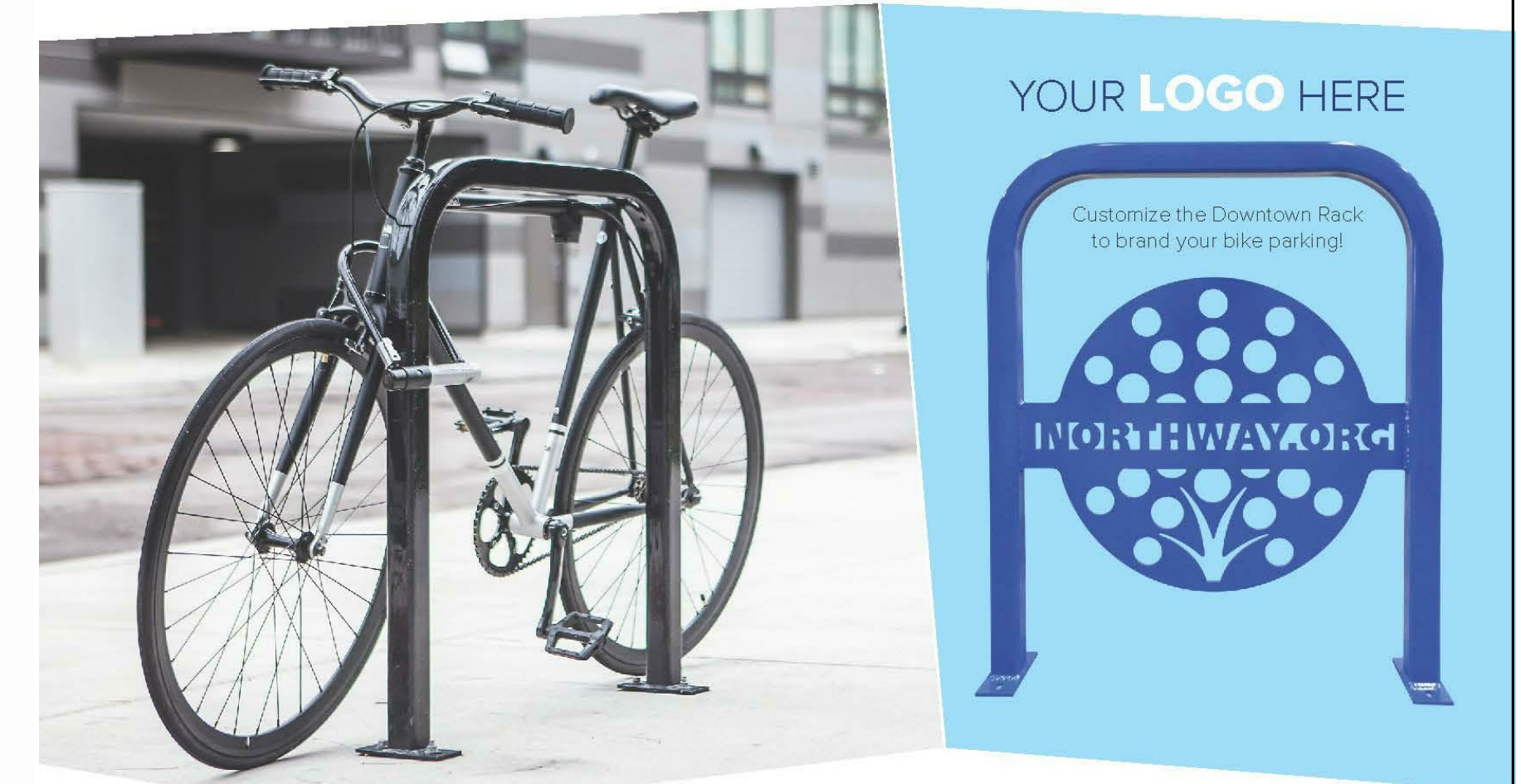
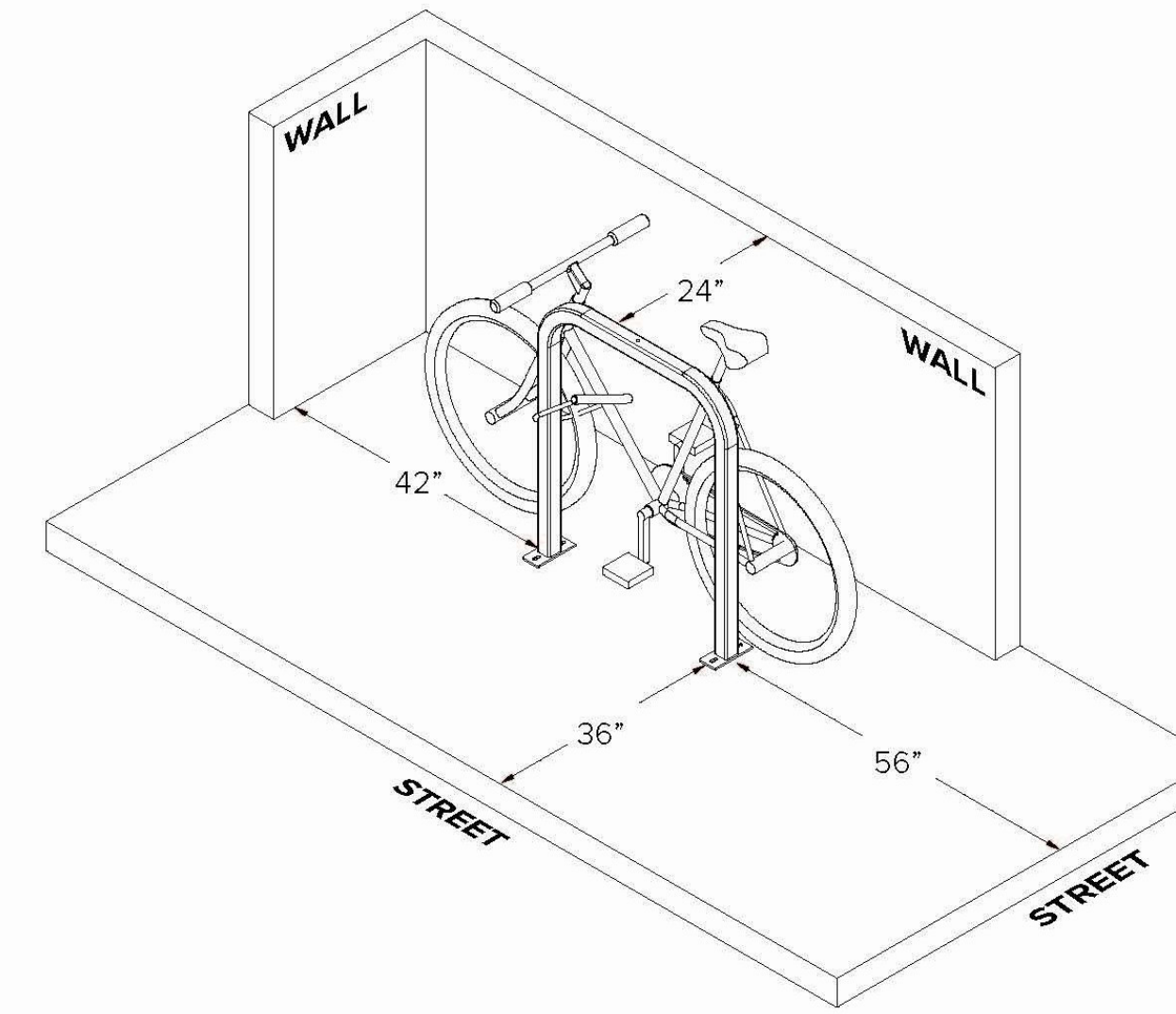
DATE 07-23-2021

SHEET

INDOOR  
BICYCLE  
RACK  
SPECS

A-12.2

**EXHIBIT "A"**  
 Page No. 41 of 41  
 Case No. DIR-2021-6050-TOC-HCA



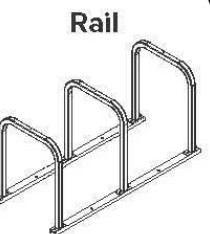
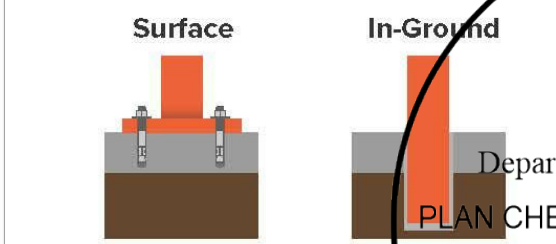
**FINISH OPTIONS**



**Powder Coat**

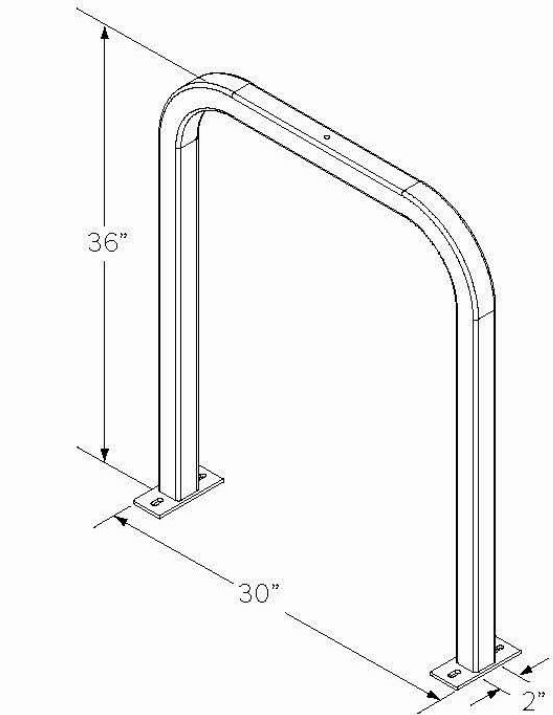
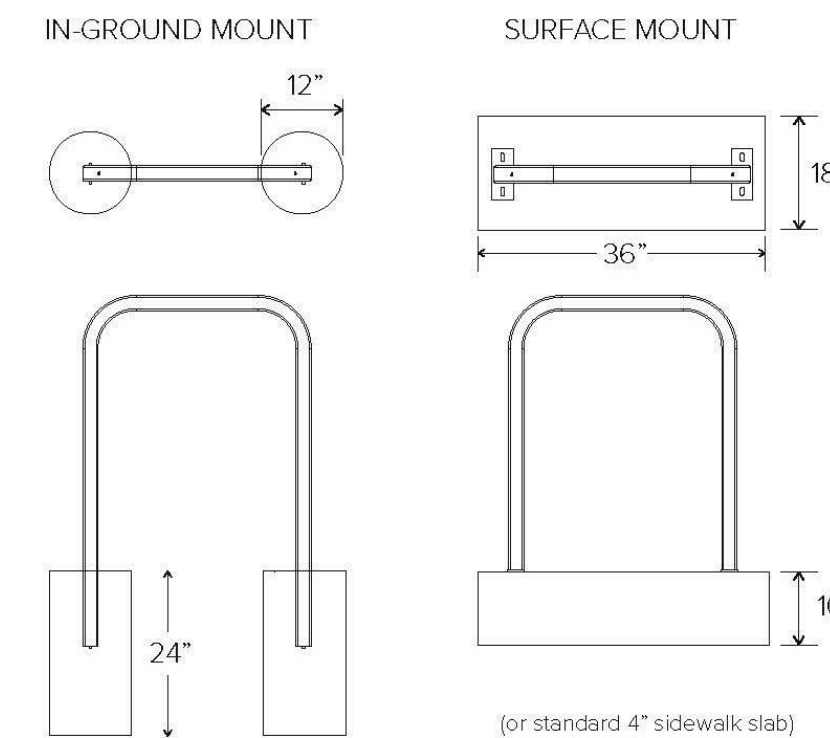


**MOUNT OPTIONS**



**OPTIONAL LEAN BAR**

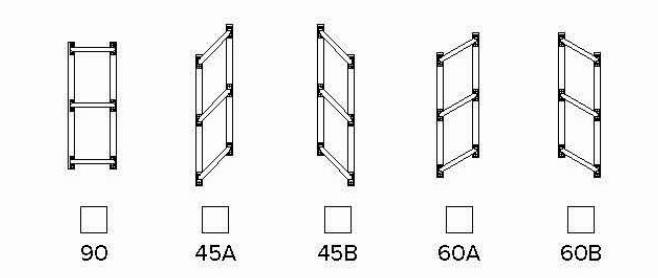
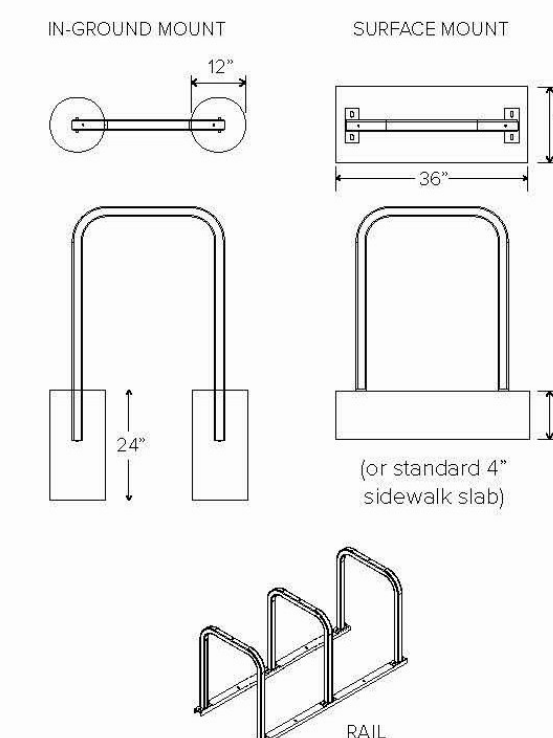
City of Los Angeles  
 Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
 By: Manuel Montalvan  
 Date: 01/18/2023  
 Application No.: 201010-10001-02999



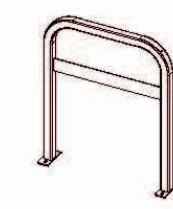
**CAPACITY** 2 Bikes  
**MATERIALS** 2" x 2" x .188" square tube - mild steel  
 2" x 2" x .120" square tube - stainless steel

- FINISHES**
- Galvanized**  
An after fabrication hot dipped galvanized finish is our standard option.
  - Powder Coat**  
Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat
  - PVC Dip**  
Black PVC
  - Stainless**  
Stainless Steel 304 grade stainless steel material finished in either a high polished shine or a satin finish.

- MOUNT OPTIONS**
- Surface**  
Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
  - In-Ground**  
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.
  - Rail**  
Rail Mounted Downtown Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4" x 3/16" thick galvanized mounting rails. Specify rail mount for this option.



**OPTIONAL LEAN BAR**  Add Lean Bar



architecture  
 engineering  
 planning  
 land-use consultation

**TCS**  
 THE CODE SOLUTION

800 W. 6th St., Suite 1250, Los Angeles, California 90017  
 Tel. 213.537.0158  
 admin@thecodesolution.com

REVISION

**PROJECT**  
**NEW 14-UNIT APARTMENT DEVELOPMENT**  
 PROJECT ADDRESS: 810 S. WILTON PL. LOS ANGELES, CA 90005

**JOB NUMBER**  
 18007

**LICENSE STAMP**

**SCALE**  
**DATE** 07-23-2021  
**SHEET**

**SHORT-TERM BICYCLE PARKING**

**A-12.3**

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

JENNA HORNSTOCK  
HELEN LEUNG  
KAREN MACK  
DANA M. PERLMAN

**CITY OF LOS ANGELES  
CALIFORNIA**



KAREN BASS  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM  
AND SITE PLAN REVIEW**

February 21, 2023

**Owner/Applicant**

Armando Garcia  
810 Wilton Development Partners,  
LLC  
600 West 6<sup>th</sup> Street Suite 16<sup>th</sup> Floor  
Los Angeles, CA 90017

**Representative**

Jordan Beroukhim  
Beroukhim & Company, LLC  
5632 Van Nuys Boulevard, # 1140  
Sherman Oaks, CA 91401

**Case No.:** DIR-2021-6050-TOC-HCA

**CEQA:** ENV-2021-6051-CE

**Location:** 810 South Wilton Place

**Council District:** 5 – Yaroslavsky

**Neighborhood Council:** Greater Wilshire

**Community Plan Area:** Wilshire

**Land Use Designation:** Medium Residential

**Zone:** R3-1

**Legal Description:** Lot 14; Block 9; Country Club  
Park Tract

**Last Day to File an Appeal:** March 8, 2023

**DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program**

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Determine**, that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines regarding cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources applies;

**Approve with Conditions a Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Review** for a qualifying Tier 3 project, totaling 14 dwelling units, reserving two (2) units for Very Low Household occupancy for a period of 55 years, with the following Base and Additional Incentives:

### **Base Incentives**

- a. Residential Density.** A 56-percent increase in the maximum density to permit a total of 14 dwelling units in lieu of 10 units as otherwise permitted by LAMC Section 12.10;
- b. Residential Automobile Parking.** A reduction in the automobile parking requirement to allow a minimum of 0.5 spaces per unit;

### **Additional Incentives**

- c. Yard Setbacks.** A reduction in the minimum northerly and southerly side yard setbacks to permit 5 feet 7 inches, in lieu of seven (7) feet as otherwise required by LAMC Section 12.10 C.2.
- d. Height.** An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1;

**Adopt** the attached Findings and Conditions of Approval.

## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped Exhibit "A," and attached to the subject case file. No change to the plans shall be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 14 residential dwelling units, including On-Site Restricted Affordable Units.
3. **Affordable Units.** A minimum of two (2) units, that is 14 percent of the 14 total units, shall be restricted to Very Low Income Households, as determined by the Los Angeles Housing Department (LAHD) and defined in Section 50079.5 of the California Health and Safety Code.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of On-Site Restricted Units or that change the composition of units or parking numbers shall be consistent with LAMC Section 12.22 A.31 and TOC Guidelines.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of LAHD. The covenant shall bind the owner to reserve two (2) units available to Very Low Income Households for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22 A.31 and TOC Guidelines, to the satisfaction of LAHD, and in consideration of the project's SB 8 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the TOC Guidelines and any monitoring requirements established by the LAHD. Refer to the TOC Affordable Housing Incentive Program and Housing Replacement (SB 8 Determination) Background sections of this determination.
6. **Floor Area Ratio (FAR).** The project shall be permitted a maximum FAR of 2.6:1.
7. **Residential Automobile Parking.** Automobile parking shall be provided at a minimum of 0.5 spaces per unit.
8. **Unbundling.** Required parking may be sold or rented separately from the units with the exception of all Restricted Affordable Units which shall include any required parking in the base rent or sales price, as verified by LAHD.
9. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.
10. **Side Yard Setback(s).** The project shall provide minimum side yard setbacks of 5 feet 7 inches.

11. **Height.** The project shall be limited to a maximum building height of 56 feet as measured from Grade to the top of the loft roof.
12. **Open Space.** The project shall provide a minimum of 1,710 square feet of usable open space.
13. **Trees.** The applicant shall plant a minimum of four (4) 24-inch box trees, or larger, on site and/or in the public right-of-way pursuant to LAMC Section 12.21 G.2. Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21.G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units). Per Exhibit A and 12.21.G.3, two (2) Street trees shall be provided.
14. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.
15. **Maintenance.** The subject property (including all trash storage areas, associated parking facilities, sidewalks, yard areas, parkways, and exterior walls along the property lines) shall be maintained in an attractive condition and shall be kept free of trash and debris.
16. **Lighting.** Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties or the public right-of-way, nor from above.
17. **Solar Panels.** A minimum of 847 square feet of solar panels area (12 solar panels) shall be provided/installed on the building rooftop as shown on the roof plan provided as a part of an operational photovoltaic system to be maintained for the life of the project. The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.

#### **Administrative Conditions**

18. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
19. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
20. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
21. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.



22. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
23. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
24. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
25. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
26. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
27. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.



## PROJECT BACKGROUND

The project site consists of one (1) rectangular-shaped lot with a total lot size of 7,507 square feet. The project site is located on the east side of Wilton Place and has approximately 60 feet of frontage. The project site is zoned R3-1 and designated for Medium Residential land uses by the Wilshire Community Plan. The project site is not located within the boundaries of or subject to any specific plan, community design overlay, or "Q" Qualified Conditions or "D" Development Limitation ordinance. The site is located within the City of Los Angeles Transit Priority Area, Los Angeles State Enterprise Zone, Urban Agriculture Incentive Zone Area, and Fire District No.29.

The site is currently developed with a one (1)-story single-family dwelling built in 1926. On December 19 3, 2022, the applicant submitted applications to the Los Angeles Department of Building and Safety (LADBS) for a new five (5)-story, 17-unit (3 VLI = 18 percent) affordable housing apartment to include four (4)-story Type VA apartment over one (1) story type IA parking garage over (1) level type IA subterranean parking in TOC Tier 3 area with additional incentives (Permit #20010-10001-02999) and On June 16, 2021, the applicant submitted applications to the LADBS for DPI and posting demolition on the existing single-family dwelling (Permit #21019-10000-02272).

Properties in the immediate surrounding area are zoned R3-1 and R3-1-HPOZ and developed with multi-family residential structures and a church. Abutting property to the north is developed with a two (2)-story apartment building. Abutting property to the south is developed with a three (3)-story apartment building. Abutting properties to the east are developed with two (2)-story multi-family buildings. Adjoining properties to the west across Wilton Place are developed with two (2)-story apartment buildings and a church.

The proposed project is for the construction, use, and maintenance of a three-story residential structure over one (1) level of parking garage and one (1) level of subterranean parking, containing 14 dwelling units, including two (2) units reserved for Very Low Income Households and 12 market-rate units. The building will be a maximum of 56 feet, as measured from grade, and contain approximately 11,859 square feet of floor area with a floor area ratio (FAR) of 2.6:1. The unit mix will be comprised of (4) studio-bedroom units, one (1) one-bedroom units, and nine (9) two-bedroom units. The project will provide 14 vehicular parking spaces located at one (1) level of parking garage and one (1) level of subterranean parking. The project will also provide 14 long-term and two (2) short-term bicycle parking spaces. The project will provide a total of 1,710 square feet of open space, including 885 square feet of roof decks, 625 square feet of common open space, and 200 square feet of private balconies. The project proposes the removal of one (1) non-protected street tree. The project proposes 845 square feet of solar panel area (12 solar panels) on the roof. The project proposes grading and exporting up to 4,250 cubic yards of earth.

On November 10, 2021, the proposed project was reviewed during the Urban Design Studio's (UDS) Project Review meeting. Project Review's function is to provide input directly to the design/development team at meetings. The Studio's feedback focuses on ways a project can be improved to comply more fully with the Studio's three (3) design approaches which are: 1) Pedestrian First Design, 2) 360 Degree Design, and 3) Climate Adaptive Design. UDS had comments relating to vehicle parking spaces, plans inconsistency, screening the transformer, open spaces, windows on stair towers, LID-compliance planters, solar panel and EV charging station, and landscaping. Based on these comments, the project team updated their plans in order to address all comments to the extent feasible. The plan was updated to be consistent, new windows are provided at the staircase, the solar panels provided at the roof deck, pavers with

grass, planters, and catch basins will be installed for LID compliance at construction document phase, four (4) EV stations are provided on first floor parking and at subterranean parking level. The new proposal provided does not include palm trees, Italian cypress, or dwarf olive tree. The project team's response to the UDS comments is included in the case file.

The applicant is seeking approval of the following Base and Additional Incentives of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program:

- Base Incentives:
  - A 56 percent increase in density to allow 14 units in lieu of 10 base units.
  - A reduction in the automobile parking requirement to allow a minimum of 0.5 spaces per unit.
  
- Additional Incentives
  - Side Yard Setbacks. A reduction in the minimum side yard setbacks to permit 5 feet 7 inches, in lieu of seven (7) feet as otherwise required by LAMC Section 12.10 C.2.
  - An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1.

## **HOUSING REPLACEMENT (SB 8 DETERMINATION) BACKGROUND**

Pursuant to LAMC Section 12.22-A,31(b)(1), a Housing Development located within a Transit Oriented Communities (TOC) Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

Assembly Bill 2222 (AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016, the Governor signed into law Assembly Bill 2556 (AB 2556) which further amended the State Density Bonus Law. The amendments took effect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines "equivalent size" to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of California State Density Bonus Law, on October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (HCA) through Senate Bill (SB) 330 (2019). SB 330 created new statewide rules regarding the production, preservation and planning for housing. The HCA establishes a statewide temporary housing emergency and has been in

effect since January 1, 2020. Subsequently, on September 16, 2021, the Governor signed into law SB 8 (2021), the first major clarification of the HCA. SB 8 is in effect as of January 1, 2022. SB 8 extended the term of the emergency period and expanded the provisions established by SB 330 onto Housing Development Projects consisting of a single residential unit and to projects that require no discretionary approvals. Furthermore, as amended by SB 8, a Protected Unit is required to be replaced in a Housing Development Project consisting of two or more units with a unit of equivalent size and include a right-of-first refusal and relocation assistance for lower-income occupants of a Protected Unit and a right to remain up to six months prior to the start of construction activities for all occupants. For the duration of the statewide housing emergency, the HCA, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed Housing Development Project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units.

The Los Angeles Housing Department (LAHD) reviewed the existing unit at the subject site and has determined that no SB 8 affordable replacement units are required, per Replacement Unit Determination (RUD), dated January 6, 2023. The proposed project is reserving two (2) units for Very Low Income Household occupancy and 12 Market Rate housing units proposed through the Transit Oriented Communities Affordable Housing Incentive Project, and the project will be required to comply with all applicable regulations set forth by LAHD.

As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Sections 65915(c)(3) (State Density Bonus Law) and 66300 (Housing Crisis Act of 2019).

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council and established the Transit Oriented Communities (TOC) Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establishes incentives for residential and mixed-use projects located within one-half mile of a major transit stop, as defined under existing State law.

The TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines), released on September 22, 2017, and amended on February 26, 2018, established a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

Per the updated TOC Referral Form, dated November 2, 2022, the project site is located less than 2,640 feet from the Metro Purple Line Wilshire/Western Station, which qualifies the site as Tier 3 TOC Affordable Housing Incentive Area. As such, the project is eligible for Tier 3 TOC Affordable Housing Incentives.

Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 15 percent of the total number of units for Very Low Income Households. The project proposes to set aside two (2) units, that is 14 percent of the total 14 units, for Very Low Income Households. The project qualifies for two (2) additional incentives if 10 percent of the base 10 units is set aside for Very Low Income Households. The project proposes to set aside two (2) units, that is 20 percent of the base 10 units, for Very Low Income Households. As such, the project is eligible for up to two (2) Additional Incentives.

The project is eligible for the following Tier 3 Base Incentives, which are granted by-right for eligible TOC projects:

1. Density. A 56-percent increase in density to allow a total of 14 units in lieu of 10 base units.

The project site is zoned R3-1, which allows a maximum density of one dwelling unit per 800 square feet of lot area. Based on the lot area of 7,507 square feet, the project is permitted a maximum base density of 10 units. With a 70-percent increase in density permitted in Tier 3 of the TOC Guidelines, the project is permitted a total density of 17 units. The project is proposing 14 units, which is within the maximum density permitted.

2. Parking. A minimum of 0.5 automobile parking spaces per residential unit for an eligible Tier 3 Transit Oriented Communities.

The project proposes a total of 14 dwelling units. The TOC Guidelines allow 0.5 spaces per unit, which requires a minimum of seven (7) parking spaces. The project proposes 17 parking spaces, which meet the minimum requirement.

Pursuant to TOC Guidelines, the applicant requests two (2) incentives Tier 3 Additional Incentives as follows:

1. Yard/Setback: Up to a 21 percent decrease in the required width or depth of two individual yards or setbacks to allow a minimum of 5 feet 7 inches side yard setback in lieu of seven (7) feet.

The yard/setback incentive in the TOC Program allows Eligible Housing Developments to utilize any or all of the yard requirements for the R3-1 zone per LAMC 12.10 C. In the R3-1 zone, for the main building more than two stories in height there shall be a side yard on each side of the said building of not less than five feet and one foot shall be added to the width of such side yard for each additional story above the second story. The project proposes 5 feet 7 inches side yard setbacks, which meet the minimum requirement.

2. Height: Up to 11 feet increase in the required height to allow 56 feet tall building lieu of 45 feet.

The project site is zoned R3-1, which allows a maximum height of 45 feet. With 11 feet increase in height permitted in Tier 3 of the TOC Guidelines, the project is permitted a height of 56 feet. The project is proposing 56 feet tall structure, which is within the maximum height permitted.

## TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS

To be an eligible TOC Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Guidelines. A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. **On-Site Restricted Affordable Units.** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

Per the TOC Referral Form, the project qualifies for Tier 3 TOC Affordable Housing Incentives. As such, the project is required to reserve at least 14 percent, or two (2) units, of the total 14 units for Very Low Income Households. The project proposes to reserve two (2) units for Very Low Income Households. As such, the project satisfies the eligibility requirement for On-Site Restricted Affordable Units.

2. **Major Transit Stop.** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

A Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. Per the updated TOC Referral Form, dated November 2, 2022, the project site is located less than 2,640 feet from the Metro Purple Line Wilshire/Western Station with trips scheduled every 10 minutes, which qualifies the site as Tier 3 TOC Affordable Housing Incentive Area. As such, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the SB 8 (TOC) Determination Letter dated January 6, 2023, and prepared by the Los Angeles Housing Department (LAHD), the provisions of SB 8 do not apply to this single-family residence due to the fact that it has not been rented over the past five years. Therefore, no SB 8 replacement affordable units are required. As such, the project complies with SB 8 and meets the eligibility requirements for housing replacement.



4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*

- a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
- b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
- c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

The project is seeking two (2) Additional Incentives for reduced side yard setbacks and an increase in building height, which requires at least 10 percent of the 10 base units to be set aside for Very Low Income Households for two (2) additional incentives. The project proposes to set aside two (2) units for Very Low Income Households, which is 20 percent of the 10 base units. As such, the project meets the eligibility requirement for Additional Incentives.

6. **Projects Adhering to Labor Standards.** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is not seeking two (2) Additional Incentives beyond the two (2) permitted in exchange for reserving two (2) dwelling units for Very Low Income Households, which is 20 percent of the 10 base units. As such, the project need not adhere to the labor standards required in LAMC Section 11.5.11, and this eligibility requirement does not apply.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of one (1) lot which is located within a Tier 3 TOC Affordable Housing Incentive Area. As such, this eligibility requirement does not apply.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The applicant has not selected a lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The proposed project does not consist of 100-percent On-Site Restricted Affordable units. As such, this eligibility requirement does not apply.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities (TOC) Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentives unless the Director finds that:**
  - a. **The incentives are not required to provide for affordable housing costs for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25-percent gross income based on area median income thresholds dependent on affordability levels.

The list of incentives in the TOC Guidelines was pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

The following incentives allow the developer to reduce the side yard setbacks and increase the building height so that affordable housing units reserved for Very Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives are expressed in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. These incentives also support the applicant's decision to reserve two (2) units for Very Low Income Households of the total 14 units.

**Side Yard Setbacks.** A 21-percent reduction in both side yard setback to permit 5 feet 7 inches in lieu of the minimum seven (7) feet as otherwise required by LAMC Section 12.10 C.2.

**Height.** An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1.

The requested incentives are expressed in the Menu of Incentives in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs.

- b. The Incentive will not have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income Households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The finding that there is no evidence in the record that the proposed incentives will have a specific adverse impact is further supported by the CEQA findings. The findings to deny an incentive under Density Bonus Law are not equivalent to the findings for determining the existence of a significant unavoidable impact under CEQA. However, under a number of CEQA impact thresholds, the City is required to analyze whether any environmental changes caused by the project have the possibility to result in health and safety impacts. For example, CEQA Guidelines Section 15065(a)(4), provides that the City is required to find a project that will have a significant impact on the environment and require an EIR

if the environmental effects of a project will cause a substantial adverse effect on human beings.

The proposed project and potential impacts were analyzed in accordance with the CEQA Guidelines. The project was evaluated against the exceptions to the use of Categorical Exemptions pursuant to Section 15300.2 of the CEQA Guidelines. The Director of Planning determined that none of the exceptions apply to the proposed project and the project is Categorically Exempt from CEQA pursuant to Class 32 of the CEQA Guidelines. Therefore, there is no substantial evidence that the proposed project will have a specific adverse impact upon public health and safety or the environment, or on any real property that is listed in the California Register of Historical Resources.

## **ENVIRONMENTAL FINDINGS**

The Director of Planning determined that based on the whole of the administrative record as supported by *Justification for Categorical Exemption Case No. ENV-2021-6051-CE* in the case file, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 Class 32 and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines, regarding cumulative impacts, significant effects, unusual circumstances, scenic highways, hazardous waste sites or historical resources applies.

## **TIME LIMIT – OBSERVANCE OF CONDITIONS**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25 A.2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be

guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.”

## **APPEAL PERIOD – EFFECTIVE DATE**

**The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director’s Determination** unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at <http://planning.lacity.org>.

Planning Department public offices are located at:

**Downtown Office  
Figueroa Plaza**  
201 North Figueroa Street,  
4<sup>th</sup> Floor  
Los Angeles, CA 90012  
(213) 482-7077

**Valley Office Marvin Braude  
Constituent Service Center**  
6262 Van Nuys Boulevard,  
Suite 251  
Van Nuys, CA 91401  
(818) 374-5050

**West Los Angeles Office  
Development Services  
Center**  
1828 Sawtelle Boulevard  
2nd Floor  
Los Angeles, CA 90025  
(310) 231-2901

**Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal this Density Bonus Compliance Review Determination.** Per the Density Bonus Provision of State Law (Government Code Section §65915) the Density Bonus increase in units above the base density zone limits and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per Section 12.22 A.25 of the LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at Figueroa Plaza in Downtown Los Angeles, Marvin Braude Constituent Service Center in the Valley, or in West Los Angeles. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7077, (818) 374-5050, or (310) 231-2901. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

Reviewed & prepared by:

*Deborah Kahen*

---

Deborah Kahen, AICP, Senior City Planner

*Adrineh Melkonian*

---

Adrineh Melkonian, City Planner  
adrineh.melkonian@lacity.org

COUNTY CLERK'S USE

**CITY OF LOS ANGELES**

OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 395  
LOS ANGELES, CALIFORNIA 90012

**CALIFORNIA ENVIRONMENTAL QUALITY ACT**

**NOTICE OF EXEMPTION**

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

**PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS**

DIR-2021-6050-TOC-HCA / Transit Oriented Communities, Housing Crisis Act

**LEAD CITY AGENCY**

**City of Los Angeles (Department of City Planning)**

**CASE NUMBER**

ENV-2021-6051-CE

**PROJECT TITLE**

810 South Wilton Place

**COUNCIL DISTRICT**

5 -Yaroslavsky

**PROJECT LOCATION** (Street Address and Cross Streets and/or Attached Map)

**810 South Wilton Place**

Map attached.

**PROJECT DESCRIPTION:**

Additional page(s) attached.

Demolition of an existing single-family dwelling and construction, use, and maintenance of a 3-story residential structure over one (1) level of parking garage and one (1) level of subterranean parking, with a total of 14 dwelling units, 12 of which will be market-rate and two (2) will be restricted to Very Low-Income Households. The building will be a maximum of 56 feet, as measured from grade, and contain 11,859 square feet of floor area with a maximum floor area ratio of 2.6:1. The unit mix will be comprised of four (4) studio-bedroom units, one (1) one-bedroom units, and nine (9) two-bedroom units. The project will provide a minimum of 0.5 automobile parking spaces per unit, 14 long-term bicycle parking stalls, and two (2) short-term bicycle parking stalls. The project will provide 1,710 square feet of open spaces including 885 square feet roof decks, 625 square feet of common open space, and 200 square feet of private balconies. The project proposes a minimum of 845 square feet of solar panel area (12 panels) on the roof. The project proposes the removal of one (1) Street tree from the public right-of-way subject to approval from the Board of Public Works. The project proposes grading and export of up to 4,250 cubic yards of earth.

**NAME OF APPLICANT / OWNER:**

**Armando Garcia / 810 Wilton Development Partners, LLC**

**CONTACT PERSON** (If different from Applicant/Owner above)

**Jordan Beroukhim**

**(AREA CODE) TELEPHONE NUMBER**

**(310) 435-4594**

**EXT.**

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

**STATE CEQA STATUTE & GUIDELINES**

STATUTORY EXEMPTION(S)

Public Resources Code Section(s) \_\_\_\_\_

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section(s) / Class(es) Section 15332 Class 32

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )

\_\_\_\_\_

**JUSTIFICATION FOR PROJECT EXEMPTION:**

Additional page(s) attached

Class 32 – (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.

The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.  
If different from the applicant, the identity of the person undertaking the project.

**CITY STAFF USE ONLY:**

CITY STAFF NAME AND SIGNATURE  
Adrineh Melkonian

*Adrineh Melkonian*

STAFF TITLE  
City Planner

ENTITLEMENTS APPROVED

TOC Affordable Housing Incentive Program Review – See Case # DIR-2021-6050-TOC-HCA

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021



**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

JENNA HORNSTOCK  
HELEN LEUNG  
KAREN MACK  
DANA M. PERLMAN

**CITY OF LOS ANGELES  
CALIFORNIA**



KAREN BASS  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

# JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2021-6051-CE

---

The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorical Exempt under Article 19, Section 15332, Class 32.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The project is for the demolition of an existing single-family dwelling and construction, use, and maintenance of a 3-story residential structure over one (1) level of parking garage and one (1) level of subterranean parking, with a total of 14 dwelling units, 12 of which will be market-rate and two (2) will be restricted to Very Low-Income Households. The building will be a maximum of 56 feet, as measured from grade, and contain 11,859 square feet of floor area with a maximum floor area ratio of 2.6:1. The unit mix will be comprised of four (4) studio-bedroom units, one (1) one-bedroom units, and nine (9) two-bedroom units. The project will provide 0.5 parking spaces per dwelling unit, 14 long-term bicycle parking stalls, and two (2) short-term bicycle parking stalls. The project will provide a total of 1,710 square feet of open space, including 885 square feet roof decks, 625 square feet of common open space, and 200 square feet of private balconies. The project proposes a minimum of 845 square feet of solar panel area (12 panels) on the roof. The project proposes the removal of one (1) tree from the public right-of-way subject to approval from the Board of Public Works. The project proposes grading and export of up to 4,250 cubic yards of earth. As the construction of a 14 dwelling units housing development, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption(s).

The site is currently developed with a one (1)-story single-family dwelling built in 1926. On August 3, 2021, the applicant submitted applications to the Los Angeles Department of Building and Safety (LADBS) for a new five (5)-story, 17-unit (3 VLI = 18 percent) affordable housing apartment to include four (4)-story Type VA apartment over one (1) story type IA parking garage over (1)

level type IA subterranean parking in TOC Tier 3 area with additional incentives (Permit #20010-10001-02999) and On June 16, 2021, the applicant submitted applications to the LADBS for DPI and posting demolition on the existing single-family dwelling (Permit #21019-10000-02272).

The project is granted the following Base and Additional Incentives of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program per Case No. DIR-2021-6050-TOC-HCA:

- Base Incentives:
  - A 56 percent increase in the maximum density to allow a total of 14 units in lieu of 10 units.
  - A reduction in the automobile parking requirement to allow a minimum of 0.5 spaces per dwelling unit to be provided.
- Additional Incentives
  - Side Yard Setbacks. A reduction in the minimum northerly and southerly side yard setbacks to permit 5 feet 7 inches, in lieu of seven (7) feet as otherwise required by LAMC Section 12.10 C.2.
  - Height. An 11-foot increase in building height to permit 56 feet in lieu of the otherwise permitted 45 feet in the R3-1 Zone by LAMC Section 12.21.1.

The site is zoned R3-1 and has a General Plan Land Use Designation of Medium Residential. As shown in the case file, the project is consistent with the applicable Wilshire Community Plan designation and policies and all applicable zoning designations and regulations. The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.17 acres. Lots adjacent to the subject site are developed with the following urban uses: multi-family residential structures and a church. The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. As identified in the Tree Report prepared by Arsen Margossian with Bardez Landscape Services, Inc. on November 22, 2021, the project application proposes to remove one (1) street tree. However, as explained in the project description, the applicant will be required to improve the right-of-way. Prior to any work on the right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis and the requirements of CEQA, Planning has analyzed the worst-case potential for removal of all street trees. Note, no street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this CE, no approvals have been given for any tree removals on-site or in the right-of-way by BPW.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. The project site will be adequately served by all public utilities and services given that the construction of a 14-dwelling unit residential structure will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

At the preparation of this report, there are two (2) known discretionary projects of the same multi-family residential development type within 500 feet of the subject site. The proposed project may create environmental impacts on the surrounding area. However, the project is subject to RCMs in the City of Los Angeles that regulate impacts related to air quality and construction and operational noise as previously mentioned. According to the Department of Transportation Vehicle Mile Travel Calculator, the project is not located within a Transportation Specific Plan Area and traffic study is not required for the proposed 14-unit apartment building. As such, the proposed project is not expected to result in cumulative impacts.

As mentioned, the project proposes construction, use, and maintenance of a 3-story residential structure over one (1) level of parking garage and one (1) level of subterranean parking, with a total of 14 dwelling units in an area zoned and designated for such development. All adjacent lots are zoned R3-1 and R3-1-HPOZ, developed with Medium Residential land use, multi-family development and a church, and the subject site is of a similar size and slope to nearby properties. Abutting property to the north is developed with a two (2)-story apartment building. Abutting property to the south is developed with a three (3)-story apartment building. Abutting properties to the east are developed with two (2)-story multi-family buildings. Adjoining properties to the west across Wilton Place are developed with two (2)-story apartment buildings and a church. The project proposes a Floor Area Ratio (FAR) of 2.6:1 on a site that is permitted to have a maximum FAR of 3:1. The proposed development is not unusual for the vicinity of the subject site, and is similar in scope to other existing Medium Residential in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. State Route 27 is located approximately 21 miles west of the subject property. Therefore the subject site will not create any impacts within a designated as a state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.



APPLICATIONS:

APPEAL APPLICATION

Instructions and Checklist

Related Code Section: Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

Purpose: This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

A. APPELLATE BODY/CASE INFORMATION

1. APPELLATE BODY

- Area Planning Commission, City Planning Commission, City Council, Director of Planning, Zoning Administrator

Regarding Case Number: DIR-2021-6050-TOC-HCA

Project Address: 810 South Wilton Place

Final Date to Appeal: 03/08/2023

2. APPELLANT

- Appellant Identity (check all that apply): Representative, Applicant, Property Owner, Operator of the Use/Site, Person, other than the Applicant, Owner or Operator claiming to be aggrieved

- Person affected by the determination made by the Department of Building and Safety: Representative, Applicant, Owner, Operator, Aggrieved Party

3. APPELLANT INFORMATION

Appellant's Name: Adrian Yun

Company/Organization: Concord Estates II

Mailing Address: 820 S Wilton Pl Unit 306

City: Los Angeles State: CA Zip: 90005

Telephone: (310) 995-5512 E-mail: concordestates2@gmail.com

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company? Self, Other:

b. Is the appeal being filed to support the original applicant's position? Yes, No

**4. REPRESENTATIVE/AGENT INFORMATION**

Representative/Agent name (if applicable): \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**5. JUSTIFICATION/REASON FOR APPEAL**

a. Is the entire decision, or only parts of it being appealed?  Entire  Part

b. Are specific conditions of approval being appealed?  Yes  No

If Yes, list the condition number(s) here: 10 (Side Yard Setback), 11 (Height)

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

**6. APPLICANT'S AFFIDAVIT**

I certify that the statements contained in this application are complete and true:

Appellant Signature:  Date: 3/07/2023

**GENERAL APPEAL FILING REQUIREMENTS**

**B. ALL CASES REQUIRE THE FOLLOWING ITEMS - SEE THE ADDITIONAL INSTRUCTIONS FOR SPECIFIC CASE TYPES**

**1. Appeal Documents**

a. **Three (3) sets** - The following documents are required for each appeal filed (1 original and 2 duplicates) Each case being appealed is required to provide three (3) sets of the listed documents.

- Appeal Application (form CP-7769)
- Justification/Reason for Appeal
- Copies of Original Determination Letter

**b. Electronic Copy**

Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload materials during filing and return the flash drive to you) or a CD (which will remain in the file). The following items must be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification/Reason Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size.

**c. Appeal Fee**

- Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original application receipt(s) to calculate the fee per LAMC Section 19.01B 1.
- Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1.

**d. Notice Requirement**

- Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC
- Mailing Fee - The appeal notice mailing fee is paid by the project applicant, payment is made to the City Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.

**SPECIFIC CASE TYPES - APPEAL FILING INFORMATION**

**C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)**

**1. Density Bonus/TOC**

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

**NOTE:**

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.

Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

**D. WAIVER OF DEDICATION AND OR IMPROVEMENT**

Appeal procedure for Walver of Dedication or Improvement per LAMC Section 12.37 I.

**NOTE:**

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

**E. TENTATIVE TRACT/VESTING**

**1. Tentative Tract/Vesting** - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

Provide a copy of the written determination letter from Commission.

**F. BUILDING AND SAFETY DETERMINATION**

**1.** Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.

**a. Appeal Fee**

Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

**b. Notice Requirement**

Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

**2.** Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.

**a. Appeal Fee**

Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

**b. Notice Requirement**

Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.

Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.

**G. NUISANCE ABATEMENT**

**1. Nuisance Abatement - Appeal procedure for Nuisance Abatement per LAMC Section 12.27.1 C 4**

**NOTE:**

- Nuisance Abatement is only appealable to the City Council.

**a. Appeal Fee**

Aggrieved Party the fee charged shall be in accordance with the LAMC Section 19.01 B 1.

**2. Plan Approval/Compliance Review**

Appeal procedure for Nuisance Abatement Plan Approval/Compliance Review per LAMC Section 12.27.1 C 4.

**a. Appeal Fee**

Compliance Review - The fee charged shall be in accordance with the LAMC Section 19.01 B.

Modification - The fee shall be in accordance with the LAMC Section 19.01 B.

**NOTES**

*A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.*

*Please note that the appellate body must act on your appeal within a time period specified in the Section(s) of the Los Angeles Municipal Code (LAMC) pertaining to the type of appeal being filed. The Department of City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.*

This Section for City Planning Staff Use Only		
Base Fee:	Reviewed & Accepted by (DSC Planner):	Date:
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)

Adrian Yun  
820 S Wilton Pl Unit 306  
Los Angeles, CA 90005  
[Concordestates2@gmail.com](mailto:Concordestates2@gmail.com)  
310-995-5512

Case No. DIR-2021-6050-TOC-HCA  
Location: 810 South Wilton Place

3/07/2023

Dear City Official(s),

I am writing to appeal the Director's Determination letter issued for the proposed development located at 810 South Wilton Place, Los Angeles, CA 90005. As a concerned resident and HOA President in the neighboring community (820 S Wilton Pl, Los Angeles, CA 90005), I am aggrieved by the developer's request for additional incentives to increase the height limit from 45ft to 56ft and reduce the setback from 7 ft to 5 ft in 7 inches. These incentives will have a significant negative impact on the quality of life for myself and my community.

The proposed height increase of 11ft and reduction in setback of 1ft and 5 inches will result in a structure that is grossly out of scale with the surrounding buildings and the general character of the neighborhood. The proposed incentives will cast shadows on our property and restrict sunlight, resulting in a significant reduction of natural light and a loss of privacy. Furthermore, it will cause an increase in traffic, noise pollution, negatively change the neighborhood and block scenic views from our homes, which are an essential component of our neighborhood's aesthetic and cultural value, further diminishing our quality of life.

I am particularly aggrieved and concerned by the fact that the developer strategically did not notify all the residents in our building (18 units), which is located directly south of this development. We are the party that will be the most affected by this decision. I strongly believe that the city should enforce proper notification requirements to ensure that all residents are aware of developments that may have an impact on their quality of life.

In addition, the proposed incentives would be a violation of the existing zoning regulations and guidelines of our neighborhood. The developer's request for the additional incentives will not only create an unwarranted exception to the existing regulations, but it also violates the city's obligation to protect the interests and rights of the neighboring property owners.

Therefore, as an aggrieved party, I believe that the decision-maker erred or abused their decision-making power by granting this conditional determination. I respectfully request that you reconsider this decision and deny the proposed incentives request. I am committed to supporting the established zoning regulations that have been put in place to protect the interests of the community.

Thank you for considering my appeal. I look forward to hearing from you soon.

Sincerely,

Adrian Yun  
HOA President